

**CITY OF TEMPE
DEVELOPMENT REVIEW COMMISSION**

**Meeting Date: 8/22/2023
Agenda Item: 9**

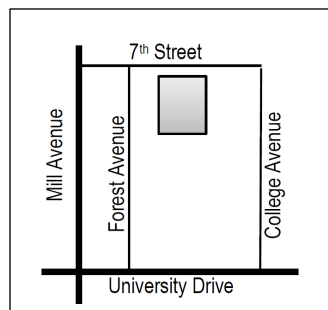
ACTION: Request a Planned Area Development Overlay to establish development standards and a Development Plan Review for a new 28-story mixed-use development with 380 dwelling units on 0.61 gross acres for **211 E. 7TH STREET**, located at 211 East 7th Street.

FISCAL IMPACT: There is no fiscal impact on City funds.

RECOMMENDATION: Approve, subject to conditions

BACKGROUND INFORMATION: 211 E. 7th STREET (PL220305) is a proposed mixed-use development containing 380 dwelling units on 0.61 acres with 3,011 square feet of indoor commercial uses. The request includes the following:

- PAD220023 Planned Area Development Overlay to modify development standard for building height
- DPR220180 Development Plan Review including site plan, building elevations, and landscape plan



Property Owner	College Enterprises Inc.
Applicant	Wendy Riddell, Berry Riddell, LLC
Zoning District (current/proposed)	CC TOD / CC PAD TOD (City Center with Planned Area Development Overlay in the Transportation Overlay District Corridor)
Net site area	0.61 acres
Density / Number of Units	623 du/ac / 380 units
Unit Types	57 studio 134 one bedroom 58 two bedroom 131 three bedroom
Total Bedrooms	700 bedrooms
Total Building Area	517, 910 s.f.
Lot Coverage	95% (NS)
Building Height	314' (50' maximum allowed)
Building Setbacks	0' front, 4' west side, 4' east side, 0' rear (0', 0', 0', 0' min. required)
Landscape area	11% (NS)
Vehicle Parking	303 spaces (includes 7 on-street) (271 min. required)
Bicycle Parking	401 spaces (401 min. required)

ATTACHMENTS: Development Project File

STAFF CONTACT(S): Lily Drosos, Planner II (480) 350-8245

Department Director: Jeff Tamulevich, Community Development Director
 Legal review by: N/A
 Prepared by: Lily Drosos, Planner II
 Reviewed by: Mailen Pankiewicz, Principal Planner

COMMENTS:

This site is located within the CC and TOD Corridor between Forest and College Avenues, on the north side of University Drive and on the south side of 7th Street. Adjacent uses include the Atmosphere mixed-use development to the east, College Avenue Commons, an Arizona State University building within the Mixed-Use Educational district (MU-ED), retail uses to the east, and the All Saints Catholic Newman Center to the south.

Existing uses on the site include: commercial parking lot, where 35 spaces are dedicated to the All Saints Catholic Newman Center. These spaces have been accounted for in the parking totals for the proposed development.

This request includes the following:

1. Planned Area Development to modify the development standard for building height.
2. Development Plan Review which includes: a 28-story building with proposed ground floor retail above-grade parking and residential uses within 517, 910 s.f. of building area on 0.61 gross acres.

The applicant is requesting the Development Review Commission provide recommendations to City Council for the items listed above.

For further processing, the applicant will need approval for an Amended Subdivision Plat, to combine the four existing lots into one.

SITE PLAN REVIEW

The project was first introduced in September of 2021 and one preliminary review was conducted under SPR21102. The project was re-introduced in June of 2022, where staff held one preliminary review under SPR22074 since the previous record had expired. There were five formal reviews conducted since. Significant comments from staff included the following: correcting the placement and number of trees along the 7th Street frontage because of conflicts with existing light poles that were to be retained; that additional screening be added to parking levels facing adjacent residential units, and the orientation of the aluminum louvers be modified to fully screen the rooftop mechanical equipment; concerns regarding the durability of building materials on the elevations (specifically the artificial planting wall and EIFS), which resulted in a modification to more sustainable materials; activating the ground-floor pedestrian experience by removing vestibules from the outdoor patio along the 7th Street frontage.

In addition to meeting with staff, the applicant presented the proposal to the Development Review Commission during the study session at their May 23, 2023 meeting. Based on the feedback received, the applicant provided the following changes:

- The removal of one parking level, reducing the number of spaces from 334 to 303.
- The reduction in building height from 325'-0" to 314'-0" (top of mechanical screen).
- The eastern façade provides a fire-rated wall, covering 75% of the building elevation on the parking levels as required by the 2018 International Building Code (Table 705.8).
- The metal panels on the east elevation were previously oriented at an angle, whereas they have been modified to be mounted flush to the fire-rated wall.
- The east elevation features the metal panels at an angle at the corners of the building, then continue along the north and south elevations.
- To address the Development Review Commission's concern regarding the durability of EIFS on the building elevations, the applicant is proposing to replace this material with and STO Panel System, which are a prefabricated and modular envelope system.

PUBLIC INPUT

- Neighborhood meeting required
- Neighborhood meeting held virtually via Zoom: March 8, 2023 at 5:30 p.m.
- See attached summary of meeting provided by the applicant.
- Eight people attended the meeting and there were no questions.
- The applicant met with ASU representatives prior to submitting the application. They have expressed concerns regarding the proposed height and density, and that the development would be used for student housing.
- Upon completion of this report, staff has not received any calls/emails of inquiry or concern regarding this request.

DEVELOPMENT REVIEW COMMISSION

This proposed development was originally scheduled to be heard at the June 13, 2023 Development Review Commission meeting, and the applicant presented the project at the May 23, 2023 during Development Review Commission’s study session. The Commission raised concerns over the durability of the building materials (specifically EIFS), how they intend to have a one-year lease period remain unchanged if they do not reach full capacity, and traffic control in and out of the parking structure as 7th Street is a smaller arterial. The applicant requested a continuance to take time and address these concerns before coming back to the Development Review Commission.

PROJECT ANALYSIS

CHARACTER AREA PLAN

This site is located within the Downtown / ASU / Rio Salado / NW Neighborhoods Character Area Plan. This proposal features several principles and guidelines within the plan.

- *Podium Level / Ground Floor:* the project features deep awnings along 7th Street that provides a covered walkway and street trees for shade and to promote walkability.
- *Shade + Site Amenities:* the pedestrian scale of the development is enhanced by shaded walkways and articulated building massing that maximizes solar orientation. The ground floor retail activates the pedestrian environment.
- *Patio / Outdoor Seating:* the proposed development displays an outdoor patio adjacent to the commercial space on the ground floor.

DOWNTOWN COMMUNITY DESIGN PRINCIPLES – DOWNTOWN/MILL AVENUE DISTRICT

- *Articulation:* the street level of the proposed building provides an active street scape with a storefront frontage type, which allows pedestrian visibility into the space. The glazing on the windows will be a maximum of 20%.
- *Innovation:* the building features articulation on all four sides of the building with insets that allow for amenity areas.

MILL + LAKE DISTRICT PRINCIPLES AND GUIDELINES

- *Building Facades:* The proposed building exhibits ground floor retail along the 7th Street frontage. The storefront glazing will allow pedestrian visibility into the commercial space. In addition, overhangs are provided for shade.

PLANNED AREA DEVELOPMENT

The applicant requests a Planned Area Development Overlay consisting of 380 dwelling units and 3,011 square feet of commercial space within a 314-foot maximum building height. The table below shoes a comparison of the development standards for the CC TOD zoning district and the proposed CC TOD PAD Overlay.

Standard	CC TOD 5-611A	PROPOSED CC TOD (PAD)	Change
Residential Density (du/ac)	NS	623	-
Building Height (feet) [Exceptions, see Section 4-205(A)]			
Building Height Maximum	50 ft	314 ft	Increase
Maximum Lot Coverage (% of net site area)	NS	95%	-
Minimum Landscape Area (% of net site area)	NS	11%	-
Setbacks (feet) (a) [Exceptions, see Section 4-205(B)]			
Front -North (7 th Street)	0 ft	0 ft	-
Parking	20 ft	In garage	-
Side – West	0 ft	4 ft	-

Side - East	0 ft	4 ft	-
Rear – South	0 ft	0 ft	-
Vehicle Parking	271.4	303	Decrease
Bicycle Parking	401	401	-

The applicant proposes to modify the maximum building height from 50 feet to 314 feet. The CC TOD standard requires 307 parking stalls, and the project provides 303. All other development standards either meet or exceed the existing CC TOD standards.

The table below summarizes the required and proposed *vehicle* parking for the project.

Unit Type	Unit Quantity / SF	Ratio	Parking Required per ZDC	Proposed Parking per PAD (/bedroom ratio)	Provided Parking per PAD
Studio	57	.5 space per bedroom	29	.5 space per bedroom	29
1 bedroom	134	.5 space per bedroom	67	.5 space per bedroom	67
2 bedroom	58	.5 space per bedroom	58	.5 space per bedroom	58
3 bedroom	131	.3 space per bedroom	118	.3 space per bedroom	118
Guest	380 units	.2 spaces per unit (without commercial)	0	.1 per unit (without commercial)	0
Commercial	3,011 s.f.	1 st 5,000 s.f. waived, 1 space per 500 s.f after	0	1 st 5,000 s.f. waived, 1 per 500 s.f. after	0
TOTAL			271.4		303 (Includes 7 on-street)

The Parking Management Plan shows that 271 spaces are required for the residential units, and another 35 spaces are allotted for the Newman Center pursuant to a private parking agreement. These combined parking counts total 306 parking spaces. The parking garage contains 296 spaces, and with the 7 on-street parking spaces along 7th Street, the project provides 303 spaces. There is a shortage of 3 parking spaces for the residential use.

Section 6-305 D. Approval criteria for P.A.D. (*in italics*):

1. *The development fulfills certain goals and objectives in the General Plan and the principles and guidelines of other area policy plans. Performance considerations are established to fulfill those objectives.* The project demonstrates conformity with the designations identified in the General Plan Projected Land Use Map and Projected Density Map for the property, and combines commercial and residential uses to provide a density of greater than 65 du/ac. The proposed density and building height are compatible with existing developments within the downtown area. The applicant addresses compliance with applicable policy plans such as the Downtown Tempe/Rio Salado/ ASU/ Neighborhoods Character Area Plan, the Downtown Community Design Principles – Downtown/ Mill Avenue District, and the Mill + Lake District Streetscape Principles + Guidelines.
2. *Standards requested through the PAD Overlay district shall take into consideration the location and context for the site for which the project is proposed.* The standards requested are similar to that of the existing surrounding uses and structures, and account for the location and site context to encourage compatible development.
3. *The development appropriately mitigates transitional impacts on the immediate surroundings.* The east building wall is adjacent to the Atmosphere development, and the elevation is designed to comply with building and fire code requirements while properly screening the parking levels through the design and orientation of building materials.

DEVELOPMENT PLAN REVIEW

Site Plan

The 0.61-acre site is located north of University Drive, on south side of 7th Street, to the east of College Avenue and to the west of Forest Avenue. There is a driveway at the northwest corner of the site that provides ingress and egress from 7th Street, and there is a 20' wide public alley in the rear which extends from College Avenue to Forest Avenue. The plans demonstrate a 28-story tower with parking levels on floors 3 through 8, and an amenity deck on the 28th floor. The parking garage is to be accessed from the 7th Street entrance. There are 303 parking stalls, including the 7 on-street parking spaces along the 7th Street frontage. The project proposes 380 dwelling units with 700 bedrooms and 3,011 square feet of commercial space on the ground floor.

Building Elevations

The proposed building height is 313'-8" from grade to the top of the mechanical screen. The ground floor contains commercial tenant space with an outdoor patio, a residential lobby, and ramp to the parking entrance. The 4th and 5th levels of the parking garage demonstrate pet walks which are recessed into the building. The 3rd through 8th floors on the eastern elevation are facing the residential units to the east, and are screened by metal panels. The building materials were selected based on durability and include: aluminum louvers, painted steel, clear glazing, metal panels, mullions, STO panels, folded perforated metal, concrete columns, and groundface CMU masonry.

Landscape Plan

The landscape plan includes a total on-site landscape area of 11%. The project provides 2,911 square feet of landscaping which includes the 7th Street frontage, the east property line, and the amenity deck. Four Evergreen Elm are shown along 7th Street and in the required landscape islands. The existing tree shown on the landscape plan fulfills the requirement for the fifth tree. The existing street lights are to be preserved and the conflict between the poles and trees were resolved. Three Texas Redbud are displayed along the east property line. The plant palette features Pine Muhly shrubs, Yellow Aloe Vera and Sago Palm as accents, Rainbow Bush for groundcover, and Climbing Fig.

Section 6-306 D Approval criteria for Development Plan Review (*in italics*):

1. *Placement, form, and articulation of buildings and structures provide variety in the streetscape;* The commercial uses along 7th Street activate the pedestrian experience along 7th Street which contributes to an attractive streetscape. The building articulates through varying massing between the commercial and residential uses.
2. *Building design and orientation, together with landscape, combine to mitigate heat gain/retention while providing shade for energy conservation and human comfort;* The proposed development is oriented to maximize shade along the north side of the building where the public will engage with the building. It provides street plantings along 7th Street. The addition of street trees will help create a pleasant, shaded pedestrian experience.
3. *Materials are of a superior quality, providing detail appropriate with their location and function while complementing the surroundings;* The applicant indicates that material selections and colors were made based on compatibility with the surrounding developments in the area, durability, and quality. The materials utilized on the project include concrete block, exposed cast-in-place concrete, fiber cement board, stucco, metal paneling, and aluminum windows.
4. *Buildings, structures, and landscape elements are appropriately scaled, relative to the site and surroundings;* The proposed building height is 28 stories and the scale is relative to the site and surrounding buildings in the downtown area.
5. *Large building masses are sufficiently articulated so as to relieve monotony and create a sense of movement, resulting in a well-defined base and top, featuring an enhanced pedestrian experience at and near street level;* The design concept softens the overall building mass and monotony with varying building material and colors. Alternating these elements along with balconies provides a sense of scale and rhythm. The use of tall storefront windows at the base brings a sense of scale to the pedestrian experience.

6. *Building facades provide architectural detail and interest overall with visibility at street level (in particular, special treatment of windows, entries and walkways with particular attention to proportionality, scale, materials, rhythm, etc.) while responding to varying climatic and contextual conditions;* The facades of the building are designed to create visual interest with materials, colors, articulation and design elements that provide light and shadow, material push and pulls, appropriate proportioned spaces, and visibility into the building. The front and public face of the building is optimized on the north elevation creating an opportunity for maximizing transparency and visibility at the street level. It is scaled to create a welcome entry and transition from the street and provides ample space for circulation and areas for outdoor seating. The elevations are designed to relate internal programming and materials were selected to provide visual interest to the overall building. Scale with the design elements of the building was considered from the experience of someone seeing the building close by or from afar. The ground plane was also designed to build upon the immediate context.
7. *Plans take into account pleasant and convenient access to multi-modal transportation options and support the potential for transit patronage;* The Site's proximity to current transit systems will provide convenient transportation access for residents. The project also includes ample sidewalks along 7th Street and around the entire perimeter for pedestrians to reach the property from different directions. The location of building entrances, ground floor windows, street-facing facades, pedestrian amenities, landscape, and shade supports transit patronage.
8. *Vehicular circulation is designed to minimize conflicts with pedestrian access and circulation, and with surrounding residential uses;* Varying paving patterns have been utilized to distinguish vehicular from pedestrian areas. Pedestrian access to the commercial portion of the Site occurs directly from the sidewalk along 7th Street.
9. *Plans appropriately integrate Crime Prevention Through Environmental Design principles such as territoriality, natural surveillance, access control, activity support, and maintenance;* To conform with the Crime Prevention Through Environmental Design Principles, lower shrub and bush varieties have been proposed to eliminate hiding spaces near entrances and windows. Building entrances will be well lit and will include glazing, thus complying with CPTED principles.
10. *Landscape accents and provides delineation from parking, buildings, driveways and pathways;* Landscaping will be provided along the public areas at the front of the building and will be used to separate the street, parking spaces, and driveways from the circulation and seating areas.
11. *Signs have design, scale, proportion, location and color compatible with the design, colors, orientation and materials of the building or site on which they are located;* not applicable.
12. *Lighting is compatible with the proposed building(s) and adjoining buildings and uses, and does not create negative effects;* Building mounted light fixtures will provide most of the site lighting and were selected to complement the architectural design, and the project will comply with lighting requirements.

REASONS FOR APPROVAL:

1. The project meets the General Plan Projected Land Use and Projected Residential Density for this site.
2. The project will meet the development standards required under the Zoning and Development Code.
3. The PAD overlay process was specifically created to allow for greater flexibility, to allow for increased heights.
4. The proposed project meets the approval criteria for a Planned Area Development and Development Plan Review.

Based on the information provided and the above analysis, staff recommends approval of the requested Planned Area Development and Development Plan Review. This request meets the required criteria and will conform to the conditions.

PLANNED AREA DEVELOPMENT CONDITIONS OF APPROVAL:

EACH NUMBERED ITEM IS A CONDITION OF APPROVAL. THE DECISION-MAKING BODY MAY MODIFY, DELETE OR ADD TO THESE CONDITIONS.

1. A building permit application shall be made within two years of the date of City Council approval or the zoning of the property may revert to that in place at the time of application. Any reversion is subject to a public hearing process as a zoning map amendment.

2. The property owner(s) shall sign a waiver of rights and remedies form. By signing the form, the Owner(s) voluntarily waive(s) any right to claim compensation for diminution of Property value under A.R.S. §12-1134 that may now or in the future exist, as a result of the City's approval of this Application, including any conditions, stipulations and/or modifications imposed as a condition of approval. The signed form shall be submitted to the Community Development Department no later than 30 days from the date of City Council approval, or the Planned Area Development approval shall be null and void.
3. The Planned Area Development Overlay for 211 E. 7th Street shall be put into proper engineered format with appropriate signature blanks and kept on file with the City of Tempe's Community Development Department within sixty (60) days of the date of City Council approval and prior to issuance of building permits.

DEVELOPMENT PLAN REVIEW CONDITIONS OF APPROVAL: (Non-standard conditions are identified in bold)

EACH NUMBERED ITEM IS A CONDITION OF APPROVAL. THE DECISION-MAKING BODY MAY MODIFY, DELETE OR ADD TO THESE CONDITIONS.

General

1. Except as modified by conditions, development shall be in substantial conformance with the site plan and building elevations submitted July 17, 2023 and landscape plan submitted August 9, 2023. Minor modifications may be reviewed through the plan check process of construction documents; major modifications will require submittal of a Development Plan Review.
2. The developer must receive approval of the final Traffic Impact Study from the Transportation Division prior to issuance of a building permit or as otherwise determined by the Engineering and Transportation Department, Transportation Division.
3. An amended Subdivision Plat is required for this development and shall be recorded prior to issuance of building permits. Alternatively, the Owner's execution of a Covenant and Agreement to Hold Property as One Parcel may be permitted in lieu of recording the subdivision plat while the plat is being finalized. If this occurs, the plat must be recorded prior to issuance of the first Certificate of Occupancy.
4. The development shall prepare, at the time of initial building permits, gray shell commercial space for tenant leasing. The permit submittal shall include the following: adequate roof space, evidence of roof structural support, and internal set lines for future adequate commercial space air conditioning (HVAC); provide a shaft to ventilate to the roof for commercial cooking exhaust; and a designated location for potential grease trap interceptor if needed.
5. At the time a temporary construction fence is added to the site, a future development sign banner shall be attached to the fence and provide information for the new development, in conformance with the Zoning and Development Code, Section 4-903, Sign Type J. The sign banner shall include: project name/information and future tenant (if known). Images of the project may be included on the banner. A sign permit is required. The building permit plans shall include a note on the plans to provide this future development sign banner on site as long as the construction fencing remains.
6. **This site is located within a known archeologically sensitive area with the likelihood of discovery of historic artifacts. Prior to issuance of any permits that would result in ground disturbance, the Developer shall hire a qualified archaeological firm to complete a monitoring and discovery plan (MDP) as well as archaeological testing prior to construction and/or monitoring of ground-disturbing activity during construction. This condition applies to projects on both previously disturbed and previously undisturbed ground.**
7. **Upon completion of building permit and prior to commencement of construction, contractors and subcontractors on the project must provide evidence (photo of unexpired decal) of successful completion of the Salt River Pima-Maricopa Indian Community (SRPMIC) online cultural sensitivity training and test. Evidence shall be submitted to the Community Development Department, Historic Preservation Officer. Obligation of this condition shall be noted on the permitted set of plans.**

8. **Ensure gates on east and west side of building are self-closing, protect crash bar from exterior access, and restricted ingress access for residential access only.**
9. **Tempe Police Department recommends all garage bicycle storage be secured with walls/fencing, from floor to ceiling, and restricted access to residents only.**
10. **A correction shall be made to the Planned Area Development Overlay cover sheets to identify 271 required parking spaces.**

Site Plan

11. Interior building walls, ceilings, and floors for the residential units shall provide a minimum sound transmission class of (55) or more. Exterior building walls for the residential units shall provide a minimum sound transmission class of (39) or more. Exterior windows for the residential units shall provide a minimum sound transmission class of (28) or more using insulated double paned windows with ¼" pane thickness or more.
12. Provide service locations, as shown on Solid Waste Plan for both refuse and recycling collection and pick-up on the property. Coordinate the storage areas for refuse and recycling containers with the overall site and landscape layout.
13. Provide service yard and mechanical (cooling tower/generator) yard walls that are at least 8'-0" tall as measured from adjacent grade or are at least the height of the equipment being enclosed, whichever is greater. Verify height of equipment and mounting base to ensure that wall height is adequate to fully screen the equipment.
14. Provide gates of steel vertical picket, steel mesh, steel panel or similar construction. Where a gate has a screen function and is completely opaque, provide vision portals for visual surveillance. Provide gates of height that match that of the adjacent enclosure walls. Review gate hardware with Building Safety and Fire staff and design gate to resolve lock and emergency ingress/egress features that may be required.
15. Utility equipment boxes for this development shall be finished in a neutral color (subject to utility provider approval) that compliments the coloring of the buildings.
16. Place exterior, freestanding reduced pressure and double check backflow assemblies in pre-manufactured, pre-finished, lockable cages (one assembly per cage). If backflow prevention or similar device is for a 3" or greater water line, delete cage and provide a masonry or concrete screen wall following the requirements of Standard Detail T-214.
17. The above grade amenity deck on the 28th floor adjacent to 7th Street shall be designed with a minimum 6'-0" high wall, measured from floor grade, with the top 2'-0" designed with glazing. Landscape planters shall be located on either the exterior or interior of the wall to act as a buffer from the building edge.
18. **Bioswale design in the right-of-way must receive approval by the City Engineer. A maintenance agreement will be required for Bioswale maintenance.**

Floor Plans

19. Provide visual surveillance by means of fire-rated glazing assemblies from stair towers into adjacent circulation spaces.
20. Public Restroom Security:
 - a. Single user restroom door hardware:
 - 1) Provide a key bypass on the exterior side
21. Garage Security:
 - a. Minimize interior partitions or convert these to semi-opaque screens to inhibit hiding behind these features.
 - b. Provide stair exits that are open to the exterior.
 - c. Paint interior wall and overhead surfaces with a highly reflective white color, minimum LRV of 75 percent.
 - d. Maximize openness at the elevator entrances and stair landings to facilitate visual surveillance from these pedestrian circulation areas to the adjacent parking level.

22. Parking Garage:
 - a. Minimum required parking dimensions shall be clear of any obstructions.
 - b. At the ends of dead-end drive aisles, provide a designated turn-around space, minimum 8'-6" clear in width (locate on left side if available), including 3'-0" vehicular maneuvering area for exiting. Turn-around area shall be clearly demarcated.
 - c. Provide a minimum 2'-0" of additional width for parking spaces when adjacent to a continuous wall.
23. Provide mirror on building to aid in driver's viewing of pedestrians and vehicles adjacent to garage entrance/exit.
24. Provide screening for parking levels to prevent light spillover onto adjacent properties.
25. Provide mirror on building to aid in driver's viewing of pedestrians/vehicles adjacent to garage exit and provide a sign on the inside of the garage instructing drivers exiting to stop and look for pedestrians.
26. On the exterior of the garage exit provide aural and visual warning device to warn pedestrians of oncoming vehicle traffic exiting the garage.

Building Elevations

27. The materials and colors are approved as presented:

- 01 METAL PANEL, B.O.D. - ATAS OMAWALL OMW188 - COLOR: DOVE GREY
- 02 'STO PANEL CLASSIC NEXT CI', COLOR: SHERWIN WILLIAMS, SHELL WHITE
- 03 STEEL CANOPY STRUCTURE, PAINTED STEEL, COLOR SW IRON ORE SW 7069 - REFER TO STRUCTURAL
- 04 MECHANICAL SCREEN WALL; ALUMINUM LOUVERS, CLEAR ANODIZED
- 05 'STO PANEL CLASSIC NEXT CI', COLOR: SHERWIN WILLIAMS, CLOAK GREY
- 06 'STO PANEL CLASSIC NEXT CI', COLOR: SHERWIN WILLIAMS, UMBER RUST
- 07 GROUND FACE CONCRETE MASONRY UNIT 8"X8"X16", INTEGRAL COLOR, STACK BOND
- 08 GARAGE SCREENING - PERFORATED METAL PANELS, SILVER COLOR, 50% OPEN
- 09 GARAGE SCREENING - VERTICAL ALUMINUM FINS, SILVER COLOR
- 10 ALUMINUM STOREFRONT WINDOWS, MULLIONS: CLEAR ANODIZED, GLAZING: SOLARBAN 70, CLEAR COLOR
- 11 SITE FENCING - REFER TO LANDSCAPE
- 12 CONCRETE COLUMN, REFER TO STRUCTURAL
- 13 GLASS GUARD RAIL, GLAZING: COLOR CLEAR
- 14 SLIDING GATES - PAINTED METAL PANELS ON STEEL FRAMES, 8'-0" TALL
- 15 CONCRETE PT SLAB
- 16 GARAGE SCREENING - PERFORATED PANELS, DARK GREY COLOR, 50% OPEN
- 17 BUILDING ADDRESS NUMERALS ALUMINUM
- 18 ALUMINUM LOUVERS, PAINTED / COATED TO MATCH ADJACENT WALL SURFACE OR WINDOW SYSTEM
- 19 WALL MOUNTED LINEAR LIGHT FIXTURE, B.O.D. BEGA 44 418 WALL LUMINAIRE
- 20 WALL MOUNTED LIGHT FIXTURE, B.O.D. BEGA 24 087 WALL LUMINAIRE
- 21 GARAGE SCREENING - METAL PANELS, SILVER COLOR, NO PERFORATION, MOUNTED FLAT ON WALL
- 22 METAL PANELS, COLOR TO MATCH SHERWIN WILLIAMS 'UMBER RUST', NO PERFORATION

Provide primary building colors and materials with a light reflectance value of 75 percent or less.

28. A minimum of the first three (3) feet of each parking structure level (ground floor and above grade) must be screened with a 100% opaque material, which shall be finished to complement the building design.

29. If provided, roof access shall be from the interior of the building. Do not expose roof access to public view.
30. Conceal roof drainage system within the interior of the building.
31. Exterior vents shall be architecturally integrated with the adjacent materials and matching colors specified on each elevation.
32. Incorporate lighting, address signs, and incidental equipment attachments (alarm klaxons, security cameras, etc.) where exposed into the design of the building elevations. Exposed conduit, piping, or related materials is not permitted.
33. Locate the electrical service entrance section (S.E.S.) inside the building or inside a secure yard that is concealed from public view.
34. Upper/lower divided glazing panels in exterior windows at grade level, where lower glass panes are part of a divided pane glass curtain-wall system, shall be permitted only if laminated glazing at these locations is provided.

Lighting

35. This project shall follow requirements of ZDC Part 4, Chapter 8, Lighting, unless otherwise conditioned.
36. Illuminate building entrances from dusk to dawn to assist with visual surveillance at these locations.
37. **Existing streetlight poles within the right-of-way along 7th Street shall be maintained and proposed street trees shall be placed to avoid conflicts with the poles.**
38. **Provide new LED fixtures on existing streetlight poles.**

Landscape

39. Arterial street trees shall be a minimum of 36" box specimens and a minimum of 1 ½" caliper trunk.
40. Irrigation notes:
 - a. Provide dedicated landscape water meter.
 - b. Provide pipe distribution system of buried rigid (polyvinylchloride), not flexible (polyethylene). Use of schedule 40 PVC mainline and class 315 PVC ½" feeder line is acceptable. Class 200 PVC feeder line may be used for sizes greater than ½". Provide details of water distribution system.
 - c. Locate valve controller in a vandal resistant housing.
 - d. Hardwire power source to controller (a receptacle connection is not allowed).
 - e. Controller valve wire conduit may be exposed if the controller remains in the mechanical yard.
41. Include requirement to de-compact soil in planting areas on site and in public right of way and remove construction debris from planting areas prior to landscape installation.
42. Top dress planting areas with a rock or decomposed granite application. Provide rock or decomposed granite of 2" uniform thickness. Provide pre-emergence weed control application and do not underlay rock or decomposed granite application with plastic.

Building Address

43. Verify property address and submit a PDF copy of the site plan with unit floor plans for permanent addressing to permitcenter@tempe.gov prior to submittal of construction documents.
44. Provide address sign(s) on the building elevation facing the street to which the property is identified.
 - a. Conform to the following for building address signs:
 - 1) Provide street number only, not the street name
 - 2) Compose of 12" high, individual mount, metal reverse pan channel characters.

- 3) Self-illuminated or dedicated light source.
 - 4) On multi-story buildings, locate no higher than the second level.
 - 5) Coordinate address signs with trees, vines, or other landscaping, to avoid any potential visual obstruction.
 - 6) Do not affix numbers or letters to elevation that might be mistaken for the address.
- b. Utility meters shall utilize a minimum 1" number height in accordance with the applicable electrical code and utility company standards.
 - c. Provide one address number on the roof of the building. Orient numbers to be read from the south.
 - 1) Include street address number in 6'-0" high characters on one line and street name in 3'-0" high characters on a second line immediately below the first.
 - 2) Provide high contrast sign, either black characters on a light surface or white characters on a black field that is painted on a horizontal plane on the roof. Coordinate roof sign with roof membrane so membrane is not compromised.
 - 3) Do not illuminate roof address.

CODE/ORDINANCE REQUIREMENTS:

THE BULLETED ITEMS REFER TO EXISTING CODE OR ORDINANCES THAT PLANNING STAFF OBSERVES ARE PERTINENT TO THIS CASE. THE BULLET ITEMS ARE INCLUDED TO ALERT THE DESIGN TEAM AND ASSIST IN OBTAINING A BUILDING PERMIT AND ARE NOT AN EXHAUSTIVE LIST.

SITE PLAN REVIEW: Verify all comments by all departments on each Preliminary Site Plan Review. If questions arise related to specific comments, they should be directed to the appropriate department, and any necessary modifications coordinated with all concerned parties, prior to application for building permit. Construction Documents submitted to the Building Safety Division will be reviewed by planning staff to ensure consistency with this Design Review approval prior to issuance of building permits.

DEADLINE: Development plan approval shall be void if the development is not commenced or if an application for a building permit has not been submitted, whichever is applicable, within twelve (12) months after the approval is granted or within the time stipulated by the decision-making body. A complete building permit application shall be made on or before two (2) years from the date of city council approval or within a time stipulated as a condition of approval, when development plan review application is processed concurrently with a PAD Overlay District. The period of approval is extended upon the time review limitations set forth for building permit applications, pursuant to Tempe Building Safety Administrative Code, Section 8-104.15. An expiration of the building permit application will result in expiration of the development plan.

STANDARD DETAILS:

- Access to Tempe Supplement to the M.A.G. Uniform Standard Details and Specifications for Public Works Construction, at this link: <http://www.tempe.gov/city-hall/public-works/engineering/standards-details> or purchase book from the Public Works Engineering Division.
- Access to refuse enclosure details DS116 and DS118 and all other Development Services forms at this link: <http://www.tempe.gov/city-hall/community-development/building-safety/applications-forms>. The enclosure details are under Civil Engineering & Right of Way.

BASIS OF BUILDING HEIGHT: Measure height of buildings from top of curb at a point adjacent to the center of the front property line.

MECHANICAL SCREENING: All roof mounted mechanical equipment shall be concealed on all sides by elements that are an integral part of the building design and are equal to or greater in height than the mechanical equipment. Ground-mounted equipment may be screened using a masonry wall or other durable material as approved through development plan review.

FEDERAL AVIATION ADMINISTRATION: Applicant/Developer proposing construction or alterations which may affect navigable air space is responsible to submit a Notice of Proposed Construction or Alteration - Off Airport form to the Federal Aviation Administration (FAA) and provide documentation of building height clearance prior to issuance of building permits. Per the FAA, filing shall be done a minimum of 45 days prior to construction. For additional information visit the Federal Aviation Administration, Obstruction Evaluation/Airport Airspace Analysis (OE/AAA) website at <https://oeaaa.faa.gov/oeaaa/external/portal.jsp>.

COMMUNICATIONS:

- Provide emergency radio amplification for the combined building and garage area in excess of 50,000 sf. Amplification will allow Police and Fire personnel to communicate in the buildings during a catastrophe. Refer to this link: <http://www.tempe.gov/home/showdocument?id=30871>. Contact the Information Technology Division to discuss size and materials of the buildings and to verify radio amplification requirements.
- For building height in excess of 50'-0", design top of building and parapet to allow cellular communications providers to incorporate antenna within the building architecture so future installations may be concealed with little or no building elevation modification.

WATER CONSERVATION AND EFFICIENCY: (Residential and parks are exempt, commercial and mixed use are not exempt). As required in [Tempe City Code 33-140 - 142](#), all new non-residential development projects are required to submit a Water Conservation Report that details potential water use, for review and approval by the Municipal Utilities Department, prior to building permit issuance. For a report template and more information, visit the [commercial water conservation webpage](#).

HISTORIC PRESERVATION: State and federal laws apply to the discovery of features or artifacts during site excavation (typically, the discovery of ancestral (human) remains or associated funerary objects). Arizona Revised Statutes [§ 41-865](#) stipulates that "any landowner with intention to disturb human remains or having unintentionally disturbed human remains shall immediately cease any activity in the vicinity of the remains and shall notify the Arizona State Museum Repatriation Office of the encounter. Any human remains and funerary objects shall not be further disturbed without obtaining written permission from the Repatriation Office." Additional information about requirements related to encountering and disturbing ancestral (human) remains and funerary objects on private land can be found on the Arizona State Museum [website](#). While not required, applicants are encouraged to enlist the services of a qualified archaeological firm to conduct monitoring during ground-disturbing activity on private property that is Archaeologically Sensitive (AS). Contact the Historic Preservation Officer with general questions.

POLICE DEPARTMENT SECURITY REQUIREMENTS:

- Design building entrance(s) to maximize visual surveillance of vicinity. Limit height of walls or landscape materials, and design columns or corners to discourage ambush.
- Maintain distances of 20'-0" or greater between a pedestrian path of travel and any hidden area to allow for increased reaction time and safety.
- Follow the design guidelines listed under appendix A of the Zoning and Development Code. In particular, reference the CPTED principal listed under A-II Building Design Guidelines (C) as it relates to the location of pedestrian environments and places of concealment. Provide method of override access for Police Department (punch pad or similar) to controlled access areas including pool, clubhouse or other gated common areas.
- Refer to Tempe City Code Section 26-70 Security Plans.
- Provide a security vision panel at service and exit doors (except to rarely accessed equipment rooms) with a 3" wide, high strength plastic or laminated glass window, located between 43" and 66" from the bottom edge of the door.
- The building will be required to have a Security Plan on file with the Tempe Police Department per Tempe City Code 26-70.

TRAFFIC ENGINEERING:

- Provide 8'-0" wide public sidewalk along arterial roadways, or as required by Traffic Engineering Design Criteria and Standard Details.
- Incorporate brick sidewalks for all off-site pedestrian paving. Follow City of Tempe Public Works Department Detail T-353, when designing all sidewalk areas in the Right-of-Way. Alternative paver materials may be considered subject to review, and approval, by the Engineering and Planning Departments. Any alternative patterns should be used in small amounts to create accent areas at entrances, or to demarcate architectural features of the building. Do not propose a wholesale change of material. These materials shall be compatible with the Americans with Disabilities Act, ADA, and the Building Code.

- Construct driveways in public right of way in conformance with Standard Detail T-320. Alternatively, the installation of driveways with return type curbs as indicated, similar to Standard Detail T-319, requires permission of Public Works, Traffic Engineering.
- Correctly indicate clear vision triangles at driveways on the site and landscape plans. Identify speed limits for adjacent streets at the site frontages. Begin sight triangle in driveways at point 15'-0" from face of curb. Consult Intersection Sight Distance memo, available from Traffic Engineering if needed www.tempe.gov/index.aspx?page=801. Do not locate site furnishings, screen walls or other visual obstructions over 2'-0" tall (except canopy trees are allowed) within each clear vision triangle.

FIRE:

- Clearly define the fire lanes. Ensure that there is at least a 20'-0" horizontal width, and a 14'-0" vertical clearance from the fire lane surface to the underside of tree canopies or overhead structures. Layout and details of fire lanes are subject to Fire Department approval.
- Provide a fire command room(s) on the ground floor of the building(s). Verify size and location with Fire Department.

CIVIL ENGINEERING:

- An Encroachment Permit or License Agreement must be obtained from the City for any projections into the right of way or crossing of a public utility easement, prior to submittal of construction documents for building permit.
- Maintain a minimum clear distance of twenty-four (24) feet between the sidewalk level and any overhead structure.
- Any new or existing overhead utilities (if any) on or adjacent to site must be placed underground, including street crossings, per City of Tempe Code, Section 25-120 thru 25-126 & Ord # 88.85 except for transmission lines (greater than 12.5 kv).
- Coordinate site layout with utility provider(s) to provide adequate access easement(s).
- Clearly indicate property lines, the dimensional relation of the buildings to the property lines and the separation of the buildings from each other.
- Verify location of any easements, or property restrictions, to ensure no conflict exists with the site layout or foundation design.
- The site is within an Alternative Retention Criteria Area. Verify specific design considerations with the Engineering Department.

SOLID WASTE SERVICES:

- Contact the Solid Waste Division to verify that vehicle maneuvering and access to the enclosure is adequate. Refuse staging and collection must be on site; no backing onto or off of streets, alleys or paths of circulation.
- Develop strategy for recycling collection and pick-up from site. Roll-outs may be allowed for recycled materials. Coordinate storage area for recycling containers with overall site and landscape layout.
- Containers must be out for collection by 6:00 a.m. on service days.

PARKING SPACES:

- Verify conformance of accessible vehicle parking to the Americans with Disabilities Act and the Code of Federal Regulations Implementing the Act. Refer to Building Safety ADA Accessible Parking Spaces Marking/Signage on Private Development details.
- At parking areas, provide demarcated accessible aisle for disabled parking.
- Distribute bike parking areas nearest to main entrance(s). Provide parking loop/rack per standard detail T-578. Provide 2'-0" by 6'-0" individual bicycle parking spaces. One loop may be used to separate two bike parking spaces. Provide clearance between bike spaces and adjacent walkway to allow bike maneuvering in and out of space without interfering with pedestrians, landscape materials or vehicles nearby.

ZONING AND DEVELOPMENT CODE:

- Specific requirements of the **Zoning and Development Code** (ZDC) are not listed as a condition of approval but will apply to any application. To avoid unnecessary review time and reduce the potential for multiple plan check submittals, become familiar with the ZDC. Access the ZDC through www.tempe.gov/zoning or purchase from Community Development.

LIGHTING:

- Design site security lighting in accordance with requirements of ZDC Part 4 Chapter 8 (Lighting) and ZDC Appendix E (Photometric Plan).
- Indicate the location of all exterior light fixtures on the site, landscape and photometric plans. Avoid conflicts between lights and trees or other site features in order to maintain illumination levels for exterior lighting.

LANDSCAPE:

- Trees shall be planted a minimum of 16'-0" from any existing or proposed public utility lines. The tree planting separation requirements may be reduced to no less than 8'-0" from utility lines upon the installation of a linear root barrier. Per Detail T-460, the root barrier shall be a continuous material, a minimum of 0.08" thick, installed to a minimum depth of 4'-0" below grade. The root barrier shall extend 6'-0" on either side of the tree parallel to the utility line for a minimum length of 12'-0". Final approval is subject to determination by the Public Works, Water Utilities Division.
- Prepare an existing plant inventory for the site and adjacent street frontages. The inventory may be prepared by the Landscape Architect or a plant salvage specialist. Note original locations and species of native and "protected" trees and other plants on site. Move, preserve in place, or demolish native or "protected" trees and plants per State of Arizona Agricultural Department standards. File Notice of Intent to Clear Land with the Agricultural Department. Notice of Intent to Clear Land form is available at <https://agriculture.az.gov/plantsproduce/native-plants>. Follow the link to "applications to move a native plant" to "notice of intent to clear land".

SIGNS: Separate plan review process is required for signs in accordance with requirements of ZDC Part 4 Chapter 9 (Signs). Refer to www.tempe.gov/signs.

DUST CONTROL: Any operation capable of generating dust, include, but not limited to, land clearing, earth moving, excavating, construction, demolition and other similar operations, that disturbs 0.10 acres (4,356 square feet) or more shall require a dust control permit from the Maricopa County Air Quality Department (MCAQD). Contact MCAQD at <http://www.maricopa.gov/aq/>.

HISTORY & FACTS:

February 2, 1960	The Board of Adjustment approved a parking variance for the Newman Center from 36 spaces to 26 spaces.
September 24, 1980	The Board of Adjustment (A-80-9.8) approved a Use Permit to operate a restaurant and a Variance to reduce the required number of parking spaces from 46 to 26 in the Central Commercial District at the site located at 706 South College Avenue.
June 21, 1989	Design Review Board approved a new courtyard site plan and landscape plan for the Newman Center, subject to conditions.
September 19, 1996	The City Council approved the requests for a Use Permit to allow an existing restaurant to expand by 667 s.f. for outside dining in the CCD District and Variances to 1) reduce the minimum required parking from 49 to 25 spaces the entire site and 2) allow non-conforming conditions of parking area to remain intact for by College Street Deli (SIP-96.75) located at 706 South College Avenue.
January 20, 2000	The City Council approved the designation of the Old St. Mary's Church as a historic property.
February 19, 2002	The Hearing Officer approved a Use Permit to allow the retail sale of clothing and accessories for V-Underground (BA020018) located at 714 South College Avenue.

February 7, 2006	The Redevelopment Review Commission approved ALL SAINTS CATHOLIC NEWMAN CENTER (RRC06001) for Development Plan approval of a new two-story social hall, day chapel, and sanctuary (34,936.83 s.f.) including building elevations, site plan and landscape plan and a Use Permit Development Standard to increase the maximum allowable height for a structure by 20%, from 50 feet to 60 feet, located at 230 East University Drive., located at 230 East University Drive.
February 10, 2006	Development Services Department approved the request for a shared parking model to allow 27 parking spaces on-site with off-site parking for the All Saints Catholic Newman Center, for the addition of a new sanctuary and chapel, located at 230 East University Drive.
October 11, 2007	The Historic Preservation Commission recommended approval of the Planned Area Development Overlay request for ALL SAINTS NEWMAN CENTER STUDENT HOUSING related to preservation review of the historic Old St. Mary's Church.
February 12, 2008	Development Review Commission recommended approval of ALL SAINTS NEWMAN CENTER STUDENT HOUSING (PL070404) with a modified condition that would allow a 270' building. (4-2 vote)
March 20, 2008	City Council approved the request for a Planned Area Development Overlay for ALL SAINTS NEWMAN CENTER STUDENT HOUSING (PL070404) for a mixed-use development consisting of a twenty-two (22) story building for student housing, worship hall and chapel within approximately 260,000 sq. ft. of building area located at 230 East University Drive.
October 14, 2010	Historic Preservation Commission approved this request for the ALL SAINTS CATHOLIC NEWMAN CENTER building in context with preserving the historic building on site. This item was conditionally approved by the Commission.
December 14, 2010	The Development Review Commission approved the request by ALL SAINTS CATHOLIC NEWMAN CENTER (PL100304) for a new chapel building with offices, social hall, classrooms, and residence within approximately 34,300 s.f. of building area, while maintaining the existing church on approximately .72 acres located at 230 East University Drive.
April 28, 2011	The City Council approved the request by ALL SAINTS CATHOLIC NEWMAN CENTER (PL100304) for a final subdivision plat for one (1) lot on .84 acres.
January 21, 2016	The Historic Preservation Commission approved a certificate of appropriateness for THE MAXWELL (HP121015A / PL150419), located at 712 S. College Avenue.
June 23, 2016	The City Council denied the Planned Area Development Overlay and Development Plan Review for NEWMAN CENTER / THE MAXWELL ON COLLEGE consisting of a new mixed-use development containing 295 dwelling units, restaurant, retail, office, classroom, and church uses, located at 712 South College Avenue.
March 8, 2023	The applicant held a neighborhood meeting.
August 22, 2023	The Development Plan Review and Planned Area Development Overlay request for 211 E 7 th STREET (PL220305) is scheduled to heard by the Development Review Commission.

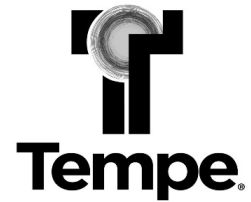
September 7, 2023 These requests are scheduled for the introduction and first City Council public hearing.

September 28, 2023 These requests are scheduled for the second City Council public hearing

ZONING AND DEVELOPMENT CODE REFERENCE:

Section 6-305, Planned Area Development (PAD) Overlay districts

Section 6-306, Development Plan Review



DEVELOPMENT PROJECT FILE

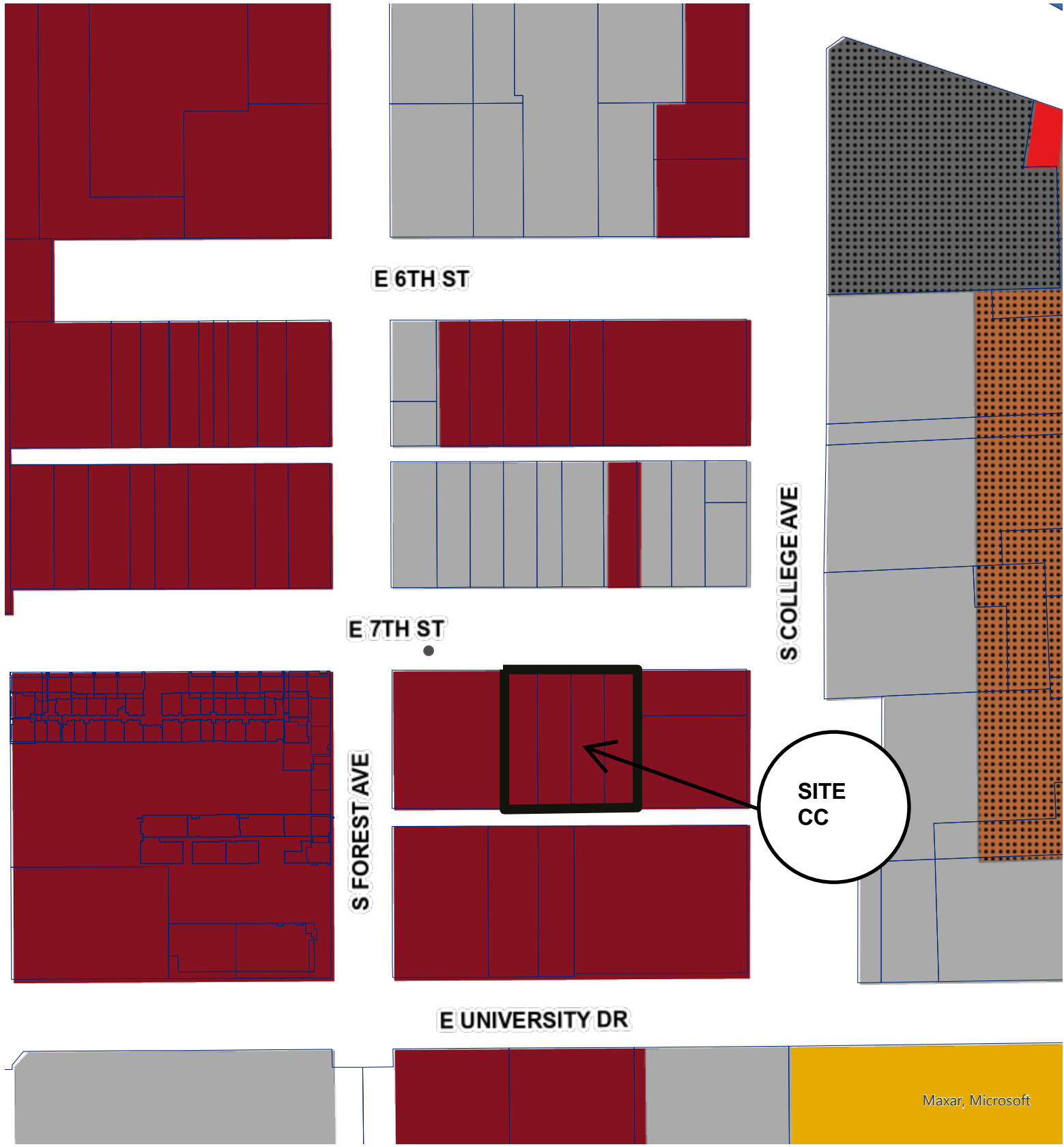
for





211 E. 7TH STREET
(PL220305)




ATTACHMENTS:

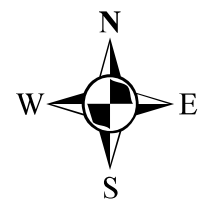
- 1-4. Site Context (Location Map, Aerial and Aerial with Site Plan Overlay, Site Photos)
- 5-17. Applicant's Letter of Explanation
- 18-19. Proposed Planned Area Development Overlay
- 20-28. Site Design (Site Plan, Landscape Plan, and Underground Utility and Lighting Plan)
- 29-40. Building Design (Blackline/Color Elevations, Sections, Renderings, Material Samples, Floor Plans, and Unit Plans)
- 41-42. Neighborhood Meeting Summary
- 43-55. Supplemental Information
 - Refuse Plan
 - Parking Management Plan
 - Traffic Impact Study Executive Summary
 - Affordable Housing Impact Statement
 - Waiver of Rights and Remedies Template

211 E 7th Street



-  General Industrial District (GID)
-  City Center (CC)
-  Mixed Use High (MU-4)
-  Mixed Use Educational (MU-ED)

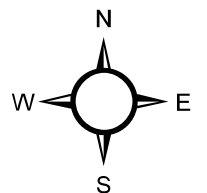
-  Commercial Shopping and Services (CSS)
-  Single-Family Residential (R1-6)
-  Multi-Family Residential Limited (R-3)



211 E 7th Street



Aerial Map





13 SW LOOKING NORTH
SCALE: 1" = 50'-0"



09 SE LOOKING NORTH
SCALE: 1" = 50'-0"



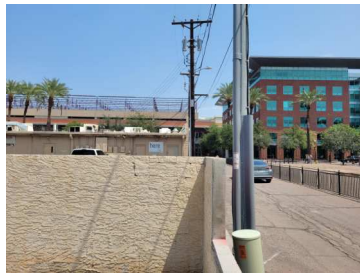
05 NE LOOKING NORTH
SCALE: 1" = 50'-0"



01 NW LOOKING NORTH
SCALE: 1" = 50'-0"



14 SW LOOKING EAST
SCALE: 1" = 50'-0"



10 SE LOOKING EAST
SCALE: 1" = 50'-0"



06 NE LOOKING EAST
SCALE: 1" = 50'-0"



02 NW LOOKING EAST
SCALE: 1" = 50'-0"



15 SW LOOKING SOUTH
SCALE: 1" = 50'-0"



11 SE LOOKING SOUTH
SCALE: 1" = 50'-0"



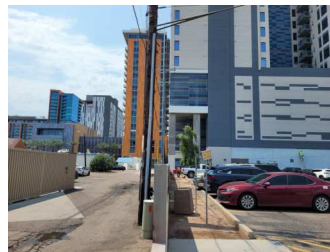
07 NE LOOKING SOUTH
SCALE: 1" = 50'-0"



03 NW LOOKING SOUTH
SCALE: 1" = 50'-0"



16 SW LOOKING WEST
SCALE: 1" = 50'-0"



12 SE LOOKING WEST
SCALE: 1" = 50'-0"



08 NE LOOKING WEST
SCALE: 1" = 50'-0"



04 NW LOOKING WEST
SCALE: 1" = 50'-0"

TRINITAS
211 E. 7th Street, Tempe, AZ

Gensler

2575 E. Camelback Rd.
Suite 175
Phoenix, AZ 85016
United States
Tel: 602.523.4900
Fax: 602.623.4949

Date	Description
06.20.22	PRE-APPLICATION

Seal / Signature

**NOT FOR
CONSTRUCTION**

Project Name
TRINITAS 217 E. 7TH
STREET

Project Number
57.8218.000

Description
EXISTING CONDITIONS

Scale
1" = 50'-0"

PA3.000

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Trinitas Ventures

211 E 7th Street, Tempe, Arizona 85281



Submitted: July 17, 2023

DEVELOPMENT TEAM

OWNER

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704 College Avenue
Tempe, Arizona 85281

DEVELOPER

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LANDSCAPE DESIGN

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Michelle Shelor
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Phoenix, AZ 85014

REQUEST

The purpose of this request is to establish a PAD and Major Development Plan Review for a site .61-acre property zoned CC TOD (the "Site"). The Site is located between S. Forest Avenue (to the west), S. College Avenue (to the east), and is north of E. University Drive in Tempe, Arizona (the "Site"). More specifically, the requests are as follows:

- A Planned Area Development Overlay (PAD) to establish development standards; and
- Development Plan Review approval for site plan, building elevations and landscape plan.

As shown in the aerial below, the Site is comprised of four land parcels, all owned by College Enterprises Inc., which will be assembled as part of the proposed development.

This proposal aims to respond to the growing demand in the City for greater density and housing by developing the Site as an urban infill multi-family development with associated amenities and featuring 380 apartments, associated parking, and amenities while activating the pedestrian corridor with retail, food, and beverage uses.



SURROUNDING CONTEXT

The Site is located between S. Forest Avenue (to the west), S. College Avenue (to the east), and is north of E. University Drive in Tempe, Arizona. All four parcels that comprise the Site are owned by College Enterprises Inc. and are currently being utilized as public parking.

To the west of the Site is Atmosphere, a 20-story high-rise student housing complex, zoned CC. To the north, across 7th Street, is the College Avenue Commons, an Arizona State University building, zoned Mixed-Use Educational (“MU-ED”). To the east is a retail store, zoned CC. To the south is a church and adjoining parking lot, zoned CC. All forementioned properties are subject to the Transportation Overlay District.

SITE DEVELOPMENT PLAN

The proposed development is consistent and compatible with the existing and planned uses in the surrounding area. The Site is located just north of Arizona State University’s Tempe Campus and in the heart of Tempe’s downtown area.

The proposed development will improve the Site by constructing a 28 story multi-family high-rise apartment building. The upscale development will fit the unique housing needs of the City of Tempe by providing a mix of studio, one-, two-, and three-bedroom apartments, totaling approximately 380 residential units. Residents of the development will have access to rooftop amenities and a mid-level garden to break up the development’s massing. The development will also include architecturally screened parking, designating approximately 313 vehicular parking spaces and 401 bicycle parking space to the Site. The proposed development will serve to activate the street by dedicating a portion of the ground floor to retail. The retail space will fill the pedestrian corridor gap between the Atmosphere development to the west of the site and the existing retail store to the east of the site.

Below is a summary of the requested approvals and the lots that have been included in the applications.

- A Planned Area Development Overlay (PAD) to establish development standards; and
- Development Plan Review approval for site plan, building elevations and landscape plan.

The main architectural vision seeks to infill a current gap along the 7th Street pedestrian corridor and create a vibrant/pedestrian friendly neighborhood by creating variety in building massing and façade materials that create visual interest and activate the street through enhanced storefronts.

GENERAL PLAN CONFORMANCE

The Site is presently used as a parking lot and is zoned City Center (“CC”) with a Transportation Overlay District. On the 2040 General Plan, the Site has a projected land use designation of Mixed Use and a projected density of High Density – Urban Core (more than 65 du/ac).

The proposed development anticipates a density of 623 dwelling units per acre, which conforms with General Plan’s High Density – Urban Core requirement of more than 65 du/ac.

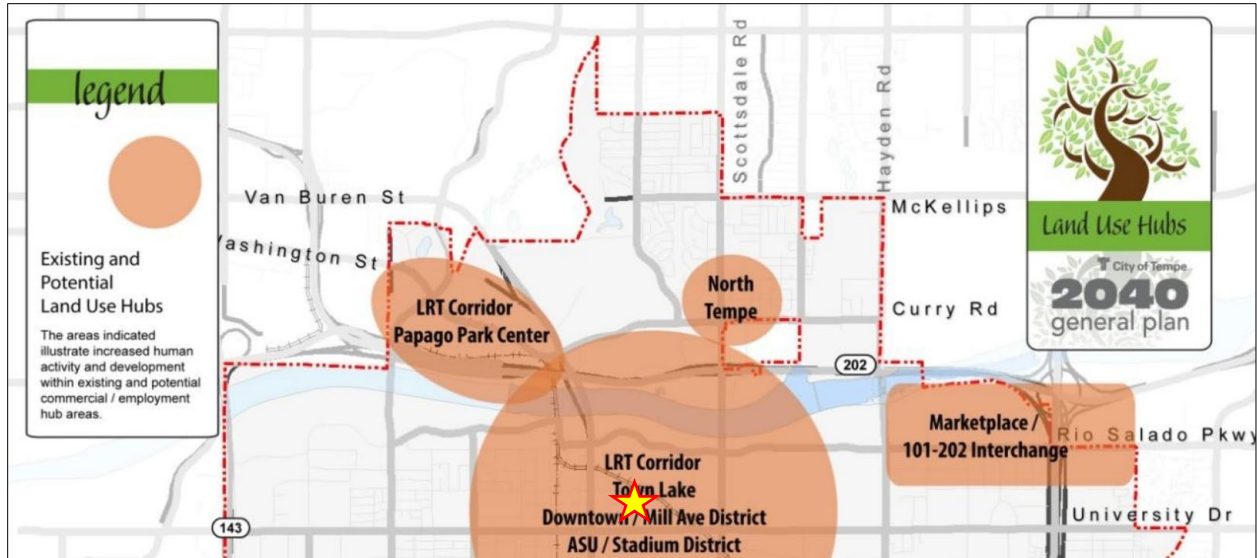
This proposal conforms to the overall vision established by the 2040 General Plan and encourages the achievement of a number of specific goals and principles of the plan, as discussed below:

Land Use Objective #1: Establish development of multiple hubs with higher density cores serving the surrounding neighborhoods as its mixed-use urban activity center.

Strategy #1: Intensify higher density mixed-use redevelopment within hubs.

Strategy #2: Promote development within the hubs to provide the housing, access to open space, goods, services and activities that reflect the neighboring areas served and support the 20-minute city.

Response: As shown in the graphic below, this Site is mostly located within the LRT Corridor, Town Lake, Downtown/ Mill Ave District, ASU/ Stadium District land use hub, which is designated as a first-tier hub. These hubs feature increased human activity. Development here needs to ensure adequate and diverse housing stock to support the existing commercial and employment land uses. This hub features a mix of commercial, residential, entertainment, office, and industrial land uses. Additional residential developments are needed to balance the existing mix of land uses. A healthy and synergistic blend of land uses will reinforce Tempe as a 20-minute city.



City of Tempe General Plan 2040, pg. 16

Land Use Objective #2: Promote land use patterns that encourage long-term sustainability.

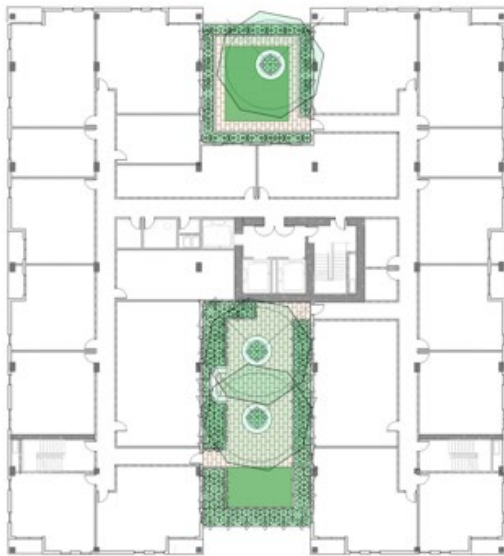
Strategy #3: Locate future development on infill sites.

Response: The project seeks to infill a current gap along the 7th Street pedestrian corridor with a multi-family project that advances a vibrant/pedestrian friendly residential neighborhood, creates visual interest, and activate the street through enhanced storefronts.

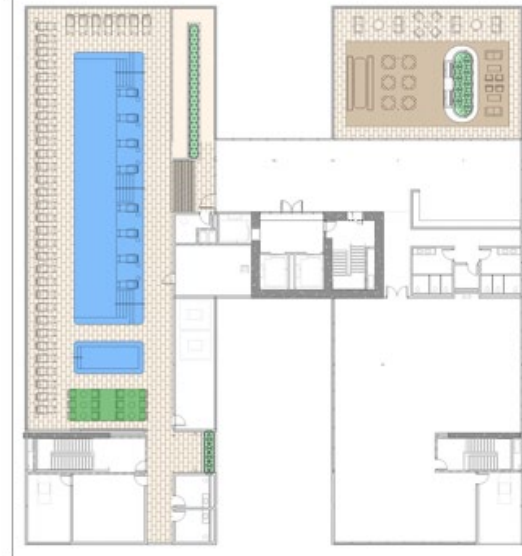
Land Use Objective #6: Promote compact, efficient infill development.

Strategy #4: Utilize compact infill development to contribute to healthy lifestyles for residents with the kind of development that will contribute to making Tempe a 20-minute city.

Response: This infill Site is currently utilized as a public parking lot. It is an appropriate location for a multi-family given the growing housing demand in the area. As seen below, the project activates the street through enhanced storefronts and dining, enhances landscaping and encourages residents of the development to venture outside by providing access to rooftop amenities and a mid-level garden and represents Tempe’s 20-minute city vision by providing 403 bicycle parking spaces to the Site.



Garden Level



Roof Plan

Community Design Objective #4: Encourage and enhance pedestrian movement.

Strategy #1: Provide pedestrian facilities that encourage people to walk to provide residents the opportunity to be more physically active and lead a healthy lifestyle.

Response: In addition to the adjacent pedestrian amenities noted above, the project includes 362 bicycle parking spaces, a shaded sidewalk, and other enhanced design features that encourage pedestrian comfort encouraging pedestrians to utilize alternative modes of transportation and thus, be more physically active and lead a healthy lifestyle. As an amenity to the residents, a bike wash and repair room will be provided to encourage the use of multi-modal transportation.

Redevelopment Objective #2: Prevent and eliminate slum and blight.

Strategy #1: Encourage reinvestment and redevelopment appropriate to a particular area.

Response: The Site is an underutilized, infill property that is the ideal location for redevelopment. It respects its context and will encourage reinvestment in the community and the growing downtown Tempe neighborhood.

DOWNTOWN TEMPE / RIO SALADO / ASU / NEIGHBORHOODS

The Downtown Tempe / Rio Salado / ASU / Neighborhoods Character Area Plan provides a cohesive vision for the efficient and consistent development of Tempe. Long-range goals outlined in the character area plan help to establish and preserve Tempe's unique identity, creating successful developments with a strong sense of place. The 211 E. 7th Street project promotes the achievement of many of the policies and guidelines established through the character area plan as outlined below.

Podium Level/Ground Floor: Provide covered walkways / arcades / galleries / forecourts throughout T.O.D.

The project incorporates deep awnings along 7th Street that provides a covered walkway to promote walkability. In addition to the awnings, street trees will be planted to provide vegetative shade.

Shade + Site Amenities: *Concentrate shade densities in areas of greatest need [i.e. transit areas, ground floors]*

The pedestrian scale of the development is enhanced by shaded walkways and articulated building massing that maximizes the solar orientation. These shaded areas created through the development will promote pedestrian comfort and walkability. The ground floor will also offer a commercial space that can be enjoyed by the community as a whole.

PATIO / OUTDOOR SEATING *Include a variety of seating and tables for people to sit alone or together.*

Response: As designed, the site contemplates a retail/restaurant user in the commercial space along 7th Street. There is an outdoor patio that is proposed adjacent to this commercial space. This space will be provided thermal comfort via the awnings and the proposed street trees.

DOWNTOWN COMMUNITY DESIGN PRINCIPLES- DOWNTOWN/MILL AVENUE DISTRICT

The Community Design Principles have been established to ensure quality development within the Downtown/Mill Avenue District. This policy acknowledges the area's unique qualities, identifies its distinctive characteristics and creates a vision for future development.

Articulation: *Lower Building Facades- Combine materials and details at a human scale while maintaining openness and accessibility.*

Response: The street level of the proposed building provides an active street scape with a storefront frontage type, which allows pedestrian visibility into the space. The glazing on the windows will be a maximum of 20%.

Innovation: Architecture- *Building design is about having style, whether or not a particular style is expressed*

As proposed, the building features articulation on all four sides of the building. There are many insets that allow for amenity areas. The largest inset occurs at the tenth floor, which allows for a resident amenity deck.

MILL + LAKE DISTRICT STREETScape PRINCIPLES + GUIDELINES

The Mill + Lake District Streetscape Principles + Guidelines were established to create a sense of place and ensure cohesive development within Downtown Tempe. These guidelines propose a balance between the historic buildings downtown and the new development.

Building Facades- *Emphasize ground floor building facades with awnings and overhangs which serve to “embrace” pedestrians, transparent windows with articulated entries to achieve “permeability” and interesting architectural details that catch the eye, project a comfortable human scale and engage the passer-by.*

Response: The proposed building is embracing the storefront building frontage type along 7th Street. The storefront glazing will allow pedestrian visibility into the commercial space. In addition, ample overhangs will be provided.



Trees- *Position trees for maximum shade of pedestrian routes and other hard surface areas for increased comfort and reduced heat island effect*

Response: As part of this proposal, street trees are proposed along 7th Street. The planned location of the street trees, in combination with the building awnings, will allow for maximum pedestrian shade along 7th Street.

Sidewalks: *Utilize a variety of paving materials, ranging from all brick on the Signature Street (Mill Avenue) to compatible combinations of materials, including brick of varying proportions elsewhere*

Response: To maintain the sense of place created by these guidelines, a combination of reclaimed brick pavers and permeable pavers are proposed along 7th Street. Within the reclaimed brick sidewalks, multiple tree grates will be provided to allow for the street tree plantings.

PLANNED AREA DEVELOPMENT

Located within downtown Tempe, Trinitas is situated to provide land uses that serve to further the long-range goals of the City and providing additional market-rate housing options. A Planned

Area Development (“PAD”) is proposed to establish standards as part of the CC TOC zoning proposal. The PAD proposes a maximum building height of 325 feet, maximum density of 623 dwelling units per acre, and 95 percent maximum lot coverage.

- 1. The development fulfills certain goals and objectives in the General Plan, and the principles and guidelines of other area policy plans. Performance considerations are established to fulfill those objectives.***

Response: As previously outlined in detail, this proposal furthers the goals and objectives defined within the 2040 General Plan and the Downtown Tempe/ Rio Salado/ ASU/ Neighborhood Character Area. These goals and objectives were taken into consideration before the design of the buildings took place, to ensure that the project will help Tempe achieve its long-range planning goals. Enhanced design features and luxury amenities are incorporated into this project to ensure that this is an asset to the community.

- 2. Standards requested through the PAD Overlay District shall take into consideration the location and context for the site for which the project is proposed.***

Response: The Site’s convenient location among supportive uses such as entertainment, retail, employment, and commercial land uses makes this development an ideal choice within the existing context. The appropriateness of this use at this location will reduce vehicle reliance, promote sustainability, and reinforce the importance of land use and transportation relationships. The proposal is consistent with the land use plan articulated in the 2040 Tempe General Plan, which stresses connectivity and higher-density mixed-use development within hubs and land use patterns that encourage long-term sustainability.

The specific PAD standards requested reflect the City’s stated objective to promote land use patterns that encourage long-term sustainability. This project ensures a mix of land uses including residential and commercial; is located on an infill site and includes open space and facilitates pedestrian travel and access to transit.

- 3. The development appropriately mitigates transitional impacts on the immediate surroundings.***

Response: This design is sensitive to its surroundings and the scale of the development is compatible with the existing context. Edge treatment is sensitive to the adjacent developments to ensure a smooth transition from one property to the next.

DEVELOPMENT PLAN REVIEW

New development should conform to a set of guidelines and standards, pursuant to Section 6-306.D of the Zoning and Development Code. This proposal responds to these standards, where applicable, and in many ways exceeds the requirements, and outlined below.

1. *Placement, form, and articulation of buildings and structures provide variety in streetscape.*

Response: The residential development wraps the parking garage to provide active residential uses on the street level elevations along E 7th Street. The buildings along E 7th Street are oriented towards the street, which contributes to an attractive streetscape. The building articulates through varying massing between the commercial and residential uses.

2. *Building design and orientation, together with landscape, combine to mitigate heat gain/retention while providing shade for energy conservation and human comfort.*

Response: The proposed development is oriented to maximize shade along the north side of the building where the public will engage with the building. It will also provide street plantings along 7th Street. The addition of street trees will help create a pleasant, shaded pedestrian experience.

3. *Materials are of a superior quality, providing detail appropriate with their location and function while complementing the surroundings.*

Response: The materials utilized on the project include concrete block, exposed cast-in-place concrete, fiber cement board, stucco, metal paneling, and aluminum windows. Materials were selected for their quality and durability. The material selections and colors have been selected to complement the surrounding developments in the area.

4. *Buildings, structures, and landscape elements are appropriately scaled, relative to the site and surroundings.*

Response: The proposed building height is 28 stories. This building height is consistent with the character of the street frontage in which they face and the vision for downtown Tempe.

- 5. Large building masses are sufficiently articulated so as to relieve monotony and create a sense of movement, resulting in a well-defined base and top, featuring an enhanced pedestrian experience at and near street level.***

Response: The design concept softens the overall building mass and monotony with varying building material and colors. Alternating these elements along with balconies provides a sense of scale and rhythm. The use of tall storefront windows at the base brings a sense of scale to the pedestrian experience.

- 6. Building facades provide architectural detail and interest overall with visibility at street level (in particular, special treatment of windows, entries and walkways with particular attention to proportionality, scale, materials, rhythm, etc.) while responding to varying climatic and contextual conditions.***

Response: The facades of the building are designed to create visual interest with materials, colors, articulation and design elements that provide light and shadow, material push and pulls, appropriate proportioned spaces, and visibility into the building. The front and public face of the building is optimized on the north elevation creating an opportunity for maximizing transparency and visibility at the street level. It is scaled to create a welcome entry and transition from the street and provides ample space for circulation and areas for outdoor seating. The elevations are designed to relate internal programming and materials were selected to create an elegant feel, while providing visual interest and beauty to the overall building. Scale with the design elements of the building was considered from the experience of someone seeing the building close by or from afar. The ground plane was also designed to build upon the immediate context.

- 7. Plans take into account pleasant and convenient access to multi-modal transportation options and support the potential for transit patronage.***

Response: The Site's proximity to current transit systems will provide convenient transit access for residents. The project also includes ample sidewalks along E 7th Street and around the entire perimeter for pedestrians to access from multiple directions.

- 8. Vehicular circulation is designed to minimize conflicts with pedestrian access and circulation, and with surrounding residential uses.***

Response: Varying paving patterns have been utilized to distinguish vehicular from pedestrian areas. Pedestrian access to the commercial portion of the Site occurs directly from the sidewalk along 7th Street.

- 9. Plans appropriately integrate Crime Prevention Through Environmental Design principles such as territoriality, natural surveillance, access control, activity support, and maintenance.***

PLANNED AREA DEVELOPMENT OVERLAY FOR TRINITAS

A PORTION OF THE SOUTHWEST QUARTER OF SECTION 15, TOWNSHIP 1 NORTH, RANGE 4 EAST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA

OWNER AUTHORIZATION

TRINITAS DEVELOPMENT, L.L.C.

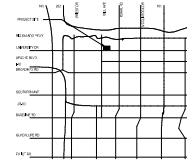
BY: _____
SIGNATURE DATE

ITS OWNER.

OWNER(S), DEVELOPER

TRINITAS DEVELOPMENT, L.L.C.
201 MAIN STREET SUITE 1000
LAFAYETTE, IN 47901

VICINITY MAP



ACKNOWLEDGEMENT

ON THIS _____ DAY OF _____ 20____ BEFORE ME, THE
UNDERSIGNED, PERSONALLY APPEARED MATT KLINZING, WHO
ACKNOWLEDGED HIMSELF TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE
INSTRUMENT WITHIN, AND WHO EXECUTED THE FOREGOING INSTRUMENT FOR THE
PURPOSES THEREIN CONTAINED IN WITNESS WHEREOF, I HERETO SET MY HAND
AND OFFICIAL SEAL.

BY: _____
NOTARY PUBLIC MY COMMISSION EXPIRES _____

LEGAL DESCRIPTION

LOTS 4, 5, 6 AND 7, BLOCK 13, TEMPE, ACCORDING TO BOOK 2 OF MAPS, PAGE 26
RECORDS OF MARICOPA COUNTY, ARIZONA BEING A PORTION OF THE SOUTHWEST
QUARTER OF SECTION 15 TOWNSHIP 1 NORTH, RANGE 4 EAST, OF THE GILA AND SALT
RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA
CONTAINING 26,448 SQUARE FEET OR 0.61 ACRES MORE OR LESS.

APPROVAL

APPROVED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF TEMPE ON THIS
_____ DAY OF _____ 20____

PROJECT DATA

DEVELOPMENT STANDARDS	CC TOD - CORRIDOR
GENERAL PLAN LAND USE	PAD PROVIDED
GENERAL PLAN RES. DENSITY	HIGH DENSITY URBAN CORE (1-650/HA)
ZONING	CC TOD - CORRIDOR
SITE AREA (NET)	26,400 SF (0.61 AC)
DWELLING QUANTITY	380 UNITS
STUDIO/MICRO	57 UNITS
1-BEDROOM	134 UNITS
2-BEDROOM	58 UNITS
3-BEDROOM	133 UNITS
DENSITY	623 U/AC
BUILDING HEIGHT	314'-0" (TOP OF MECH SCREEN)
	287'-0" (TOP OF ELEVATOR) 28- STORIES
	287'-0" (TOP OF PARAPET)
BUILDING LOT COVERAGE	85% (24,813 SF / 26,400 SF)
SITE LANDSCAPE AREA	11% (2,913 SF / 26,400 SF)
BUILDING SETBACKS	
FRONT (7TH STREET)	0'-0"
SIDE (EAST)	4'-0"
SIDE (WEST)	4'-0"
REAR (SOUTH)	0'-0"
BUILDING STEPBACK	YES
VEHICLE PARKING QUANTITY	
TOTAL REQUIRED (CC)	307 (INCLUDES 35 FOR THE NEWMAN CNTR)
COMMERCIAL, INDOOR	0 (LST 5,000 SF WAIVED; 1:500 THEREAFTER)
COMMERCIAL, OUTDOOR	0
STUDIO/MICRO	29 (0.5/BR * 57 BR)
1-BEDROOM	67.0 (0.5/BR * 134 BR)
2-BEDROOM	58.0 (0.5/BR * 116 BR)
3-BEDROOM	118 (0.3/BR * 393 BR)
GUEST	0.0 (NONE W/ COMMERCIAL USE)
TOTAL PROVIDED	303 (INCLUDES 7 ON-STREET)
BICYCLE PARKING QUANTITY	
TOTAL REQUIRED	401
COMMERCIAL, INDOOR	6.6 (LST 5,000 SF WAIVED; 1:500 THEREAFTER)
COMMERCIAL, OUTDOOR	0
STUDIO/MICRO	43 (0.75/UNIT * 57 UNITS)
1-BEDROOM	101 (0.75/UNIT * 134 UNITS)
2-BEDROOM	44 (0.75/UNIT * 58 UNITS)
3-BEDROOM	131 (1.0/UNIT * 133 UNITS)
GUEST	76 (0.20/UNIT * 380 UNITS)
TOTAL PROVIDED	401
USES (GROSS)	
RESIDENTIAL	514,650 SF
COMMERCIAL, INDOOR	3,813 SF
COMMERCIAL, OUTDOOR	249 SF
TOTAL BUILDING	517,910 SF

CONDITIONS OF APPROVAL

REC22131

TRINITAS
211 E. 7th Street, Tempe, AZ

Gensler

2575 E. Camelback Rd
Suite 175
Phoenix, AZ 85016
United States
Tel: 602.523.4900
Fax: 602.523.4949

Date Description

PAD220023

Seal / Signature

**NOT FOR
CONSTRUCTION**

Project Name
TRINITAS 217 E. 7TH
STREET

Project Number
57.8218.000

Description
PAD COVER SHEET

Scale
1" = 100'-0"

PA0.001

DS221100

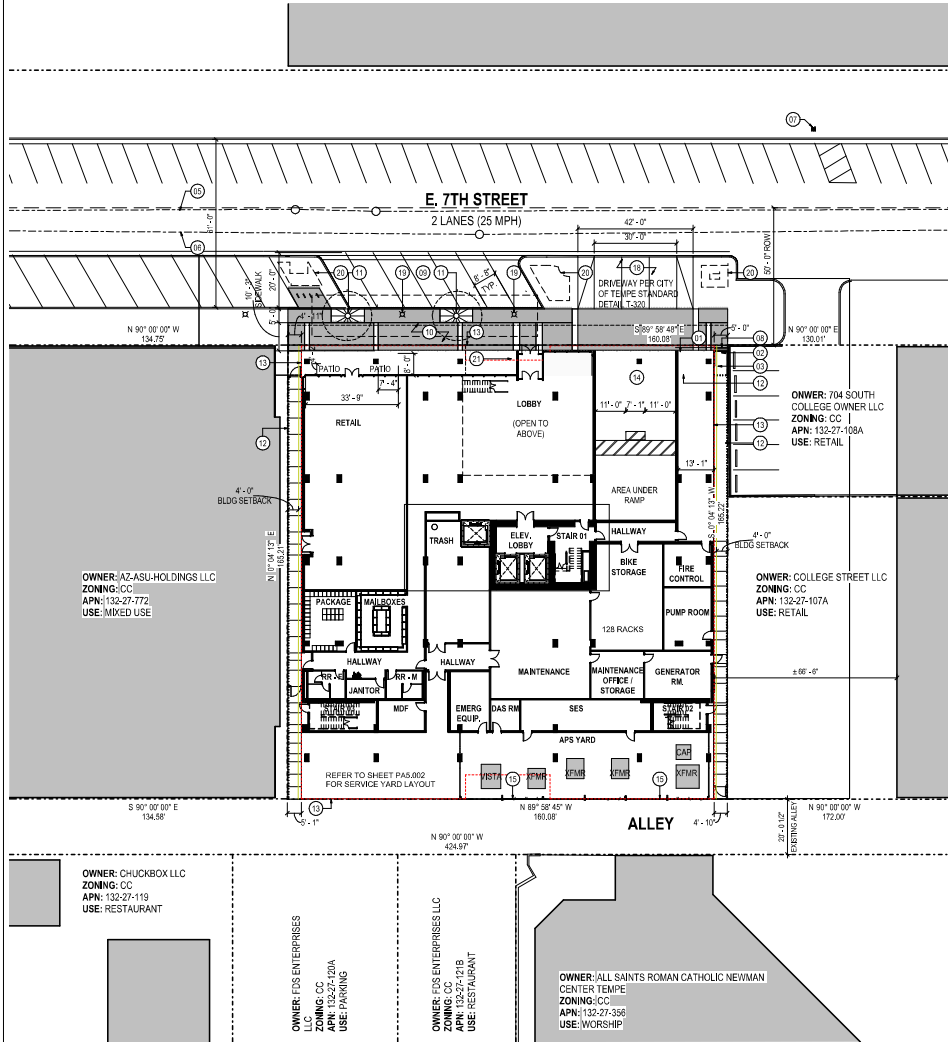
DS221100

PAD220023

REC22131

PLANNED AREA DEVELOPMENT OVERLAY FOR TRINITAS

A PORTION OF THE SOUTHWEST QUARTER OF SECTION 15, TOWNSHIP 1 NORTH, RANGE 4 EAST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA



20 SITE PLAN
Scale: 1" = 20'-0"
0' 20' 40' 60'

DEVELOPMENT STANDARDS	CC TOD - CORRIDOR
GENERAL PLAN LAND USE	PAD PROVIDED
GENERAL PLAN RES. DENSITY	HIGH DENSITY URBAN CORE (HSDUA)
ZONING	CC TOD - CORRIDOR
SITE AREA (NET)	26,400 SF (0.61 AC)
DWELLING QUANTITY	380 UNITS
STUDIO+MICRO	57 UNITS
1-BEDROOM	134 UNITS
2-BEDROOM	58 UNITS
3-BEDROOM	131 UNITS
DENSITY	623 DU/AC
BUILDING HEIGHT	314'-0" (TOP OF MECH SCREEN)
	287'-0" (TOP OF ELEVATOR) 28 - STORIES
BUILDING LOT COVERAGE	287'-0" (TOP OF PARAPET)
	95% (24,873 SF / 26,400 SF)
SITE LANDSCAPE AREA	11% (2,913 SF / 26,400 SF)
BUILDING SETBACKS	
FRONT (7TH STREET)	0'-0"
SIDE (EAST)	4'-0"
SIDE (WEST)	4'-0"
REAR (SOUTH)	0'-0"
BUILDING STEPBACK	YES
VEHICLE PARKING QUANTITY	
TOTAL REQUIRED (CC)	307 (INCLUDES 35 FOR THE NEWMAN CNTR)
COMMERCIAL, INDOOR	0 (1ST 5,000 SF WAIVED; 1:500 THEREAFTER)
COMMERCIAL, OUTDOOR	0
STUDIO+MICRO	29 (0.5/BR * 57 BR)
1-BEDROOM	67 (0.5/BR * 134 BR)
2-BEDROOM	58 (0.5/BR * 116 BR)
3-BEDROOM	118 (0.3/BR * 393 BR)
GUEST	0.0 (NONE W/ COMMERCIAL USE)
TOTAL PROVIDED	303 (INCLUDES 7 ON STREET)
BICYCLE PARKING QUANTITY	
TOTAL REQUIRED	401
COMMERCIAL, INDOOR	6.0 (1ST 5,000 SF WAIVED; 1:500 THEREAFTER)
COMMERCIAL, OUTDOOR	0
STUDIO+MICRO	43 (0.75/UNIT * 57 UNITS)
1-BEDROOM	101 (0.75/UNIT * 134 UNITS)
2-BEDROOM	44 (0.75/UNIT * 58 UNITS)
3-BEDROOM	131 (1.0/UNIT * 131 UNITS)
GUEST	76 (0.20/UNIT * 380 UNITS)
TOTAL PROVIDED	401
USES (GROSS)	
RESIDENTIAL	514,650 SF
COMMERCIAL, INDOOR	3,011 SF
COMMERCIAL, OUTDOOR	249 SF
TOTAL BUILDING	517,910 SF

SHEET NOTES

- FIRE DEPARTMENT CONNECTION, SEE CIVIL
- BACKFLOW PREVENTER, SEE CIVIL
- WATER METER, SEE CIVIL
- GREASE TRAP UNDER DRIVEWAY
- EXISTING STORM DRAIN LINE
- EXISTING SEWER LINE
- EXISTING FIRE HYDRANT
- SCREENING FOR BACK FLOW PREVENTER PER CITY OF TEMPE DETAIL T-32
- ANGLED ON-STREET PARKING, ALSO SEE CIVIL AND LANDSCAPE
- PERMEABLE PAVEMENT SYSTEM TO MATCH ADJACENT ATMOSPHERE PROPERTY, ALSO SEE LANDSCAPE
- TREE & TREE GRATE, ALSO SEE LANDSCAPE
- FENCE, VERTICAL STEEL PICKETS, PAINTED, 8'-0" TALL, ALSO SEE LANDSCAPE
- BUILDING OVERHANG ABOVE
- RAMP TO PARKING LEVELS
- SLIDING GATES @ UTILITY YARD, PAINTED STEEL FRAME WITH CORRUGATED METAL PANEL CLADDING, 8'-0" TALL
- SITE GATE, TO MATCH ADJACENT FENCE
- REFUSE BINS AND DUMPSTERS
- CONCRETE PAVEMENT, ALSO SEE LANDSCAPE AND CIVIL DRAWINGS
- EXISTING LIGHT POLE, TO BE RELOCATED TO NEW POSITION SHOWN, HERE, ALSO SEE LANDSCAPE'S CIVIL DRAWINGS
- CONTOUR LINES @ BODYSWALE
- KNOX BOX FOR EMERGENCY SERVICES ACCESS

REC22131

PAD220023

DS221100

TRINITAS
211 E. 7th Street, Tempe, AZ

Gensler

2575 E. Camelback Rd. Suite 175 Phoenix, AZ 85016 United States
Tel 602.523.4900 Fax 602.523.4949

Date	Description

Seal / Signature

NOT FOR CONSTRUCTION

Project Name
TRINITAS 217 E. 7TH STREET
Project Number
57.8218.000
Description
PAD SITE PLAN

Scale
3/64" = 1'-0"

PA0.002

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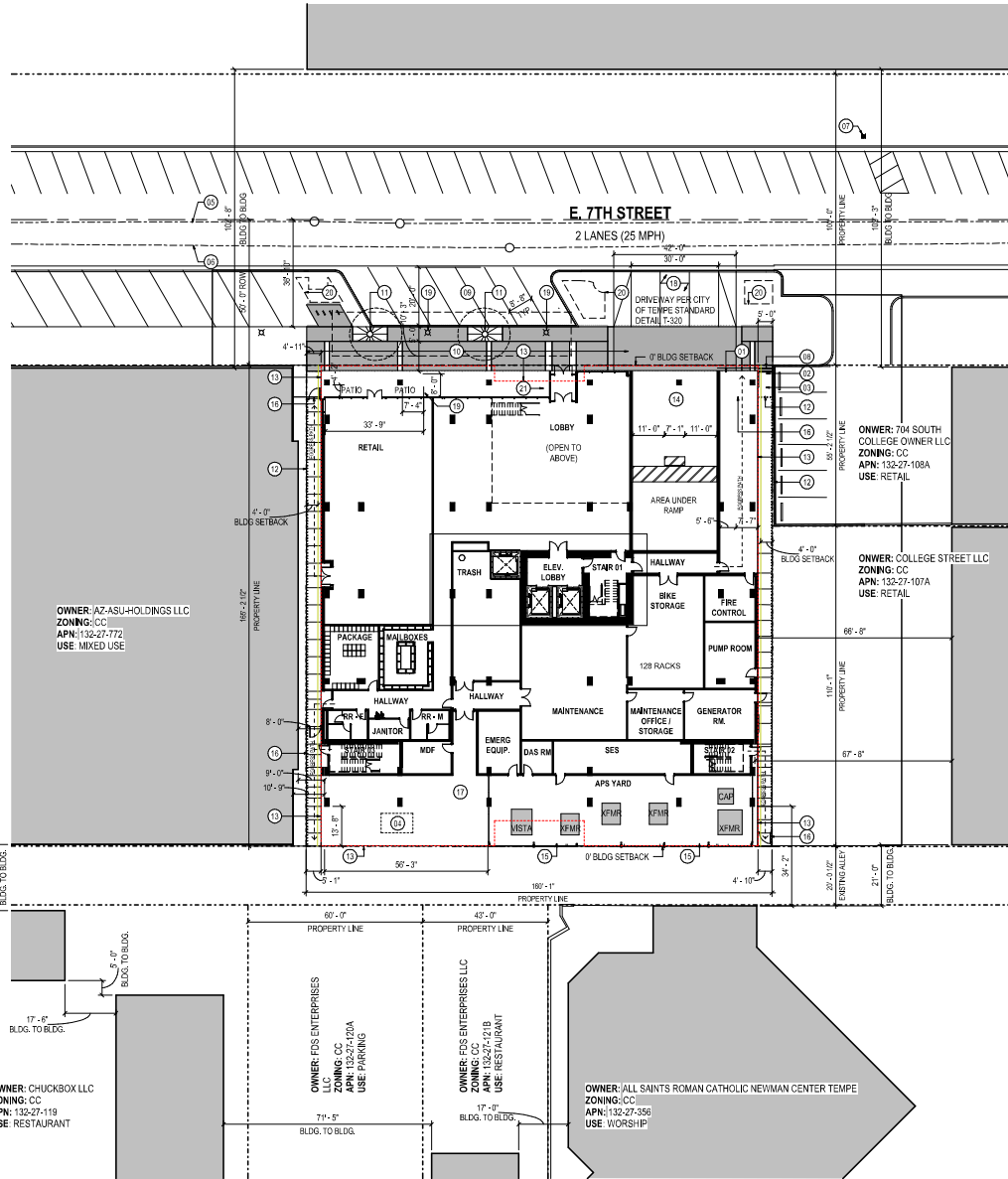
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DS221100

PAD220023

REC22131

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20 SITE PLAN - LEVEL 01
 Scale: 1" = 20' 0"

SHEET NOTES

- 01 FIRE DEPARTMENT CONNECTION, SEE CML
- 02 BACKFLOW PREVENTER, SEE CIVIL
- 03 WATER METER, SEE CIVIL
- 04 GREASE TRAP UNDER DRIVEWAY
- 05 EXISTING STORM DRAIN LINE
- 06 EXISTING SEWER LINE
- 07 EXISTING FIRE HYDRANT
- 08 SCREENING FOR BACK FLOW PREVENTER PER CITY OF TEMPE DETAIL 1772
- 09 ANGLED ON-STREET PARKING, ALSO SEE CML AND LANDSCAPE
- 10 PERMEABLE PAVEMENT SYSTEM TO MATCH ADJACENT ATMOSPHERE PROPERTY, ALSO SEE LANDSCAPE
- 11 TREE & TREE GRATE, ALSO SEE LANDSCAPE
- 12 FENCE, VERTICAL STEEL PICKETS, PAINTED, 6'-0" TALL, ALSO SEE LANDSCAPE
- 13 BUILDING OVERHANG ABOVE
- 14 RAMP TO PARKING LEVELS
- 15 SLIDING GATES @ UTILITY YARD, PAINTED STEEL FRAME WITH CORRUGATED METAL PANEL, CLADDING 8'-0" TALL
- 16 SITE GATE, TO MATCH ADJACENT FENCE
- 17 REFUSE BINS AND DUMPSTERS
- 18 CONCRETE PAVEMENT, ALSO SEE LANDSCAPE AND CIVIL DRAWINGS
- 19 EXISTING LIGHT POLE, TO BE RELOCATED TO NEW POSITION SHOWN HERE, ALSO SEE LANDSCAPE & CIVIL DRAWINGS
- 20 CONTOUR LINES @ 80'S WALE
- 21 KNOX BOX FOR EMERGENCY SERVICES ACCESS

PROJECT INFORMATION

OWNER: COLLEGE ENTERPRISES INC
 714 COLLEGE AVE
 TEMPE, AZ 85281

CONTACT: GENSLER
 BENJAMIN AYERS
 2575 E. CAMELBACK RD, SUITE 175
 PHOENIX, AZ 85016
 602.523.4900
 BENJAMIN_AYERS@GENSLER.COM

BUILDING ADDRESS: TRINITAS
 211 E 7TH ST
 TEMPE, AZ 85281

JURISDICTION: CITY OF TEMPE

PARCEL NUMBERS: 132-27-113, 132-27-112, 132-27-111, 132-27-110

SITE AREA: 26,400 SQFT, .61 ACRES

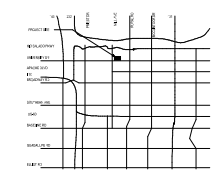
PROJECT DESCRIPTION: 29 STORY, 380 UNIT RESIDENTIAL TOWER WITH AMENITIES, RETAIL, AND STRUCTURED PARKING GARAGE

TYPE OF CONSTRUCTION: TYPE 1A, FULL SPRINKLERED PER NFPA 13 (IBC 903.2, 903.1.1)

FIRE PROTECTION: BUILDING EQUIPPED THROUGHOUT WITH AUTOMATIC EXTINGUISHING SYSTEM IN ACCORDANCE WITH 2016 IBC 903.1.1, FIRE ALARMS

SITE PLAN DATA

SITE PLAN SITE DATA		
DEVELOPMENT STANDARDS	ZDC STANDARDS FOR UNDERLYING...	CC TOD PAD PROVIDED
GENERAL PLAN LAND USE	MIXED-USE	MIXED-USE
GENERAL PLAN RES. DENSITY	HIGH DENSITY URBAN CORE (>6SDUA)	HIGH DENSITY URBAN CORE (>6SDUA)
ZONING	CC TOD - CORRIDOR	CC TOD - CORRIDOR
SITE AREA (NET)	26,400 SF (0.61 AC)	26,400 SF (0.61 AC)
DWELLING QUANTITY		380 UNITS
STUDIO/MICRO		57 UNITS
1-BEDROOM		134 UNITS
2-BEDROOM		58 UNITS
3-BEDROOM		133 UNITS
DENSITY		623 DU/AC
BUILDING HEIGHT	50'-0"	314'-0" (TOP OF MECH/SCREENING)
		287'-0" (TOP OF ELEVATOR) 29-STORIES
		287'-0" (TOP OF PARAPET)
BUILDING LOT COVERAGE	NS	95% (24,875 SF / 26,400 SF)
SITE LANDSCAPE AREA	NS	11% (2,911 SF / 26,400 SF)
BUILDING SETBACKS		
FRONT (7TH STREET)	0'	0'-0"
SIDE (EAST)	0'	4'-3"
SIDE (WEST)	0'	4'-5"
REAR (SOUTH)	0'	0'-0"
BUILDING STEPBACK	YES	YES
VEHICLE PARKING QUANTITY		
TOTAL REQUIRED (CC)		307 (INCLUDES 33 FOR NEWMAN CENTER)
COMMERCIAL, INDOOR		0 (1ST 5,000 SF WAIVED, 1,500 THEREAFTER)
COMMERCIAL, OUTDOOR		0
STUDIO-MICRO		29 (0.5/BR * 57 BR)
1-BEDROOM		67 (0.5/BR * 134 BR)
2-BEDROOM		58 (0.5/BR * 116 BR)
3-BEDROOM		118 (0.5/BR * 393 BR)
GUEST		0.0 (NONE W/ COMMERCIAL USE)
TOTAL PROVIDED		303 (INCLUDES 7 ON-STREET)
BICYCLE PARKING QUANTITY		
TOTAL REQUIRED		401
COMMERCIAL, INDOOR		6 (1.7500 SF, 6 MIN/1,500)
COMMERCIAL, OUTDOOR		0
STUDIO-MICRO		43 (0.75/UNIT * 57 UNITS)
1-BEDROOM		101 (0.75/UNIT * 134 UNITS)
2-BEDROOM		44 (0.75/UNIT * 58 UNITS)
3-BEDROOM		133 (0.75/UNIT * 133 UNITS)
GUEST		76 (0.20/UNIT * 380 UNITS)
TOTAL PROVIDED		401
USES (GROSS)		
RESIDENTIAL		514,650 SF
RETAIL/RESTAURANT		3,011 SF
RETAIL/RESTAURANT OUTDOOR		249 SF
TOTAL BUILDINGS		517,910 SF



08 VICINITY MAP
 SCALE: 1" = 100'

PARKING (COUNT) BY STALL TYPE

STALL TYPE	NUMBER OF STALLS
ADA STALL	13
ADA VAN STALL	15
STANDARD STALL	277
	295

PARKING STALL COUNTS

TRINITAS
 211 E. 7th Street, Tempe, AZ

Gensler

2575 E. Camelback Rd
 Suite 175
 Phoenix, AZ 85016
 United States

Tel: 602.523.4900
 Fax: 602.523.4949

Date	Description
06.20.22	PRE-APPLICATION

Seal / Signature

NOT FOR CONSTRUCTION

Project Name
TRINITAS 217 E. 7TH STREET

Project Number
57.8218.000

Description
ARCHITECTURAL SITE PLAN

Scale
 As indicated

PA1.000

LANDSCAPE GENERAL NOTES (NOT APPROVED BY CITY)

- THESE NOTES SHALL BE USED FOR GENERAL REFERENCE IN CONJUNCTION WITH, AND AS A SUPPLEMENT TO THE WRITTEN SPECIFICATIONS, APPROVED ADDENDA, AND CHANGE ORDERS ASSOCIATED WITH THESE LANDSCAPE IMPROVEMENT DOCUMENTS.
- A QUALIFIED SUPERVISOR SHALL BE PRESENT ON SITE AT ALL TIMES DURING CONSTRUCTION.
- BEFORE WORK BEGINS ON THE PROJECT, THE LANDSCAPE AND GENERAL CONTRACTORS SHALL REVIEW THIS PROJECT WITH THE LANDSCAPE ARCHITECT/OWNER'S REPRESENTATIVE IN A PRE-CONSTRUCTION MEETING PRIOR TO STARTING WORK. THE LANDSCAPE ARCHITECT AND/OR OWNER IS TO APPROVE ANY CHANGES PRIOR TO THE START OF WORK. CONTRACTOR SHALL NOT BEGIN WORK PRIOR TO THE PRE-CONSTRUCTION MEETING AND WRITTEN AUTHORIZATION TO PROCEED IS ISSUED BY THE OWNER.
- THE LANDSCAPE CONTRACTOR SHALL INSPECT WITH THE LANDSCAPE ARCHITECT OR OWNER'S AUTHORIZED REPRESENTATIVE AND/OR OWNER ALL EXISTING CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK. THE CONTRACTOR SHALL REPAIR AND/OR REPLACE, AT THEIR OWN EXPENSE, ANY STRUCTURES, FENCES, WALLS, PLANT MATERIAL, OR OTHER ITEMS DESTROYED DURING CONSTRUCTION. LIKEWISE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING AND/OR REPLACING ANY AND ALL DAMAGES TO ADJACENT PROPERTIES OR ANY OTHER AREA OUTSIDE THE CONTRACT LIMITS. THE DAMAGED AREAS WILL BE RESTORED TO THEIR ORIGINAL CONDITION TO THE SATISFACTION OF THE OWNERS AUTHORIZED REPRESENTATIVE AND/OR OWNER.
- A PRE-GRADING INSPECTION IS REQUIRED BEFORE ANY GRADING WORK COMMENCES. ALL PROTECTED PLANTS SHALL BE MOVED TO THE DESIGNATED NURSERY AREA AND THE LANDSCAPE ARCHITECT WILL BE CALLED FOR A PRE-GRADING INSPECTION.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE AND TO CROSS-CHECK DETAILS AND DIMENSIONS SHOWN ON THE DRAWINGS WITH RELATED REQUIREMENTS ON THE ARCHITECTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND CIVIL DRAWINGS. CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS PRIOR TO STARTING WORK.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE ALL PLANT MATERIAL LOCATIONS WITH OTHER TRADES PRIOR TO INSTALLATION. THE CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH THE LOCATIONS OF EXISTING AND FUTURE UNDERGROUND UTILITIES PRIOR TO THE START OF WORK. ALL UNDERGROUND UTILITIES ARE TO BE LOCATED AND PROTECTED. CONTRACTOR IS RESPONSIBLE FOR THE INITIAL CALL AND FUTURE UPDATES TO BLUE STAKE AT (811) STAKE IT (800.782.5348) OUTSIDE OF MARICOPA COUNTY.
- PRIOR TO THE COMMENCEMENT OF WORK, THE CONTRACTOR SHALL MARK AND CONFIRM LOCATIONS AND DEPTHS OF ALL UNDERGROUND UTILITIES THAT MAY BE AFFECTED BY CONSTRUCTION AND SHALL BE RESPONSIBLE FOR DAMAGES TO SUCH UTILITIES CAUSED AS A RESULT OF CONSTRUCTION. CONFLICTS SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT AND /OR OWNERS REPRESENTATIVE FOR RESOLUTION. CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITY COVERS, BOXES, LIDS AND MANHOLES IN AN EXPOSED CONDITION.
- LANDSCAPE CONTRACTOR SHALL PROVIDE BARRICADES AND TRAFFIC CONTROL ALONG PUBLIC STREETS IF REQUIRED DURING CONSTRUCTION.
- IN ALL CASES WHERE A CONFLICT MAY OCCUR, THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED AND WILL INTERPRET THE INTENT OF THE CONTRACT DOCUMENTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ALL NECESSARY PERMITS AND SHALL NOTIFY ALL UTILITY COMPANIES WITH UTILITIES ON THE SITE PRIOR TO THE CONSTRUCTION OF THE PROJECT. CONTRACTOR SHALL ADHERE TO ALL APPLICABLE LOCAL, STATE AND FEDERAL LAWS OR REGULATION PERTAINING TO THE PROJECT.
- ALL WORKMANSHIP AND MATERIALS SHALL CONFORM TO LOCAL CODES.
- CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONARY MEASURES TO PROTECT THE PUBLIC AND ADJACENT PROPERTIES FROM DAMAGE THROUGHOUT CONSTRUCTION.
- THE PROJECT LIMITS OF CONSTRUCTION SHALL BE FENCED OFF FROM SURROUNDING NATIVE VEGETATION. FENCE LOCATIONS TO BE APPROVED BY THE LANDSCAPE ARCHITECT OR OWNERS AUTHORIZED REPRESENTATIVE.
- ALL EXISTING VEGETATION, WEEDS, DEBRIS, ETC. SHALL BE REMOVED FROM THE PROJECT "LIMITS OF CONSTRUCTION" AND PROPERLY DISPOSED OFFSITE AT THE CONTRACTOR'S EXPENSE, SCARIFY EXISTING SUBGRADE, MINIMUM 6" DEPTH.
- IN NO CASE SHALL WORKING DIMENSIONS BE SCALED FROM PLANS, SECTIONS OR DETAILS ON THE DRAWINGS.
- WHERE NO SPECIFIC DETAIL IS SHOWN, THE CONSTRUCTION SHALL BE IDENTICAL OR SIMILAR TO THAT INDICATED FOR LIKE CASES OF CONSTRUCTION ON THIS PROJECT.
- CONTRACTOR SHALL REFERENCE CIVIL ENGINEERING DRAWINGS FOR GRADING AND DRAINAGE FLOWS AND SHALL BE RESPONSIBLE FOR MAINTAINING THESE FLOWS FREE OF OBSTRUCTIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR FINE GRADING ALL AREAS AT THE DIRECTION OF THE LANDSCAPE ARCHITECT AND/OR OWNER'S AUTHORIZED REPRESENTATIVE SO THAT ALL AREAS ARE SMOOTH AND APPEAR NATURAL.
- INSTALLATION OF SLEEVES SHALL BE COMPLETE PRIOR TO THE START OF ANY CONCRETE WORK.
- ALL AREAS TO BE DISTURBED BY CONSTRUCTION, INCLUDING ANY AREAS DISTURBED BEYOND WHAT IS SHOWN ON PLANS, SHALL BE REPLANTED AS INDICATED ON THESE PLANS OR TO EXISTING CONDITIONS AT START OF PROJECT. AT ALL TIMES THE PLANTS INSTALLED IN ALL AREAS ARE TO MATCH THE SURROUNDING AREA IN DENSITY AND PLANT TYPE.
- CLARIFICATION OF DISCREPANCIES BETWEEN THE CONSTRUCTION DOCUMENTS AND THE SITE SHOULD BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND OWNERS REPRESENTATIVE IMMEDIATELY.

- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY QUANTITIES INCLUDING TREES, SHRUBS, GROUNDCOVERS, DECOMPOSED GRANITE, MULCH AND OTHER ITEMS SHOWN ON THE PLANS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION OF MAJOR DISCREPANCIES. IN CASE OF DISCREPANCY BETWEEN THE NUMBER OF PLANTS INDICATED ON THE PLANT LIST, THE DRAWINGS SHALL GOVERN.
- NO PLANT SUBSTITUTIONS, TYPE OR QUANTITY DEVIATION FROM THE APPROVED LANDSCAPE OR IRRIGATION PLANS WITHOUT PERMISSION FROM THE LANDSCAPE ARCHITECT OR CLIENT. PLANT MATERIALS SPECIFIED SHALL BE SUBJECT TO HAND SELECTION BY THE LANDSCAPE ARCHITECT AT THE NURSERY. LANDSCAPE ARCHITECT MAY OPT TO WAIVE THIS SELECTION PROCESS. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REFUSE ANY PLANT MATERIAL DEEMED UNACCEPTABLE.
- ALL PLANT MATERIAL SHALL CONFORM TO THE STANDARDS SET FORTH IN THE AMERICAN STANDARDS OF NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERYMEN AND BY THE AMERICAN ASSOCIATION OF RECOMMENDED TREE SPECIFICATIONS.
- LOCATE PLANTS AWAY FROM SPRINKLER HEADS, LIGHT FIXTURES AND OTHER OBSTRUCTIONS.
- ALL PLANT MATERIAL MUST BE MAINTAINED IN HEALTH AND VIGOR, AND BE ALLOWED TO ATTAIN NATURAL SIZE AND SHAPE IN ACCORDANCE WITH A.N.A. SPECIFICATIONS.
- PLANT TREES AND SHRUBS PLUMB AND FACED TO GIVE THE BEST APPEARANCE OR RELATIONSHIP TO ADJACENT PLANTS, STRUCTURES, AND VIEWS.
- ALL PLANTING AREAS SHALL RECEIVE WEED CONTROL/PRE-EMERGENT PER THE GUIDELINES SET FORTH WITHIN THE SPECIFICATIONS.
- THE CONTRACTOR SHALL REQUEST INSPECTION OF PLANT LAYOUT IN THE FIELD BY THE LANDSCAPE ARCHITECT A MINIMUM OF 48 HOURS IN ADVANCE FOR APPROVAL UNLESS OTHERWISE AGREED UPON.
- WATER TEST ALL TREE PLANTING HOLES PRIOR TO PLANTING. IF TREE HOLE DOES NOT DRAIN WITHIN A 48 HOUR PERIOD, REFER TO TREE DETAIL FOR HARDPAN CONDITIONS.
- PLANTING AND IRRIGATION DESIGN MAY BE MODIFIED TO ADAPT TO WALK CONFIGURATIONS THAT DIFFER FROM THESE PLANS OR BECAUSE OF GRADE LIMITATIONS ON SITE. CONTACT LANDSCAPE ARCHITECT FOR DIRECTION.
- SHRUBS AND GROUNDCOVER SHALL BE PLANTED A MINIMUM OF 3' AWAY FROM THE EDGE OF WALKS, WALLS, BUILDINGS AND CURBS UNLESS OTHERWISE NOTED.
- MAINTAIN 5' RADIUS CLEARANCE OF CACTI FROM ALL PEDESTRIAN ROUTES UNLESS OTHERWISE NOTED.
- MAINTAIN 5' RADIUS CLEARANCE OF PLANT MATERIAL FROM ALL FIRE HYDRANTS AND/OR FIRE DEPARTMENT CONNECTIONS ON SITE.
- SIGHT DISTANCE TRIANGLES SHALL BE CLEAR OF LANDSCAPING AND OTHER VISIBILITY OBSTRUCTIONS OVER 24" IN HEIGHT.
- THE CONTRACTOR SHALL PROVIDE THE LANDSCAPE ARCHITECT AND OWNERS REPRESENTATIVE WITH A LETTER CERTIFYING THE CHEMICAL, DATE AND RATE OF APPLICATION FOR BOTH WEED KILLER AND PRE-EMERGENT.
- LANDSCAPE AREAS NOT OTHERWISE COVERED BY TURF PAVING OR BUILDINGS SHALL BE DECOMPOSED GRANITE 2" DEPTH UNLESS OTHERWISE NOTED. FINISH GRADE SHALL BE AS SHOWN ON LANDSCAPE DETAILS. LANDSCAPE CONTRACTOR TO SUBMIT 5 LB SAMPLE BAGS OF DECOMPOSED GRANITE TO LANDSCAPE ARCHITECT FOR APPROVAL.
- UNLESS OTHERWISE NOTED ON PLANS, DECOMPOSED GRANITE SHALL EXTEND UNDER SHRUBS AND BE RAKED UNIFORMLY ALONG WALKS, SIDEWALKS, AND CURBS.
- AREAS OF DECOMPOSED GRANITE SHALL NOT EXCEED MORE THAN 7 FEET IN ANY DIRECTION WITHOUT PLANT MATERIAL UNLESS OTHERWISE NOTED BY THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE.
- ALL ROCKS AND DEBRIS OF 1" DIAMETER SIZE OR LARGER SHALL BE REMOVED FROM THE SITE AND PROPERLY DISPOSED OF PRIOR TO THE PLACEMENT OF DECOMPOSED GRANITE - THIS INCLUDES ALL PLANTERS & TURF AREAS.
- FINAL LOCATION OF ALL SALVAGE TREES SUBJECT TO LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. SALVAGE TREE DESIGNATIONS/LOCATIONS MAY BE ADJUSTED BASED ON SALVAGE.
- WHEN BOXED TREES ARE INSTALLED, THE BOTTOM OF THE TREE BOXES SHALL NOT BE REMOVED UPON PLANTING. THE SOIL LINE OF THE PLANTED TREE SHALL MATCH THE SURROUNDING FINISH GRADE. ACID ETCH AS REQUIRED IMPERVIOUS SILLS AT TREE LOCATIONS TO ENSURE PLANT HEALTH.
- NEW LANDSCAPING, SALVAGED PLANT MATERIAL AND LANDSCAPING INDICATED TO REMAIN WHICH IS DESTROYED, DAMAGED OR EXPIRES DURING CONSTRUCTION SHALL BE REPLACED WITH LIKE SIZE, KIND AND QUANTITY PRIOR TO THE ACCEPTANCE OF THE WORK AND FINAL PAYMENT.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE ENTIRE PROJECT FOR A MAINTENANCE PERIOD OF (90) DAYS ON ALL PLANT MATERIAL, AND (30) DAYS ON IRRIGATION INSTALLATION AFTER ACCEPTANCE OF WORK BY THE OWNER. UPON COMPLETION OF THE MAINTENANCE PERIOD THE OWNER WILL ASSUME MAINTENANCE RESPONSIBILITIES.
- THE LANDSCAPE CONTRACTOR SHALL PROVIDE A (1) YEAR WARRANTY ON THE IRRIGATION SYSTEM, A (1) YEAR WARRANTY ON ALL TREES, AND (90) DAYS ON ALL SHRUBS, VINES AND GROUNDCOVERS FROM COMMENCEMENT OF THE FORMAL MAINTENANCE PERIOD UNLESS OTHERWISE NOTED IN SPECIFICATIONS.
- ALL IRRIGATION LINES SHALL BE INSTALLED AND PRESSURE TESTED PRIOR TO THE INSTALLATION OF RIP-RAP.
- PLANTING AREAS SHALL BE WATERED WITH AN AUTOMATIC DRIP IRRIGATION SYSTEM.

LANDSCAPE GENERAL NOTES (CONT.)

- ALL IRRIGATION BOXES/LIDS SHALL MATCH ADJACENT GROUND COLOR.
- ALL 36" BOX TREES OR LARGER SHALL NOT BE STAKED.
- ALL PLANT MATERIAL SHALL BE REVIEWED BY LANDSCAPE ARCHITECT PRIOR TO PURCHASING AND INSTALLATION.
- REFER TO SPECIFIC NOTES AND LANDSCAPE NOTES FOR ADDITIONAL REQUIREMENTS.
- THE LANDSCAPE CONTRACTOR SHALL PROVIDE PHOTOGRAPHS OF ALL TREE AND PLANT MATERIALS PROVIDING MEASURABLE REFERENCE (I.E., YARDSTICK IN PHOTO) FOR PLANTING SUBMITTAL REVIEW PRIOR TO NURSERY VISIT.

CITY OF TEMPE LANDSCAPE NOTES

- ALL PLANT MATERIALS EXCLUDING TREES WITHIN THE SIGHT VISIBILITY TRIANGLES SHALL BE A MAXIMUM OF 24" IN HEIGHT PER THE CITY OF TEMPE CLEAR VISION REQUIREMENTS AND ALL TREES WITHIN THESE AREAS SHALL HAVE A MINIMUM CANOPY HEIGHT OF 7'4" OR AS APPROVED BY THE CITY TEMPE DESIGN REVIEW BOARDS.
- ALL LANDSCAPE INSTALLED WITHIN THIS PROJECT SHALL BE MAINTAINED BY THE OWNER.
- ALL AREAS DISTURBED BY CONSTRUCTION SHALL RECEIVE A MINIMUM OF 2" DECOMPOSED GRANITE TOP DRESS OR OTHER APPROVED DUST CONTROL METHOD.
- ALL TREES SHALL MEET SIZE REQUIREMENTS PER ARIZONA NURSERYMAN ASSOCIATION PUBLISHED STANDARDS.
- TREE TRUNKS SHALL NOT BE PLACED CLOSER THAN TWENTY (20'-0") FEET MEASURED HORIZONTALLY FROM A LIGHT SOURCE.
- GROUNDCOVERS AND SHRUBS WITHIN 6'-0" OF PATHWAYS SHALL NOT EXCEED 2'-0" IN HEIGHT AT MATURITY. BETWEEN 6'-0" - 12'-0" OF THE EDGE OF PATHWAYS. GROUNDCOVERS AND SHRUBS SHALL NOT EXCEED 3'-0" HEIGHT AT MATURITY.
- CONTRACTOR TO DE-COMPACT SOIL AND PULL ASPHALT AND CONSTRUCTION DEBRIS OUT OF PLANTING AREAS PRIOR TO LANDSCAPE INSTALLATION.
- APPLY DECOMPOSED GRANITE IN ALL PLANTING AREAS 2" DEPTH THROUGHOUT THE SITE AND AT ADJACENT OFF-SITE LANDSCAPE AREAS. CONTRACTOR TO APPLY PRE-EMERGENT AND DO NOT USE PLASTIC UNDERLAY.
- CONTRACTOR TO COORDINATE THE LAYOUT OF TREES ON-SITE WITH BURIED UTILITIES AND OTHER BURIED STRUCTURES INCLUDING DRYWELL TO MINIMUM 7'-0" CLEARANCE.
- REMOVE SOIL COMPACTION IN PLANTING AREAS, REMOVE CONSTRUCTION DEBRIS FROM PLANTING AREAS PRIOR TO LANDSCAPE INSTALLATION.
- TOP DRESS PLANTING AREAS WITH A DECOMPOSED GRANITE APPLICATION OF 2" UNIFORM THICKNESS. PROVIDE PRE-EMERGENCE WEED CONTROL APPLICATION AND DO NOT UNDERLAY ROCK OR DECOMPOSED GRANITE APPLICATION WITH PLASTIC.

PLANT LEGEND

SYMB	BOTANICAL NAME COMMON NAME	SIZE	QTY.	NOTES (H x W x CAL)
TREES				
	EXISTING TREE PROTECT-IN-PLACE	-	1	-
	CERCIS CANADENSIS VAR. TEXENSIS TEXAS REDBUD	24" BOX	3	10'-0"-12'-0" x 5'-0"-7'-0" x 1.75'-2.5'
	ULMUS PARVIFLORA EVERGREEN ELM	36" BOX	7	10'-0"-12'-0" x 5'-0"-7'-0" x 1.75'-2.5'
SHRUBS				
	MUHLBERGIA DUBIA PINE MUHLY	5 GAL	56	CAN FULL 2'-8" x 2'-4" MATURE
ACCENTS				
	ALO E BARBADENSIS 'YELLOW' YELLOW ALO VERA	5 GAL	148	CAN FULL 2'-0" x 3'-0" MATURE
	CYCAS REVOLUTA SAGO PALM	20 GAL	16	CAN FULL 4'-0" x 4'-0" MATURE
	LOPHOCEREUS SHOTTII 'MONTROSE' TOTEM POLE CACTUS	15 GAL	13	4'-0" HIGH MIN 7'-0" x 4'-0" MATURE
	PEDILANTHUS BRACTEATUS TALL SLIPPER PLANT	5 GAL	21	CAN FULL 5'-0" x 5'-0" MATURE
VINES				
	FICUS PUMILA CLIMBING FIG	5 GAL	29	CAN FULL 15'-0" SPREAD MATURE
GROUNDCOVERS				
	PORTULACARIA AFRA ELEPHANTS FOOT	5 GAL	211	CAN FULL 1'-0" x 3'-0" MATURE
	PORTULACARIA AFRA 'VARIEGATA' RAINBOW BUSH	5 GAL	52	CAN FULL 1'-0" x 3'-0" MATURE
INERT MATERIALS				
	2" MINUS DECOMPOSED GRANITE TO MATCH EXISTING. VERIFY COLOR AND SIZE. TOP DRESSING @ 2" DEPTH. STOCK PILE REMAINING O.G. FOR REUSE.			
	ARTIFICIAL TURF			
	STRUCTURAL SOIL			

PLANTING GENERAL NOTES:

- PLANTING AREAS SHALL BE WATERED WITH AN AUTOMATIC DRIP IRRIGATION SYSTEM.
- ALL PLANT MATERIAL SHALL CONFORM TO THE STANDARDS SET FORTH IN THE AMERICAN STANDARDS OF NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERYMEN AND BY THE AMERICAN ASSOCIATION OF RECOMMENDED TREE SPECIFICATIONS.
- AREAS OF DECOMPOSED GRANITE SHALL NOT EXCEED 7 FEET IN ANY DIRECTION WITHOUT PLANT MATERIALS OR GROUNDCOVER. UNLESS NOTED OTHERWISE.
- ALL AREAS TO BE DISTURBED BY CONSTRUCTION, INCLUDING ANY AREAS DISTURBED BEYOND WHAT IS SHOWN ON PLANS, SHALL BE REPLANTED AS INDICATED ON THESE PLANS. AT ALL TIMES THE PLANTS INSTALLED IN ALL AREAS ARE TO MATCH THE SURROUNDING AREA IN DENSITY AND PLANT TYPE.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY QUANTITIES INCLUDING TREES, SHRUBS, GROUNDCOVERS, DECOMPOSED GRANITE, MULCH AND OTHER ITEMS SHOWN ON THE PLANS.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION OF MAJOR DISCREPANCIES. IN CASE OF DISCREPANCY BETWEEN THE NUMBER OF PLANTS INDICATED ON THE PLANT LIST, THE DRAWINGS SHALL GOVERN.
- NO PLANT SUBSTITUTIONS, TYPE OR QUANTITY DEVIATION FROM THE APPROVED LANDSCAPE OR IRRIGATION PLANS WITHOUT PERMISSION FROM THE LANDSCAPE ARCHITECT.
- THE SUBCONTRACTOR SHALL MARK AND CONFIRM LOCATION OF UNDERGROUND UTILITIES PRIOR TO EXCAVATION. CONFLICTS SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT FOR RESOLUTION. CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITY COVER, BOXES, LIDS AND MANHOLES IN AN EXPOSED CONDITION.

SHEET INDEX:

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L1.01 HARDSCAPE PLAN LEVEL 10
L1.02 HARDSCAPE PLAN LEVEL 26
L2.00 PAVING AND MATERIALS PLAN LEVEL 01
L2.01 PAVING AND MATERIALS PLAN LEVEL 10
L2.02 PAVING AND MATERIALS PLAN LEVEL 26
L3.00 DIMENSION PLAN LEVEL 01
L3.01 DIMENSION PLAN LEVEL 10
L3.02 DIMENSION PLAN LEVEL 26
L4.00 HARDSCAPE DETAILS
L4.01 HARDSCAPE DETAILS
L5.00 LANDSCAPE PLAN LEVEL 01
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L6.00 LANDSCAPE DETAILS
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L7.00 IRRIGATION PLAN LEVEL 01
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L8.00 IRRIGATION DETAILS
L9.00 LIGHTING PLAN LEVEL 01
L9.01 LIGHTING PLAN LEVEL 10
L9.02 LIGHTING PLAN LEVEL 26
L10.00 LIGHTING CUTSHEETS

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Date	Description



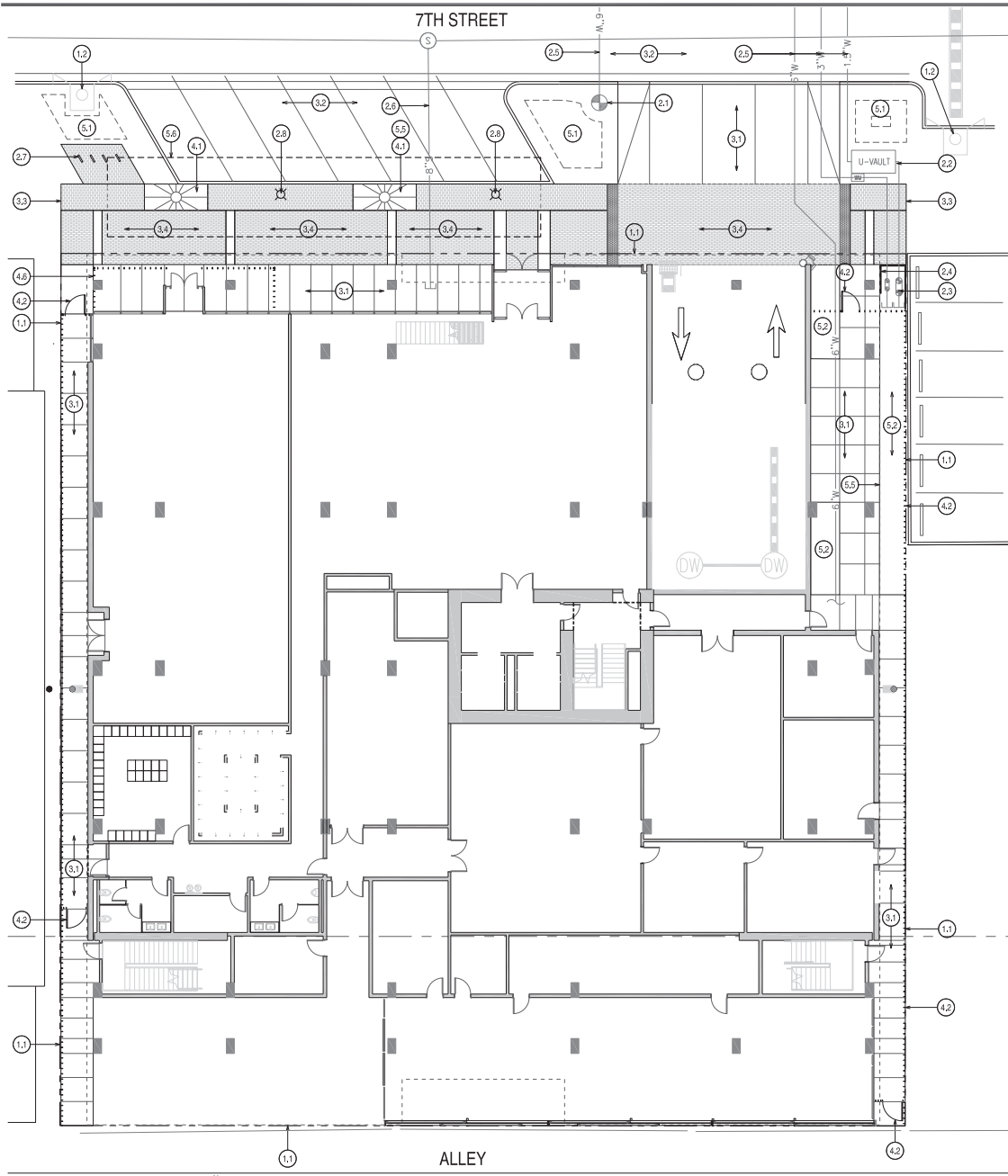
Project Name
TRINITAS 211 E. 7TH STREET

Project Number
21028

Description
COVER SHEET

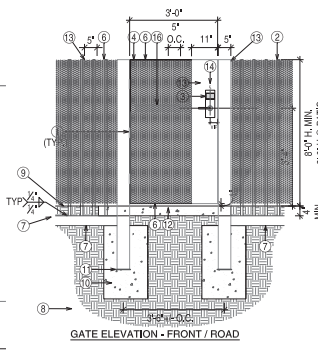
Scale
N/A

L0.00



KEYNOTES:

- | | |
|--|---|
| EXISTING CONDITIONS: | DETAIL / REFERENCE: |
| 1.1 PROPERTY LINE | - |
| 1.2 STORM DRAIN | - |
| SITEWORK / UTILITIES: | DETAIL / REFERENCE: |
| 2.1 FIRE HYDRANT, 3'-0" CLR. | - |
| 2.2 WATER VAULT | - |
| 2.3 BACKFLOW PREVENTER | - |
| 2.4 UTILITY SCREENING | - |
| 2.5 WATER LINE | - |
| 2.6 SEWER LINE | - |
| 2.7 BIKE RACKS | - |
| 2.8 RELOCATED SITE LIGHT POLE | - |
| CONCRETE / PAVING / FINISHES: | DETAIL / REFERENCE: |
| 3.1 CONCRETE | - |
| 3.2 ASPHALT | - |
| 3.3 PERMEABLE PAVERS | - |
| 3.4 RECLAIMED BRICK PAVERS | - |
| 3.5 DIRECTIONAL CONC. RAMP | - |
| 3.6 LARGE FORMAT PEDESTAL PAVERS | - |
| 3.7 PAVER RUG | - |
| 3.8 18" H. 6" P. CONC. BENCH (OVSTR) | - |
| 3.9 38" H. C.I.P. CONC. TREE PLANTER W/ 18" H. WALL SEAT (OVSTR) | - |
| 3.10 18" H. C.I.P. CONC. BANCO SEATING W/ 18" H. BACK (OVSTR) | - |
| 3.11 18" H. CMU WALL (OVSTR) | - |
| 3.12 18" H. RAISED PLANTER (OVSTR) | - |
| 3.13 4'-0" H. RAISED PLANTER W/ 18" H. WALL SEAT (OVSTR) | - |
| 3.14 CONC. BBQ GRILL COUNTER (OVSTR) | - |
| 3.15 18" H. FIREHT (OVSTR) | - |
| 3.16 CONC. ADA RAMP (OVSTR) | - |
| 3.17 8" TH. x 3'-0" H. THIN PROFILE CONC. RETAINING + PLANTER WALL W/ INTEGRAL IRRIGATION AND WATERPROOFING (OVSTR) | - |
| 3.18 8" TH. x 2'-0" H. THIN PROFILE CONC. RETAINING + PLANTER WALL W/ INTEGRAL IRRIGATION AND WATERPROOFING (OVSTR) | - |
| 3.19 C.I.P. CONC. RISERS (OVSTR) | - |
| METALS / GLASS / WOOD: | DETAIL / REFERENCE: |
| 4.1 TREE GRATE | - |
| 4.2 8'-0" H. MIN. FENCE & GATE | REF. DET THIS SHT. |
| 4.3 STEEL TRELIS | - |
| 4.4 8'-0" H. GLASS RAILING | - |
| 4.5 3'-0" H. POOL FENCE | REF. DET THIS SHT. |
| 4.6 3'-0" H. PATIO GATE & FENCE | - |
| 4.7 STAINLESS STEEL HANDRAIL | - |
| PLANTING & LANDSCAPE: | DETAIL / REFERENCE: |
| 5.1 RECESSED BIOSWALE | - |
| 5.2 AT-GRADE PLANTER | - |
| 5.3 OVER-STRUCTURE PLANTER | - |
| 5.4 ARTIFICIAL TURF | - |
| 5.5 ROOT BARRIER, DET. PER CITY OF TEMPE | - |
| 5.6 STRUCTURAL SOIL | - |
| MISC. / SITE FURNISHING: | DETAIL / REFERENCE: |
| 6.1 MOVEABLE FURNITURE | - |
| 6.2 HAMMOCKS | - |
| 6.3 POOL | - |
| 6.4 SPA | - |
| 6.5 OUTDOOR SHOWER | - |
| 6.6 COMMUNITY TABLE | - |
| 6.7 PING PONG TABLE | - |
| 6.8 FOGBALL TABLE | - |
| 6.9 CORNHOLE | - |
| 6.10 CHAIRS POOL LOUNGE | - |
| 6.11 OUTDOOR TV | - |
| KEYNOTES: | DETAIL / REFERENCE: |
| 1. HEAVY DUTY SELF-CLOSING HINGES, REFER TO ARCH. HARDWARE SCHEDULE | 10. CONC. FOOTING |
| 2. 1" x 2" - TUBE STL PICKETS. FINISH: UNFINISHED, CAP ALL EXPOSED ENDS, GRIND ALL WELDS SMOOTH | 11. 4"x6" WELD PLATE |
| 3. LEVER LOCKSET/KEYCARD, REFER TO SPECS & ARCH. HARDWARE SCH | 12. WALKWAY REF. MATERIALS LGD. |
| 4. 3'-0" W. x 9'-0" H. GATE @ POOL BARRIER, REF. HARDSCAPE PLAN | 13. 3/8" TH. x 2" W. x 5'-0" H. WELDED STEEL BOX, NO RADI ON CORNERS |
| 5. PANIC HARDWARE, REF ARCH HARDWARE SCH. COLOR: BRONZE | 14. RECESSED LOCK MECH. INSIDE STEEL PANEL. |
| 6. 1/4" TH. X 2-1/4" W. PLATE ON 3 SIDES | 15. 4'-0" W. x 5'-0" H. 11 GA PERF. STL PANEL @ GATE, E.A. SIDE. PERF. 1/8" HOLE. 3/16" STAGGERED O.C. - 40% OPEN AREA. PANEL SHALL BE NATURAL STEEL FINISH |
| 7. HSS4X2X1/8 TUBE STL BOTTOM RAIL - BELOW GRADE, WELD TO POSTS SECURED TO FOOTINGS. WATERPROOF ALL BELOW GRADE STL. | 16. PANIC HARDWARE, REF ARCH HARDWARE SCH. COLOR: BRONZE |
| 8. COMPACTED SUBGRADE 95% OR UNDISTURBED SOIL | 17. SECURITY LATCH |
| 9. F.G. | |



HARDSCAPE PLAN - LEVEL 01 **01**

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Date Description

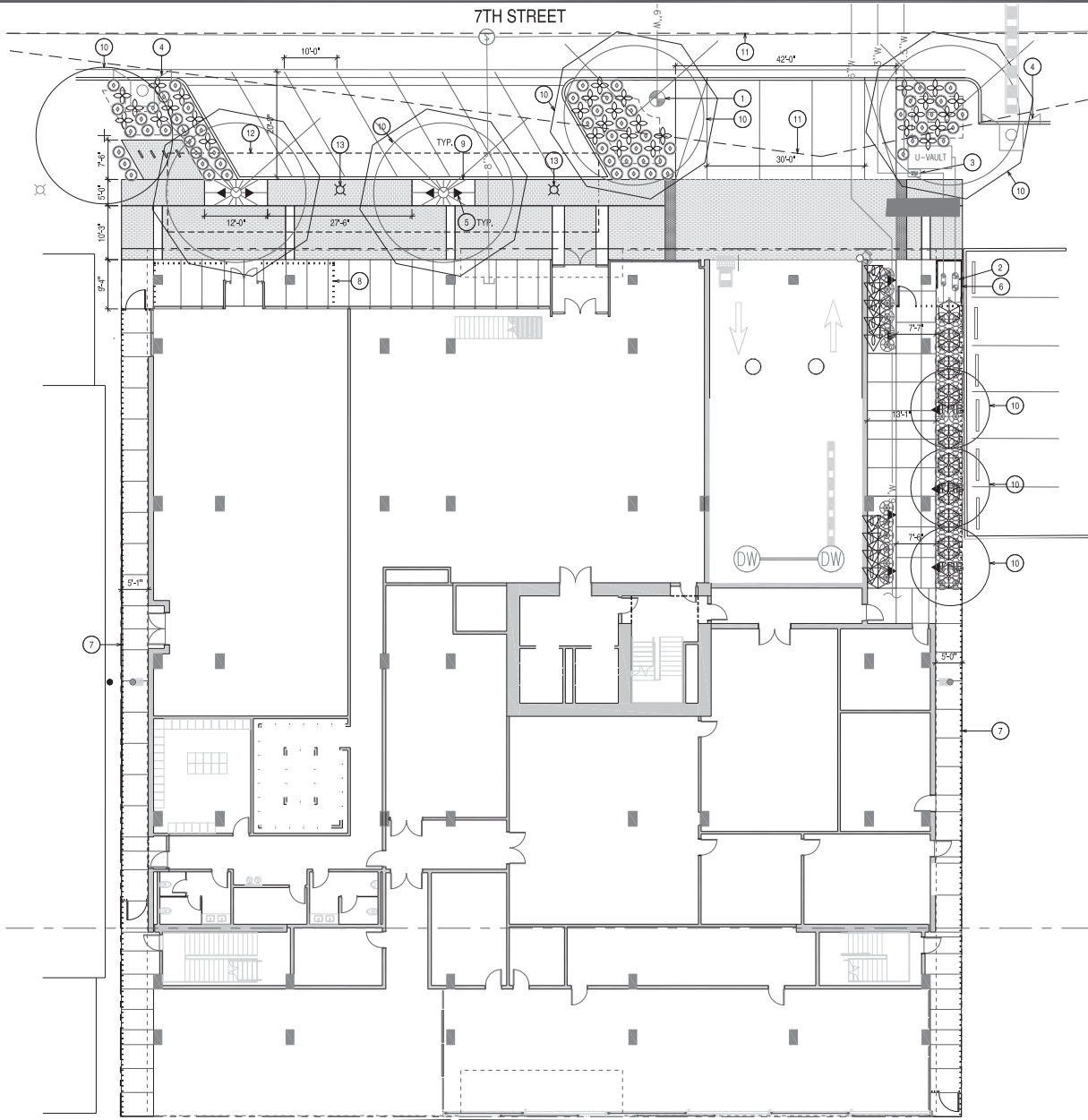
Seal / Signature



Project Name
TRINITAS 211 E. 7TH STREET
Project Number
21028
Description
HARDSCAPE PLAN LEVEL 01

Scale
AS SHOWN

L1.00



PLANT LEGEND

SYMBOL	BOTANICAL NAME COMMON NAME	SIZE	QTY.	NOTES (H x W x CAL.)
TREES				
○	EXISTING TREE	-	1	-
○	PROTECT IN PLACE	-	-	-
○	CERCIS CANADENSIS VAR. TEXENSIS	24" BOX	3	10'-0" x 12'-0" x 5'-0" x 7'-0" x 1.75"-2.5"
○	TEXAS REDBUD	20'-0" x 20'-0"	MATURE	
○	ULMUS PARVIFLORA	38" BOX	4	10'-0" x 12'-0" x 5'-0" x 7'-0" x 1.75"-2.5"
○	EVERGREEN ELM	30'-0" x 30'-0"	MATURE	
SHRUBS				
○	MUHLENBERGIA DUBIA	5 GAL	56	CAN FULL
○	PINE MUHLY	2'-6" x 2'-6"	MATURE	
ACCENTS				
○	ALOE BARBADENSIS 'YELLOW'	5 GAL	30	CAN FULL
○	YELLOW ALOE VERA	2'-0" x 3'-0"	MATURE	
○	CYCAS REVOLUTA	20 GAL	16	CAN FULL
○	SAGO PALM	4'-0" x 4'-0"	MATURE	
VINES				
○	FICUS PUMILA	5 GAL	9	CAN FULL
○	CLIMBING FIG	15'-0"	SPREAD MATURE	
GROUNDCOVERS				
○	PORTULACARIA AFRA 'VARIEGATA'	5 GAL	52	CAN FULL
○	RAINBOW BUSH	1'-0" x 3'-0"	MATURE	

INERT MATERIALS

- 1/2" MINUS DECOMPOSED GRANITE, COLOR: MADISON GOLD, TOP DRESSING @ 2" DEPTH. STOCK PILE REMAINING D.G. FOR REUSE.
- ▨ STRUCTURAL SOIL

- PLANTING GENERAL NOTES:**
- PLANTING AREAS SHALL BE WATERED WITH AN AUTOMATIC DRIP IRRIGATION SYSTEM.
 - ALL PLANT MATERIAL SHALL CONFORM TO THE STANDARDS SET FORTH IN THE AMERICAN STANDARDS OF NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERMEN AND BY THE AMERICAN ASSOCIATION OF RECOMMENDED TREE SPECIFICATIONS.
 - AREAS OF DECOMPOSED GRANITE SHALL NOT EXCEED 7 FEET IN ANY DIRECTION WITHOUT PLANT MATERIALS OR GROUNDCOVER, UNLESS NOTED OTHERWISE.
 - ALL AREAS TO BE DISTURBED BY CONSTRUCTION, INCLUDING ANY AREAS DISTURBED BEYOND WHAT IS SHOWN ON PLANS, SHALL BE REPLANTED AS INDICATED ON THESE PLANS. AT ALL TIMES THE PLANTS INSTALLED IN ALL AREAS ARE TO MATCH THE SURROUNDING AREA IN DENSITY AND PLANT TYPE.
 - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY QUANTITIES INCLUDING TREES, SHRUBS, GROUNDCOVERS, DECOMPOSED GRANITE, MULCH AND OTHER ITEMS SHOWN ON THE PLANS.
 - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION OF MAJOR DISCREPANCIES. IN CASE OF DISCREPANCY BETWEEN THE NUMBER OF PLANTS INDICATED ON THE PLANT LIST, THE DRAWINGS SHALL GOVERN.
 - NO PLANT SUBSTITUTIONS, TYPE OR QUANTITY DEVIATION FROM THE APPROVED LANDSCAPE OR IRRIGATION PLANS WITHOUT PERMISSION FROM THE LANDSCAPE ARCHITECT.
 - THE SUBCONTRACTOR SHALL MARK AND CONFIRM LOCATION OF UNDERGROUND UTILITIES PRIOR TO EXCAVATION. CONFLICTS SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT FOR RESOLUTION. CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITY COVER, BOXES, LIDS AND MANHOLES IN AN EXPOSED CONDITION.

- KEYNOTES:**
- FIRE HYDRANT
 - BFPV
 - WATER METER
 - STORM DRAIN
 - LIGHT FIXTURE
 - 6'-0" H. PERF STL BFPV SCREEN FENCE
 - 6'-0" H. STL PICKET FENCE
 - 3'-0" H. STL PATIO FENCE
 - TREE GRATE - CITY OF TEMPE STANDARD
 - ROOT BARRIER @ TREE
 - SITE VISIBILITY TRIANGLE
 - LIMIT OF STRUCTURAL SOIL
 - RELOCATED SITE LIGHT POLE. LOCATION SHALL ALIGN W/ STREET LIGHT POLES AT 'ATMOSPHERE' DEVELOPMENT TO WEST. LIGHT POLES SHALL BE LOCATED TO PROVIDE 20'-0" CLEAR FROM TREE TRUNKS.

TRINITAS
211 E. 7th Street, Tempe, AZ

Gensler

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COLWELL SHELOU LANDSCAPE ARCHITECTURE
4400 NORTH 12TH STREET, SUITE 104
PHOENIX, ARIZONA 85018
P: 602.933.2195



Date	Description

Seal / Signature

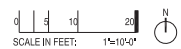


Project Name
TRINITAS 211 E. 7TH STREET

Project Number
21028

Description
LANDSCAPE PLAN LEVEL 01

Scale
AS SHOWN



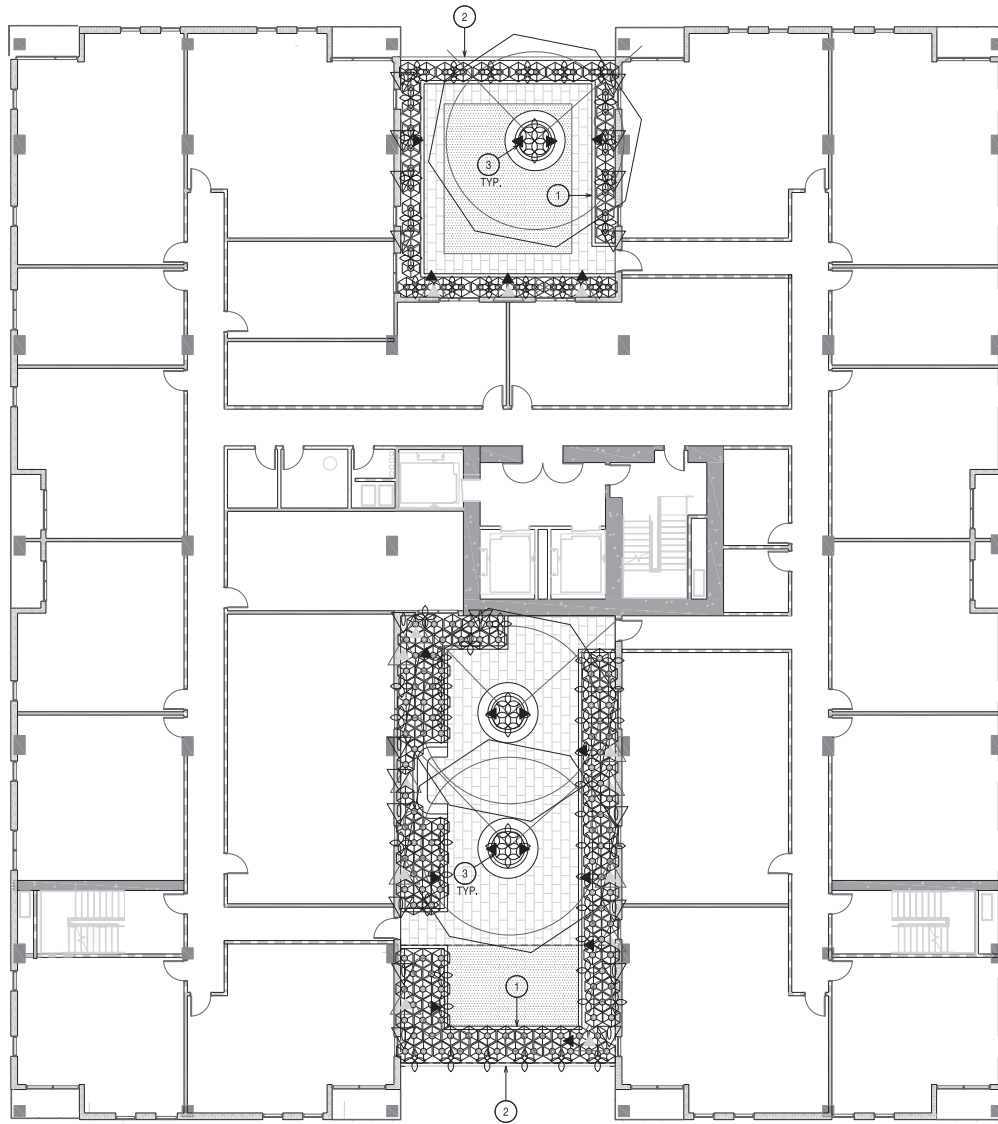
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SCALE: 1"=10'-0"

LANDSCAPE PLAN - LEVEL 01 **01**



PLANT LEGEND

SYM.	BOTANICAL NAME COMMON NAME	SIZE	QTY.	NOTES (H x W x CAL)
TREES				
	ULMUS PARVIFLORA EVERGREEN ELM	36" BOX	3	10'-0" x 2'-0" x 5'-0" 7'-0" x 1.75" 2.5"
ACCENTS				
	ALOE BARBADENSIS 'YELLOW' YELLOW ALOE VERA	5 GAL	70	CAN FULL 2'-0" x 3'-0" MATURE
	LOPHOCEREUS SHOTTII 'MONTROSE' TOTEM POLE CACTUS	15 GAL	13	4'-0" HIGH MIN 7'-0" x 4'-0" MATURE
	PEDILANTHUS BRACTEATUS TALL SLIPPER PLANT	5 GAL	21	CAN FULL 5'-0" x 5'-0" MATURE
VINES				
	FICUS PIVILLA CLIMBING FIG	5 GAL	20	CAN FULL 15'-0" SPREAD MATURE
GROUNDCOVERS				
	PORTULACARIA AFRA ELEPHANTS FOOT	5 GAL	159	CAN FULL 1'-0" x 3'-0" MATURE
INERT MATERIALS				
	MINUS DECOMPOSED GRANITE, COLOR: MADISON GOLD, TOP DRESSING @ 2" DEPTH, STOCK PILE REMAINING D.G. FOR REUSE.			
	ARTIFICIAL TURF			

PLANTING GENERAL NOTES:

- PLANTING AREAS SHALL BE WATERED WITH AN AUTOMATIC DRIP IRRIGATION SYSTEM.
- ALL PLANT MATERIAL SHALL CONFORM TO THE STANDARDS SET FORTH IN THE AMERICAN STANDARDS OF NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERYMEN AND BY THE AMERICAN ASSOCIATION OF RECOMMENDED TREE SPECIFICATIONS.
- AREAS OF DECOMPOSED GRANITE SHALL NOT EXCEED 7 FEET IN ANY DIRECTION WITHOUT PLANT MATERIALS OR GROUND COVER, UNLESS NOTED OTHERWISE.
- ALL AREAS TO BE DISTURBED BY CONSTRUCTION, INCLUDING ANY AREAS DISTURBED BEYOND WHAT IS SHOWN ON PLANS, SHALL BE REPLANTED AS INDICATED ON THESE PLANS, AT ALL TIMES THE PLANTS INSTALLED IN ALL AREAS ARE TO MATCH THE SURROUNDING AREA IN DENSITY AND PLANT TYPE.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY QUANTITIES INCLUDING TREES, SHRUBS, GROUNDCOVERS, DECOMPOSED GRANITE, MULCH AND OTHER ITEMS SHOWN ON THE PLANS.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION OF MAJOR DISCREPANCIES. IN CASE OF DISCREPANCY BETWEEN THE NUMBER OF PLANTS INDICATED ON THE PLANT LIST, THE DRAWINGS SHALL GOVERN.
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KEYNOTES:

- 18" H. CMU WALL
- 3'-0" H. GLASS RAIL
- LIGHT FIXTURE

TRINITAS

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P: 602.923.2195



Date Description

Seal / Signature



Project Name

TRINITAS 211 E. 7TH
STREET

Project Number

21028

Description

LANDSCAPE PLAN
LEVEL 10

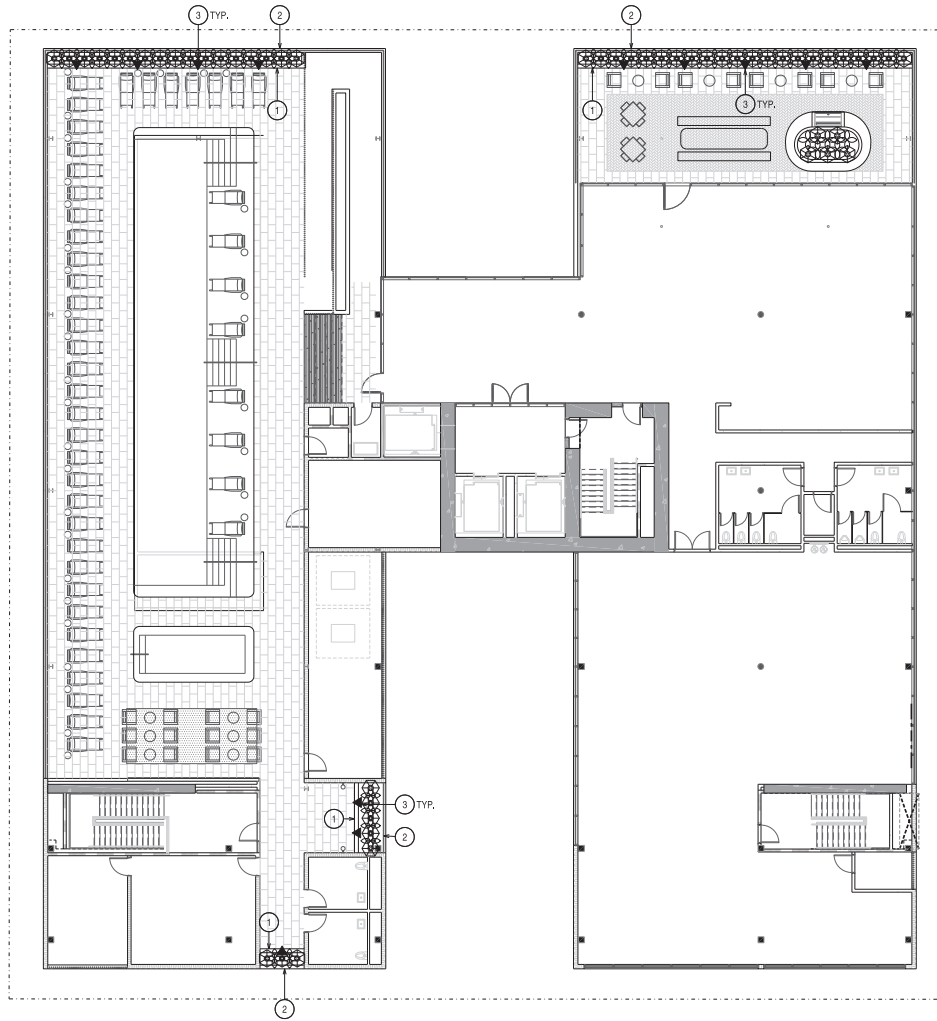
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AS SHOWN

L5.01

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SCALE: 1"=10'

LANDSCAPE PLAN - LEVEL 28 **01**
PLAN

PLANT LEGEND

SYMB	BOTANICAL NAME COMMON NAME	SIZE	QTY.	NOTES (H x W x CAL.)
ACCENTS				
	ALOE BARBADENSIS "YELLOW"	5 GAL	48	CAN FULL
	YELLOW ALOE VERA			2'-0" x 3'-0" MATURE
GROUNDCOVERS				
	PORTULACARIA AFRA	5 GAL	52	CAN FULL
	ELEPHANT'S FOOT			1'-0" x 3'-0" MATURE
INERT MATERIALS				
	1/2" MINUS DECOMPOSED GRANITE TO MATCH EXISTING. VERIFY COLOR AND SIZE, TOP DRESSING @ 2" DEPTH. STOCK PILE REMAINING D.G. FOR REUSE.			
	ARTIFICIAL TURF			

- PLANTING GENERAL NOTES:**
1. PLANTING AREAS SHALL BE WATERED WITH AN AUTOMATIC DRIP IRRIGATION SYSTEM.
 2. ALL PLANT MATERIAL SHALL CONFORM TO THE STANDARDS SET FORTH IN THE AMERICAN STANDARDS OF NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERYMEN AND BY THE AMERICAN ASSOCIATION OF RECOMMENDED TREE SPECIFICATIONS.
 3. AREAS OF DECOMPOSED GRANITE SHALL NOT EXCEED 7 FEET IN ANY DIRECTION WITHOUT PLANT MATERIALS OR GROUNDCOVER, UNLESS NOTED OTHERWISE.
 4. ALL AREAS TO BE DISTURBED BY CONSTRUCTION, INCLUDING ANY AREAS DISTURBED BEYOND WHAT IS SHOWN ON PLANS, SHALL BE REPLANTED AS INDICATED ON THESE PLANS. AT ALL TIMES THE PLANTS INSTALLED IN ALL AREAS ARE TO MATCH THE SURROUNDING AREA IN DENSITY AND PLANT TYPE.
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KEYNOTES:

1. 18" H. CMU WALL
2. 6'-0" H. GLASS RAILING
3. LIGHT FIXTURE

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 P: 602.232.1195



△ Date Description

Seal / Signature



Project Name

TRINITAS 211 E. 7TH STREET

Project Number

21028

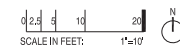
Description

LANDSCAPE PLAN
LEVEL 28

Scale

AS SHOWN

L5.02



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TRINITAS RESIDENTIAL DEVELOPMENT

PRELIMINARY UTILITY PLAN

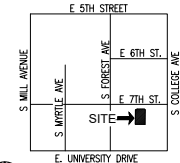
211 E. 7TH STREET, TEMPE, ARIZONA

BEING A PORTION OF THE SOUTHWEST QUARTER OF SECTION 15, TOWNSHIP 1 NORTH, RANGE 4 EAST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

CIVIL ENGINEER
SUSTAINABILITY ENGINEERING GROUP
8280 E. GELDING DR., SUITE 101
SCOTTSDALE, ARIZONA 85260
PHONE: 480-588-7226
ATTN: ALI FAKIH
EMAIL: ALI@AZSEG.COM

ARCHITECT:
GENSLER
2575 E. CAMELBACK RD
SUITE 175, PHOENIX AZ 85016
PHONE: 602-523-4900
BENJAMIN AYERS
BENJAMIN.AYERS@GENSLER.COM

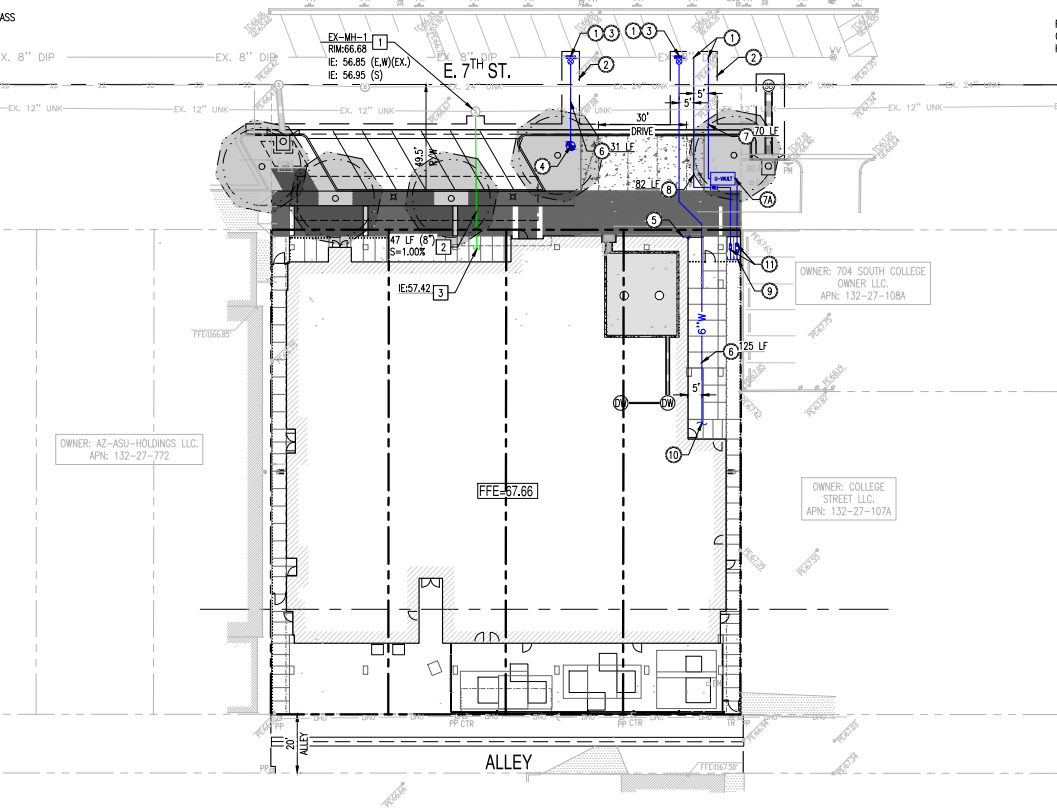
SURVEYOR
AW LAND SURVEYING, LLC
P.O. BOX 2170
CHANDLER, ARIZONA 85244
PHONE: 480-244-7630
ATTN: DANIEL ARMUJO
EMAIL: ARMUJODANIEL@AWLANDSURVEY.COM



VICINITY MAP
N.T.S.
S15/T1N/R4E

CITY OF TEMPE SEWER, WATER AND UTILITY NOTES:

- THE CONTRACTOR SHALL UNCOVER ALL EXISTING LINES BEING TIED INTO TO VERIFY THEIR LOCATION, SIZE, MATERIAL TYPE, ETC. PRIOR TO CONSTRUCTION OF NEW LINES. THE CONTRACTOR WILL LOCATE OR HAVE LOCATED ALL EXISTING UNDERGROUND PIPELINES, TELEPHONE AND ELECTRIC CONDUITS, AND STRUCTURES IN ADVANCE OF CONSTRUCTION AND WILL OBSERVE ALL POSSIBLE PRECAUTIONS TO AVOID DAMAGE TO SAME. CALL BLUE STAKE AT 602-263-1100.
- SUMMITS IN WATER LINES SHALL BE LOCATED AT FIRE HYDRANTS.
- BACKFILLING SHALL NOT BE STARTED UNTIL LINES ARE APPROVED BY THE ENGINEERING DIVISION.
- IF A BACKFLOW PREVENTION ASSEMBLY IS REQUIRED TO BE INSTALLED, THE CONTRACTOR WILL CALL THE DEVELOPMENT SERVICES DEPARTMENT AT 480-350-3341 FOR AN INSPECTION BEFORE BACKFILLING THE ASSEMBLY.
- ALL PUBLIC WATER LINES SHALL BE CLASS 350 DIP, PROTECTED WITH HIGH DENSITY POLYETHYLENE CORROSION PROTECTION PER MAG SPECIFICATION 610.
- ALL NEW WATER AND SEWER CONNECTIONS TO EXISTING LINES SHALL BE DONE ONLY BY OPEN-CUT ON MAJOR ARTERIAL STREETS, MAJOR INTERSECTIONS OR THE PRESENCE OF A MAJOR WATER OR SEWER LINE. BORED INSTALLATIONS MUST BE CLEARLY IDENTIFIED AND SPECIFICALLY APPROVED BY THE CITY ENGINEER, OR DESIGNEE.
- ALL ON-SITE SEWER SYSTEMS ARE CONSIDERED PRIVATE UNLESS OTHERWISE NOTED ON PLANS AND MUST BE APPROVED BY THE CITY OF TEMPE BUILDING SAFETY DIVISION OF THE DEVELOPMENT SERVICES DEPARTMENT.
- IN ACCORDANCE WITH AIC R18-4-119, ALL MATERIALS ADDED AFTER JANUARY 1, 1993, WHICH MAY COME INTO CONTACT WITH DRINKING WATER SHALL CONFORM TO NATIONAL SANITATION FOUNDATION STANDARDS 60 AND 61.
- ALL MANHOLE INSTALLATIONS SHALL BE COMPLETE IN PLACE INCLUDING ALL EXCAVATION, BACKFILL, SWEEPS, AND CONDUITS NECESSARY TO COMPLETE THE INSTALLATION OF THE MANHOLE AND CONNECTIONS TO THE MAINLINE CONDUITS.
- FOR THE EXISTING SEWER STUB CONNECTIONS ONLY. (TO BE SIGNED ON "AS-BUILT" MYLAR). THIS IS TO CERTIFY THAT AN ACTUAL FIELD FLOW TEST ON THE EXISTING SEWER STUB WAS PERFORMED AND WAS FOUND TO BE ACCEPTABLE AND FREE OF ANY OBSTRUCTIONS PRIOR TO FINAL BUILDING CONNECTION.
- ALL VALVES SHALL BE FLANGED TO FITTINGS, PREFERABLY TEES.
- THRUST & ANCHOR BLOCKS PER MAG STANDARD DETAIL 301, 380 & 381.
- ONLY THE CITY OF TEMPE WATER UTILITIES DIVISION PERSONNEL SHALL OPERATE ANY EXISTING VALVES OR ANY VALVE CONNECTING NEW WORK TO EXISTING CITY WATER SYSTEM.
- SEWER, WATER AND UTILITY IMPROVEMENTS SHALL NOT BE ACCEPTED UNTIL 3 ML MINIMUM DOUBLE MATTE BLACK LINE MYLAR REPRODUCIBLE "AS-BUILT" PLANS HAVE BEEN SUBMITTED TO AND APPROVED BY THE ENGINEERING DIVISION.
- WATER, STORM DRAIN & SANITARY SEWER SEPARATION/PROTECTION SHALL BE PER MAG STANDARD DETAIL 404-1, 404-2, AND 404-3 WITH CITY APPROVAL. THE CITY CONSIDERS STORM DRAINS TO BE "SEWER" WHEN CROSSING WATER LINES. THE CITY CONSIDERS STORM DRAINS TO BE "POTABLE WATER" WHEN
- THE CONTRACTOR SHALL TAKE EVERY PRECAUTION TO PREVENT FOREIGN MATERIAL FROM ENTERING THE PIPE WHILE IT IS BEING STORED.
- DURING INSTALLATION AND AT ALL TIMES WHEN PIPE LAYING IS NOT IN PROGRESS, THE OPEN ENDS OF THE PIPE IN THE TRENCH SHALL BE CLOSED BY A WATER-TIGHT PLUG OR OTHER MEANS APPROVED BY THE CITY OF TEMPE ENGINEERING INSPECTOR. IF IN THE OPINION OF THE CITY OF TEMPE ENGINEERING INSPECTOR THE PIPE CONTAINS DIRT THAT WILL NOT BE REMOVED DURING THE FLUSHING OPERATION, THE INTERIOR OF THE PIPE SHALL BE CLEANED AND SWABBED, AS NECESSARY, WITH A .005 TO .010 PERCENT CHLORINE SOLUTION.
- AFTER PRESSURE TESTING AND BEFORE PLACING IN SERVICE, ALL WATER LINES SHALL BE DISINFECTED AND TESTED FOR WATER QUALITY IN ACCORDANCE WITH MAG STANDARD SPECIFICATIONS SECTION 611. IF THE CHLORINE RESIDUAL TEST OR FAILS TO MEET THE WATER QUALITY TEST MORE THAN THREE (3) TIMES, THE CITY OF TEMPE ENGINEERING INSPECTOR RESERVES THE RIGHT TO REQUIRE THE INSTALLED WATER LINE TO BE CLEANED BY PIGGING THE LINE, IN ACCORDANCE WITH STANDARD PROCEDURES, AT NO COST TO THE CITY.



PRELIMINARY WATER CONSTRUCTION KEY NOTES

- CONNECTION TO EXISTING WATER LINE.
- SAWCUT, REMOVE AND REPLACE EXISTING PAVEMENT.
- INSTALL TAPPING SLEEVE, VALVE, BOX & COVER.
- INSTALL FIRE HYDRANT ASSEMBLY PER MAG STD. DET. 360 & 362 WITH BLUE PLACEMENT MARKERS PER MAG STD. DET. 122.
- FIRE DEPARTMENT CONNECTION.
- 6" DUCTILE IRON PIPE. LENGTH PER PLAN.
- INSTALL 3" TYPE "K" COPPER DOMESTIC SERVICE CONNECTION. LENGTH PER PLAN.
- INSTALL 3" DOMESTIC SERVICE VALVE PER MAG 321 AND 345-1.2
- INSTALL 1-1/2" TYPE "K" COPPER IRRIGATION SERVICE CONNECTION. LENGTH PER PLAN.
- DOMESTIC CONNECTION TO BUILDING.
- FIRE CONNECTION TO BUILDING.
- BACKFLOW PREVENTION, SIZE TO MATCH WATER METER SIZE.

PRELIMINARY SEWER CONSTRUCTION KEY NOTES

- CONNECTION TO EXISTING SEWER MANHOLE.
- 8" PVC SEWER LINE. LENGTH AND SLOPE PER PLAN.
- SEWER CONNECTION TO BUILDING.

EXISTING LEGEND:

—●— CENTERLINE	— S — EX. S SEWER LINE	— CB — STORM DRAIN LINE	— SL — SIGN
- - - EASEMENT LINE AS NOTED	— MH — SEWER MANHOLE	— CB — STORM CATCH BASIN	— SL — STREET LIGHT
— CHAINLINK FENCE	— W — EX. W WATER LINE	— MH — STORM MANHOLE	— FO — FIBER OPTIC LINE
— TREE	— WV — WATER VALVE	— GAS — GAS LINE	
	— FH — FIRE HYDRANT	— IRR — IRRIGATION LINE	

PROPOSED UTILITY LEGEND:

—●— PROPERTY LINE	— FH — FIRE HYDRANT	— T.S.V.B.&C — T.S.V.B.&C	— ? — BUILDING CONNECTION
- - - EASEMENT LINE	— FDC — FDC	— BFP — BACK FLOW PREVENTER	— MH — SEWER MANHOLE
— 8" W — WATER LINE	— WM — WATER METER	— R — REDUCER	— SC — SEWER CLEAN OUT
— 8" S — SEWER LINE	— GV — GATE VALVE	— CAP — CAP	



LOCATION: Z:\SHARED\PROJECTS\GENSLER\TRINITAS STUDENT HOUSING - TEMPE - SEC FOREST & 7TH ST - 21069A11 CAD (SEG)\1.3 ENTITLEMENT-PLANNING\21069A-4\LOADING SWED BY: BENJAMIN.KOLTAJDATE: 5/9/2023

PRELIMINARY NOT FOR CONSTRUCTION

SUSTAINABILITY ENGINEERING GROUP
SEG



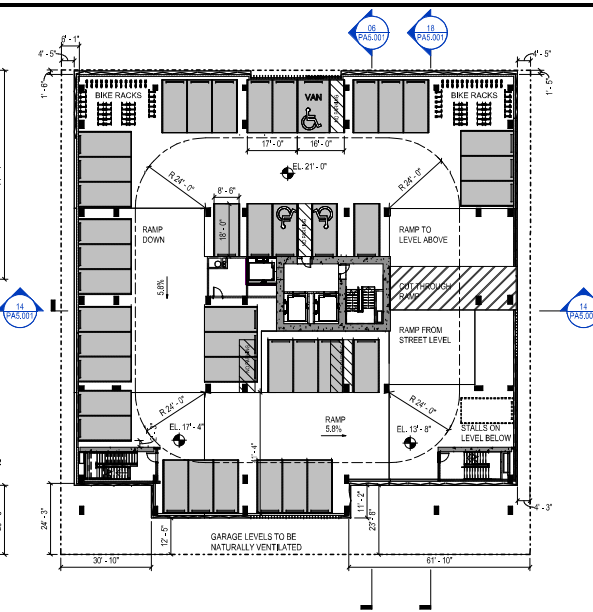
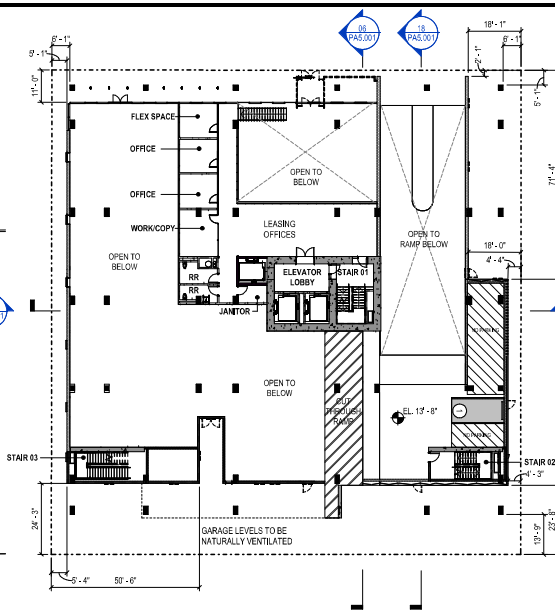
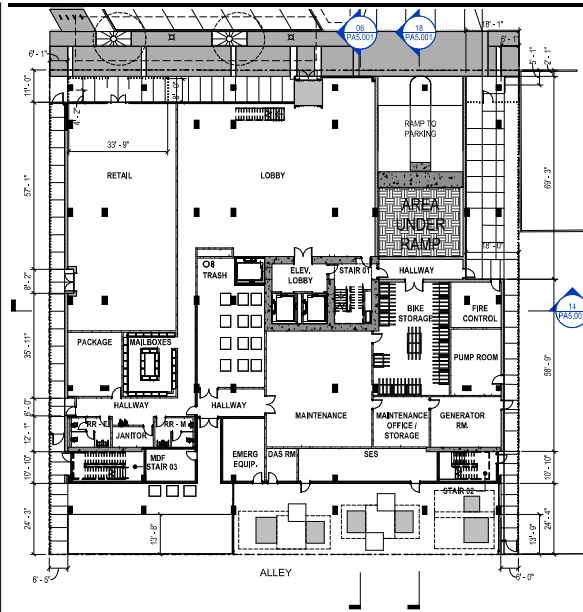
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PROJECT: TRINITAS RESIDENTIAL DEVELOPMENT	LOCATION: 211 E. 7TH STREET, TEMPE, ARIZONA
DRAWN: []	DATE: 05/02/2023
DESIGNED: []	CHK: 05/02/2023
IN CHARGE: []	DATE: 05/02/2023
DATE: 05/08/2023	

DATE: 05/08/2023	
PLAN REVIEW	
REVISION NO:	DATE:
JOB NO: 210604	
SHEET TITLE: PRELIMINARY UTILITY PLAN	
PAGE NO: 1 OF 1	SHEET NO: C4.10

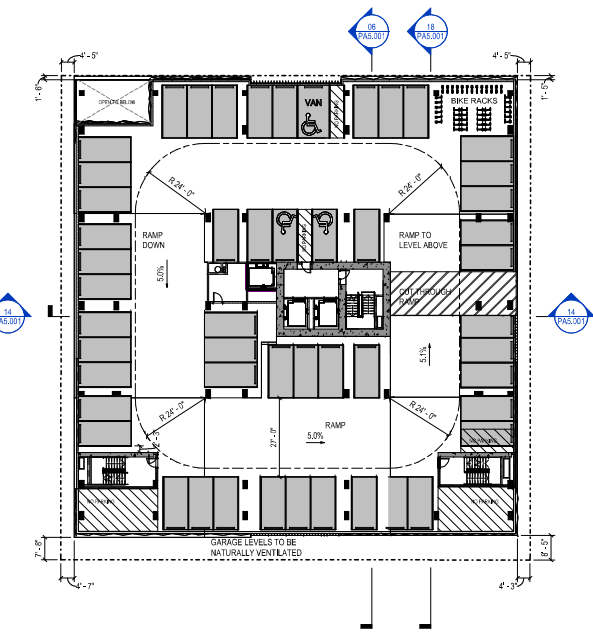
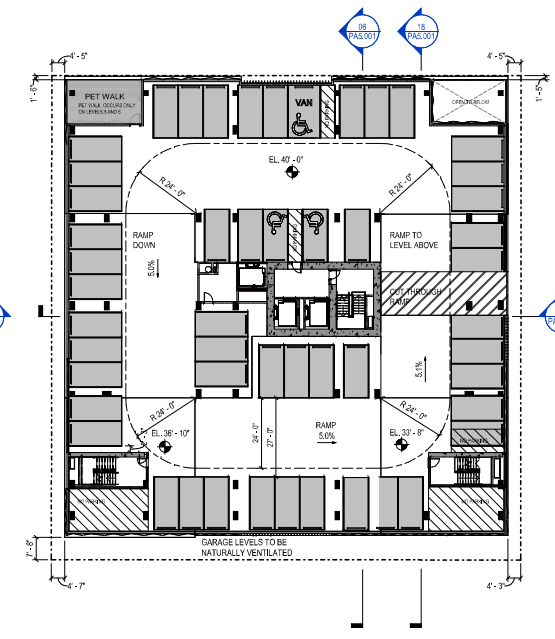
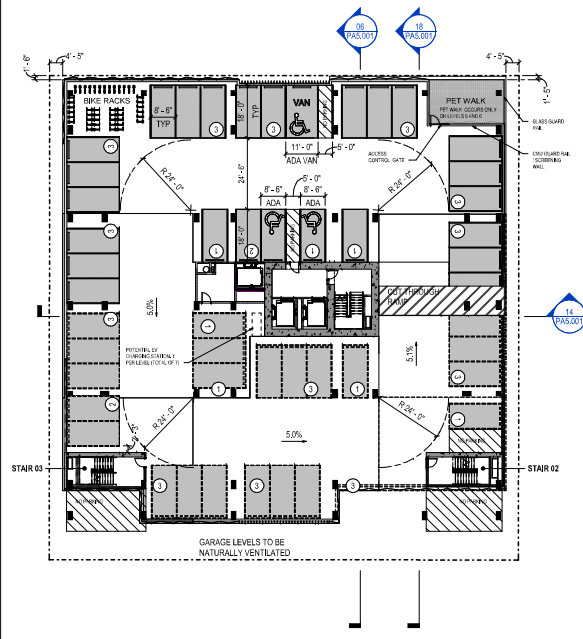
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18 FLOOR PLAN - LEVEL 01
SCALE: 1" = 20'-0"

10 FLOOR PLAN - LEVEL 02
SCALE: 1" = 20'-0"

06 FLOOR PLAN - LEVEL 03 (PARKING)
SCALE: 1" = 20'-0"



20 FLOOR PLAN - LEVEL 04 (PARKING)
SCALE: 1" = 20'-0"

12 FLOOR PLAN - LEVEL 05 (PARKING)
SCALE: 1" = 20'-0"

08 FLOOR PLAN - LEVEL 06+07 (PARKING)
SCALE: 1" = 20'-0"

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Date	Description
06.10.21	PRE-APPLICATION

Seal / Signature

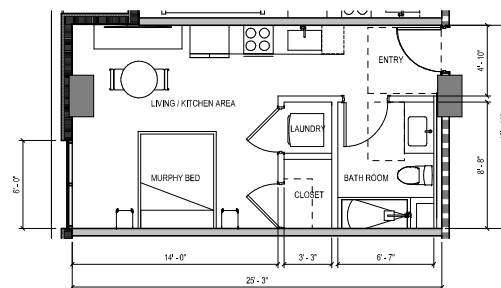
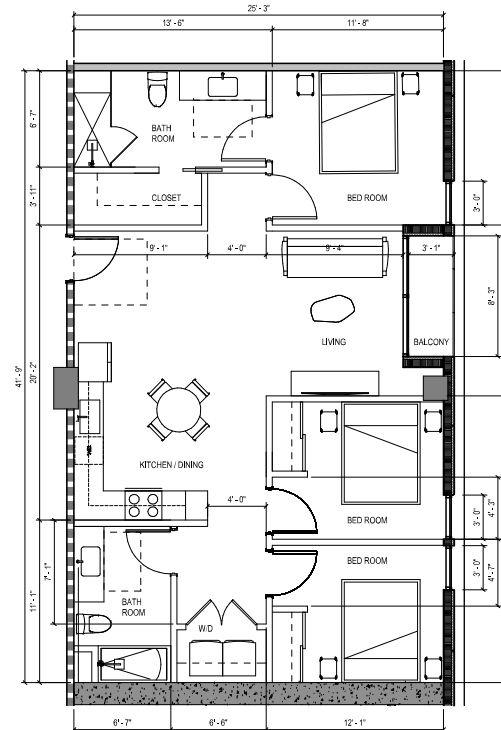
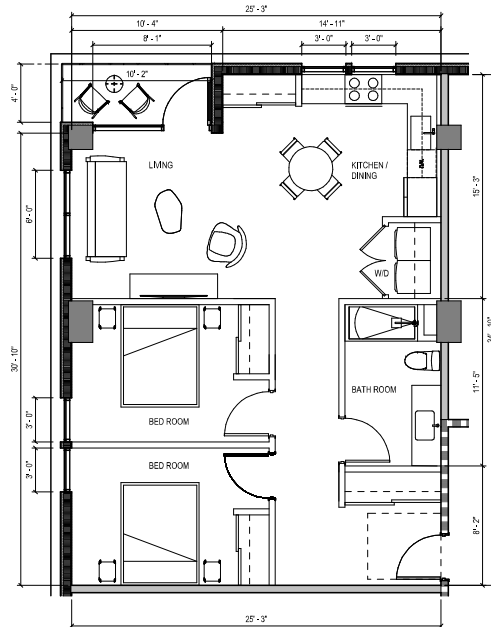
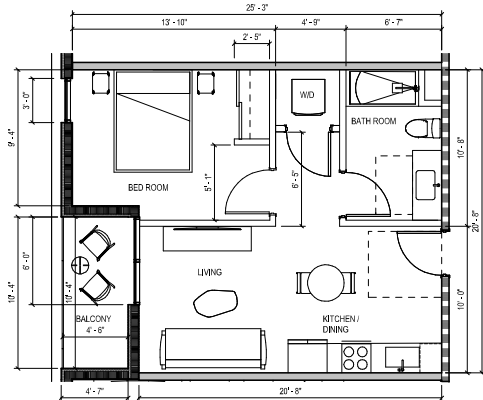
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Project Name
TRINITAS 217 E. 7TH STREET
Project Number
57.8218.000
Description
FLOOR PLANS

Scale
1" = 20'-0"

PA2.100

1/10/2023 10:41 AM Autodesk Docs/02/25/2023 - Trinitas 217 E. 7th Street - Ph 151.621.033 - Architecture



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Date Description

Seal / Signature

NOT FOR CONSTRUCTION

Project Name
TRINITAS 217 E. 7TH STREET

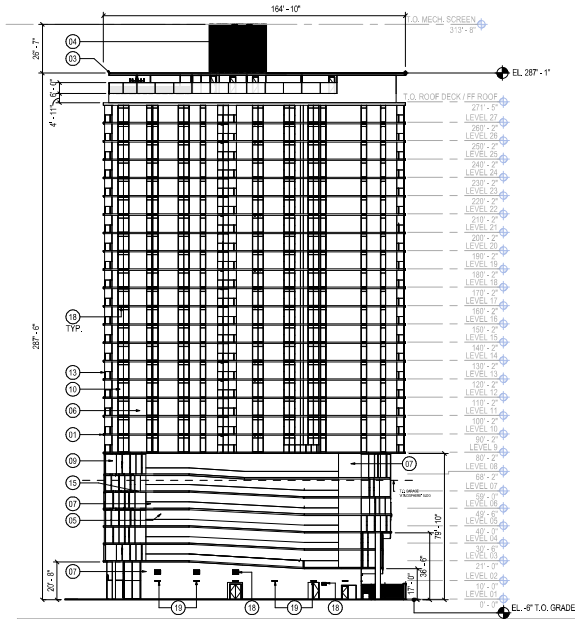
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Description
TYPICAL UNIT PLANS

Scale
1/4" = 1'-0"

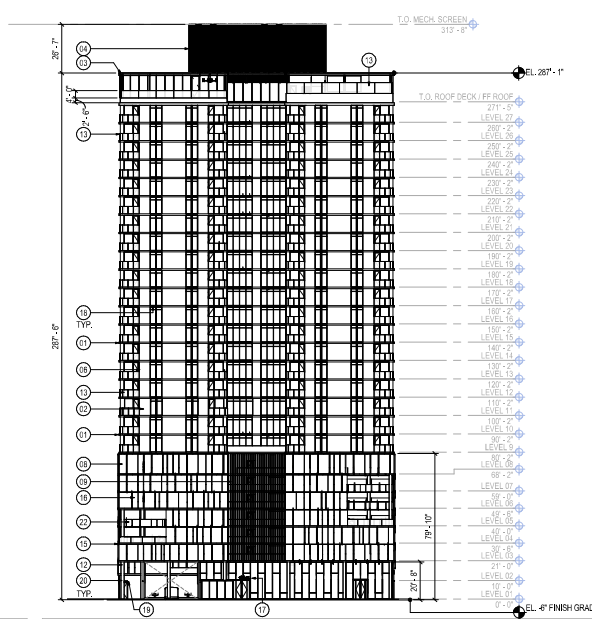
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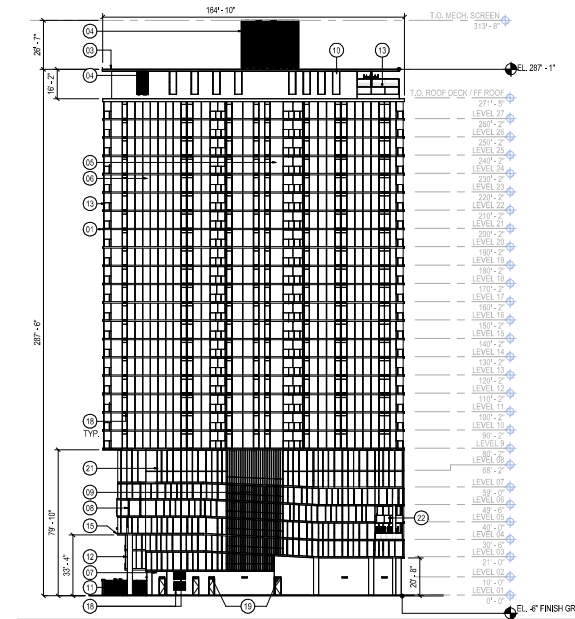
01 BUILDING ELEVATION - WEST / BLACK LINE

SCALE: 1/32" = 1'-0"



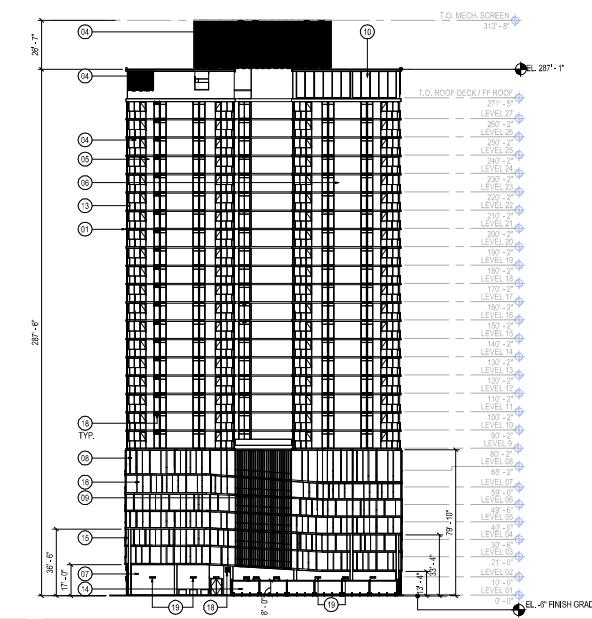
02 BUILDING ELEVATION - NORTH / BLACK LINE

SCALE: 1/32" = 1'-0"



03 BUILDING ELEVATION - EAST / BLACK LINE

SCALE: 1/32" = 1'-0"



04 BUILDING ELEVATION - SOUTH / BLACK LINE

SCALE: 1/32" = 1'-0"

SHEET NOTES

- 01 METAL PANEL, B.O.D., ATAS CMWALL CMW188 - COLOR: DOVE GREY
- 02 STO PANEL, CLASSIC NEXT CT, COLOR: SHERWIN WILLIAMS, SHELL WHITE
- 03 STEEL CANOPY STRUCTURE, PAINTED STEEL, COLOR SW IRON ORE SW7089 - REFER TO STRUCTURAL
- 04 MECHANICAL SCREEN WALL: ALUMINUM LOUVERS, CLEAR ANODIZED
- 05 STO PANEL, CLASSIC NEXT CT, COLOR: SHERWIN WILLIAMS, CLAWK GREY
- 06 STO PANEL, CLASSIC NEXT CT, COLOR: SHERWIN WILLIAMS, UMBER RUST
- 07 GROUND FACE CONCRETE MASONRY UNIT #9X9X15" INTEGRAL COLOR, STACK BOND
- 08 GARAGE SCREENING - PERFORATED METAL PANELS, SILVER COLOR, 50% OPEN
- 09 GARAGE SCREENING - VERTICAL ALUMINUM FINS, SILVER COLOR
- 10 ALUMINUM STOREFRONT WINDOWS, MILLIONS, CLEAR ANODIZED GLAZING, SOLARBAN T0, CLEAR COLOR
- 11 SITE FENCING - REFER TO LANDSCAPE
- 12 CONCRETE COLUMNS, REFER TO STRUCTURAL
- 13 GLASS GUARD RAIL, GLAZING, COLOR CLEAR
- 14 SLIDING GATES - PAINTED METAL PANELS ON STEEL FRAMES, 8'0" TALL
- 15 CONCRETE PT SLAB
- 16 GARAGE SCREENING - PERFORATED PANELS, DARK GREY COLOR, 50% OPEN
- 17 BUILDING ADDRESS NUMERALS ALUMINUM
- 18 ALUMINUM LOUVERS, PAINTED / COATED TO MATCH ADJACENT WALL SURFACE OR WINDOW SYSTEM
- 19 WALL MOUNTED LINEAR LIGHT FIXTURE, B.O.D. BECA 44 616 WALL LUMINAIRE
- 20 WALL MOUNTED LIGHT FIXTURE, B.O.D. BECA 24 887 WALL LUMINAIRE
- 21 GARAGE SCREENING - METAL PANELS, SILVER COLOR, NO PERFORATION, MOUNTED FLAT ON WALL
- 22 METAL PANELS, COLOR TO MATCH SHERWIN WILLIAMS UMBER RUST, NO PERFORATION

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Date	Description
06.20.22	PRE-APPLICATION

GENERAL NOTES

1. ALL ELEVATION DIMENSIONS MEASURED TO TOP OF GRADE.
2. GARAGE TO BE NATURALLY VENTILATED PER 2018 IBC 603.2

Seal / Signature

NOT FOR CONSTRUCTION

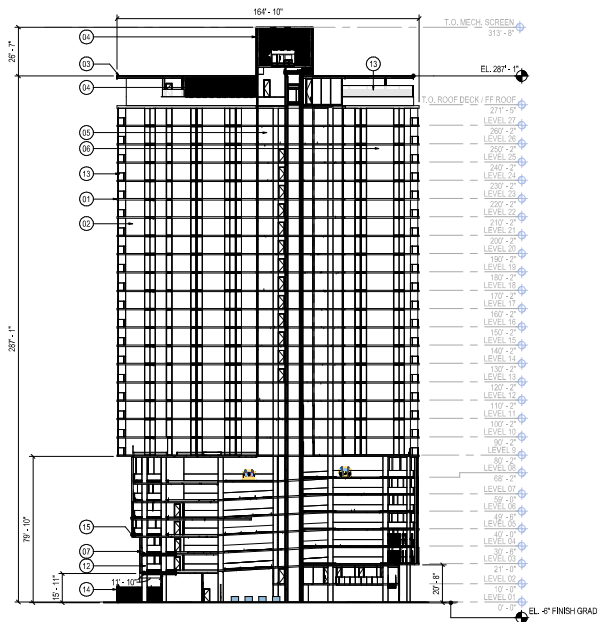
Project Name
TRINITAS 217 E. 7TH STREET

Project Number
57.8218.000

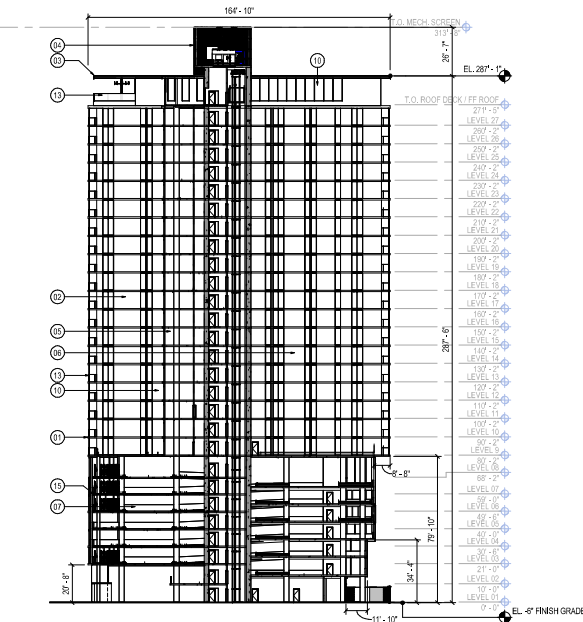
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ELEVATIONS - BLACK LINE

Scale
As indicated

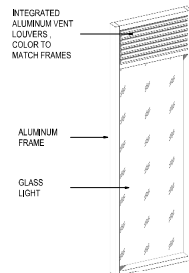
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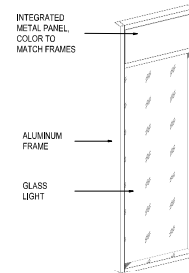
01 BUILDING ELEVATION - EAST / COURT YARD / BLACK LINE
SCALE: 1/32" = 1'-0"



02 BUILDING ELEVATION - WEST / COURT YARD / BLACK LINE
SCALE: 1/32" = 1'-0"



03 3D VIEW TYP. RESIDENTIAL WINDOW WITH EXHAUST LOUVER
SCALE:



04 3D VIEW TYP. RESIDENTIAL WINDOW WITH METAL PANEL
SCALE:

SHEET NOTES

- 01 METAL PANEL, B.O.D. - ATAS GRAYWALL OMV188-COLOR: DOVE GREY
- 02 *STO PANEL, CLASSIC NEXT CP, COLOR: SHERWIN WILLIAMS SHELL WHITE
- 03 STEEL CANOPY STRUCTURE, PAINTED STEEL, COLOR SW IRON ORE SW 7069 - REFER TO STRUCTURAL
- 04 MECHANICAL SCREEN WALL: ALUMINUM LOUVERS, CLEAR ANODIZED
- 05 *STO PANEL, CLASSIC NEXT CP, COLOR: SHERWIN WILLIAMS, CLAY GREY
- 06 *STO PANEL, CLASSIC NEXT CP, COLOR: SHERWIN WILLIAMS, UMBER RUST
- 07 GROUND FACE CONCRETE MASONRY UNIT 8"X8"X16", INTEGRAL COLOR, STACK BOND
- 08 GARAGE SCREENING - PERFORATED METAL PANELS, SILVER COLOR, 50% OPEN
- 09 GARAGE SCREENING - VERTICAL ALUMINUM FINS, SILVER COLOR
- 10 ALUMINUM STOREFRONT WINDOWS, MULLIONS: CLEAR ANODIZED, GLAZING: SOLARBAN 70, CLEAR COLOR
- 11 SITE FENESTRATION - REFER TO LANDSCAPE
- 12 CONCRETE COLUMN, REFER TO STRUCTURAL
- 13 GLASS GUARD RAIL, GLAZING, COLOR CLEAR
- 14 SLIDING GATES - PAINTED METAL PANELS ON STEEL FRAMES, 8'0" TALL
- 15 CONCRETE PT SLAB
- 16 GARAGE SCREENING - PERFORATED PANELS, DARK GREY COLOR, 50% OPEN
- 17 BUILDING ADDRESS NUMERALS ALUMINUM
- 18 ALUMINUM LOUVERS, PAINTED / COATED TO MATCH ADJACENT WALL SURFACE OR WINDOW SYSTEM
- 19 WALL MOUNTED LINEAR LIGHT FIXTURE, B.O.D. BEGA 413 WALL LUMINAIRE
- 20 WALL MOUNTED LIGHT FIXTURE, B.O.D. BEGA 24 087 WALL LUMINAIRE
- 21 GARAGE SCREENING - METAL PANELS, SILVER COLOR, NO PERFORATION, MOUNTED FLAT ON WALL
- 22 METAL PANELS, COLOR TO MATCH SHERWIN WILLIAMS UMBER RUST, NO PERFORATION

GENERAL NOTES

1. ALL ELEVATION DIMENSIONS MEASURED TO TOP OF GRADE.
2. GARAGE TO BE NATURALLY VENTILATED PER 2018 IRC 408.2.

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Date	Description

Seal / Signature

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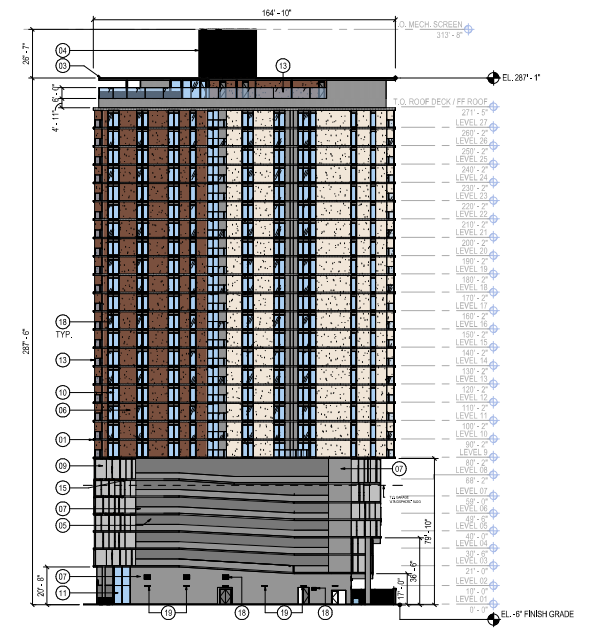
Project Name
TRINITAS 217 E. 7TH STREET

Project Number
57.8218.000

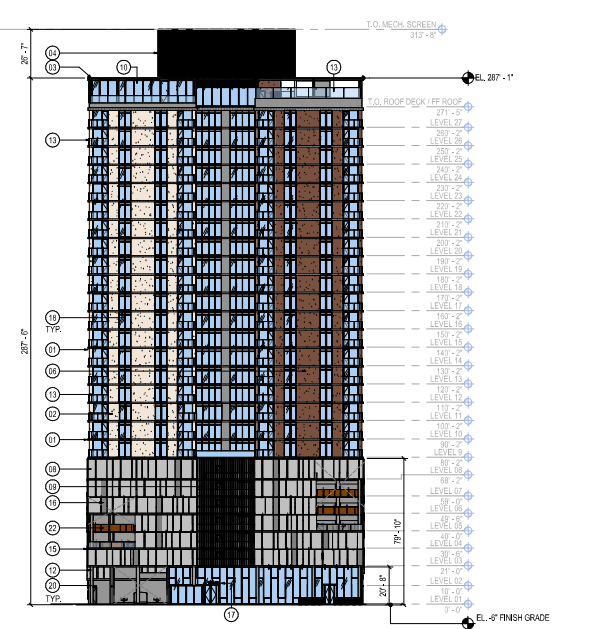
Description
ELEVATIONS - BLACK LINE

Scale
As indicated

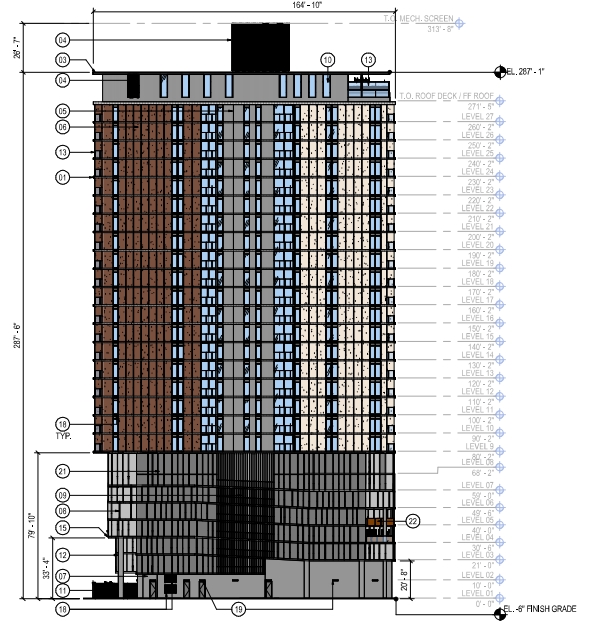
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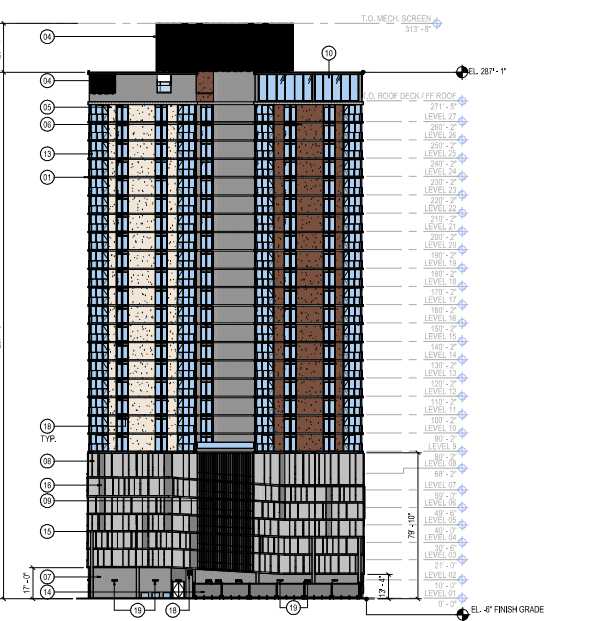
01 BUILDING ELEVATION - WEST / COLOR
SCALE: 1/32" = 1'-0"



02 BUILDING ELEVATION - NORTH / COLOR
SCALE: 1/32" = 1'-0"



03 BUILDING ELEVATION - EAST / COLOR
SCALE: 1/32" = 1'-0"



04 BUILDING ELEVATION - SOUTH / COLOR
SCALE: 1/32" = 1'-0"

SHEET NOTES

- 01 METAL PANEL, B.O.D. - ATAS OMAWALL OMW188 - COLOR: DOVE GREY
- 02 STO PANEL CLASSIC NEXT CI, COLOR: SHERWIN WILLIAMS, SHELL WHITE
- 03 STEEL CANOPY STRUCTURE, PAINTED STEEL, COLOR SW IRON ORE SW 7068 - REFER TO STRUCTURAL
- 04 MECHANICAL SCREEN WALL, ALUMINUM LOWERS, CLEAR ANODIZED
- 05 STO PANEL CLASSIC NEXT CI, COLOR: SHERWIN WILLIAMS, CLOAK GREY
- 06 STO PANEL CLASSIC NEXT CI, COLOR: SHERWIN WILLIAMS, UMBER RUST
- 07 GROUND FACE CONCRETE MASONRY UNIT 8"X8"X16", INTEGRAL COLOR, STACK BOND
- 08 GARAGE SCREENING - PERFORATED METAL PANELS, SILVER COLOR, 50% OPEN
- 09 GARAGE SCREENING - VERTICAL ALUMINUM FINIS, SILVER COLOR
- 10 ALUMINUM STOREFRONT WINDOWS, MILLIONS, CLEAR ANODIZED, GLAZING SOLARBAN 70, CLEAR COLOR
- 11 SITE FENCING - REFER TO LANDSCAPE
- 12 CONCRETE COLUMN, REFER TO STRUCTURAL
- 13 GLASS GUARD RAIL, GLAZING, COLOR CLEAR
- 14 SLIDING GATES - PAINTED METAL PANELS ON STEEL FRAMES, 6'0" TALL
- 15 CONCRETE PT SLAB
- 16 GARAGE SCREENING - PERFORATED PANELS, DARK GREY COLOR, 50% OPEN
- 17 BUILDING ADDRESS NUMERALS ALUMINUM
- 18 ALUMINUM LOWERS, PAINTED / COATED TO MATCH ADJACENT WALL SURFACE OR WINDOW SYSTEM
- 19 WALL MOUNTED LINEAR LIGHT FIXTURE, B.O.D. BEGA 4418 WALL LUMINAIRE
- 20 WALL MOUNTED LIGHT FIXTURE, B.O.D. BEGA 24 087 WALL LUMINAIRE
- 21 GARAGE SCREENING - METAL PANELS, SILVER COLOR, NO PERFORATION, MOUNTED FLAT ON WALL
- 22 METAL PANELS, COLOR TO MATCH SHERWIN WILLIAMS UMBER RUST, NO PERFORATION

GENERAL NOTES

1. ALL ELEVATION DIMENSIONS MEASURED TO TOP OF GRADE.
2. GARAGE TO BE NATURALLY VENTILATED PER 2018 IRC 403.2

MATERIAL LEGEND

	3 COAT STUCCO PAINTED, COLOR: SHERWIN WILLIAMS, SHELL WHITE
	3 COAT STUCCO PAINTED, COLOR: SHERWIN WILLIAMS, CLOAK GREY
	3 COAT STUCCO PAINTED, COLOR: SHERWIN WILLIAMS, UMBER RUST
	METAL PANEL B.O.D. - ATAS OMAWALL OMW188, COLOR: DOVE GREY
	METAL PANEL B.O.D. - ATAS OMAWALL OMW188, COLOR: DOVE GREY
	FOLDED PERFORATED METAL PANEL 1, B.O.D. - MONICOLS 20 GA METAL PANEL, 51% OPEN, COLOR: SILVER
	FOLDED PERFORATED METAL PANEL 2, B.O.D. - MONICOLS 20 GA METAL PANEL, 23% OPEN, COLOR: SILVER
	CONCRETE
	GROUND FACE CMU INTEGRAL, COLOR: BOD TRANDSTONE, COLOR: BLACK CANYON
	GLASS, B.O.D. SOLARBAN 70, COLOR: CLEAR
	GLASS RAILING, COLOR: CLEAR
	FOLDED PERFORATED METAL PANEL 1, B.O.D. - MONICOLS 20 GA METAL PANEL, 51% OPEN, COLOR: UMBER RUST TO MATCH STUCCO ABOVE

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Date	Description

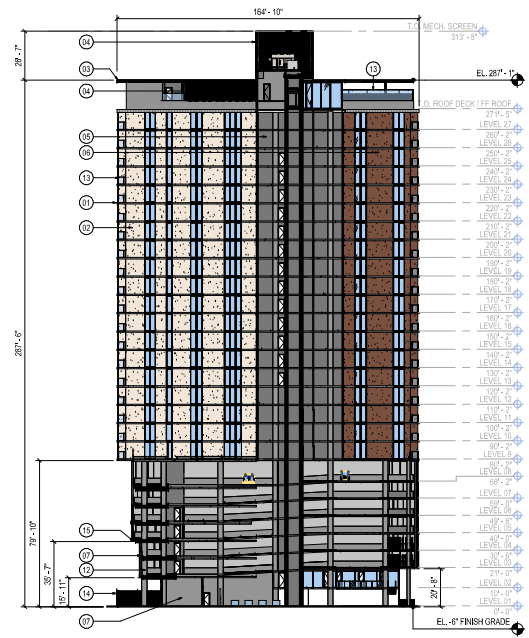
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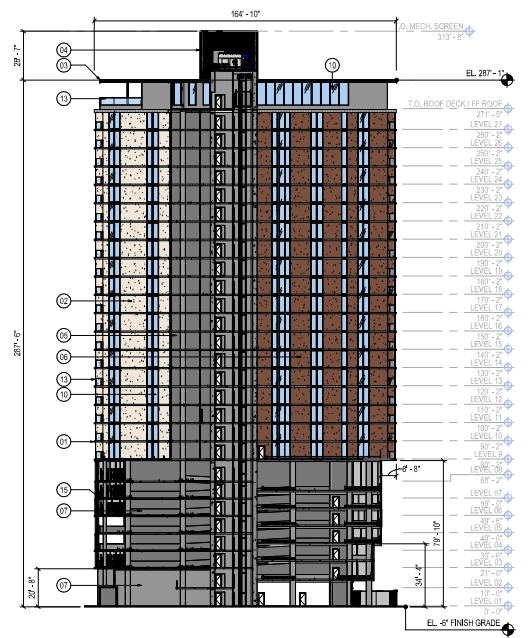
Project Name
TRINITAS 217 E. 7TH STREET
Project Number
57.8218.000
Description
ELEVATIONS - COLOR

Scale
As indicated

PA4.002



01 BUILDING ELEVATION EAST / COLOR / COURT YARD
SCALE: 1/32" = 1'-0"



02 BUILDING ELEVATION WEST / COLOR / COURT YARD
SCALE: 1/32" = 1'-0"

SHEET NOTES

- 01 METAL PANEL B.O.D. - ATAS OMAWALL OMW188 - COLOR: DOVE GREY
- 02 *STO PANEL CLASSIC NEXT CP COLOR: SHERWIN WILLIAMS SHELL WHITE
- 03 STEEL CANOPY STRUCTURE, PAINTED STEEL, COLOR SW BRON ORE SW 7069 - REFER TO STRUCTURAL
- 04 MECHANICAL SCREEN WALL: ALUMINUM LOUVERS, CLEAR ANODIZED
- 05 *STO PANEL CLASSIC NEXT CP COLOR: SHERWIN WILLIAMS CLOAK GREY
- 06 *STO PANEL CLASSIC NEXT CP COLOR: SHERWIN WILLIAMS UMBER RUST
- 07 GROUND FACE CONCRETE MASONRY UNIT 8"X8"X16" INTEGRAL COLOR, STACK BOND
- 08 GARAGE SCREENING - PERFORATED METAL PANELS, SILVER COLOR, 50% OPEN
- 09 GARAGE SCREENING - VERTICAL ALUMINUM FINIS, SILVER COLOR
- 10 ALUMINUM STOREFRONT WINDOWS, MULLIONS: CLEAR ANODIZED, GLAZING: SOLARBAN 70, CLEAR COLOR
- 11 SITE FENIKING - REFER TO LANDSCAPE
- 12 CONCRETE COLUMN, REFER TO STRUCTURAL
- 13 GLASS GUARD RAIL, GLAZING: COLOR CLEAR
- 14 SLIDING GATES - PAINTED METAL PANELS ON STEEL FRAMES, 6'0" TALL
- 15 CONCRETE PT SLAB
- 16 GARAGE SCREENING - PERFORATED PANELS, DARK GREY COLOR, 50% OPEN
- 17 BUILDING ADDRESS NUMERALS ALUMINUM
- 18 ALUMINUM LOUVERS, PAINTED / COATED TO MATCH ADJACENT WALL SURFACE OR WINDOW SYSTEM
- 19 WALL MOUNTED LINEAR LIGHT FIXTURE, B.O.D. BEGA 44 418 WALL LUMINAIRE
- 20 WALL MOUNTED LIGHT FIXTURE, B.O.D. BEGA 24 087 WALL LUMINAIRE
- 21 GARAGE SCREENING - METAL PANELS, SILVER COLOR, NO PERFORATION, MOUNTED FLAT ON WALL
- 22 METAL PANELS, COLOR TO MATCH SHERWIN WILLIAMS UMBER RUST, NO PERFORATION

GENERAL NOTES

1. ALL ELEVATION DIMENSIONS MEASURED TO TOP OF GRADE.
2. GARAGE TO BE NATURALLY VENTILATED PER 2018 IRC 408.2

MATERIAL LEGEND

- 3 COAT STUCCO PAINTED, COLOR: SHERWIN WILLIAMS, SHELL WHITE
- 3 COAT STUCCO PAINTED, COLOR: SHERWIN WILLIAMS, CLOAK GREY
- 3 COAT STUCCO PAINTED, COLOR: SHERWIN WILLIAMS, UMBER RUST
- METAL PANEL B.O.D. - ATAS OMAWALL OMW188, COLOR: DOVE GREY
- METAL PANEL B.O.D. - ATAS OMAWALL OMW188, COLOR: DOVE GREY
- FOLDED PERFORATED METAL PANEL 1, B.O.D. - MONICOLS 30 GA METAL PANEL, 51% OPEN, COLOR: SILVER
- FOLDED PERFORATED METAL PANEL 2, B.O.D. - MONICOLS 30 GA METAL PANEL, 23% OPEN, COLOR: SILVER
- CONCRETE
- GROUND FACE CMU INTEGRAL COLOR, B.O.D. TRANDSTONE, COLOR: BLACK CANYON
- GLASS, B.O.D. SOLARBAN 70, COLOR: CLEAR
- GLASS RAILING, COLOR: CLEAR
- FOLDED PERFORATED METAL PANEL 1, B.O.D. - MONICOLS 20 GA METAL PANEL, 51% OPEN, COLOR: UMBER RUST TO MATCH STUCCO ABOVE

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Date	Description

Seal / Signature

NOT FOR CONSTRUCTION

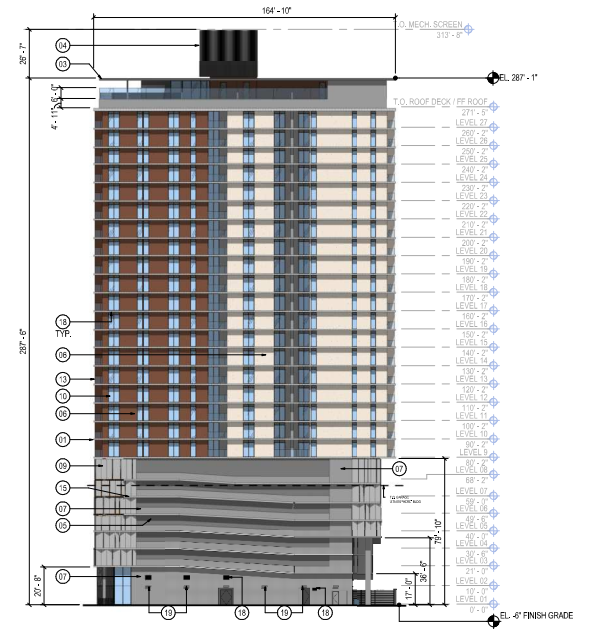
Project Name
TRINITAS 217 E. 7TH STREET

Project Number
57.8218.000

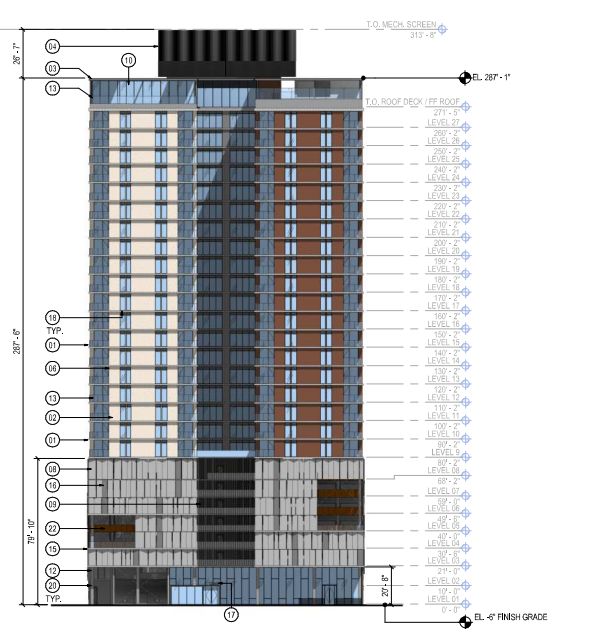
Description
ELEVATIONS - COLOR

Scale
As indicated

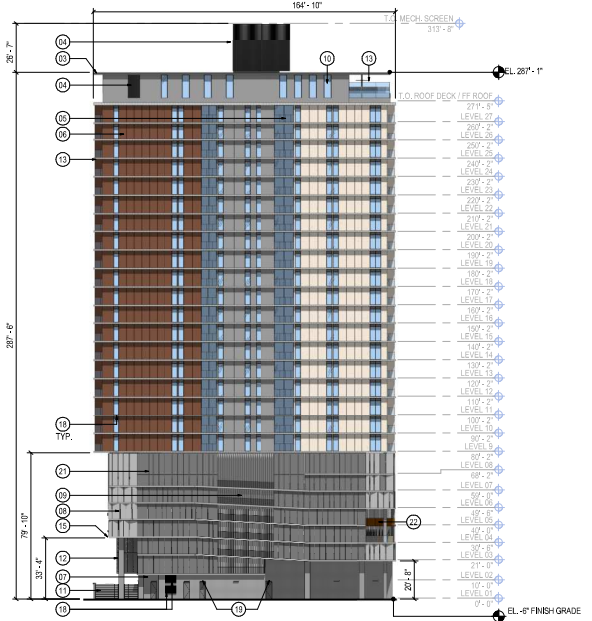
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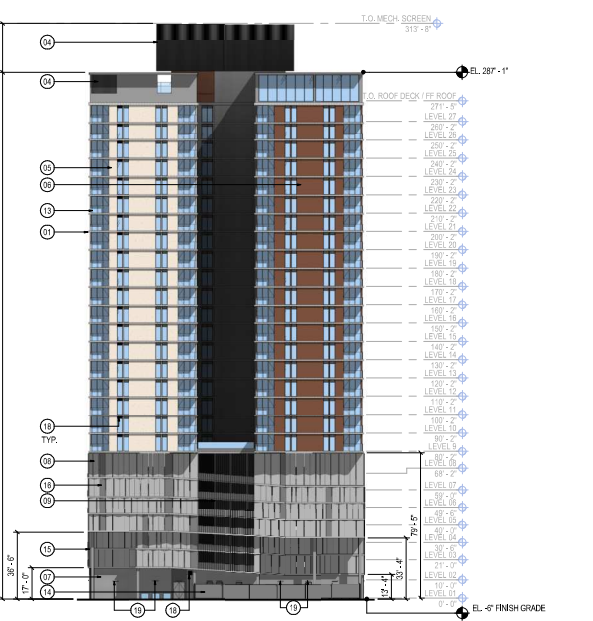
01 BUILDING ELEVATION - WEST / COLOR+SHADOWS
 SCALE: 1/32" = 1'-0"



02 BUILDING ELEVATION - NORTH / COLOR+SHADOWS
 SCALE: 1/32" = 1'-0"



03 BUILDING ELEVATION - EAST / COLOR+SHADOWS
 SCALE: 1/32" = 1'-0"



04 BUILDING ELEVATION - SOUTH / COLOR+SHADOWS
 SCALE: 1/32" = 1'-0"

SHEET NOTES

- 01 METAL PANEL, B.O.D. - ATAS OMWALL OMW188 - COLOR, DOVE GREY
- 02 STU PANEL, CLASSIC NEXT CI, COLOR: SHERWIN WILLIAMS SHELL WHITE
- 03 STEEL CANOPY STRUCTURE, PAINTED STEEL, COLOR SW IRON ORE SW 7099 - REFER TO STRUCTURAL
- 04 MECHANICAL SCREEN WALL: ALUMINUM LOUVERS, CLEAR ANODIZED
- 05 STU PANEL, CLASSIC NEXT CI, COLOR: SHERWIN WILLIAMS CLOAK GREY
- 06 STU PANEL, CLASSIC NEXT CI, COLOR: SHERWIN WILLIAMS UMBER RUST
- 07 GROUND FACE CONCRETE MASONRY UNIT #18X18, INTEGRAL COLOR, STACK BOND
- 08 GARAGE SCREENING - PERFORATED METAL PANELS, SILVER COLOR, 50% OPEN
- 09 GARAGE SCREENING - VERTICAL ALUMINUM FINNS, SILVER COLOR
- 10 ALUMINUM STOREFRONT WINDOWS, MULLIONS: CLEAR ANODIZED, GLAZING SOLARBAN 70, CLEAR COLOR
- 11 SITE FENCING - REFER TO LANDSCAPE
- 12 CONCRETE COLUMN, REFER TO STRUCTURAL
- 13 GLASS GUARD RAIL, GLAZING: COLOR CLEAR
- 14 SLIDING GATES - PAINTED METAL PANELS ON STEEL FRAMES, 8'0" TALL
- 15 CONCRETE PT SLAB
- 16 GARAGE SCREENING - PERFORATED PANELS, DARK GREY COLOR, 50% OPEN
- 17 BUILDING ADDRESS NUMERALS ALUMINUM
- 18 ALUMINUM LOUVERS, PAINTED / COATED TO MATCH ADJACENT WALL SURFACE OR WINDOW SYSTEM
- 19 WALL MOUNTED LINEAR LIGHT FIXTURE, B.O.D. BEGA 418 WALL LUMINAIRE
- 20 WALL MOUNTED LIGHT FIXTURE, B.O.D. BEGA 24 087 WALL LUMINAIRE
- 21 GARAGE SCREENING - METAL PANELS, SILVER COLOR, NO PERFORATION, MOUNTED FLAT ON WALL
- 22 METAL PANELS, COLOR TO MATCH SHERWIN WILLIAMS UMBER RUST, NO PERFORATION

GENERAL NOTES

1. ALL ELEVATION DIMENSIONS MEASURED TO TOP OF GRADE.
2. GARAGE TO BE NATURALLY VENTILATED PER 2018 IRC 403.2

MATERIAL LEGEND

	3 COAT STUCCO PAINTED, COLOR: SHERWIN WILLIAMS, SHELL WHITE
	3 COAT STUCCO PAINTED, COLOR: SHERWIN WILLIAMS, CLOAK GREY
	3 COAT STUCCO PAINTED, COLOR: SHERWIN WILLIAMS, UMBER RUST
	METAL PANEL B.O.D. - ATAS OMWALL OMW188, COLOR: DOVE GREY
	METAL PANEL B.O.D. - ATAS OMWALL OMW178, COLOR: DOVE GREY
	FOLDED PERFORATED METAL PANEL 1, B.O.D. - MONICOLS 20 GA METAL PANEL, 51% OPEN, COLOR: SILVER
	FOLDED PERFORATED METAL PANEL 2, B.O.D. - MONICOLS 20 GA METAL PANEL, 23% OPEN, COLOR: SILVER
	CONCRETE
	GROUND FACE CMU INTEGRAL COLOR, BOD TRANDSTONE, COLOR: BLACK CANYON
	GLASS, B.O.D. SOLARBAN 70, COLOR: CLEAR
	GLASS RAILING, COLOR: CLEAR
	FOLDED PERFORATED METAL PANEL 1, B.O.D. - MONICOLS 20 GA METAL PANEL, 51% OPEN, COLOR: UMBER RUST TO MATCH STUCCO ABOVE

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Date	Description

Seal / Signature

NOT FOR CONSTRUCTION

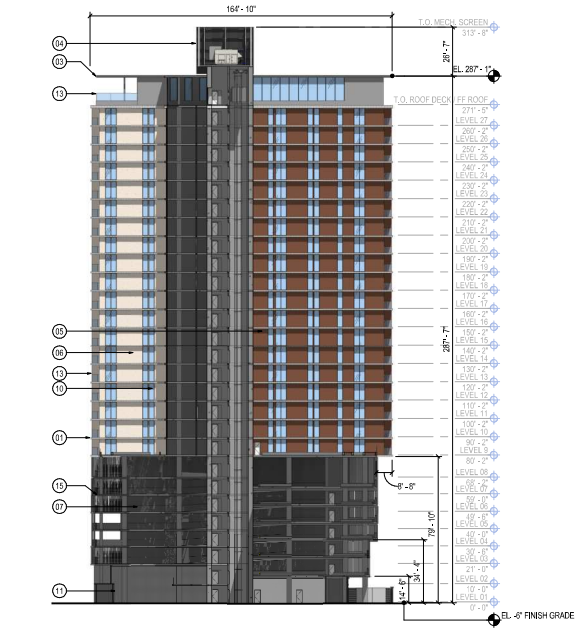
Project Name
TRINITAS 217 E. 7TH STREET
 Project Number
57.8218.000
 Description
 ELEVATIONS - COLOR & SHADOWS

Scale
 As indicated

PA4.004



01 BUILDING ELEVATION EAST / COLOR+SHADOWS / COURT YARD
SCALE: 1/32" = 1'-0"



02 BUILDING ELEVATION WEST / COLOR+SHADOWS / COURT YARD
SCALE: 1/32" = 1'-0"

SHEET NOTES

- 01 METAL PANEL B.O.D. - ATAS OMAWALL OMW188 - COLOR: DOVE GREY
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- 04 MECHANICAL SCREEN WALL, ALUMINUM LOUVERS, CLEAR ANODIZED
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- 06 'STO PANEL CLASSIC NEXT CI. COLOR: SHERWIN WILLIAMS, UMBER RUST
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- 11 SITE FURNISHING - REFER TO LANDSCAPE
- 12 CONCRETE COLUMN, REFER TO STRUCTURAL
- 13 GLASS GUARD RAIL, GLAZING, COLOR: CLEAR
- 14 SLIDING GATES - PAINTED METAL PANELS ON STEEL FRAMES, 10' TALL
- 15 CONCRETE PT SLAB
- 16 GARAGE SCREENING - PERFORATED PANELS, DARK GREY COLOR, 50% OPEN
- 17 BUILDING ADDRESS NUMERALS ALUMINUM
- 18 ALUMINUM LOUVERS, PAINTED / COATED TO MATCH ADJACENT WALL SURFACE OR WINDOW SYSTEM
- 19 WALL MOUNTED LINEAR LIGHT FIXTURE, B.O.D. BEGA 4418 WALL LUMINAIRE
- 20 WALL MOUNTED LIGHT FIXTURE, B.O.D. BEGA 24 087 WALL LUMINAIRE
- 21 GARAGE SCREENING - METAL PANELS, SILVER COLOR, NO PERFORATION, MOUNTED FLAT ON WALL
- 22 METAL PANELS, COLOR TO MATCH SHERWIN WILLIAMS UMBER RUST, NO PERFORATION

GENERAL NOTES

1. ALL ELEVATION DIMENSIONS MEASURED TO TOP OF GRADE.
2. GARAGE TO BE NATURALLY VENTILATED PER 2018 IRC 403.2

MATERIAL LEGEND

- 3 COAT STUCCO PAINTED, COLOR: SHERWIN WILLIAMS, SHELL WHITE
- 3 COAT STUCCO PAINTED, COLOR: SHERWIN WILLIAMS, CLOAK GREY
- 3 COAT STUCCO PAINTED, COLOR: SHERWIN WILLIAMS, UMBER RUST
- METAL PANEL B.O.D. - ATAS OMAWALL OMW188, COLOR: DOVE GREY
- METAL PANEL B.O.D. - ATAS OMAWALL OMW178, COLOR: DOVE GREY
- FOLDED PERFORATED METAL PANEL 1, B.O.D. - MONICOLS 20 GA METAL PANEL, 51% OPEN, COLOR: SILVER
- FOLDED PERFORATED METAL PANEL 2, B.O.D. - MONICOLS 20 GA METAL PANEL, 23% OPEN, COLOR: SILVER
- CONCRETE
- GROUND FACE CMU INTEGRAL COLOR, BOD TRANDSTONE, COLOR: BLACK CANYON
- GLASS, B.O.D. SOLARBAN 70, COLOR: CLEAR
- GLASS RAILING, COLOR: CLEAR
- FOLDED PERFORATED METAL PANEL 1, B.O.D. - MONICOLS 20 GA METAL PANEL, 51% OPEN, COLOR: UMBER RUST TO MATCH STUCCO ABOVE

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Seal / Signature

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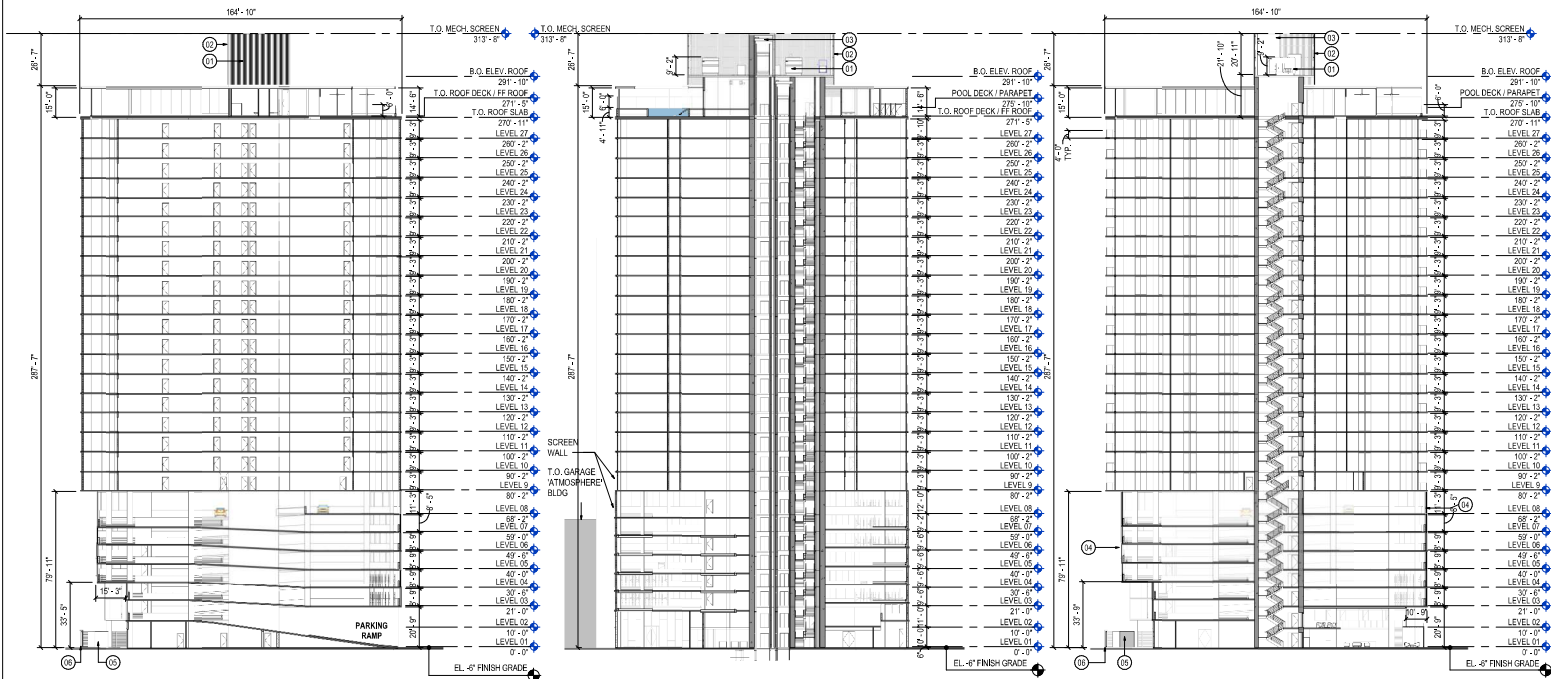
Project Name
TRINITAS 217 E. 7TH STREET

Project Number
57.8218.000

Description
ELEVATIONS - COLOR & SHADOWS

Scale
As indicated

PA4.005



18 BUILDING SECTION 01
SCALE: 1" = 30'-0"

14 BUILDING SECTION 02
SCALE: 1" = 30'-0"

06 BUILDING SECTION 03
SCALE: 1" = 30'-0"

SHEET NOTES

- 01 MECHANICAL ROOF TOP EQUIPMENT
- 02 SCREEN WALL, SEE ELEVATIONS
- 03 ELEVATOR
- 04 GARAGE SCREEN WALL, SEE ELEVATIONS
- 05 ELECTRICAL EQUIPMENT YARD
- 06 SLIDING GATE, SEE ELEVATIONS

TRINITAS
211 E. 7th Street, Tempe, AZ

Gensler

2575 E. Camelback Rd
Suite 175
Phoenix, AZ 85016
United States

Tel: 602.523.4900
Fax: 602.523.4949

Date	Description

GENERAL NOTES

- 1. ALL ELEVATION DIMENSIONS MEASURED TO TOP OF GRADE.
- 2. GARAGE TO BE NATURALLY VENTILATED PER 2018 IRC 408.5.2.

Seal / Signature

NOT FOR CONSTRUCTION

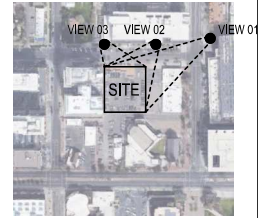
Project Name
TRINITAS 217 E. 7TH STREET

Project Number
57.8218.000

Description
BUILDING SECTIONS

Scale
As indicated

PA5.001



TRINITAS
211 E. 7th Street, Tempe, AZ

Gensler

2575 E. Camelback Rd
Suite 175
Phoenix, AZ 85016
United States

Tel: 602.523.4900
Fax: 602.523.4949

Date	Description

Seal / Signature

**NOT FOR
CONSTRUCTION**

Project Name
TRINITAS 217 E. 7TH
STREET

Project Number
57.8218.000

Description
RENDERINGS

Scale

PA7.001

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PERSPECTIVE 01 | NORTHEAST CORNER



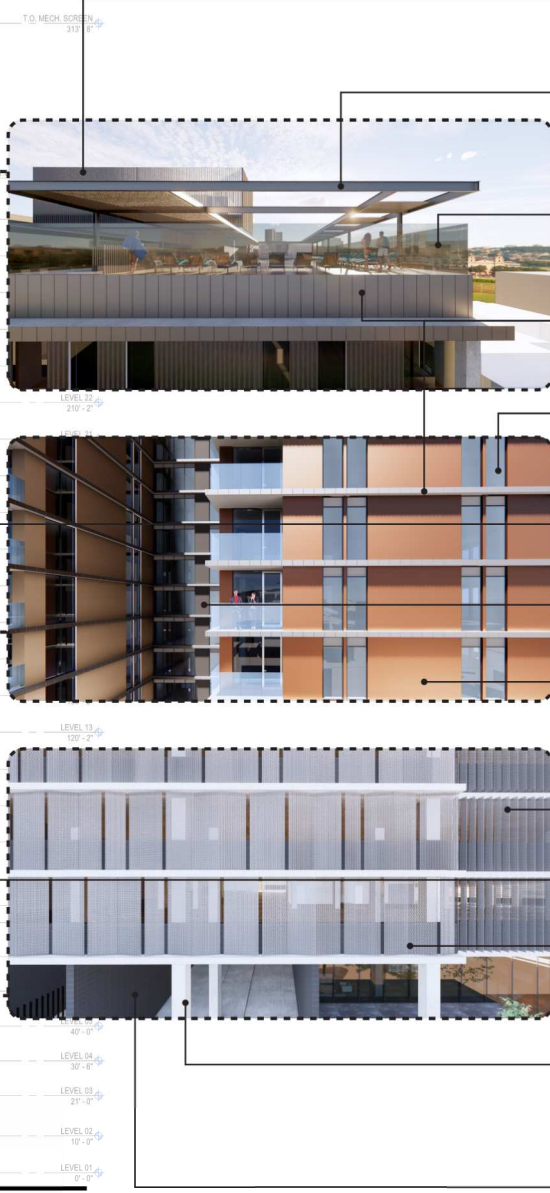
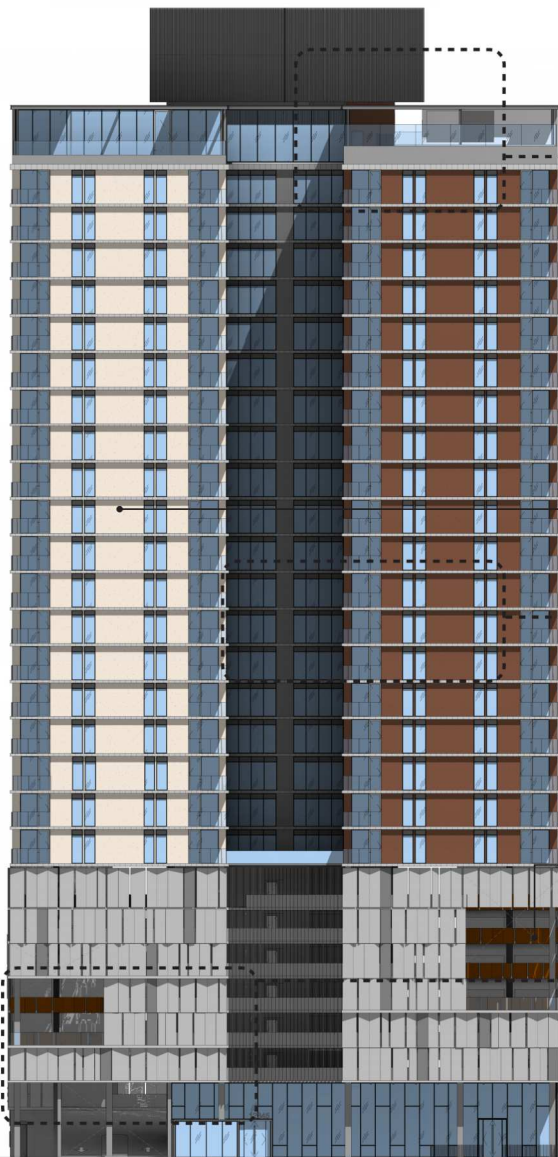
PERSPECTIVE 02 | NORTH ELEVATION VIEW




PERSPECTIVE 03 | NORTH ELEVATION DETAIL



PERSPECTIVE 04 | NORTH ELEVATION / SIDEWALK



-  MECHANICAL SCREEN WALL
ALUMINIUM LOUVERS, CLEAR ANODIZED
-  STEEL CANOPY STRUCTURE
PAINTED STEEL
SHERWIN WILLIAMS SW 7069
IRON ORE
-  GLASS GUARD RAILS
CLEAR GLAZING
CLEAR ANODIZED ALUMINIUM
-  METAL PANEL
ATAS OMAWALL OMW 188
COLOR: DOVE GREY
-  STOREFRONT WINDOWS
MULLIONS: CLEAR ANODIZED ALUMINIUM
GLAZING: SOLARBAN 70, COLOR: CLEAR
- 'ITO PANEL CLASSIC NEXT C1',
COLOR 01
SHERWIN WILLIAMS SW 8917
SHELL WHITE
- 'ITO PANEL CLASSIC NEXT C1'
COLOR 02
SHERWIN WILLIAMS SW 6278
CLOAK GRAY
- 'ITO PANEL CLASSIC NEXT C1'
COLOR 03
SHERWIN WILLIAMS SW 9100
UMBER RUST
-  ALUMINIUM LOUVERS
CLEAR ANODIZED
-  FOLDED PERFORATED METAL
PANEL
MCNICHOLS 20 GA METAL
51% OPEN
COLOR TO MATCH SW 9100
-  FOLDED PERFORATED METAL
PANEL
MCNICHOLS 20 GA METAL
51% OPEN
-  CONCRETE COLUMNS
GREY EXPOSED CONCRETE
-  GROUNDFACE CMU MASONRY
INTEGRAL COLOR
B.O.D. - TRENDSTONE
COLOR: BLACK CANYON

20 BUILDING ELEVATION NORTH / MATERIAL BOARD
SCALE: 1/16" = 1'-0"

TRINITAS
211 E. 7th Street, Tempe, AZ

Gensler

2575 E. Camelback Rd. Suite 175
Phoenix, AZ 85016
United States
Tel: 602.523.4900
Fax: 602.523.4949

Date Description

Seal / Signature

**NOT FOR
CONSTRUCTION**

Project Name
**TRINITAS 217 E. 7TH
STREET**

Project Number
57.8218.000

Description
MATERIALS BOARD

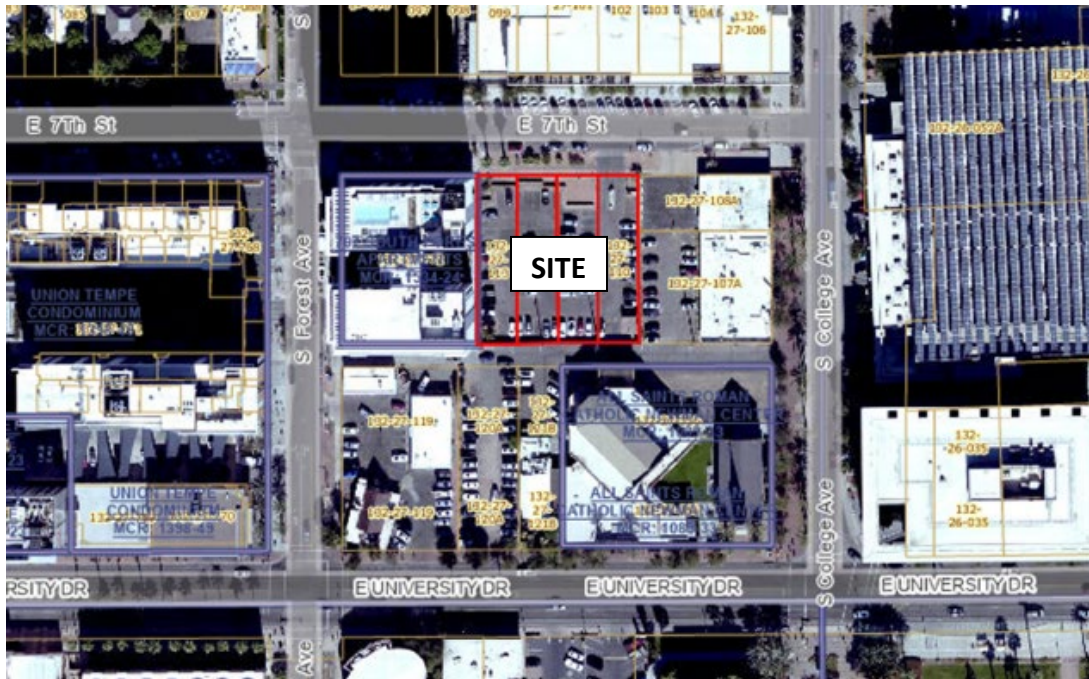
Scale
1/16" = 1'-0"

PA8.001

I. PROJECT SUMMARY

This Public Involvement Plan is being submitted in association with multiple requested (listed below) for an approximate 0.61-acre site located at the southeast corner of Hardy Drive and Rio Salado Parkway (the "Site"). The Site is shown in the area below. Specifically, the requests are as follows:

- A Planned Area Development Overlay (PAD) to establish development standards; and
- Development Plan Review approval for site plan, building elevations and landscape plan.



II. Virtual Neighborhood Meeting and Outreach

Prior to filing the submittal, we had a meeting with representatives of ASU to discuss our request. They expressed concerns about the proposed height and that it would be student housing. We explained that the project will not be student housing and that the proposed height is appropriate for the Site's location in downtown Tempe.

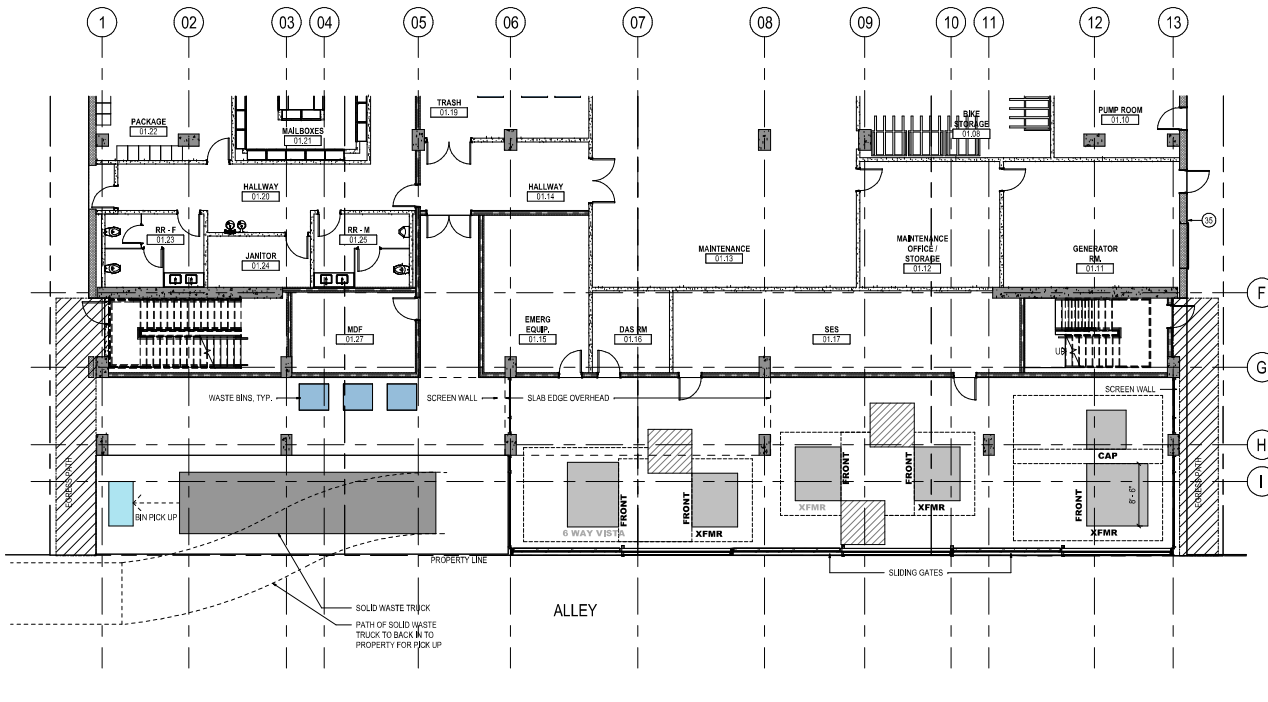
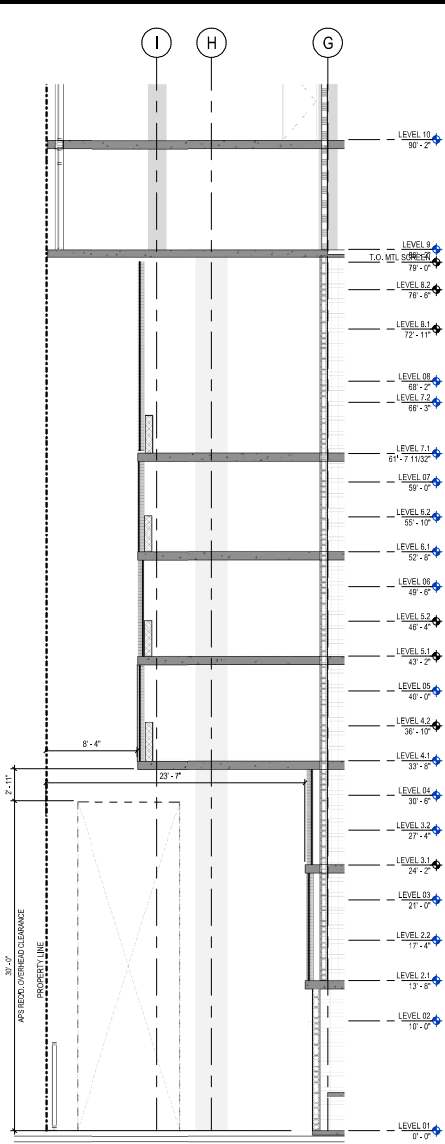
At the neighborhood open house meeting on March 8, 2023, there were 8 attendees. We provided a presentation regarding the request. There were no questions from any of the attendees.

We have been contacted by a representative of the Newman Center to inquire about timing of the project.

III. Notificaton Dates and Number of People Notified

- Notification letters for the neighborhood meeting were mailed on February 21, 2023:
 - 32 individual property owners were notified
- Sign was posted on February 21, 2023.
- 8 people attended our neighborhood meeting.
- One adjacent neighbor has been in contact with the development team regarding timing questions.

7/2/2023 3:10:03 PM Autodesk Docs/2023/05/25/18:000 - Trinitas 217 E. 7th Street - Pt. 151.02.03.03 - Architecture.rvt



20 TRANSFORMER YARD SECTION
SCALE: 3/16" = 1'-0"

16 LEVEL 01 - TRANSFORMER YARD
SCALE: 1/8" = 1'-0"

TRINITAS
211 E. 7th Street, Tempe, AZ

Gensler

2575 E. Camelback Rd. Suite 175 Phoenix, AZ 85016 United States
Tel: 602.523.4900 Fax: 602.523.4949

Date	Description
08.28.22	SCHEMATIC DESIGN DRAWINGS

Seal / Signature

NOT FOR CONSTRUCTION

Project Name
TRINITAS 217 E. 7TH STREET
Project Number
57.8218.000

Description
TRANSFORMER YARD ENLARGED PLAN & SECTION AND SOLID WASTE PLAN

Scale
As indicated

PA5.002

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July 13, 2023

Ms. Lily Drosos, Planner
Community Development, Planning Division
City of Tempe
31 East 5th Street
Tempe, Arizona 85281



RE: SUPPLEMENTAL PARKING ASSESSMENT FOR 211 EAST 7TH STREET APARTMENTS –TEMPE, ARIZONA

Dear Ms. Drosos:

CivTech has prepared this Supplemental Parking Assessment to accompany a revised version of its Parking Management Plan (PMP) of this same date and prepared for submission to the City of Tempe in accordance with Section 4-607(C) of the Tempe Zoning and Development Code (the "Code" or ZDC) for the development proposed at 211 East 7th Street (the "Project"), on the south side of East 7th Street east of Forest Avenue in Tempe, Arizona.

After consultation with City staff, CivTech's Client, Trinitas Ventures, has eliminated a level of parking in its Project proposed for 211 East 7th Street. This has reduced the total number of parking stalls in the garage from 327 to 296. As can be seen in the PMP, should the Newman Center require up to an additional 15 parking stalls above the 20 that will be reserved, this would result in an apparent shortage of four (4) spaces as required by the ZDC, a shortage of approximately one-and-one-half percent.

To address this apparent shortage, CivTech presents the assessment below based on data from the latest (5th) edition of the Institute of Transportation Engineers' *Parking Generation Manual*. This manual provides recommendations for the number of spaces required for the types of land use in this development based on either the number of units or the number of bedrooms. Average and 85th percentile rates are provided for each land use for weekdays (Monday through Friday) and for Saturdays and Sundays for high-rise multifamily developments in various settings/locations. For the subject development, CivTech chose a high-rise multifamily development situated near rail transit (defined by ITE as being located less than ½-mile from a rail line) and in a Center City Core setting. The Land Use is Multifamily (High Rise) and the Land Use Code (LUC) is 222. *Please note that the manual does not yet provide data for a high-rise multifamily development with ground-floor commercial uses, LUC 232. Since patrons of the ground-floor commercial uses would have no access to the parking garage, the application of data for LUC 222 should still adequately represent the residential component of the proposed high-rise.*

For LUC 222, the manual provides data for three different scenarios: for total dwelling units (DUs), for occupied DUs, and for total number of bedrooms (BRs), all set in a Center City Core. The data available include the range of rates observed for each (high and low), the average or 50th percentile rate, and the 85th percentile rate, that is, the rate at which 85% of the rates of the observed sites

fall below. **Table 1** summarizes this information and is expanded to show the parking that would be required under each scenario based on the highest rate observed and the average and 85th percentile rates. The development is expected to provide 380 DUs with a total of 700 BRs.

TABLE 1 – SPACES REQUIRED PER ITE PARKING GENERATION MANUAL, 5TH EDITION

Showing Comparison to 307 Total Spaces Required (207 by ZDC + 35 Spaces Reserved for Newman Center)[†]

Calculation Basis [‡]	Quantity & Units	High of Range	ITE Spaces	Excess (Shortage)	50 th %-ile (Average)	ITE Spaces	Excess (Shortage)	85 th %-ile (Average)	ITE Spaces	Excess (Shortage)
Per DU	380 DUs	0.67	255	52	0.46	175	132	0.60	228	79
Per Occupied DU	380 DUs	0.73	278	29	0.49	187	120	0.64	244	63
Per BR	700 BRs	0.50	350	(43)	0.36	252	55	0.49	343	(36)

Notes: [†]Excess(Shortages) shown are differences when compared to minimum 307 total spaces for residents (272) and 35 spaces reserved for Newman Center)

[‡]DU = Dwelling Unit; BR = Bedroom

A review of the results detailed in **Table 1** comparing the parking spaces calculated using published ITE *Parking Generation Manual* rates to the 307 total spaces required per Tempe’s ZDC (272 residential spaces) plus up to 35 spaces reserved for the Newman Center reveals that, on a per-DU or per-occupied DU basis, the proposed development compares very favorably, with an excess of parking of at least 29 spaces being provided.

CONCLUSIONS

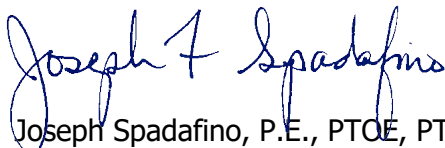
From the above, CivTech draws the following conclusions:

- Comparing the parking spaces calculated using published ITE *Parking Generation Manual* rates to the 307 total spaces required per Tempe’s ZDC (272 residential spaces) plus up to 35 spaces reserved for the Newman Center reveals that, on a per-DU or per-occupied DU basis, the proposed development compares very favorably, with an excess of parking of at least 29 spaces being provided.
- Therefore, the four (4) space shortage documented in the PMP is not expected to become an issue and CivTech recommends its approval by the City.

Thank you for your prompt attention in reviewing this statement. CivTech looks forward to its timely approval. Please contact me with any questions you may have.

Sincerely,

CivTech



Joseph Spadafino, P.E., PTOE, PTP
Senior Project Manager/Traffic Engineer



July 17, 2023

MS. Lily Drosos, Planner
 City of Tempe
 Community Development, Planning Division
 31 East 5th Street
 Tempe, Arizona 85281



RE: PARKING MANAGEMENT PLAN FOR 211 EAST 7TH STREET APARTMENTS –TEMPE, ARIZONA

Dear Ms. Drosos:

This Parking Management Plan has been prepared for submittal to the City of Tempe in accordance with Section 4-607(C) of the Tempe Zoning and Development Code (the “Code” or ZDC) for the 211 East Forest Avenue apartments proposed on the south side of East 7th Street east of Forest Avenue in Tempe, Arizona.

Table 1 summarizes the land uses and parking spaces required for the proposed development, which is within Tempe’s urban core or designated City Center (CC) district and within the City’s Bicycle Commute Area as defined in Section 4-603 of the Tempe *Zoning and Development Code* (ZDC), under Subsection D.4, Bicycle Parking. ZDC Section 4-603 provides the ratios for bicycles within the Bicycle

TABLE 1 – PARKING SPACE SUMMARY

Land Use	Quantity (DUs = Dwelling Units, SF=Square Feet)	Vehicular Parking Spaces		Bicycle Parking Spaces		
		Ratios from ZDC Table 4-607A	Spaces Required	ZDC Ratios Table 4-603E	Spaces Required	
Commercial – Indoor	3,260 SF	1/500 SF [waived for 1 st 5,000 SF]	0	1/500 SF [worst case]	6.52	
Commercial – Outdoor	0 SF	0	0	0	0	
Multifamily Residential (380 DUs)						
Studio	57 DUs	0.5/BR	57 BRs	28.5	0.75/DU	42.75
1-Bedroom	134 DUs	0.5/BR	134 BRs	67.0	0.75/DU	100.50
2-Bedroom	58 DUs	0.5/BR	116 BRs	58.0	0.75/DU	43.50
3-Bedroom	131 DUs	0.3/BR	393 BRs	117.9	1.00/DU	131.00
4-Bedroom	0 DUs	0.3/BR	0 BRs	0.0	1.00/DU	0.00
Guest	380 DUs	None with Commercial Use		0.0	0.20/DU	76.00
<i>Subtotals – Parking Required for Residences)</i>			<i>271.4</i>		<i>400.27</i>	
Spaces Reserved for Newman Center			35.0			
Total Required Parking (Rounded Up)			307		401	
Garage Spaces Provided			296			
On-Street Spaces Provided			7			
Total Parking Provided			303		401 (min.)	
Net Parking Surplus(Shortage)			(4)		0	

Commute Area, which is defined as all “properties north of Southern Avenue extending north, east and west to the city limit lines.” Please note the table shows that the developer will be reserving 35 spaces for the Roman Catholic Diocese of Phoenix’ All Saints Newman Center, which is adjacent to site to the south. These spaces must, therefore, be considered to be required spaces and are shown as such. Thus, the “Net Parking Surplus(Shortage)” row shows that there could be a shortage as high as four (4) spaces.

1. The Parking Management Plan shall identify the location of specific parking facilities and the number of parking spaces in such facilities that are available to meet the parking demand of the new development.

The 211 East 7th Street Apartments are being proposed to redevelop a site consisting of four Maricopa County Assessor parcels. Located along the south side of 7th Street east of Forest Avenue From east to west, these are Assessor Parcel Numbers (APN) 132-27-110 through -113. The site is currently being used as an AirGarage paid public parking lot.

The proposed mixed-use development will provide up to 380 traditional rental dwelling units (DUs) on floors 9 through 27 of a proposed 27-story high-rise structure constructed adjacent to an existing alley that will remain. The ground floor will provide approximately 3,260 square feet (sf) of ground floor retail/restaurant use(s) fronting 7th Street, space for a leasing/building management office, building infrastructure, and amenities for residents. A total of 700 bedrooms will be provided in the 380 dwelling units.

Table 1 shows that 272 (271.4 rounded up) standard and accessible vehicular parking spaces are required by Code for the development and that 35 more spaces are to be reserved for the adjacent Newman Center, for a total of 307 required spaces. A total of 303 new parking spaces will be provided: 296 spaces in a 6-level parking garage (on levels 3 through 8 below the residences) and 7 angled on-street parking spaces along 7th Street. This will result in a net *shortage* of up to four (4) spaces below the 307 spaces required by Code, a shortage of approximately one-and-one-half percent.

The site is located within 0.40 mile from the Tempe Transit Center through which circulate the Metro Light Rail, bus routes 48, 62, 65, 66, and 72 and Orbit routes Earth, Jupiter, Mars and Venus. Local bus route 30 runs along University Drive and is less than 0.20 mile from the site. The site is located approximately 0.30 mile from the Tempe Streetcar stop at Mill Avenue and 6th Street.

Per Table 4-603E of the Tempe Zoning and Development Code, the minimum number of bicycle spaces required for this development project is 401 required bicycle spaces; this project will provide 401 bicycle parking spaces, providing precisely the number of bicycle spaces required.

2. Parking identified on the plan shall be delineated as being reserved for employees, residents, or public parking and whether valet or other access control measures are used to ensure the availability and enforcement of the plan.

Table 1 shows that 272 vehicle spaces are required to meet Tempe's Code and that 35 more spaces are to be reserved for the adjacent Newman Center¹, for a total of 307 required spaces. A total of 303 new parking spaces will be provided: 296 spaces in a 6-level parking garage (on levels 3 through 8 below the residences) and 7 angled on-street parking spaces along 7th Street. This will provide a net *shortage* of up to four (4) spaces below the 307 required by Code, a shortage of approximately one-and-one-half percent. Of the 296 spaces in the parking garage, there will be 18 accessible parking spaces, including one (1) van space and two (2) other accessible spaces on each of the six parking levels.

To provide frontage for the site's sole access point, a driveway on 7th Street in the northeast corner of the site, six (6) existing parallel parking spaces on the street will be replaced by seven (7) angled parking spaces, providing a net gain of one (1) space along 7th Street. A total of 401 bicycle spaces will be provided, precisely the number required 401.

3. The Professional Parking Analysis shall demonstrate that adequate parking for the public is provided, identifying existing supply and demand within the surrounding parking facilities and what will be provided on site. When off-site parking is proposed to satisfy the parking standards for employee/resident parking, the applicant shall demonstrate that all such parking is available within the specified parking facilities, based on the existing demand and supply as identified in the Professional Parking Analysis.

Other than replacing the existing six (6) parallel parking spaces along the site's 7th Street frontage with seven (7) angled parking spaces, off-site parking is neither required nor proposed. All 303 parking spaces (296 garage spaces plus 7 angled on-street spaces) for the proposed development will be provided on-site. As demonstrated, the provided parking could yield a net *shortage* of four (4) spaces, approximately one-and-one-half percent, as compared to the 307 spaces required by the ZDC (272 for residents and 35 for the Newman Center).

4. A shared parking model, as identified in Section 4-604(B), shall not be used for the purpose of reducing the minimum parking standards found in Table 4-607A.

A shared parking model has not been used to reduce the minimum parking standards found in Table 4-607A.

¹ Pursuant to a City review comment, the developer acknowledges that an off-site parking affidavit will be required pursuant to ZDC Section 4-605 if/when parking is reserved for the Newman Center.

5. The owner or manager of a development approved under the Parking Management Plan shall provide an accurate and current record of the uses and parking allocation for the development. The Community Development Director, or designee, may require this record be provided or updated when the owner applies for a change in use or Development Plan Review for the subject site.

The 211 East 7th Street Apartments, a mixed-use development, will provide up to 380 traditional rental dwelling units (DUs) on floors 9 through 27 of a proposed 27-story high-rise structure constructed adjacent to an existing alley that will remain. The ground floor will provide approximately 3,260 square feet (sf) of ground floor retail/restaurant use(s) fronting 7th Street, space for a leasing/building management office, building infrastructure, and amenities for residents. A total of 700 bedrooms will be provided in the 380 dwelling units.

Required by Code are 272 standard and accessible vehicular parking spaces and 25 more spaces are to be reserved for the adjacent Newman Center, for a total of 307 required spaces. By providing 303 spaces—296 spaces in the parking garage and 7 on-street spaces—there will be a net *shortage* of up to four (4) spaces below the 307 required by Code, a shortage of approximately one-and-one-half. Of the 296 spaces in the parking garage, there will be 18 accessible parking spaces, including one (1) van space and two (2) other accessible spaces on each of the six parking levels.

To provide frontage for the site's sole access point, a driveway on 7th Street in the northeast corner of the site, six (6) existing parallel parking spaces on the street will be replaced by seven (7) angled parking spaces, providing a net gain of one (1) space along 7th Street. A total of 401 bicycle spaces will be provided, precisely the number required.

EXECUTIVE SUMMARY

Trinitas Ventures is proposing to redevelop a site consisting of four Maricopa County Assessor parcels in the City of Tempe, Arizona. Located along the south side of 7th Street east of Forest Avenue From east to west, these are Assessor Parcel Numbers (APN) 132-27-110 through -113. CivTech notes that the site is currently being used as an AirGarage paid public parking lot.

The proposed mixed-use development will provide up to 399 traditional rental dwelling units (DUs) on floors 10 through 27 of a proposed 27-story high-rise structure constructed adjacent to an existing alley that will remain. The ground floor will provide approximately 3,016 square feet (sf) of ground floor retail/restaurant use(s) fronting 7th Street, space for a leasing/building management office, building infrastructure, and amenities for residents.

The following conclusions and recommendations have been documented in this study.

- The proposed development is anticipated to generate 1,280 weekday daily trips, with 123 trips generated during the AM peak hour (41 in/82 out), and 84 trips generated during the PM peak hour (48 in/36 out).
- The proposed development is expected to implement sufficient strategies, as outlined in the City of Tempe Transportation Demand Management plan, to acquire up to 20 points, exceeding the minimum requirement of 10 points.
- The results of the several intersection capacity analyses reveal that all movements at all of the study intersections currently and will continue to operate at acceptable levels of service (considered to be LOS D or better) with the exception of the two stop-controlled movements approaching College Avenue at the intersection of **College Avenue and 7th Street**.
 - At the intersection of **College Avenue and 7th Street**, the eastbound movement of motorists attempting to turn onto College Avenue currently operates with delays during both peak hours. The westbound approach, that is, the outbound movement from the parking garage which is offset to the north from 7th Street, operates with delays during the PM peak hour. Projecting growth in traffic and adding the site trips creates additional delays. A high number of pedestrians crossing 7th Street contribute to these delays. No mitigation measures are recommended.
- If future residents used public transit at the same rate as Tempe residents overall, 2.7% (19) of the estimated 700 residents would use public transit. If the available data on the means of transportation used to commute to/from work that residents of the Census Block Group in which this site is located is accurate, no resident will use public transit.
- The travel lanes on 7th Street are shared between motorists and bicyclists. A resident will have access to the bicycle lanes provided along College Avenue, from where the resident is linked to the City's extensive network of bicycle routes.
- The site will be located along 7th Street, which already has sidewalk. CivTech expects that any existing sidewalk that is affected by the construction will be replaced, allowing residents and other

pedestrians walking through the area to access the restaurants, retail, and entertainment venues along Mill Avenue and downtown Tempe. The preliminary plan shows the building will be cantilevered over the existing sidewalk, providing some shade for pedestrians during certain seasons of the years.

- Sight distance should be maintained at the intersection to allow safe left and right turning movements from the development. All vegetation and trees should be maintained according to City of Tempe Zoning and Development Code section 4-702 General Landscape Standards.



AFFORDABLE HOUSING IMPACT STATEMENT (AHIS): PROJECT REVIEW

Date:

Project Name, Address and Brief Description

Project Contact Name:
 Phone:
 E-mail:

Table 1: Housing Supply Reduction – Existing Units to be Removed or Demolished by the Project

Please fill out the following information for each housing unit taken out of use by the Project. **This includes any housing unit that may have already been demolished in advance of this Project filing.** Include as many rows as needed.

	Number of Units	Number of Bedrooms per Unit	Current Rental Price (\$/mo.) or Sale Price (\$)/Unit	No. of Existing Voucher Holder Tenants?	Number of Income-Restricted Units	Income Level for Income Restricted Units (d)	Term of Deed Restriction (through mm/yy)
Single-Family Detached (a)							
Single-Family Attached (b)							
Multifamily (c)		Studio					
Multifamily (c)		One					
Multifamily (c)		Two					
Multifamily (c)		Three					
Multifamily (c)		Four+					

(a) Includes mobile homes
 (b) Includes townhomes and duplexes
 (c) Includes condominiums and apartments
 (d) To be filled out only if any units are income-restricted.

Table 2: Housing Supply Addition – New Units in Proposed Projects

Please fill out the following information for new housing units that will result from the Project.

	Number of Units	Number of Bedrooms per Unit	Proposed Rental Price (\$/mo.) or Sale Price (\$)/Unit	No. of Existing Voucher Holder Tenants?	Number of Income-Restricted Units	Income Level for Income Restricted Units (d)	Term of Deed Restriction (through mm/yy)
Single-Family Detached (a)							
Single-Family Attached (b)							
Multifamily (c)		Studio					
Multifamily (c)		One					
Multifamily (c)		Two					
Multifamily (c)		Three					
Multifamily (c)		Four+					

(a) Includes mobile homes

(b) Includes townhomes and duplexes

(c) Includes condominiums and apartments

(d) To be filled out only if any units are income-restricted.

Note: List numbers of housing units intended to be removed or added at this time as asked in the table above. If none are listed, or if this form is not completed, the City will make the reasonable assumption that none are intended at the time of application. This information is for data collection purposes only.

Staff Contacts for Questions:

On Completing the Form: **Robbie Aaron**. Ph. 480-350-8096, E-mail: Robbie_Aaron@Tempe.Gov

Affordable Housing-Related Questions: **LeVon Lamy**. Ph. 480-858-2264, E-mail: Levon_Lamy@Tempe.Gov

WHEN RECORDED RETURN TO:
City of Tempe
Community Development Department
31 E. 5th Street
Tempe, AZ. 85281

**WAIVER OF RIGHTS AND REMEDIES
UNDER A.R.S. §12-1134**

This Waiver of Rights and Remedies under A.R.S. § 12-1134 (Waiver) is made in favor of the City of Tempe (City) by **Name of Entity** (Owner).

Owner acknowledges that A.R.S. § 12-1134 provides that in some cases a city must pay just compensation to a land owner if the city approves a land use law that reduces the fair market value of the owner's property (Private Property Rights Protection Act).

Owner further acknowledges that the Private Property Rights Protection Act authorizes a private property owner to enter an agreement waiving any claim for diminution in value of the property in connection with any action requested by the property owner.

Owner has submitted Application No. **PL00000 – PROJECT NAME**, to the City requesting that the City approve the following:

- _____ GENERAL PLAN AMENDMENT
- _____ ZONING MAP AMENDMENT
- _____ PAD OVERLAY
- _____ HISTORIC PRESERVATION DESIGNATION/OVERLAY
- _____ USE PERMIT
- _____ VARIANCE
- _____ DEVELOPMENT PLAN REVIEW
- _____ SUBDIVISION PLAT/CONDOMINIUM PLAT
- _____ OTHER _____

(Identify Action Requested))

for development of the following real property (Property):

Insert Property Address:

Parcel No. or legal description:

