

**CITY OF TEMPE
DEVELOPMENT REVIEW COMMISSION**

**Meeting Date: 09/12/2023
Agenda Item: 2**

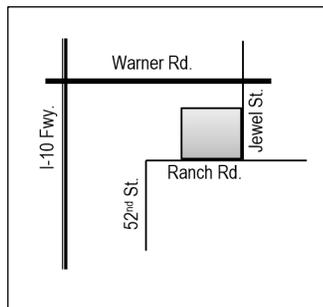
ACTION: Request a Use Permit to exceed 125 percent of the minimum required parking and a Development Plan Review consisting of a new 7,743 square-foot restaurant for BUBBA’S 33, located at 1730 West Ranch Road. The applicant is GreenbergFarrow.

FISCAL IMPACT: There is no fiscal impact on City funds.

RECOMMENDATION: Approve, subject to conditions

BACKGROUND INFORMATION: BUBBA’S 33 (PL230034) is a proposed restaurant within the Agave Center. The site is currently vacant and has street access through the adjoining lot to the west, which contains a hotel. The request includes the following:

- ZUP230059 Use Permit to exceed 125 percent (125%) of the minimum required vehicle parking
- DPR230017 Development Plan Review including site plan, building elevations, and landscape plan



Property Owner	Drury Development Corporation
Applicant	Janet Reid, GreenbergFarrow
Zoning District (current/proposed)	PCC-1 SWOD (Planned Commercial Center Neighborhood, Southwest Overlay District)
Gross / Net site area	1.9 acres
Total Building Area	7,743 net s.f.
Lot Coverage	12% (50% maximum allowed)
Building Height	27'-10" (60' maximum allowed)
Building Setbacks	0' front (south), 30' side, 0' street side (east), 30' rear (96'-2", 74'-5", 144'-2", 48'-10" min.)
Landscape area	24% (15% minimum required)
Vehicle Parking	150 spaces (103 min. required, 129 max allowed)
Bicycle Parking	16 spaces (8 min. required)

ATTACHMENTS: Development Project File

STAFF CONTACT(S): Karen Stovall, Senior Planner (480) 350-8432

Department Director: Jeff Tamulevich, Community Development Director
 Legal review by: N/A
 Prepared by: Karen Stovall, Senior Planner
 Reviewed by: Mailen Pankiewicz, Principal Planner

COMMENTS:

This site is located at the northwest corner of Jewel Street and Ranch Road, just south of Warner Road. The property is zoned PCC-1 and is within the Southwest Overlay District.

To the west of the site is an existing Drury Inn and Suites. To the south, across Ranch Road is a fitness facility. To the east, across Jewel Street, are a Filiberto's restaurant with drive-through lane and an office building.

SITE PLAN REVIEW

One preliminary and three formal site plan reviews were conducted in November 2022 and February, May, and July 2023. In addition to general site comments, staff provided comments regarding the building elevations as follows: replace the diamond plated metal accent band with a smooth/non-reflective material, locate the proposed LED lighting behind reveals to conceal the light sources, use standing seam instead of corrugated metal for roofs, provide breaks in the metal awnings over the windows instead of one continuous awning, and provide more complimentary brick and masonry colors. The applicant addressed staff's comments.

PUBLIC INPUT

- Neighborhood meeting not required.
- No public input received as of the completion of this report.

PROJECT ANALYSIS

USE PERMIT

The proposed use requires a use permit to exceed the parking maximum (125 percent). The proposed 7,743 square-foot building requires 103 vehicle parking spaces. The Zoning and Development Code permits a maximum of 125 percent of the required parking spaces, or 129 spaces. The proposed plan includes a total of 150 parking spaces, which exceeds the maximum by 21.

Section 6-308 E Approval criteria for Use Permit (*in italics*):

1. *Any significant increase in vehicular or pedestrian traffic.* The property is currently vacant, so construction of a restaurant will cause an increase in traffic; however, the 21 additional vehicle parking spaces will not result in a significant increase in traffic beyond what is expected of buildings of the proposed size. The site is within the Agave Center, which is a planned employment and commercial development. The existing roadways and on-site circulation can support the increased traffic generated by the proposed use.
2. *Nuisance arising from the emission of odor, dust, gas, noise, vibration, smoke, heat or glare at a level exceeding that of ambient conditions.* The additional parking spaces should not create a nuisance from the emission of odor, dust, gas noise, vibration, smoke, heat, or glare at a level exceeding that of ambient conditions. While parking spaces in excess of those required by the ZDC will create an increased paved surface area, and therefore an increase in heat absorption, the proposed plan exceeds the ZDC requirement for 12 percent shade canopy within the parking lot by providing 15 percent.
3. *Contribution to the deterioration of the neighborhood or to the downgrading of property values, the proposed use is not in conflict with the goals objectives or policies for rehabilitation, redevelopment or conservation as set forth in the city's adopted plans or General Plan.* The use should not contribute to a deterioration of the neighborhood or to the downgrading of property values. The streets within the center are signed for no parking, and the provision of parking in excess of the ZDC requirement should ensure adequate parking for the businesses and prevent spillover onto adjacent lots.
4. *Compatibility with existing surrounding structures and uses.* The proposed plan is generally compatible with existing development. Most other developments within the Agave Center have surface parking located along street frontages.

5. *Adequate control of disruptive behavior both inside and outside the premises which may create a nuisance to the surrounding area or general public.* The additional surface parking spaces are not expected to have issues related to disruptive behavior.

The manner of conduct and the building for the proposed use will not be detrimental to persons residing or working in the vicinity, to adjacent property, to the neighborhood, or to the public welfare in general, and that the use will be in full conformity to any conditions, requirement or standards prescribed therefore by this code.

DEVELOPMENT PLAN REVIEW

Site Plan

The proposed development consists of a restaurant building on 1.9 acres. The lot has frontages on both Jewel Street and Rach Road. Plans propose one new driveway on Jewel and access from the west through the Drury Inn and Suites parking lot. The subject site has an existing shared access easement from the lot to the west. The main building entrance is on the east elevation, and a covered patio is proposed on the north side of the building.

Building Elevations

The single-story building is finished with two styles of brick veneer, one on the walls and the other used on columns and along the base. Doorways are identified with blue fiber cement siding topped with an arched cap. The flat parapet around the remainder of the building is wrapped with a brushed aluminum accent band with multi-colored LED lighting behind metal shields. A vertical seam metal awning is provided over the dining patio and above windows.

Landscape Plan

The landscape palettes along both streets generally follow the Agave Center Design Guidelines with Evergreen Elms between the curb and parking lot. Trees within the parking lot include Thornless Palo Verde with Seedless Hybrid Mesquite along the north property line.

Conditions of approval are included to modify the landscape plan as follows:

- Use Evergreen Elm trees instead of Thornless Palo Verde between the sidewalk and parking screen wall along Jewel Street for consistence with the Agave Center Design Guidelines.
- Add one tree west of the bicycle racks to shade bicycle parking.
- Add one tree at the northwest corner of the building to add higher-growing vegetation along the building wall.

Section 6-306 D Approval criteria for Development Plan Review (*in italics*):

1. *Placement, form, and articulation of buildings and structures provide variety in the streetscape;* the building is located on the west side of the lot, adjacent to the parking lot that serves the hotel to the west. The design incorporates articulation to provide variety in the streetscape.
2. *Building design and orientation, together with landscape, combine to mitigate heat gain/retention while providing shade for energy conservation and human comfort;* the building is oriented to the east with no windows on the west elevation. The design mitigates heat gain through the use of a metal awning that covers the entire dining patio, and the same awning material used above windows on all other elevations.
3. *Materials are of a superior quality, providing detail appropriate with their location and function while complementing the surroundings;* the selected building materials are appropriate with their location and function. The hotel to the west also contains red brick veneer.
4. *Buildings, structures, and landscape elements are appropriately scaled, relative to the site and surroundings;* the building and on- and off-site landscaping are appropriately scaled to the site and surroundings.

5. *Large building masses are sufficiently articulated so as to relieve monotony and create a sense of movement, resulting in a well-defined base and top, featuring an enhanced pedestrian experience at and near street level; the building is sufficiently articulated to relieve monotony and create a sense of movement. Variation in building materials is provided to create a well-defined base and top.*
6. *Building facades provide architectural detail and interest overall with visibility at street level (in particular, special treatment of windows, entries and walkways with particular attention to proportionality, scale, materials, rhythm, etc.) while responding to varying climatic and contextual conditions; architectural details are appropriate with the scale and context of the development. Visually interesting treatments are used on building walls, and shade devices are used at windows to respond to climatic conditions.*
7. *Plans take into account pleasant and convenient access to multi-modal transportation options and support the potential for transit patronage; the plan provides for convenient vehicular and pedestrian access from the public way to the building entrance. A condition of approval is included to shade the bicycle racks on the south side of the building.*
8. *Vehicular circulation is designed to minimize conflicts with pedestrian access and circulation, and with surrounding residential uses; vehicle and pedestrian circulation routes are identified and delineated from each other.*
9. *Plans appropriately integrate Crime Prevention Through Environmental Design principles such as territoriality, natural surveillance, access control, activity support, and maintenance; the design complies with CPTED principles.*
10. *Landscape accents and provides delineation from parking, buildings, driveways and pathways; areas are delineated with the required landscape for the project.*
11. *Signs have design, scale, proportion, location and color compatible with the design, colors, orientation and materials of the building or site on which they are located; n/a*
12. *Lighting is compatible with the proposed building(s) and adjoining buildings and uses, and does not create negative effects. Lighting will comply with code requirements.*

REASONS FOR APPROVAL:

1. The project meets the General Plan Projected Land Use for this site.
2. The project will meet the development standards required under the Zoning and Development Code.
3. The proposed project meets the approval criteria for a Use Permit and Development Plan Review.

Based on the information provided and the above analysis, staff recommends approval of the requested Use Permit and Development Plan Review. This request meets the required criteria and will conform to the conditions.

USE PERMIT CONDITION OF APPROVAL:

EACH NUMBERED ITEM IS A CONDITION OF APPROVAL. THE DECISION-MAKING BODY MAY MODIFY, DELETE OR ADD TO THESE CONDITIONS.

1. This Use Permit is valid only after a Building Permit has been obtained, the required inspections have been completed and a Final Inspection has been passed.

DEVELOPMENT PLAN REVIEW CONDITIONS OF APPROVAL:

EACH NUMBERED ITEM IS A CONDITION OF APPROVAL. THE DECISION-MAKING BODY MAY MODIFY, DELETE OR ADD TO THESE CONDITIONS.

General

1. Except as modified by conditions, development shall be in substantial conformance with the site plan dated July 24, 2023, building elevations dated June 30, 2023, and landscape plan dated August 22, 2023. Minor modifications may be reviewed through the plan check process of construction documents; major modifications will require submittal of a Development Plan Review.

2. At the time a temporary construction fence is added to the site, a future development sign banner shall be attached to the fence and provide information for the new development, in conformance with the Zoning and Development Code, Section 4-903, Sign Type J. The sign banner shall include: project name/information and future tenant (if known). Images of the project may be included on the banner. A sign permit is required. The building permit plans shall include a note on the plans to provide this future development sign banner on site as long as the construction fencing remains.

Site Plan

3. Provide service yard and mechanical (cooling tower/generator) yard walls that are at least 8'-0" tall as measured from adjacent grade or are at least the height of the equipment being enclosed, whichever is greater. Verify height of equipment and mounting base to ensure that wall height is adequate to fully screen the equipment.
4. Provide gates of steel vertical picket, steel mesh, steel panel or similar construction. Where a gate has a screen function and is completely opaque, provide vision portals for visual surveillance. Provide gates of height that match that of the adjacent enclosure walls. Review gate hardware with Building Safety and Fire staff and design gate to resolve lock and emergency ingress/egress features that may be required.
5. As indicated on the plans, provide upgraded paving at each driveway consisting of the Agave Center logo in stamped concrete. Extend this paving in the driveway from the right-of-way line to 20'-0" on site and from curb to curb at the drive edges. From sidewalk to right-of-way line, extend concrete paving to match sidewalk.
6. Utility equipment boxes for this development shall be finished in a neutral color (subject to utility provider approval) that compliments the coloring of the buildings.
7. Place exterior, freestanding reduced pressure and double check backflow assemblies in pre-manufactured, pre-finished, lockable cages (one assembly per cage). If backflow prevention or similar device is for a 3" or greater water line, delete cage and provide a masonry or concrete screen wall following the requirements of Standard Detail T-214.

Floor Plans

8. Public Restroom Security:
 - a. Single user restroom door hardware:
 - 1) Provide a key bypass on the exterior side

Building Elevations

9. The materials and colors are approved as presented:

#	BUILDING ITEMS	DESCRIPTION
1	FACEBRICK	GENERAL SHALE WAKE MANOR
1.1	FACEBRICK (ROWLOCK)	GENERAL SHALE WAKE MANOR
2	FIBER CEMENT SIDING	SHERWIN-WILLIAMS: SW1770 "LESS WHITE INDIGO BATIK"
3	DISTRESSED FACEBRICK	GENERAL SHALE CORDOBA
4	METAL DOORS & FRAMES	PORTER PAINTS: EXTERIOR, COLOR: BLACK (DOOR PROVIDED WITH DOOR VIEWER)
4.1	STEEL COLUMNS	PORTER PAINTS: EXTERIOR; COLOR: BLACK
4.2	BEAM	PORTER PAINTS: EXTERIOR; COLOR: BLACK
4.3	METAL RAILS/METAL GATE	PORTER PAINTS: EXTERIOR; COLOR: BLACK
4.4	DUMPSTER, SES & GREASE RECOVERY SYSTEM GATES	PORTER PAINTS: EXTERIOR; COLOR: BLACK
4.5	BOLLARDS	PORTER PAINTS: EXTERIOR; COLOR: BLACK
5	SPLIT FACE CMU WALL	BLOCK-LITE INTEGRAL COLOR: SUNSET #306
6	METAL AWNING	METAL SALES: VERTICAL SEAM (22 GA); COLOR: GALVALUME
6.1	METAL ROOF	METAL SALES: VERTICAL SEAM (22 GA); COLOR: GALVALUME
7	ACCENT BAND	BRUSHED FINISHED ALUMINUM
8	STOREFRONT	DARK BRONZE
8.1	GARAGE DOORS	PRE-FINISHED BLACK
9	METAL COPING	PRE-FINISHED WHITE
10	METAL COPING	PRE-FINISHED GALVALUME
10.1	BREAK METAL FLASHING	PRE-FINISHED GALVALUME
11	ACCENT LIGHT	BLACK
12	LED LIGHTING	TOP TO BOTTOM: RED, WHITE & BLUE (EACH WITH SHIELD)

10. If provided, roof access shall be from the interior of the building. Do not expose roof access to public view.
11. Conceal roof drainage system within the interior of the building.
12. Exterior vents shall be architecturally integrated with the adjacent materials and matching colors specified on each elevation.
13. Incorporate lighting, address signs, and incidental equipment attachments (alarm klaxons, security cameras, etc.) where exposed into the design of the building elevations. Exposed conduit, piping, or related materials is not permitted.
14. Locate the electrical service entrance section (S.E.S.) inside the building or inside a secure yard that is concealed from public view.

Lighting

15. Illuminate building entrances and underside of open stair landings from dusk to dawn to assist with visual surveillance.

Landscape

16. **Replace the six (6) Thornless Palo Verde trees along Jewel Street with Evergreen Elm trees.**
17. **Provide a tree in the landscape area west of the bicycle racks.**
18. **Provide a tree in the landscape area on the north side of the building, west of the patio.**
19. Irrigation notes:
 - a. Provide pipe distribution system of buried rigid (polyvinylchloride), not flexible (polyethylene). Use of schedule 40 PVC mainline and class 315 PVC 1/2" feeder line is acceptable. Class 200 PVC feeder line may be used for sizes greater than 1/2". Provide details of water distribution system.
 - b. Locate valve controller in a vandal resistant housing.
 - c. Hardwire power source to controller (a receptacle connection is not allowed).
 - d. Controller valve wire conduit may be exposed if the controller remains in the mechanical yard.
 - e. Repair existing irrigation system (on site or in the adjacent public rights-of-way) where damaged by work of this project. Provide temporary irrigation to existing landscape in street frontages for period of time that irrigation system is out of repair. Design irrigation so existing plants are irrigated as part of the reconfigured system at the conclusion of this construction.
20. Include requirement to de-compact soil in planting areas on site and in public right of way and remove construction debris from planting areas prior to landscape installation.
21. Top dress planting areas with a rock or decomposed granite application. Provide rock or decomposed granite of 2" uniform thickness. Provide pre-emergence weed control application and do not underlay rock or decomposed granite application with plastic.

Building Address

22. Verify property address and submit a PDF copy of the site plan with unit floor plans for permanent addressing to permitcenter@tempe.gov prior to submittal of construction documents.
23. Provide address sign(s) on the building elevation facing the street to which the property is identified.
 - a. Conform to the following for building address signs:
 - 1) Provide street number only, not the street name
 - 2) Compose of 12" high, individual mount, metal reverse pan channel characters.
 - 3) Self-illuminated or dedicated light source.
 - 4) On multi-story buildings, locate no higher than the second level.
 - 5) Coordinate address signs with trees, vines, or other landscaping, to avoid any potential visual obstruction.
 - 6) Do not affix numbers or letters to elevation that might be mistaken for the address.
 - b. Utility meters shall utilize a minimum 1" number height in accordance with the applicable electrical code and utility company standards.

CODE/ORDINANCE REQUIREMENTS:

THE BULLETED ITEMS REFER TO EXISTING CODE OR ORDINANCES THAT PLANNING STAFF OBSERVES ARE PERTINENT TO THIS CASE. THE BULLET ITEMS ARE INCLUDED TO ALERT THE DESIGN TEAM AND ASSIST IN OBTAINING A BUILDING PERMIT AND ARE NOT AN EXHAUSTIVE LIST.

USE PERMIT:

- The use permit approval shall be void if the use is not commenced or if an application for a building permit has not been submitted, whichever is applicable, within twelve (12) months after the use permit is granted or within the time stipulated by the decision-making body.
- Any intensification or expansion of use shall require a new Use Permit.

SITE PLAN REVIEW: Verify all comments by all departments on each Preliminary Site Plan Review. If questions arise related to specific comments, they should be directed to the appropriate department, and any necessary modifications coordinated with all concerned parties, prior to application for building permit. Construction Documents submitted to the Building Safety Division will be reviewed by planning staff to ensure consistency with this Design Review approval prior to issuance of building permits.

DEADLINE: Development plan approval shall be void if the development is not commenced or if an application for a building permit has not been submitted, whichever is applicable, within twelve (12) months after the approval is granted or within the time stipulated by the decision-making body. A complete building permit application shall be made on or before two (2) years from the date of city council approval or within a time stipulated as a condition of approval, when development plan review application is processed concurrently with a PAD Overlay District. The period of approval is extended upon the time review limitations set forth for building permit applications, pursuant to Tempe Building Safety Administrative Code, Section 8-104.15. An expiration of the building permit application will result in expiration of the development plan.

STANDARD DETAILS:

- Access to Tempe Supplement to the M.A.G. Uniform Standard Details and Specifications for Public Works Construction, at this link: <https://www.tempe.gov/government/engineering-and-transportation/engineering/standards-details> or purchase book from the Public Works Engineering Division.
- Access to refuse enclosure details DS116 and DS118 and all other Development Services forms at this link: <https://www.tempe.gov/government/community-development/building-safety/applications-forms>. The enclosure details are under Civil Engineering & Right of Way.

BASIS OF BUILDING HEIGHT: Measure height of buildings from top of curb at a point adjacent to the center of the front property line.

MECHANICAL SCREENING: All roof mounted mechanical equipment shall be concealed on all sides by elements that are an integral part of the building design and are equal to or greater in height than the mechanical equipment. Ground-mounted equipment may be screened using a masonry wall or other durable material as approved through development plan review.

WATER CONSERVATION AND EFFICIENCY: As required in [Tempe City Code 33-140 - 142](#), all new non-residential development projects are required to submit a Water Conservation Report that details potential water use, for review and approval by the Municipal Utilities Department, prior to building permit issuance. For a report template and more information, visit the [commercial water conservation webpage](#).

HISTORIC PRESERVATION: State and federal laws apply to the discovery of features or artifacts during site excavation (typically, the discovery of ancestral (human) remains or associated funerary objects). Arizona Revised Statutes [§ 41-865](#) stipulates that “any landowner with intention to disturb human remains or having unintentionally disturbed human remains shall immediately cease any activity in the vicinity of the remains and shall notify the Arizona State Museum Repatriation Office of the encounter. Any human remains and funerary objects shall not be further disturbed without obtaining written permission from the Repatriation Office.” Additional information about requirements related to encountering and disturbing ancestral (human) remains and funerary objects on private land can be found on the Arizona State Museum [website](#). While not required, applicants are encouraged to enlist the services of a qualified archaeological firm to conduct monitoring during ground-disturbing activity on private property that is Archaeologically Sensitive (AS). Contact the Historic Preservation Officer with general questions.

POLICE DEPARTMENT SECURITY REQUIREMENTS:

- Design building entrance(s) to maximize visual surveillance of vicinity. Limit height of walls or landscape materials, and design columns or corners to discourage ambush.
- Maintain distances of 20'-0" or greater between a pedestrian path of travel and any hidden area to allow for increased reaction time and safety.
- Follow the design guidelines listed under appendix A of the Zoning and Development Code. In particular, reference the CPTED principal listed under A-II Building Design Guidelines (C) as it relates to the location of pedestrian environments and places of concealment.
- Refer to Tempe City Code Section 26-70 Security Plans.

- Provide a security vision panel at service and exit doors (except to rarely accessed equipment rooms) with a 3" wide, high strength plastic or laminated glass window, located between 43" and 66" from the bottom edge of the door.

TRAFFIC ENGINEERING:

- Provide 8'-0" wide public sidewalk along arterial roadways, or as required by Traffic Engineering Design Criteria and Standard Details.
- Construct driveways in public right of way in conformance with Standard Detail T-320. Alternatively, the installation of driveways with return type curbs as indicated, similar to Standard Detail T-319, requires permission of Public Works, Traffic Engineering.
- Correctly indicate clear vision triangles at driveways on the site and landscape plans. Identify speed limits for adjacent streets at the site frontages. Begin sight triangle in driveways at point 15'-0" from face of curb. Consult Intersection Sight Distance memo, available from Traffic Engineering if needed <https://www.tempe.gov/home/showpublisheddocument/6815/635323967996830000>. Do not locate site furnishings, screen walls or other visual obstructions over 2'-0" tall (except canopy trees are allowed) within each clear vision triangle.

FIRE:

- Clearly define the fire lanes. Ensure that there is at least a 20'-0" horizontal width, and a 14'-0" vertical clearance from the fire lane surface to the underside of tree canopies or overhead structures. Layout and details of fire lanes are subject to Fire Department approval.
- Provide a fire command room(s) on the ground floor of the building(s). Verify size and location with Fire Department.

CIVIL ENGINEERING:

- An Encroachment Permit or License Agreement must be obtained from the City for any projections into the right of way or crossing of a public utility easement, prior to submittal of construction documents for building permit.
- Maintain a minimum clear distance of twenty-four (24) feet between the sidewalk level and any overhead structure.
- All existing overhead utilities on or adjacent to site must be placed underground, including street crossings, per City of Tempe Code, Section 25-120 thru 25-126 & Ord # 88.85 except for transmission lines (greater than 12.5 kv).
- Coordinate site layout with utility provider(s) to provide adequate access easement(s).
- Clearly indicate property lines, the dimensional relation of the buildings to the property lines and the separation of the buildings from each other.
- Verify location of any easements, or property restrictions, to ensure no conflict exists with the site layout or foundation design.
- 100-year onsite retention required for this property, coordinate design with requirements of the Engineering Department.

SOLID WASTE SERVICES:

- Enclosure indicated on site plan is exclusively for refuse. Construct walls, pad and bollards in conformance with standard detail DS-116 or DS-118.
- Gates for refuse enclosure(s) are not required, unless visible from the street. If gates are provided, the property manager must arrange for gates to be open from 6:00 am to 4:30 pm on collection days.

PARKING SPACES:

- Verify conformance of accessible vehicle parking to the Americans with Disabilities Act and the Code of Federal Regulations Implementing the Act. Refer to Building Safety ADA Accessible Parking Spaces Marking/Signage on Private Development details.
- At parking areas, provide demarcated accessible aisle for disabled parking.
- Distribute bike parking areas nearest to main entrance(s). Provide parking loop/rack per standard detail T-578. Provide 15" by 6'-0" individual bicycle parking spaces. One loop may be used to separate two bike parking spaces. Provide clearance between bike spaces and adjacent walkway to allow bike maneuvering in and out of space without interfering with pedestrians, landscape materials or vehicles nearby.

ZONING AND DEVELOPMENT CODE:

- Specific requirements of the **Zoning and Development Code (ZDC)** are not listed as a condition of approval but will apply to any application. To avoid unnecessary review time and reduce the potential for multiple plan check submittals, become familiar with the ZDC. Access the ZDC through www.tempe.gov/zoning or purchase from Community Development.

LIGHTING:

- Design site security lighting in accordance with requirements of ZDC Part 4 Chapter 8 (Lighting) and ZDC Appendix E (Photometric Plan).
- Indicate the location of all exterior light fixtures on the site, landscape and photometric plans. Avoid conflicts between lights and trees or other site features in order to maintain illumination levels for exterior lighting.

LANDSCAPE:

- Trees shall be planted a minimum of 16'-0" from any existing or proposed public utility lines. The tree planting separation requirements may be reduced to no less than 8'-0" from utility lines upon the installation of a linear root barrier. Per Detail T-460, the root barrier shall be a continuous material, a minimum of 0.08" thick, installed to a minimum depth of 4'-0" below grade. The root barrier shall extend 6'-0" on either side of the tree parallel to the utility line for a minimum length of 12'-0". Final approval is subject to determination by the Public Works, Water Utilities Division.
- Prepare an existing plant inventory for the site and adjacent street frontages. The inventory may be prepared by the Landscape Architect or a plant salvage specialist. Note original locations and species of native and "protected" trees and other plants on site. Move, preserve in place, or demolish native or "protected" trees and plants per State of Arizona Agricultural Department standards. File Notice of Intent to Clear Land with the Agricultural Department. Notice of Intent to Clear Land form is available at <https://agriculture.az.gov/plantsproduce/native-plants>. Follow the link to "applications to move a native plant" to "notice of intent to clear land".

SIGNS: Separate plan review process is required for signs in accordance with requirements of ZDC Part 4 Chapter 9 (Signs). Refer to www.tempe.gov/signs.

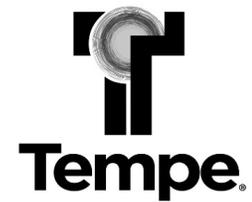
DUST CONTROL: Any operation capable of generating dust, include, but not limited to, land clearing, earth moving, excavating, construction, demolition and other similar operations, that disturbs 0.10 acres (4,356 square feet) or more shall require a dust control permit from the Maricopa County Air Quality Department (MCAQD). Contact MCAQD at <http://www.maricopa.gov/aq/>.

HISTORY & FACTS:

None relevant to this application.

ZONING AND DEVELOPMENT CODE REFERENCE:

Section 6-306, Development Plan Review
Section 6-308, Use Permit



DEVELOPMENT PROJECT FILE

for

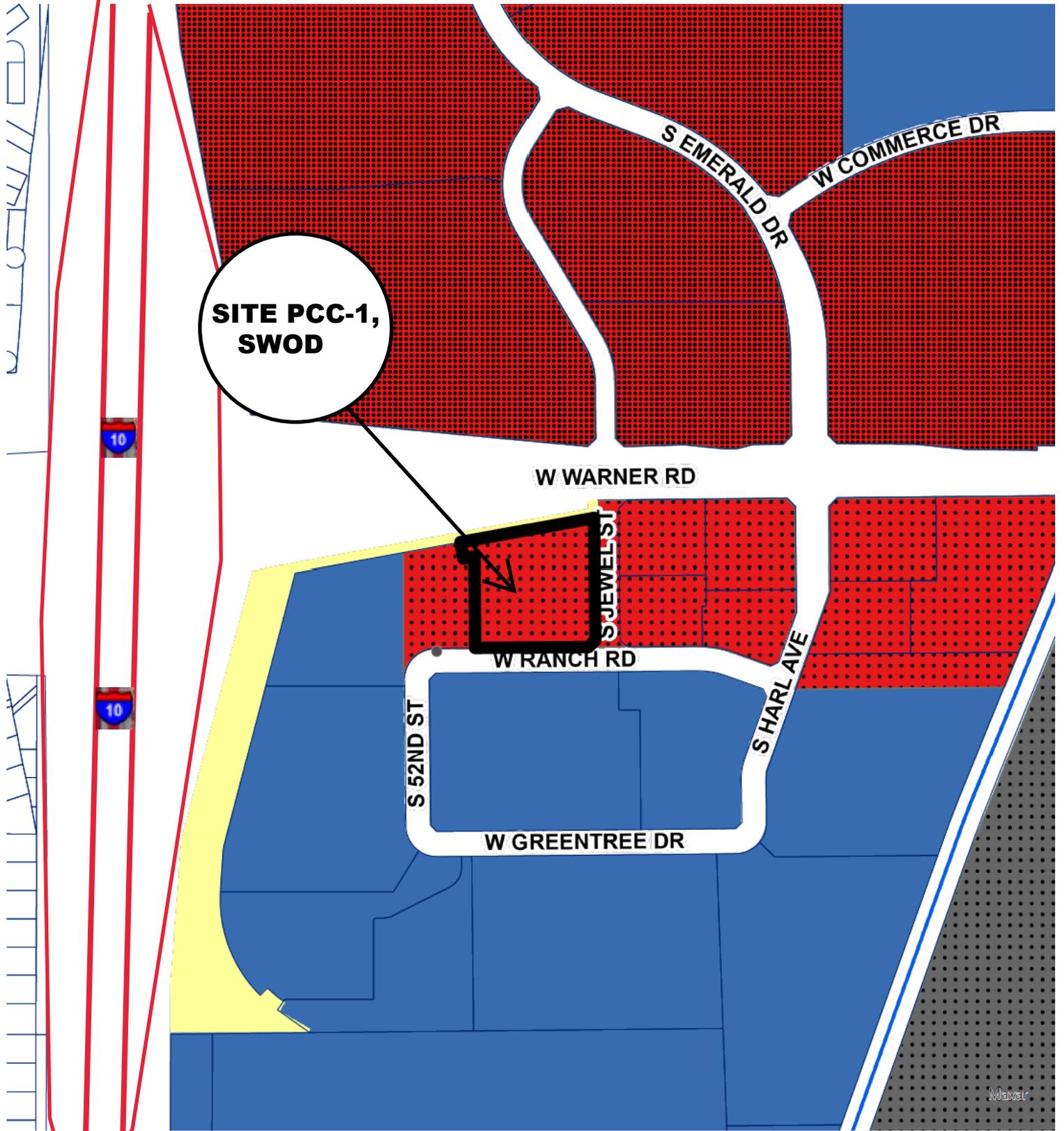
BUBBA'S 33
(PL230034)

ATTACHMENTS:

- 1-6. Site Context (Location Map, Aerial and Aerial with Site Plan Overlay, Site Photos)
- 7-8. Applicant's Letter of Explanation
- 9-11. Site Design (Site Plan, Landscape Plan, and Underground Utility and Lighting Plan)
- 12-18. Building Design (Blackline/Color Elevations, Sections, Renderings, Material Samples, Floor Plans)

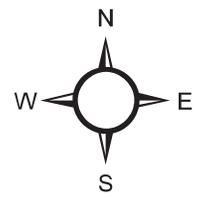


BUBBA'S 33



**SITE PCC-1,
SWOD**

-  General Industrial District (GID)
-  Mixed Use Med-High (MU-3)
-  Planned Commercial Center Neighborhood (PCC-1)
-  Regional Commercial Center (RCC)
-  Agricultural (AG)



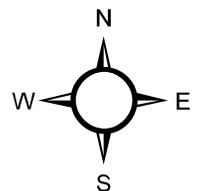
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BUBBA'S 33



Aerial Map



Context Photos with Site Key

1730 W Ranch Road – Tempe, AZ

Aerial Map – Site Key



View 1 - March 2022



Context Photos with Site Key

1730 W Ranch Road – Tempe, AZ

View 2 - March 2021



View 3 - March 2021



Context Photos with Site Key

1730 W Ranch Road – Tempe, AZ

View 4 - January 2021



View 5 - January 2021





Letter of Explanation

July 21, 2023

To: City of Tempe Community Development Department 31 East 5th Street, Garden Level, Tempe, Arizona 85281 T: (480) 350-4311	Project Bubba's 33 #828 – Tempe, AZ 1730 W. Ranch Road Tempe, AZ 85284 Project # PL230034 From Janet Reid
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Dear City of Tempe Community Development Department:

Texas Roadhouse Holdings, LLC (parent company) is proposing to construct a new **Bubba's 33 (B33) Restaurant** at the southwest corner of W Warner Road and S Jewel Street (Parcel #301-59-850) – adjacent to the Drury Inn & Suites in Tempe, AZ. This vacant commercial lot is zoned PCC-1, which allows restaurant use with liquor license and outdoor seating by right. The proposed development includes a new 7,743 SF building with an additional 890 SF covered outdoor patio area, an attached trash enclosure, 150 parking spaces, landscaping, site lighting and all utilities. Bubba's 33 typically employs 30-35 people and is open Monday through Sunday from 11am to 10pm.

B33 is required to submit applications for a **Major Development Plan Review** and a separate **Use Permit** (for excess parking above the zoning code maximum parking count limit). Based on the proposed square footages, Code requires 107 vehicle parking spaces and allows up to a maximum of 125% (134 parking spaces). We are applying for a Use Permit to allow the 16 extra parking spaces. Adequate parking is an extremely important aspect of this restaurant business model, based on their high level of success across the country.

The proposed development addresses the following Zoning and Development Code Standards:

- The B33 building has been centered in the lot with vehicle parking located around the entire building for greatest visibility and accessibility. The signature layout of the B33 building has been modified slightly to allow for proper fire lane access.
- The B33 building includes a covered outdoor patio along the north side to take advantage of sun angles to provide shade and comfort. The east and south elevations are provided with awnings to help shade storefronts. No fenestration provided on west elevation. Refer to sheets PL230034_10 & PL230034_14.
- The B33 architectural team has been working with the City Planner to incorporate complementary colors and materials at this location. B33 always uses quality and locally sourced materials, when available. The majority of exterior finishes consist of brick veneer and CMU with colors



complementing each other and the surrounding center. Refer to sheets PL230034_10, PL230034_14 & PL230034_15.

- The B33 building is expected to provide a nice complement to the surrounding hotel, fitness, office and additional restaurant uses. The B33 signature landscaping has been enhanced to meet and exceed the Tempe landscape code requirements.
- The exterior elevations include storefront awnings, arch features, decorative lighting, and vertical pilaster elements to break horizontal continuity to provide variety along each façade. Variety in materials and colors provide direction for patrons to the entrance doors. Refer to sheets PL230034_10 & PL230034_14.
- As mentioned above, the B33 building provides awnings, pilasters, decorative lighting, and a variety of materials to provide visual interest. The colors proposed are anticipated to complement the adjacent Drury Inn & Suites. Refer to sheets PL230034_10 & PL230034_14.
- The existing sidewalks provide convenient access to the existing multi-modal transportation options.
- The vehicular circulation has been designed to allow efficient parking close to the building and safe access to the building.
- B33 is acutely aware of the importance of safety for their patrons. Preference for owner is to provide additional conduit for security camera(s) to be installed at various light pole locations around the site (within the property limits).
- The landscape design is intended to provide delineation of the parking areas and pedestrian pathways.
- The B33 signage has been modified, as needed, to meet City sign requirements while providing patrons with recognizable brand identification.
- The site and building lighting layout has been designed to be compatible with the surrounding development. The B33 signature accent lighting has been designed to meet the local code requirements.

The proposed development will also conform to the following **Use Permit** standards and Zoning and Development Code Criteria Section 6-308(E), as applicable:

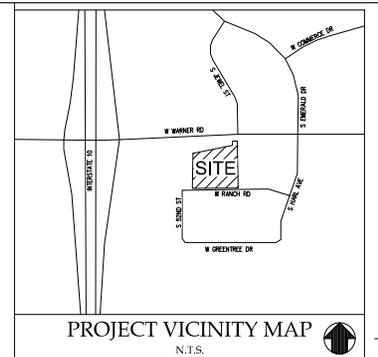
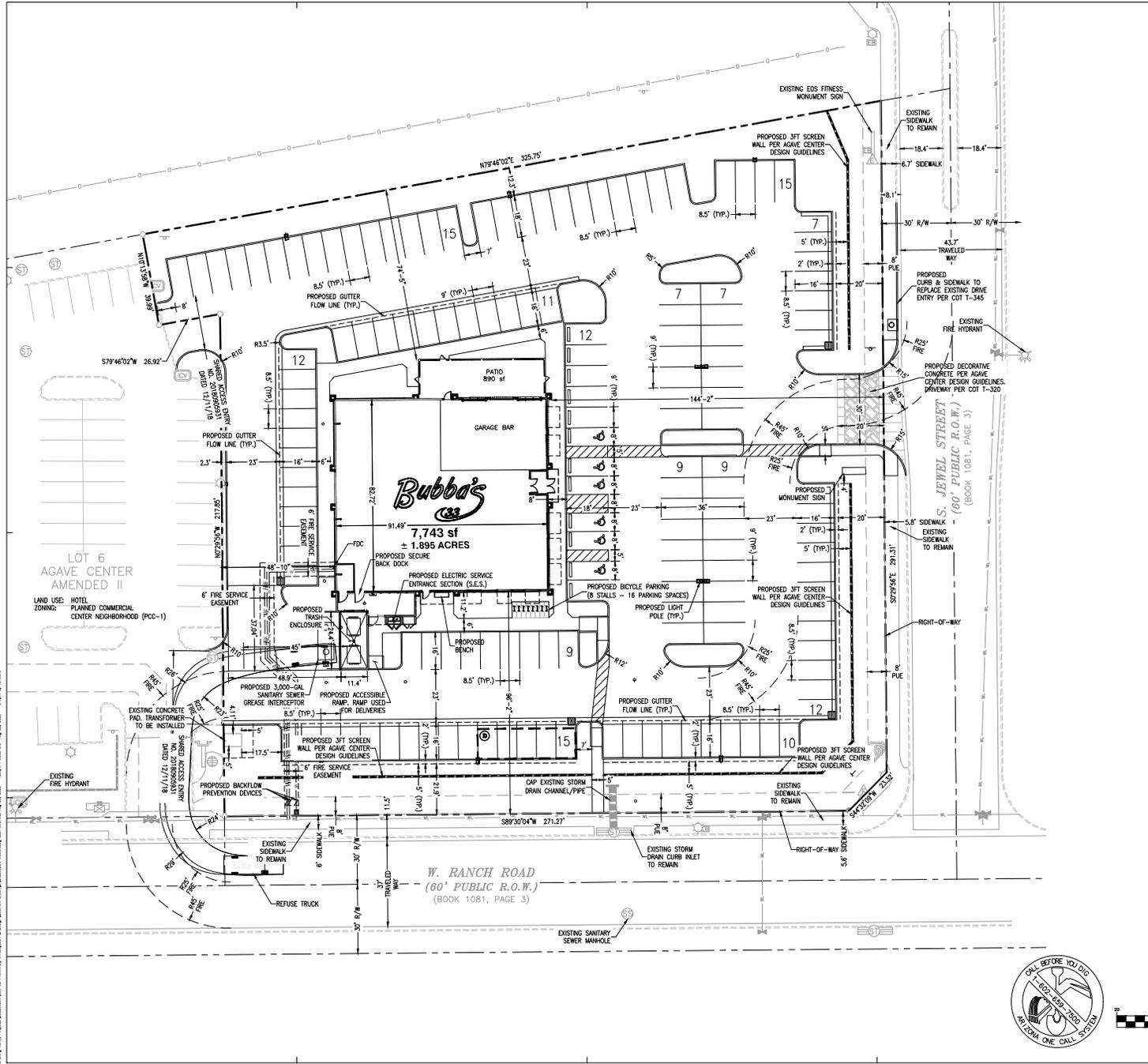
- B33 proposes to work with the adjacent Drury Inn and Suites management to insure vehicular and pedestrian safety.
- B33 proposes to use construction materials that reduce glare.
- B33 proposes to improve the neighborhood by providing excellent food and service to the area.
- B33 expects to be a compatible use to the adjacent Drury Inn and Suites.
- B33 proposes to be a respectable eating establishment with polite and friendly staff and patrons.

Sincerely,

Janet Reid

GreenbergFarrow, on behalf of Bubba's Holdings, LLC

End of Memorandum



PROJECT VICINITY MAP
N.T.S.

APPLICANT INFORMATION:
 GREENERFARROW
 30 EXECUTIVE PARK, SUITE 100
 IRVING, CA 92614
 CONTACT: JANSON TING
 TEL: 949.431.2094
 EMAIL: JTING@GREENERFARROW.COM

PROPERTY OWNER:
 DRURY DEVELOPMENT CORPORATION
 721 EMERSON ROAD
 ST. LOUIS, MO 31331
 CONTACT: MIKE FREHM
 TEL: 314.423.6688
 EMAIL: MIKE.FREHM@DRURYDEVELOPMENT.COM

LEGAL DESCRIPTION:
 THE LAND REFERRED TO HEREIN IS SITUATED IN THE COUNTY OF MARICOPA, STATE OF ARIZONA, AND IS DESCRIBED AS FOLLOWS:
 LOT 5, OF AGAVE CENTER AMENDED II, ACCORDING TO THE PLAT OR RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA, ARIZONA, RECORDED IN BOOK 1081 OF MAPS, PAGE 3.

PROJECT INFORMATION:

PROJECT NAME:	BUBBA'S 33 - TEMPE, AZ
PROJECT ADDRESS:	1730 WEST RANCH ROAD - TEMPE, AZ 85284
EXISTING ZONING:	PLANNED COMMERCIAL CENTER NEIGHBORHOOD (PCC-1) WITHIN THE SOUTHWEST TEMPE OVERLAY DISTRICT
TYPE OF CONSTRUCTION:	V8 FULLY SPRINKLERED
BUILDING AREA:	7,743 NSF
PATIO AREA:	890 SF
ALLOWABLE BUILDING HEIGHT:	60'-0"
PROPOSED BUILDING HEIGHT:	27'-10" (1 FLOOR)

REQUIRED BUILDING SETBACKS:

FRONT	0'-FT
SIDE	30'-FT
STREET SIDE	0'-FT
REAR	30'-FT
PARKING	20'-FT

PROPOSED BUILDING SETBACKS:

FRONT	96'-FT
SIDE	49'-FT
SHEET SIDE	144'-FT
REAR	75'-FT
PARKING	20'-FT

VEHICLE PARKING REQUIRED: 107 STALLS

CODE REQUIREMENTS:

- RESTAURANT - 1 STALL PER 75 SF (7743 / 75) = 103 STALLS;
- PATIO - SF LESS 300, 1 STALL PER 150 SF (890 - 300 = 590 / 150) = 4 STALLS

VEHICLE PARKING PROVIDED: 150 STALLS

BICYCLE PARKING PROVIDED: 8 STALLS

CODE REQUIREMENTS:

- RESTAURANT - 1 BICYCLE PER 1000 SF (7743 / 1000) = 8 STALLS;
- OUTDOOR PATIO - 1 BICYCLE PER 2000 SF (890 / 2000) = 0 STALLS

BICYCLE PARKING PROVIDED: 8 STALLS

SITE AREA TABLE:

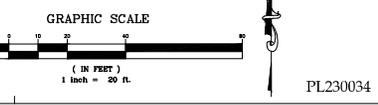
TOTAL SITE/LOT AREA:	82,546.2 SF (1.895 ACRES)
MINIMUM LOT COVERAGE (50%):	41,273.1 SF
LOT COVERAGE PROVIDED:	8,261 SF
TOTAL SITE LANDSCAPE AREA REQUIRED:	12,381.9 SF (15%)
TOTAL SITE LANDSCAPE AREA PROVIDED:	20,221 SF
OFFSITE AREA:	1,412 SF
OFFSITE LANDSCAPE AREA:	1,412 SF

USE PERMITS:

USE PERMIT REQUIRED - TO EXCEED 125% OF THE MINIMUM REQUIRED PARKING STALLS (134 SPACES) ALLOWED IN TABLE 4-603E

TOTAL PARKING AREA: 48,534 SF

- PROVIDED PARKING LANDSCAPE AREA: 5,924 SF (12%)
- PROVIDED PARKING LANDSCAPE AREA: 7,333 SF



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PROJECT TEAM

ISSUE/REVISION RECORD

DATE	DESCRIPTION	COORDINATION SET
11/18/22		
05/20/23	RESUBMITAL	
07/24/23	RESUBMITAL	

PROFESSIONAL SEAL

PROFESSIONAL IN CHARGE
 ROW SCOTT
 PROJECT MANAGER
 JT
 QUALITY CONTROL
 JT
 DRAWN BY
 NB
 PROJECT NAME
BUBBA'S 33

TEMPE ARIZONA
1730 WEST RANCH ROAD
TEMPE, AZ 85284

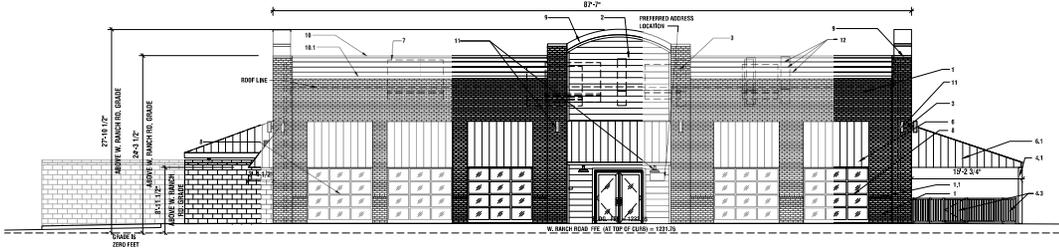


PROJECT NUMBER
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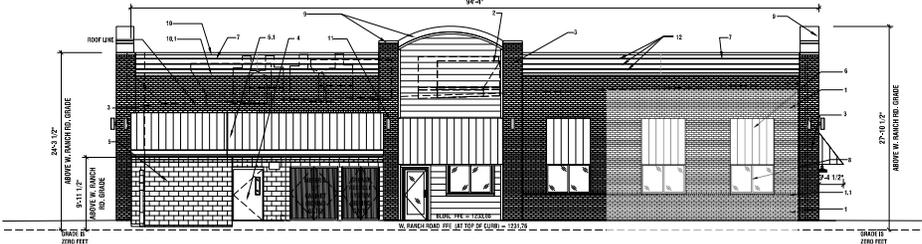
SHEET TITLE
SITE PLAN

SHEET NUMBER
C3.0

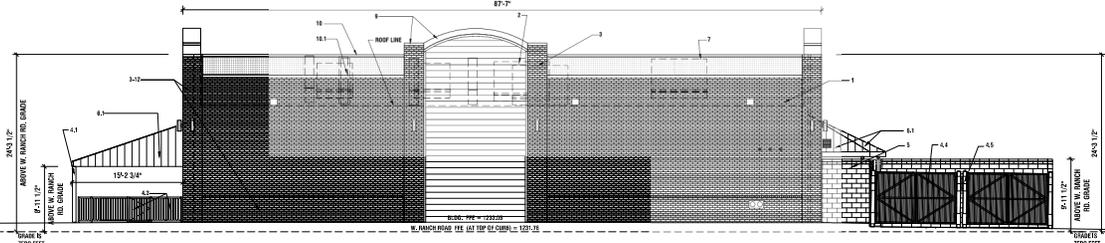
NOT ISSUED FOR CONSTRUCTION



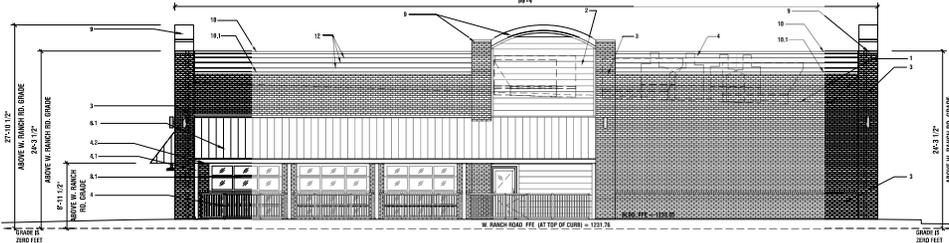
**FRONT ELEVATION
EAST**



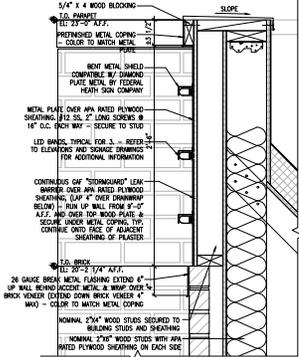
**LEFT ELEVATION
SOUTH**



**REAR ELEVATION
WEST**



**RIGHT ELEVATION
NORTH**



DETAIL @ PARAPET/METAL BAND
GRAPHIC SCALE
SCALE: 1" = 8" (JUL03)

EXTERIOR FINISH SCHEDULE		
#	BUILDING ITEMS	DESCRIPTION
1	FACEBRICK	GENERAL SINGLE WAIVE HANDED
1.1	FACEBRICK (PLOWLOCK)	GENERAL SINGLE WAIVE HANDED
2	FIBER CEMENT SIDING	SHERWIN-WILLIAMS: SW1770 "LESS WHITE INDIGO BAIT"
3	DISTRESSED FACEBRICK	GENERAL SINGLE CORDOBA
4	METAL DOORS & FRAMES	PORTER PAINTS: EXTERIOR; COLOR: BLACK (DOOR PROVIDED WITH DOOR VIEWER)
4.1	STEEL COLUMNS	PORTER PAINTS: EXTERIOR; COLOR: BLACK
4.2	BEAM	PORTER PAINTS: EXTERIOR; COLOR: BLACK
4.3	METAL RAILS/METAL GATE	PORTER PAINTS: EXTERIOR; COLOR: BLACK
4.4	DUMPSTER, SSS & GARBAGE RECOVERY SYSTEM GATES	PORTER PAINTS: EXTERIOR; COLOR: BLACK
4.5	BOLLARDS	PORTER PAINTS: EXTERIOR; COLOR: BLACK
5	SPLIT FACE CMU WALL	BLOCK-LITE INTEGRAL COLOR: SUNSET #206
6	METAL AWNING	METAL SALES: VERTICAL SEAM (22 GA); COLOR: GALVALUME
6.1	METAL ROOF	METAL SALES: VERTICAL SEAM (22 GA); COLOR: GALVALUME
7	ACCENT BAND	BRUSHED FINISHED ALUMINUM
8	STOREFRONT	DARK BRONZE
8.1	GARAGE DOORS	PRE-FINISHED BLACK
9	METAL COPING	PRE-FINISHED WHITE
10	METAL COPING	PRE-FINISHED GALVALUME
10.1	BREAK METAL FLASHING	PRE-FINISHED GALVALUME
11	ACCENT LIGHT	BLACK
12	LED LIGHTING	TOP TO BOTTOM: RED, WHITE & BLUE (EACH WITH SHIELD)

DISCLAIMER NOTE:
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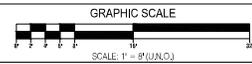
CLIENT
BUBBA'S 33

PROJECT ADDRESS
1730 W. RANCH ROAD
TEMPE, AZ

PROJECT NUMBER
20220029.0

DATE
06/30/2023

SHEET TITLE
EXTERIOR ELEVATIONS
SCALE: 1/8" = 1'-0" (J.N.O.)
RH 7,743 SF



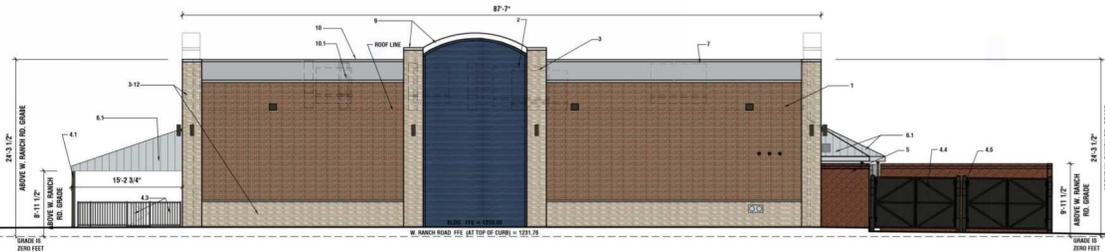
SHEET NUMBER
A2.0 (PL230034_10_BLACKLINE BUILDING ELEVATIONS)
1 OF 1



**FRONT ELEVATION
EAST**



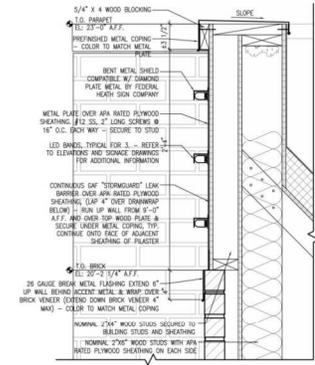
**LEFT ELEVATION
SOUTH**



**REAR ELEVATION
WEST**



**RIGHT ELEVATION
NORTH**



DETAIL @ PARAPET/METAL BAND
GRAPHIC SCALE
SCALE: 1" = 8" (U.N.O.)

EXTERIOR FINISH SCHEDULE		
#	BUILDING ITEMS	DESCRIPTION
1	FACEBRICK	GENERAL SHALE WAKE MANOR
1.1	FACEBRICK (ROWLOCK)	GENERAL SHALE WAKE MANOR
2	FIBER CEMENT SIDING	SHERWIN-WILLIAMS: SW1770 "LESS WHITE INDIGO BATH"
3	DISTRESSED FACEBRICK	GENERAL SHALE CORDORA
4	METAL DOORS & FRAMES	PORTER PAINTS: EXTERIOR, COLOR: BLACK (DOOR PROVIDED WITH DOOR VIEWER)
4.1	STEEL COLUMNS	PORTER PAINTS: EXTERIOR, COLOR: BLACK
4.2	BEAM	PORTER PAINTS: EXTERIOR, COLOR: BLACK
4.3	METAL RAILS/METAL GATE	PORTER PAINTS: EXTERIOR, COLOR: BLACK
4.4	DUMPSTER, SES & GREASE RECOVERY SYSTEM GATES	PORTER PAINTS: EXTERIOR, COLOR: BLACK
4.5	BOLLARDS	PORTER PAINTS: EXTERIOR, COLOR: BLACK
5	SPLIT FACE CMU WALL	BLOCK-LITE INTEGRAL COLOR: SUNSET #309
6	METAL AWNING	METAL SALES: VERTICAL SEAM (22 GA); COLOR: GALVALUME
6.1	METAL ROOF	METAL SALES: VERTICAL SEAM (22 GA); COLOR: GALVALUME
7	ACCENT BAND	BRUSHED FINISHED ALUMINUM
8	STONEFRONT	DARK BRONZE
8.1	GARAGE DOORS	PRE-FINISHED BLACK
9	METAL COPING	PRE-FINISHED WHITE
10	METAL COPING	PRE-FINISHED GALVALUME
10.1	BREAK METAL FLASHING	PRE-FINISHED GALVALUME
11	ACCENT LIGHT	BLACK
12	LED LIGHTING	TOP TO BOTTOM: RED, WHITE & BLUE (EACH WITH SHIELD)

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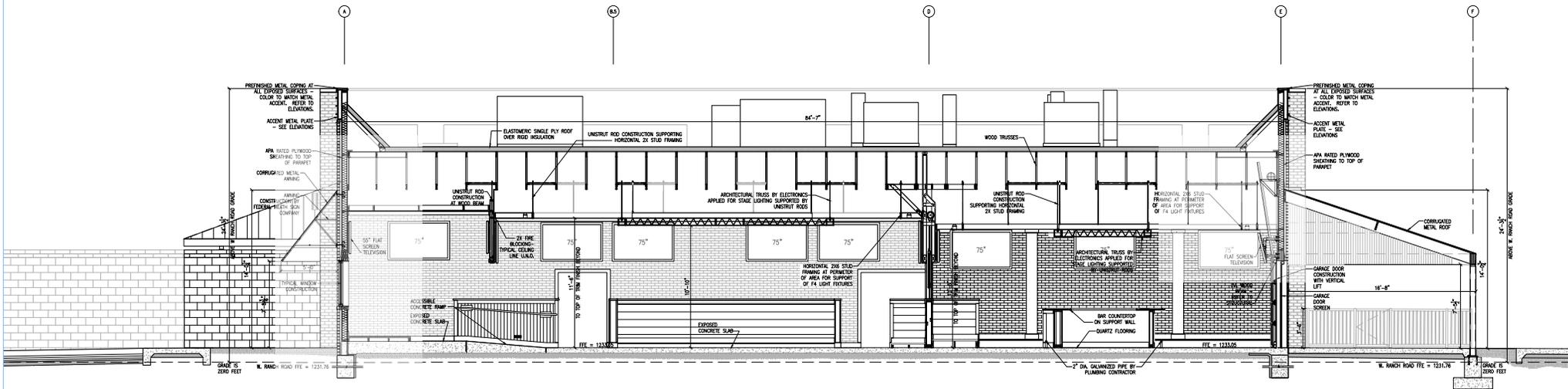
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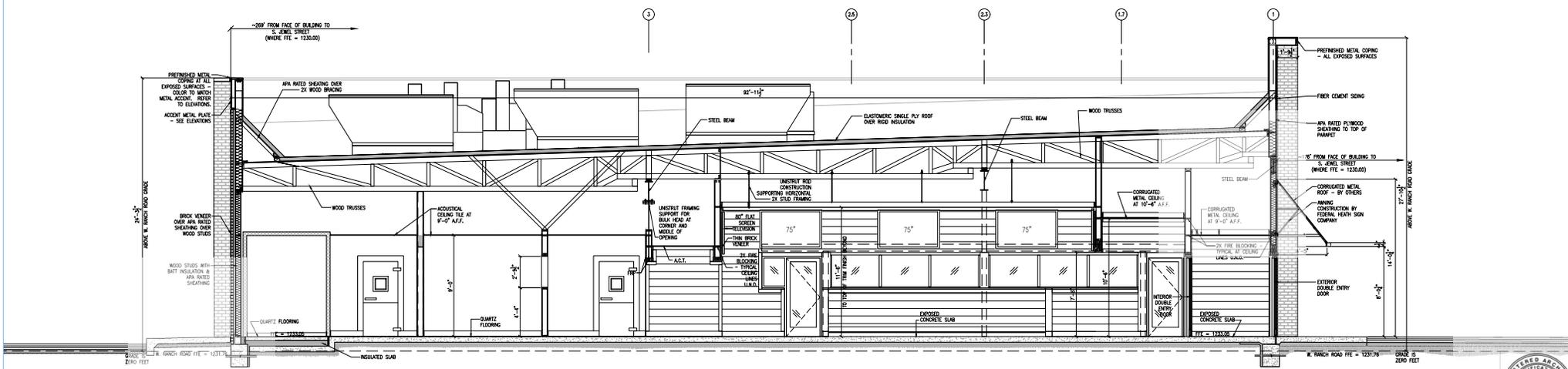
CLIENT	Bubba's	PROJECT NAME	BUBBA'S 33	PROJECT ADDRESS	1730 W. RANCH ROAD TEMPE, AZ	PROJECT NUMBER	20220029.0	DATE	06/30/2023	SHEET TITLE	EXTERIOR ELEVATIONS SCALE: 1/8" = 1'-0" (U.N.O.) RH 7.743 SF
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SHEET NUMBER
A2.0 (PL230034_10_BLACKLINE BUILDING ELEVATIONS)
1 OF 1



**TRANSVERSE SECTION
1/A3.0**



**LONGITUDINAL SECTION
2/A3.0**



	CLIENT	PROJECT NAME	PROJECT ADDRESS	PROJECT NUMBER	DATE	SHEET TITLE	GRAPHIC SCALE	SHEET NUMBER
	BUBBA'S 33	1730 W. RANCH ROAD TEMPE, AZ	20220029.0	06/30/2023	SECTIONS SCALE: 1/8" = 1'-0" RH 7,743 SF	 SCALE: 1" = 4'	A3.0 (PL230034_13_BUILDING SECTIONS) 1 OF 1	





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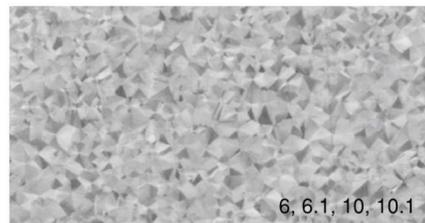
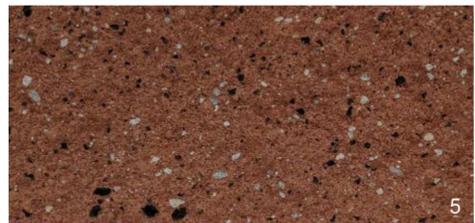
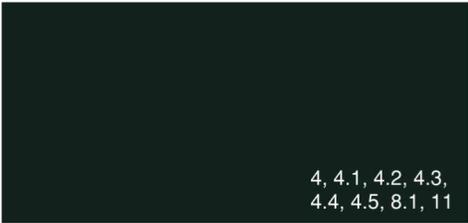
CLIENT 	PROJECT NAME BUBBA'S 33	PROJECT ADDRESS 1730 W. RANCH ROAD TEMPE, AZ	PROJECT NUMBER 20220029.0	DATE 06/30/2023	SHEET TITLE EXTERIOR RENDERING (NORTH VIEW) RH 7,743 SF	GRAPHIC SCALE  SCALE: 1" = 4'	SHEET NUMBER A2.1(PL230034_14_EXTERIOR RENDERING) 1 OF 1
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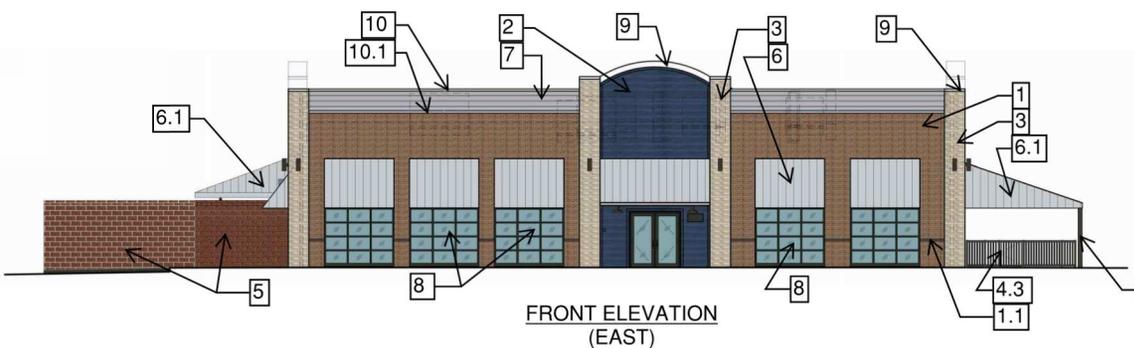

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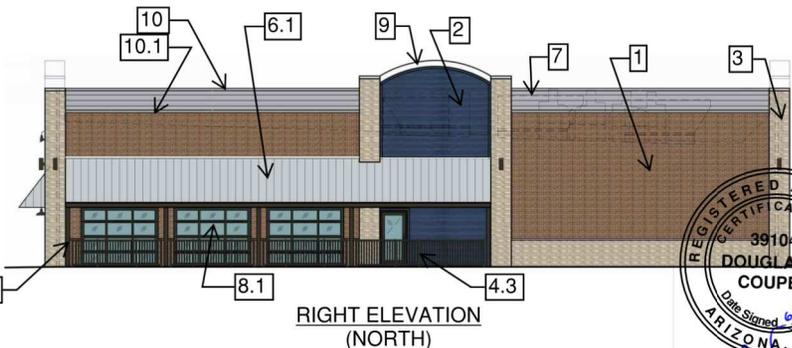
CLIENT 	PROJECT NAME BUBBA'S 33	PROJECT ADDRESS 1730 W. RANCH ROAD TEMPE, AZ	PROJECT NUMBER 20220029.0	DATE 06/30/2023	SHEET TITLE EXTERIOR RENDERING (SOUTH VIEW) RH 7,743 SF	GRAPHIC SCALE  SCALE: 1" = 4'	SHEET NUMBER A2.2(PL230034_14_EXTERIOR RENDERING) 1 OF 1
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EXTERIOR FINISH SCHEDULE		
#	BUILDING ITEMS	DESCRIPTION
1	FACEBRICK	GENERAL SHALE WAKE MANOR
1.1	FACEBRICK (ROWLOCK)	GENERAL SHALE WAKE MANOR
2	FIBER CEMENT SIDING	SHERWIN-WILLIAMS: SW1770 "LESS WHITE INDIGO BATN"
3	DISTRESSED FACEBRICK	GENERAL SHALE CORDOBA
4	METAL DOORS & FRAMES	PORTER PAINTS: EXTERIOR; COLOR: BLACK (DOOR PROVIDED WITH DOOR VIEWER)
4.1	STEEL COLUMNS	PORTER PAINTS: EXTERIOR; COLOR: BLACK
4.2	BEAM	PORTER PAINTS: EXTERIOR; COLOR: BLACK
4.3	METAL RAILS/METAL GATE	PORTER PAINTS: EXTERIOR; COLOR: BLACK
4.4	DUMPSTER GATES	PORTER PAINTS: EXTERIOR; COLOR: BLACK
4.5	BOLLARDS	PORTER PAINTS: EXTERIOR; COLOR: BLACK
5	SPLIT FACE CMU WALL	BLOCK-LITE INTEGRAL COLOR: SUNSET #306
6	METAL AWNING	METAL SALES: VERTICAL SEAM (22 GA); COLOR: GALVALUME
6.1	METAL ROOF	METAL SALES: VERTICAL SEAM (22 GA); COLOR: GALVALUME
7	ACCENT BAND	BRUSHED FINISHED ALUMINUM
8	STOREFRONT	DARK BRONZE
8.1	GARAGE DOORS	PRE-FINISHED BLACK
9	METAL COPING	PRE-FINISHED WHITE
10	METAL COPING	PRE-FINISHED GALVALUME
10.1	BREAK METAL FLASHING	PRE-FINISHED GALVALUME
11	ACCENT LIGHT	BLACK
12	LED LIGHTING	TOP TO BOTTOM: RED, WHITE & BLUE (EACH WITH SHIELD)



FRONT ELEVATION
(EAST)



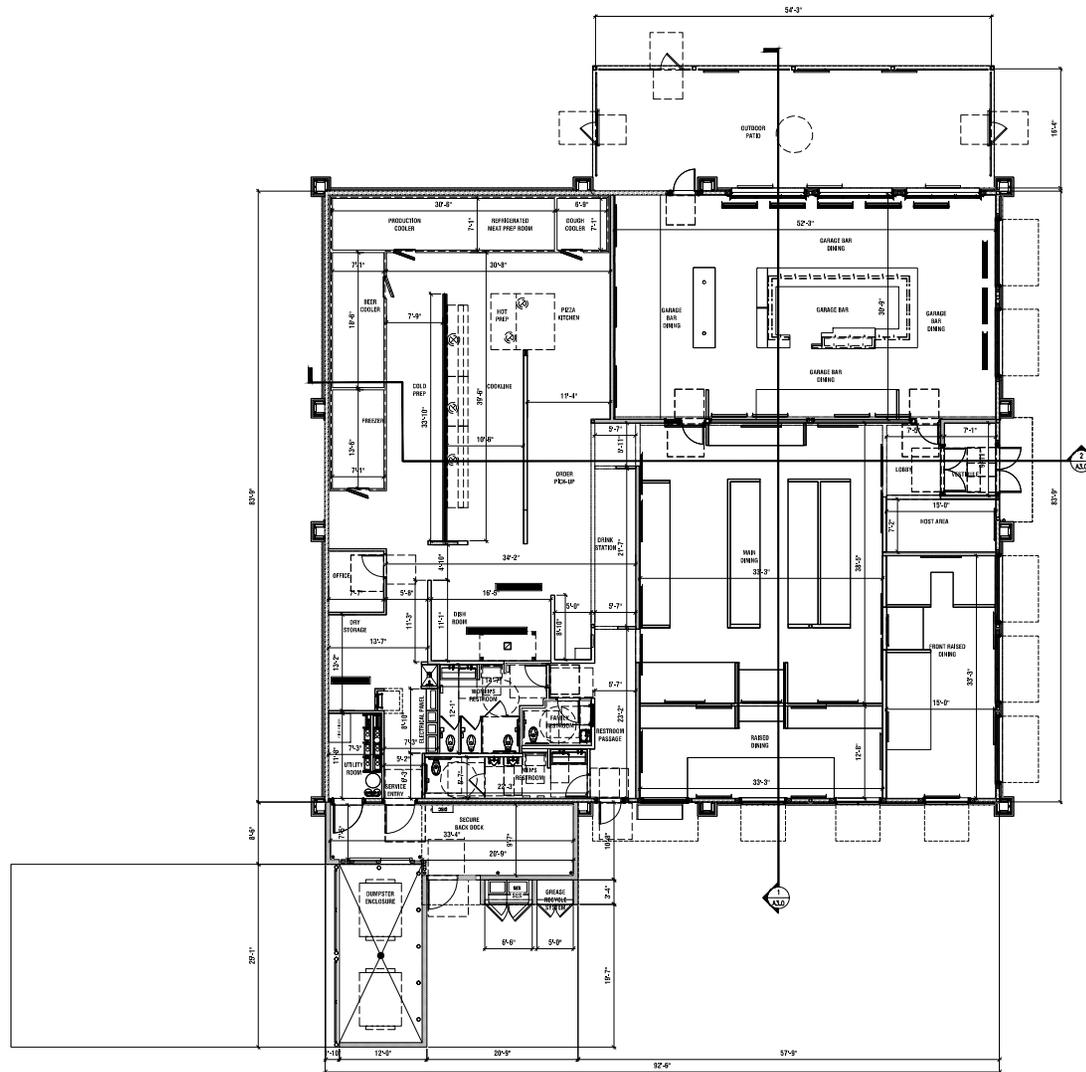
RIGHT ELEVATION
(NORTH)



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CLIENT 	PROJECT NAME BUBBA'S 33	PROJECT ADDRESS 1730 W. RANCH RD. TEMPE, AZ	PROJECT NUMBER 20220029.0	SHEET TITLE MATERIAL BOARD	SHEET NUMBER MB1.0 (PL230034_15_DIGITAL MATERIAL BOARD)
			DATE 06/30/2023		



OCCUPANCY LOAD (PER 2018 INTERNATIONAL BUILDING CODE)			
AREA	OCCUPANTS PER AREA (SEAT)	MAX OCCUPANCY (SEATS)	ACCESSIBLE SEATING REQUIRED
DINING AREA (FIXED SEATING)	24 SEATS	214 SEATS	14% OF 204
DINING AREA (1-15)	1200 S.F.	80 PERSONS	80 SEATS = 15 SEATS
WAITING (1-7)	109 S.F.	16 PERSONS	16 PERSONS
KITCHEN (1-20)	2889 S.F.	15 PERSONS	15 PERSONS
TOTAL INTERIOR	7743 S.F.	325 PERSONS	325 PERSONS
OUTDOOR PATIO (FIXED)	259 S.F.	36 PERSONS	36 PERSONS
OUTDOOR PATIO (1-15)	431 S.F.	43 PERSONS	36 PERSONS
TOTAL EXTERIOR	690 S.F.	79 PERSONS	72 PERSONS
OVERALL TOTAL	8433 S.F.	404 PERSONS	397 PERSONS

EXIT & EGRESS WIDTHS (BUILDING) (PER 2018 INTERNATIONAL BUILDING CODE)		
EXITS REQUIRED:	REQUIRED	PROVIDED
4 EXITS	2	4 EXITS
0 < 325 < 500 OCCUPANTS	48.15" OF EGRESS	107" OF EGRESS
325 PERSONS + 15" PER PERSON	48.15" / 2 = 24.08"	91" OF EGRESS
1/2 REQUIRED EGRESS WITH WIDENED WALKWAY	11.85" / 2 = 5.93"	51" OF EGRESS

EXIT & EGRESS WIDTHS (OUTDOOR PATIO) (PER 2018 INTERNATIONAL BUILDING CODE)		
EXITS REQUIRED:	REQUIRED	PROVIDED
3 EXITS	2	3 EXITS
0 < 79 < 500 OCCUPANTS	11.85" OF EGRESS	107" OF EGRESS
79 PERSONS + 15" PER PERSON	11.85" / 2 = 5.93"	51" OF EGRESS

PLUMBING FIXTURE COUNT (PER 2018 INTERNATIONAL PLUMBING CODE)			
OCCUPANCY LOAD/2	MALE/FEMALE REQUIREMENTS	MALE	FEMALE
404/2 = 202 EA.	202/75 = 2.69 = 3 REQUIRED MA	1 W.C.	3 W.C.
202/200 = 1.01 = 2 REQUIRED W.C.	202/200 = 1.01 = 2 REQUIRED W.C.	2 W.C.	2 W.C.
TOTAL WATER CLOSETS REQUIRED	6 W.C.	3 W.C.	3 W.C.
FAMILY RESTROOMS REQUIRED	YES, (1) REQUIRED		
FAMILY RESTROOM WATER CLOSET	1 W.C. REQUIRED, 1 W.C. PROVIDED		
FAMILY RESTROOM LAVATORY	1 LAV. REQUIRED, 1 LAV. PROVIDED		



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CLIENT



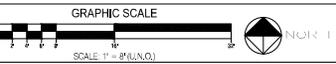
PROJECT NAME
BUBBA'S 33

PROJECT ADDRESS
1730 W. RANCH ROAD
TEMPE, AZ

PROJECT NUMBER
20220029.0

DATE
06/30/2023

SHEET TITLE
FLOOR PLAN
SCALE: 1/8" = 1'-0"
RH 7,743 SF



SHEET NUMBER
A1.1 (PL230034_16_FLOOR PLAN)
1 OF 1