

**CITY OF TEMPE
DEVELOPMENT REVIEW COMMISSION**

**Meeting Date: 10/24/2023
Agenda Item: 5**

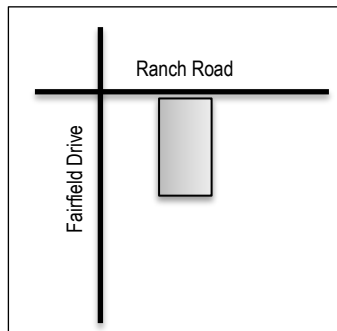
ACTION: Request a Use Permit Standard to increase the maximum lot coverage from 25 percent to 27 percent to construct a new single-family residence for the PRESTINARIO RESIDENCE, located at 2035 East Ranch Road. The applicant is Cory Black Design.

FISCAL IMPACT: N/A

RECOMMENDATION: Staff – Approve, subject to conditions

BACKGROUND INFORMATION: PRESTINARIO RESIDENCE (PL230265) is a proposed single-family detached residence located on Lot 13 of the Circle G Ranches 4 Unit 1 Subdivision. The project would increase the maximum lot coverage from 25 percent to 27 percent, resulting in approximately 707 s.f. of additional buildable area. The request includes the following:

ZUP230062 Use Permit Standard to increase the allowable lot coverage from 25 percent to 27 percent.



Property Owner	Tommy and Tiffany Prestinario
Applicant	Cory Black, Cory Black Design
Zoning District	AG (Agricultural)
Site Area	35,345 s.f.
Building Area	9,521 s.f. (proposed)
Lot Coverage	27% (25 % max. allowed)
Building Height	29'-10" (30' max. allowed)
Building Setbacks	40' front, 20' side (west), 20' side (east), 81'-3" rear (40', 20', 20', 35' min. required)
Vehicle Parking	5 spaces (2 min. required)

ATTACHMENTS: Development Project File

STAFF CONTACT(S): Lucas Jensen, Planner I (480) 350-8023

Department Director: Jeff Tamulevich, Community Development Director

Legal review by: N/A

Prepared by: Lucas Jensen, Planner I

Reviewed by: Mailen Pankiewicz, Principal Planner

COMMENTS

The Prestinario Residence is located south of Warner Road and west of the 101 Freeway within the Circle G Ranches IV Homeowners Association. The applicant is requesting a Use Permit Standard to increase the maximum allowable lot coverage from 25 percent to 27 percent, resulting in approximately 707 s.f. of additional buildable area. The project scope includes demolition of an existing two-story single-family residence and rebuild of a two-story single-family residence with guest quarters on the southeast portion of the building which is not directly accessible through the main residence which is permitted per ZDC Section 3-411.

PUBLIC INPUT

Staff has not received public input regarding this project.

USE PERMIT STANDARD

The proposed design requires a Use Permit Standard to increase the maximum lot coverage from 25 percent to 27 percent within the AG zoning district.

Section 6-308(E) Approval criteria for Use Permit (*in italics*):

1. *Any significant increase in vehicular or pedestrian traffic*; the use is intended for single-family residence and is not expected to increase vehicular or pedestrian traffic.
2. *Nuisance arising from the emission of odor, dust, gas, noise, vibration, smoke, heat or glare at a level exceeding that of ambient conditions*; increasing the maximum lot coverage is not expected to create any nuisances.
3. *Contribution to the deterioration of the neighborhood or to the downgrading of property values, which is in conflict with the goals, objectives or policies for rehabilitation, redevelopment or conservation as set forth in the city's adopted plans or General Plan*; increasing the maximum lot coverage is not expected to contribute to the deterioration of the neighborhood or downgrading of property values, as it does not alter the land use or character of the area.
4. *Compatibility with existing surrounding structures and uses*; the proposed design is compatible with the existing surrounding neighborhood.
5. *Adequate control of disruptive behavior both inside and outside the premises which may create a nuisance to the surrounding area or general public*; an increase to the maximum lot coverage is not expected to cause disruptive behavior on or off site.

REASONS FOR APPROVAL:

Based on the information provided by the applicant, the public input received and the above analysis staff supports approval of the requested Use Permit Standard. This request meets the required criteria and will conform to the conditions.

SHOULD AN AFFIRMATIVE ACTION BE TAKEN ON THIS REQUEST, THE FOLLOWING NUMBERED CONDITIONS OF APPROVAL SHALL APPLY, BUT MAY BE AMENDED BY THE DECISION-MAKING BODY.

CONDITION(S) OF APPROVAL:

EACH NUMBERED ITEM IS A CONDITION OF APPROVAL. THE DECISION-MAKING BODY MAY MODIFY, DELETE OR ADD TO THESE CONDITIONS.

1. The Use Permit Standard is valid only after a Building Permit has been obtained, the required inspections have been completed and a Final Inspection has been passed. As part of the Building Permit process, on-site storm water retention may be required to be verified or accomplished on this Site.
2. The Use Permit Standard is valid for the plans dated August 17, 2023, as submitted within this application. Any additions or modifications may be submitted for review during the building plan check process.

CODE/ORDINANCE REQUIREMENTS:

THE BULLETED ITEMS REFER TO EXISTING CODE OR ORDINANCES THAT PLANNING STAFF OBSERVES ARE PERTINENT TO THIS CASE. THE BULLET ITEMS ARE INCLUDED TO ALERT THE DESIGN TEAM AND ASSIST IN OBTAINING A BUILDING PERMIT AND ARE NOT AN EXHAUSTIVE LIST.

USE PERMIT:

- The use permit approval shall be void if the use is not commenced or if an application for a building permit has not been submitted, whichever is applicable, within twelve (12) months after the use permit is granted or within the time stipulated by the decision-making body.
- Specific requirements of the **Zoning and Development Code (ZDC)** are not listed as a condition of approval but will apply to any application. To avoid unnecessary review time and reduce the potential for multiple plan check submittals, become familiar with the ZDC. Access the ZDC through <http://www.tempe.gov/zoning> or purchase from Development Services.
- Any intensification or expansion of use shall require a new Use Permit.

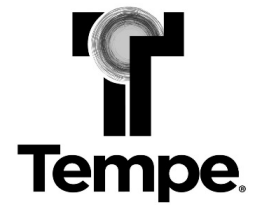
HISTORY & FACTS:

February 25, 1981 A single-family home was built.

ZONING AND DEVELOPMENT CODE REFERENCE:

[Section 4-201\(A\), Use Permit Standard](#)

[Section 4-202, Development Standards for Residential Districts](#)



DEVELOPMENT PROJECT FILE

for

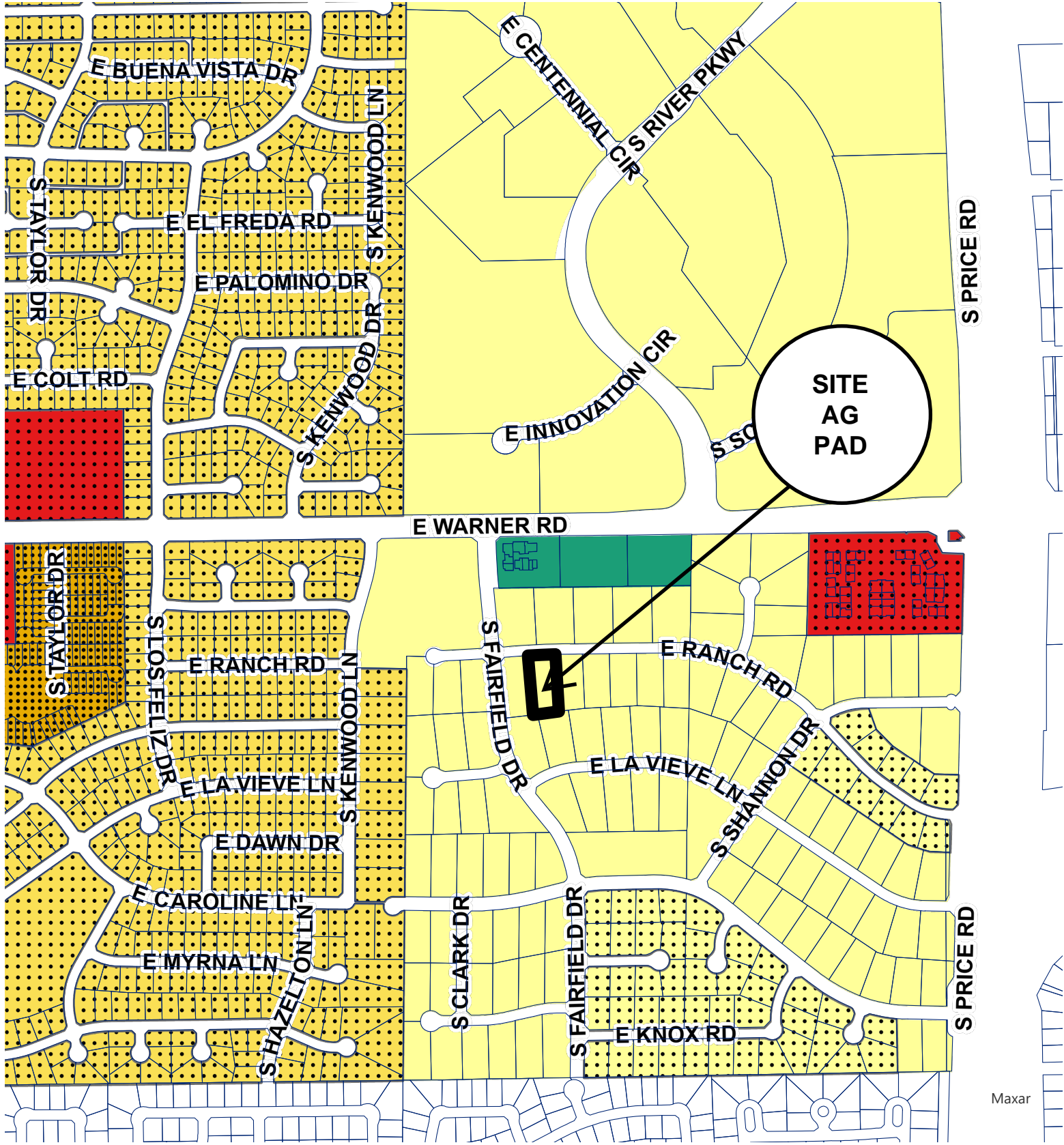
**PRESTINARIO RESIDENCE
(PL230265)**

ATTACHMENTS:

1. Location Map
2. Aerial Map
3. Site Photos
- 4-5. Applicant's Letter of Explanation
6. Site Plan
- 7-8. Blackline Elevations
9. Building Sections
- 10-11. Floor Plans



Prestinario Residence



- Planned Commercial Center Neighborhood (PCC-1)
- Residential/Office (RO)
- Agricultural (AG)
- Single-Family Residential (R1-15)
- Single-Family Residential (R1-7)
- Single-Family Residential (R1-4)
- Parcels

- Twelve Point**
- CenterlineSubType**
- ADOT
 - Canal
 - Monument
 - Private

- Railroad
 - Street
 - <all other values>
- Zoning District**
- Light Industrial District (LID)
 - General Industrial District (GID)
 - Heavy Industrial District (HID)





Tempe

PL230265

Prestinario Residence



Aerial Map

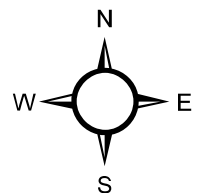




Photo 1 (North)



Photo 2 (NE)



Photo 3 (NW)



Photo 4 (South)



Photo 5 (SW)



Photo 6 (SE)



September 26, 2023

Cory Black Design

4115 E Valley Auto Dr. Unit 105
Mesa, AZ 85206

Tempe Community Development Department

31 E 5th St. Garden Level East
Tempe, AZ 85281

**Use Permit Standard – Request for Increase of Allowed Lot Coverage
Lot 13 Circle G Ranches 4, APN #: 301-63-028**

To: Tempe Community Development Department,

We appreciate your consideration and feedback. Please see the comments below for revisions made and further commentary on the proposed design.

The intention of the proposed design is to create a new custom home for the Prestinario residence in Circle G Ranches 4. This design establishes an elegant and aesthetically pleasing blend of structures and landscaping that is harmonious with the existing community. To maintain the integrity of the design, we are requesting an increase of allowed lot coverage to 26.9% to reflect the lot coverage of the project. The project will adhere to the Zoning and Development Code Criteria Section 6-308(E) and to the standards set forth by the Tempe Community Development Department as follows:

There will be no significant vehicular or pedestrian traffic in adjacent areas, nor will any nuisance arise from the emission of odor, dust, gas, noise, vibration, smoke, heat, or glare at a level exceeding that of ambient conditions.

As a new custom home, the proposed project will be compatible with existing surrounding structures, and with its completion will result in an increase in neighborhood property values.

Disruptive behavior inside and outside the premises will be maintained and will not create a disturbance to the surrounding area or the surrounding public.



The following revisions have been made to the building plan set:

AS1- Architectural Site Plan

- Parking paver pad has been removed from the design.
- “Completely below grade” note has been added to propane tank call out.
- “4’ height maximum” note has been added to private entry and wall call out.
- Ancillary item removed from Site Plan (this was a plan error).
- Project data table has been updated to show required/proposed setbacks, building height, and lot coverage.

A8, A9- Elevations

- Elevations renamed to convey cardinal directions.
- **Overall building height from grade has been added to all elevations.**

We appreciate your consideration. Please reach out with any questions.

Thank you,

Weslie McBride
Assistant Architectural Designer
Cory Black Design, LLC

REVISIONS	BY

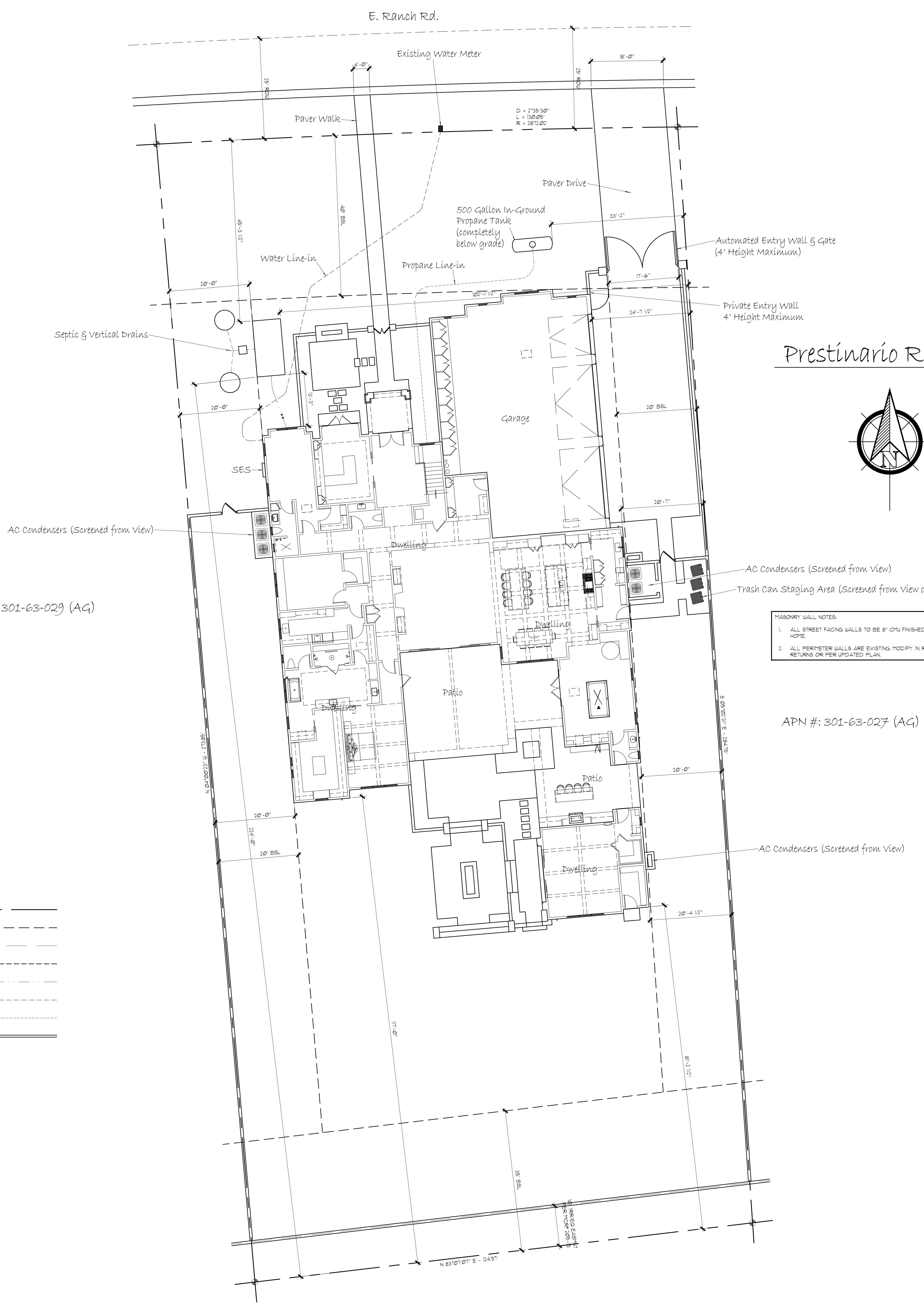
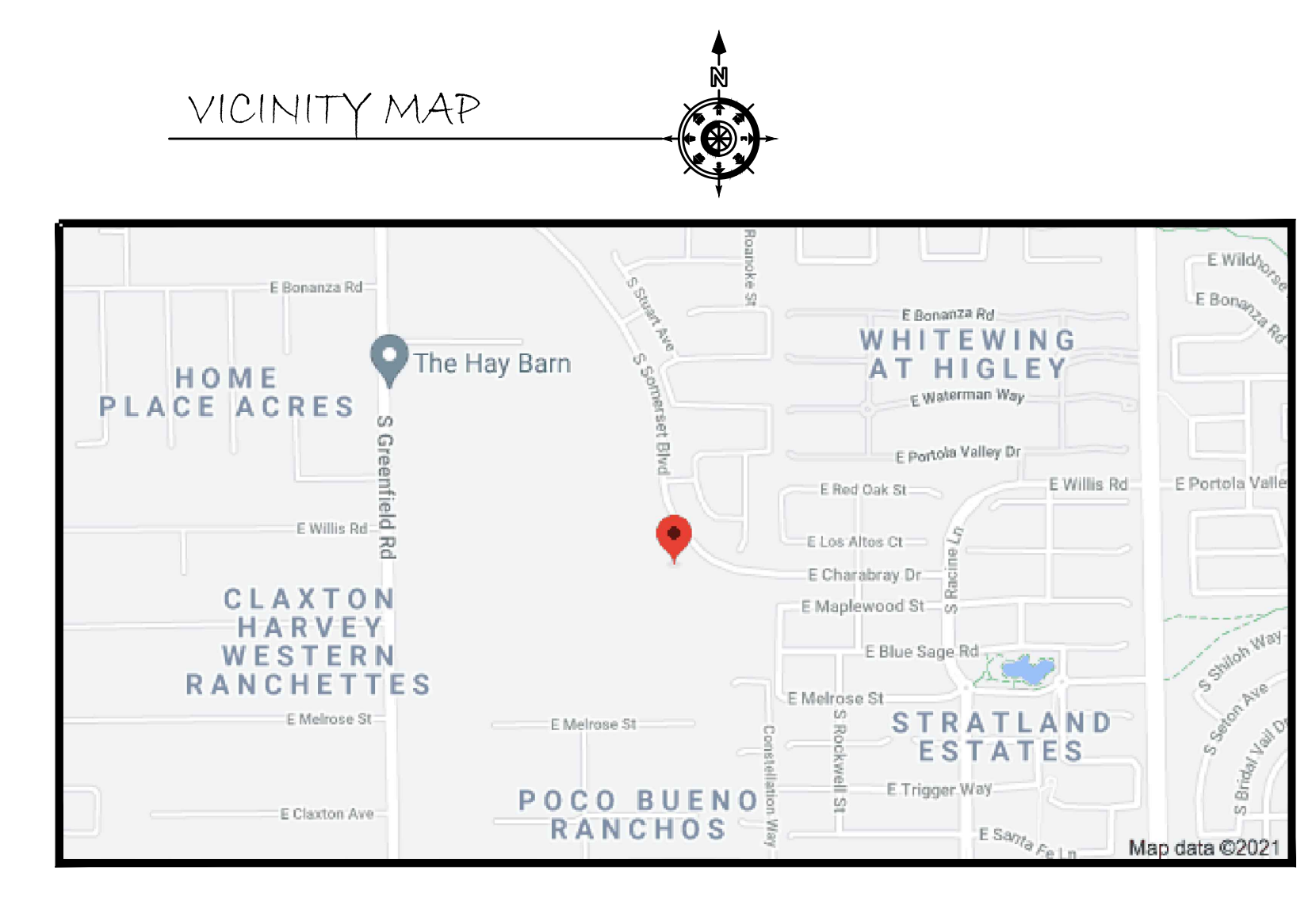
ARCHITECTURAL SITE PLAN

NOTE: ALL WORK PERFORMED ON THIS DESIGN SHALL BE BY A LICENSED CONTRACTOR IN ACCORDANCE WITH LOCAL AND NATIONAL CODES. CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND SPECIFICATIONS AND ASSUME RESPONSIBILITY FOR ANY DAMAGES OR STRUCTURAL FAILURES DUE TO ANY ERRORS OR OMISSIONS IN THE DESIGN AND/OR THESE DRAWINGS.

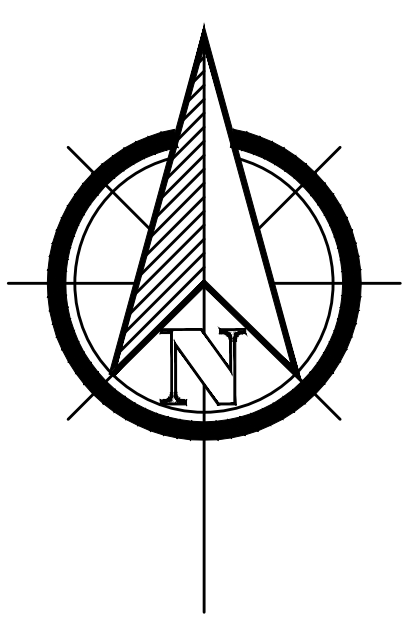
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PRESTINARIO RESIDENCE

2035 E RANCH RD. - TEMPE, AZ 85284



Prestinario Residence



MASONRY WALL NOTES:
 1. ALL STREET FACING WALLS TO BE 8" CMU FINISHED TO MATCH THE EXTERIOR OF THE HOME.
 2. ALL PERIMETER WALLS ARE EXISTING, MODIFY IN RELATIONSHIP TO NEW WALL RETURNS OR PER UPDATED PLAN.

APN #: 301-63-029 (AG)

APN #: 301-63-027 (AG)

BLUE STAKE
 CALL TWO WORKING DAYS BEFORE YOU DIG
 263-1100
 1-800-STAKE-IT
 (OUTSIDE MARICOPA COUNTY)

SITE PLAN LEGEND:

PROPERTY LINE	---
SETBACK LINE	- - - -
EASEMENT LINE	- · - · -
POWER LINE	— · — · —
SEWER LINE	— · — · — · —
WATER LINE	— · — · — · — · —
PROPANE LINE	— · — · — · — · — · —
MASONRY WALL	====

ARCHITECTURAL SITE PLAN
 1" = 10'-0"

PROJECT DATA:
 SUBDIVISION: CIRCLE G RANCHES 4, UNIT 1
 LOT: 13
 APN#: 301-63-028
 STREET ADDRESS: 2035 E RANCH RD.
 CITY/STATE/ZIP: TEMPE, AZ 85284
 COUNTY: MARICOPA
 JURISDICTION: MARICOPA COUNTY
 ZONING: R45
 DENSITY (DU/ACRE): 1
 NUMBER OF BEDROOMS: 5
 SETBACKS:
 FRONT: 40'
 SIDES: 20'
 REAR: 35'
 MAXIMUM ALLOWABLE HEIGHT: 30'
 LOT COVERAGE: 75%

BUILDING HEIGHTS:
 OVERALL RIDGE HEIGHT: 29'-10"

AREA CALCULATIONS:
 FIRST FLOOR LIVABLE: 9,418 SQ.FT.
 SECOND FLOOR LIVABLE: 13,093 SQ.FT.
 EXERCISE ROOM: 532 SQ.FT.
 TOTAL LIVABLE: 23,043 SQ.FT.
 5 CAR GARAGE: 7,062 SQ.FT.
 COVERED ENTRY: 1,071 SQ.FT.
 COVERED PATIO: 1,334 SQ.FT.
 POOL CLOSET: 68 SQ.FT.
 TOTAL URSF: 32,100 SQ.FT.

LOT AREA CALCULATIONS:
 TOTAL LOT AREA: 35,345 SQ.FT. (.081 ACRES)
 ALLOWABLE LOT COVERAGE: 75%
 PROPOSED LOT COVERAGE: 76.5%
 TOTAL URSF: 32,100 SQ.FT.

CORY BLACK
Design Inc.
 CORY BLACK - RESIDENTIAL DESIGNER • 480-685-8872
 cory@coryblackdesign.com

DRAWN BY:	C.B.
CHECKED BY:	C.B.
DATE:	AUGUST 17, 2023
SCALE:	1/4" = 1'-0"
JOB NO.:	APT-PRESTINARIO
SHEET:	AS1

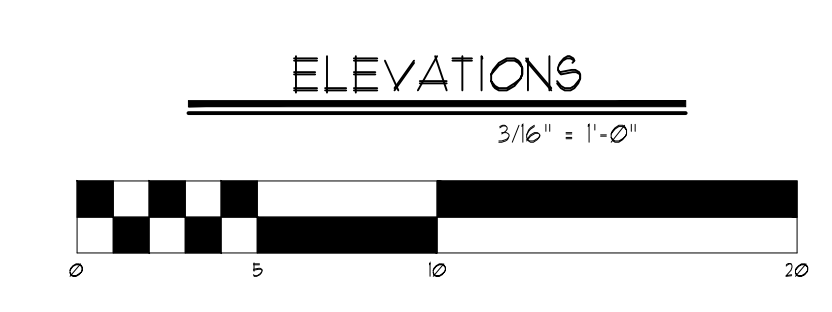
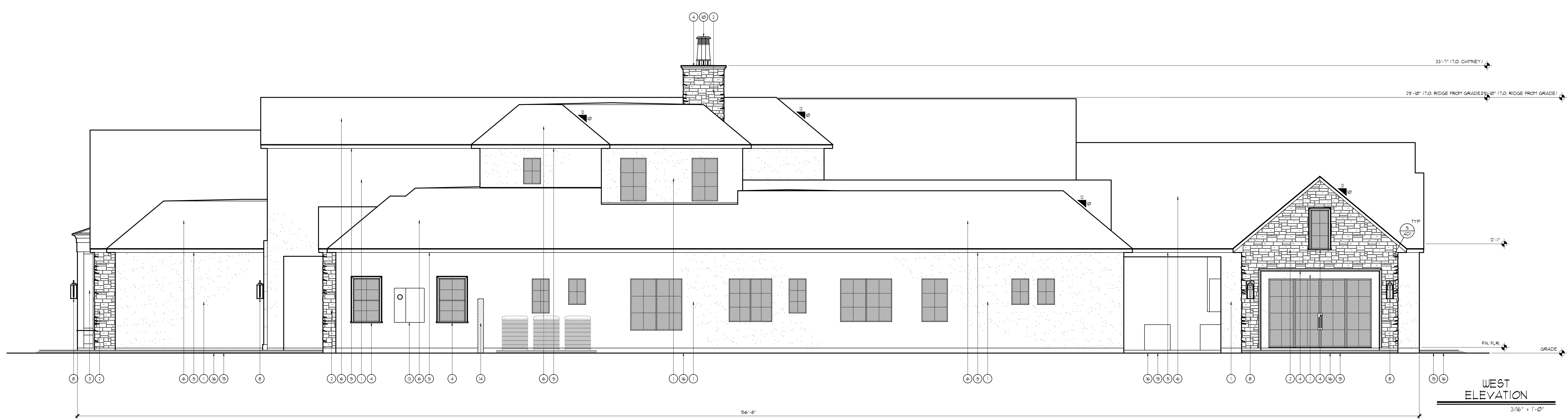
AS1

REVISIONS	BY

ELEVATIONS

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- ELEVATION GENERAL NOTES:**
- ALL WINDOWS TO BE RECESSED A MIN. OF 4" ENTIRE PERIMETER THRU. WIND.
 - SEE FLOOR PLANS FOR WINDOW SIZES & FULL HEIGHTS.
 - CURTAIN SHALL EXTEND AT LEAST 2" HIGHER THAN ANY PORTION OF A BUILDING WITHIN 10'-0" BUT NO LESS THAN 3'-0" ABOVE THE FRONT LAPERS THE CURTAIN PASSES THROUGH THE ROOF LINE.
 - FIRE BOXES CHIMNEY & DECORATIVE SHROUDES MUST COMPLY WITH UL171 OR HAVE A SPECIFIC UL LISTING.
 - WHERE RAVE OR CORNICE VENTS ARE INSTALLED INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF 1" INSULATION SHALL BE PROVIDED BETWEEN THE INSULATION & ROOF SHEATHING AT THE LOCATION OF THE VENT IN COMPLIANCE U R609.
- ELEVATION KEYED NOTES:**
- ① - WESTERN 1-KNOT STUCCO SYSTEM (SMOOTH FINISH) ICC-ES ESR-1401
 - ② - SOLITICE STONE TUSCANY GREY W/ MONTANA WASH. USE ICC-ES ESR-109 FOR EL DORADO STONE.
 - ③ - JAMES HARDIE SIGNA CLADDING 4 TRIM (SMOOTH FINISH MATCH DESIGN SEE ARCHITECTURAL DETAILS) ICC-ES ESR-844
 - ④ - LIPSTONE SILL, HEADER OR SUNKROND PER DESIGN REVERNA DESIG.
 - ⑤ - JAMES HARDIE TRIM FASCIA W/ STUCCO BAIVE. SEE ARCHITECTURAL DETAILS ICC-ES ESR-844 (HARDIE TRIM).
 - ⑥ - QUINS CORNING WOOD CREST TIMBER ASPHALT SHINGLES ICC-ES AC438
 - ⑦ - BRONZE METAL STANDING SEAM ROOFING ICC-ES ESR-1048
 - ⑧ - EXTERIOR COACH LIGHT PER EXTERIOR FINISH SPECIFICATIONS.
 - ⑨ - 4" x 10" BRONZE METAL GABLE VENTS (NON-FUNCTIONAL) TRUSS MANUFACTURER TO BLOCK OUT END WALL TRUSS TO ACCOMMODATE.
 - ⑩ - DARK BRONZE METAL CUSTOM CURTAIN SHOULD OVER LIPSTONE CAP SHOULD MUST BE UL LISTED.
 - ⑪ - WOOD CLAD GARAGE DOORS PER EXTERIOR FINISHES.
 - ⑫ - BRONZE METAL ENTRY DOOR PER DESIGN SEE ARCHITECTURAL DETAILS FOR EXACT DIMENSIONS.
 - ⑬ - SEE SEE ARCHITECTURAL SITE PLAN.
 - ⑭ - SITE WALLS STREET-FACING WALLS TO BE 8" BLOCK W/ STUCCO FINISH TO MATCH (SEE ARCHITECTURAL SITE PLAN).
 - ⑮ - PAVEN DRIVES/WALKS SEE ARCHITECTURAL SITE PLAN.
 - ⑯ - FINISH GRADE.

PRESTINARIO RESIDENCE
 2035 E RAVENHILL RD. - TEMPE, AZ 85284

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 cory@corblackdesign.com

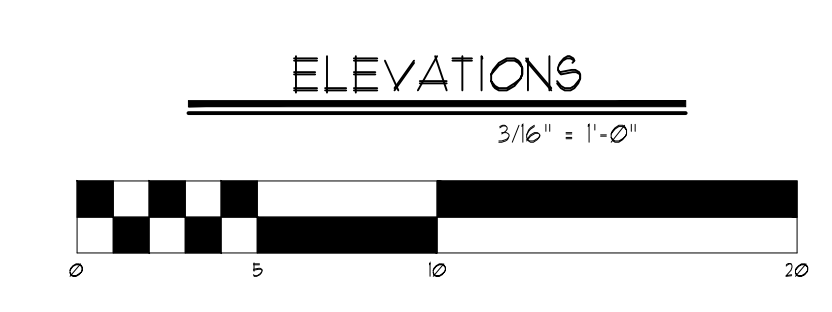
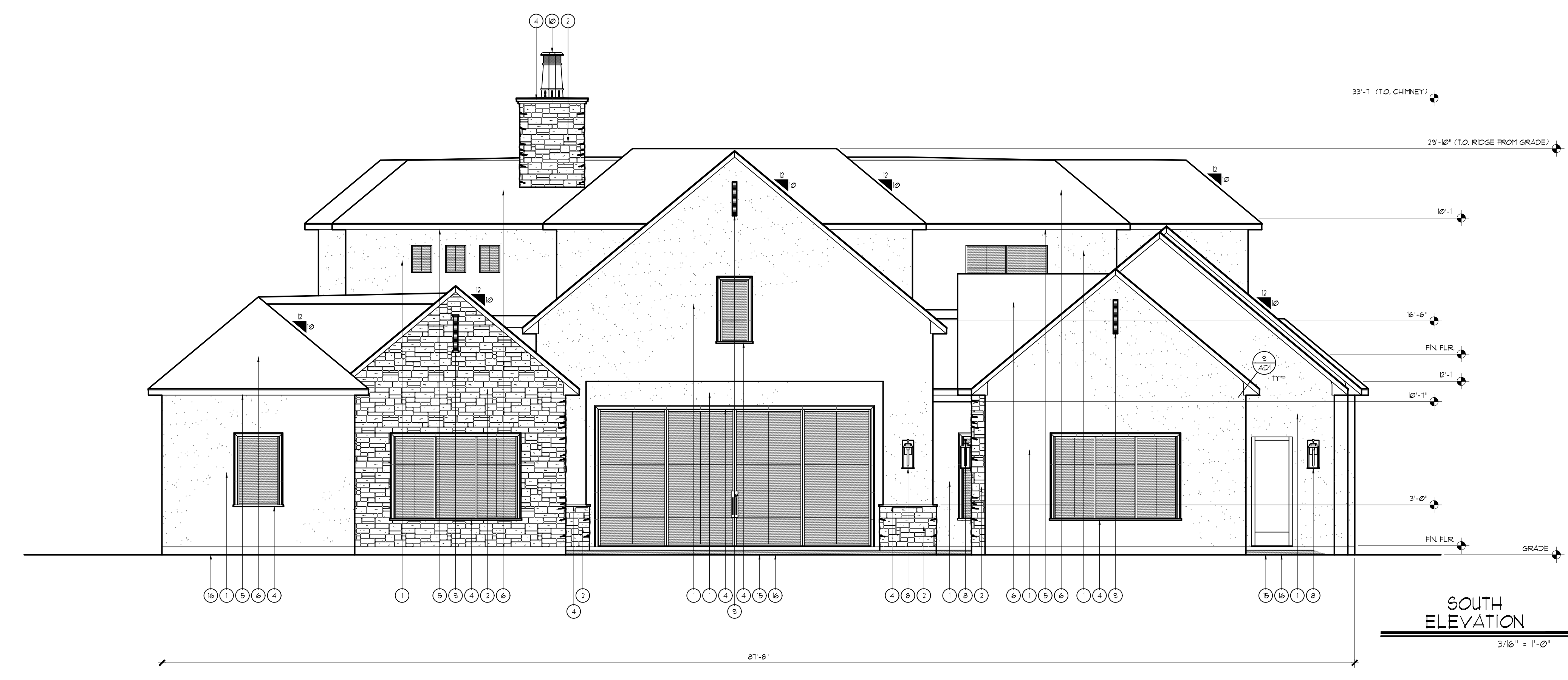
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 C.B.
 DATE:
 AUGUST 17, 2023
 SCALE:
 3/16" = 1'-0"
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 AP/PRESTINARIO
 SHEET
A8

REVISIONS	BY

ELEVATIONS

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 - WHERE RAVE OR CORNICE VENTS ARE INSTALLED INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A FINISH OF 1" INSULATION SHALL BE PROVIDED BETWEEN THE INSULATION & ROOF SHEATHING AT THE LOCATION OF THE VENT IN COMPLIANCE U R609.
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 - ③ - JAMES HARDIE BRINDA GLAZING 4 TRK (SMOOTH FINISH MATCH DESIGN SEE ARCHITECTURAL DETAILS) ICC-ES ESR-844.
 - ④ - LIPSTONE SILL, HEADER OR SURREAD PER DESIGN REVERA DESIG.
 - ⑤ - JAMES HARDIE TRK FASCIA W/ STUCCO BAIVE SEE ARCHITECTURAL DETAILS ICC-ES ESR-844 (HARDIE TRK).
 - ⑥ - BRONZE CORNING WOOD CREST TIMBER ASPHALT SHINGLES ICC-ES AC438.
 - ⑦ - BRONZE METAL STANDING SEAM ROOFING ICC-ES ESR-1048.
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 - ⑮ - PAVEN DRIVES/WALKS SEE ARCHITECTURAL SITE PLAN.
 - ⑯ - FINISH GRADE.

PRESTINARIO RESIDENCE

20335 E RAVENHILL RD. - TEMPE, AZ 85284

CORY BLACK DESIGN INC.

CORY BLACK
Design Inc.
CORY BLACK - RESIDENTIAL DESIGNER • 480-695-8872
cory@corblackdesign.com

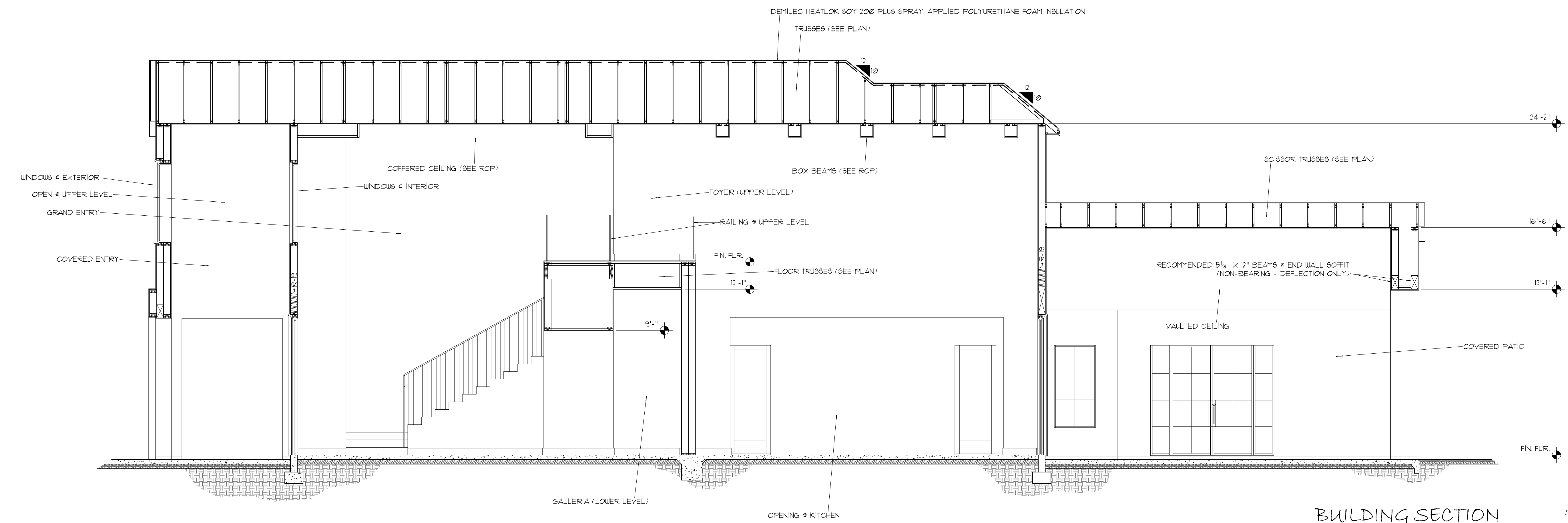
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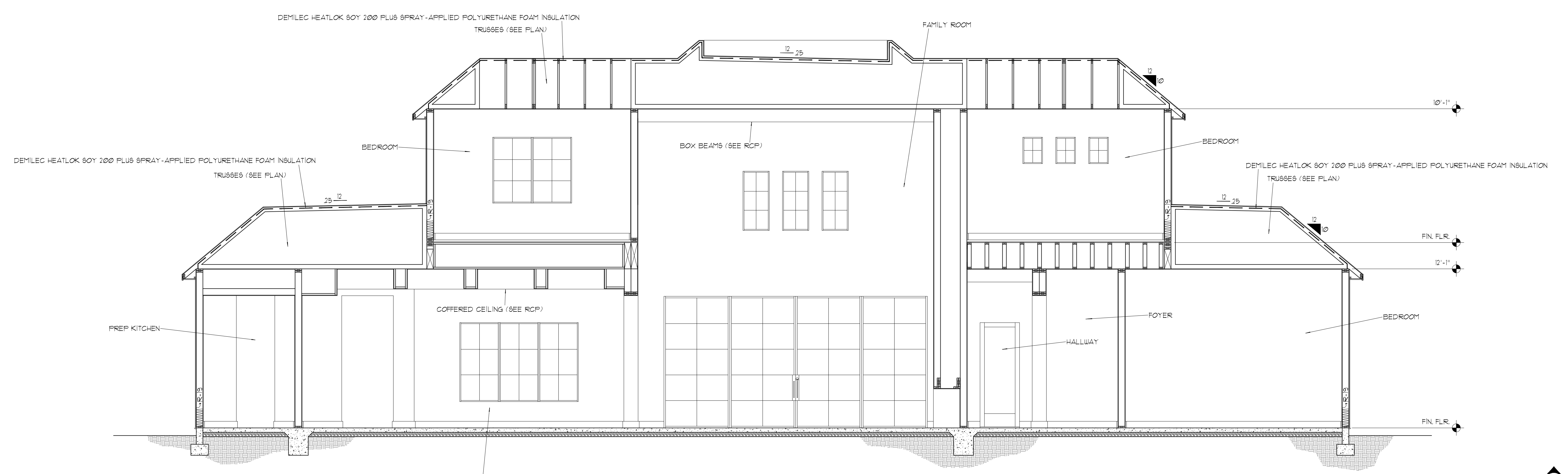
BUILDING SECTIONS

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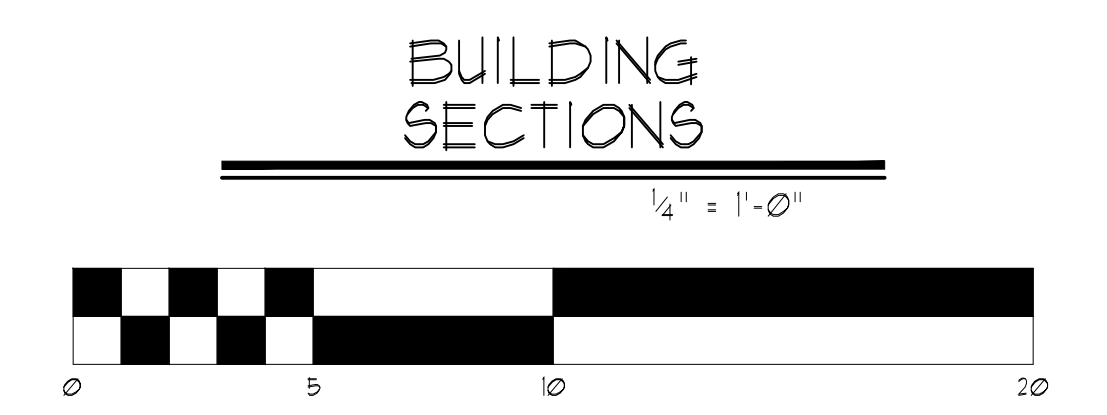
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BUILDING SECTION Scale: 1/4" = 1'-0"



BUILDING SECTION Scale: 1/4" = 1'-0"



DEMILEC HEATLOK 501 200 PLUS SPRAY-APPLIED POLYURETHANE FOAM INSULATION

ICC-ES EVALUATION REPORT:

EBR-3210 (RE-ISSUED MARCH 2009) - INSTALLED PER SECTION 4.42 APPLICATION OF A PRESCRIPTIVE IGNITION BARRIER.

CALCULATED R-VALUE:

R = 50 @ 15 INCHES

PLEASE NOTE:

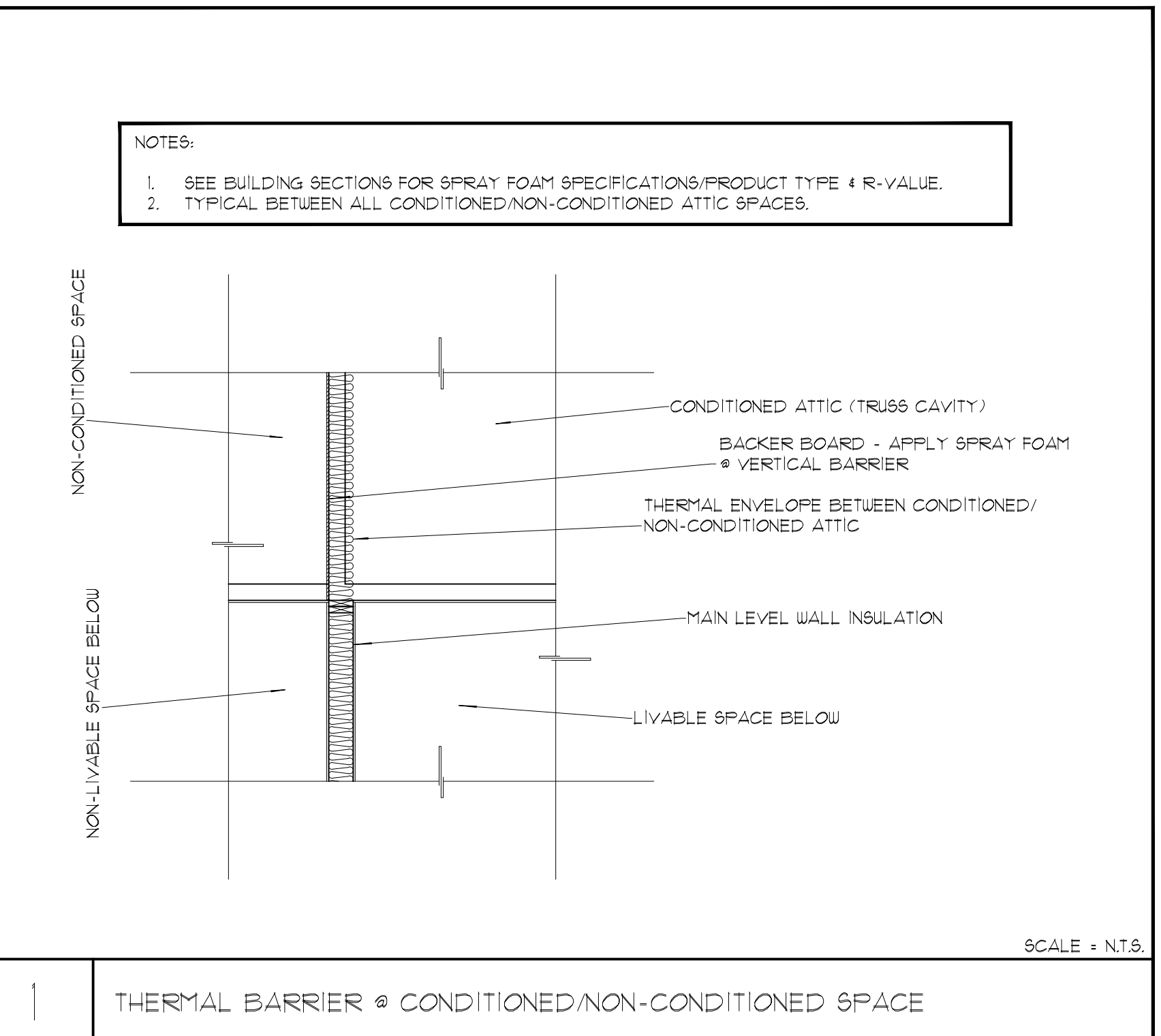
- SPECIAL INSPECTION REQUIRED FOR THE APPLIED IGNITION BARRIER.
- SPRAY FOAM MUST COMPLY WITH 2002 IRC SECTION R302.9 FOR FLAME SPREAD & SMOKE INDEX.
- AN APPROVED ERES REPORT MUST BE MADE AVAILABLE TO BUILDING INSPECTOR AT TIME OF INSPECTION.

GENERAL SECTION NOTES:

- CEILING GYPSUM BOARD APPLICATION: WHEN APPLYING A WATER-BASED TEXTURE MATERIAL, THE MINIMUM GYPSUM BOARD THICKNESS SHALL BE INCREASED FROM 1/2 INCH TO 5/8 INCH FOR 8-INCH ON CENTER TRUSSES AND FROM 3/4 INCH TO 1 INCH FOR 24-INCH ON CENTER TRUSSES OR 1 1/2 INCH 5/8-INCH RESISTANT GYPSUM CEILING BOARD SHALL BE USED (IRC TABLE R102.3.5).
- CEMENT FIBER-CEMENT AND GLASS MAT GYPSUM BACKERS SHALL BE USED AS BACKERS FOR WALL TILE IN TUB AND SHOWER AREAS AND WALL PANELS IN SHOWER AREAS (IRC R102.4.2).
- GYPSUM BOARD INSTALLED ON EXTERIOR OF BUILDING, WHERE IT IS DIRECTLY EXPOSED TO THE WEATHER SHALL COMPLY WITH ASTM C 93/C 93M-04 (R102.3) & R102.3.5).
- SEE FRAMING PLAN FOR ALL GENERAL CALL-OUTS, PLATE HEIGHTS, HEADER HEIGHTS & GENERAL TRUSS LAYOUT.
- SEE ELEVATIONS FOR ALL EXTERIOR FINISHES, ICC #, WINDOW & DOOR HEADER HEIGHTS, ROOF MEDIAN AND OVERALL RIDGE HEIGHTS AND ARCHITECTURAL DETAILS & DIMENSIONS.
- ANY DEVIATION FROM THE TRUSS LAYOUT, ROOF/PLATE HEIGHTS, ETC MUST BE APPROVED BY CORY BLACK DESIGN PRIOR TO BEING MADE.
- SEE FOUNDATION PLAN FOR EXACT LOCATION OF ALL WALL AND POINT LOAD SPREAD FOOTINGS.
- WHEN THERE IS USABLE SPACE BOTH ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR/CEILING ASSEMBLY DRAFT STOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1000 SQUARE FEET IN COMPLIANCE W/ R602.2.
- MECHANICAL APPLIANCES IN NON-VENTED ATTIC SPACES SHALL BE DIRECT VENT, SEALED COMBUSTION.

FIRE BLOCKING:

- FIRE BLOCKING SHALL BE PROVIDED IN CONCEALED SPACES OF STUD WALLS VERTICALLY AT THE CEILING AND FLOOR LEVELS AND HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET; SOFFITS, DROP CEILINGS AND COVE CEILINGS, CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN.



PRESTINARIO RESIDENCE

20335 E ROWAN RD. - TEMPE, AZ 85284

CORY BLACK DESIGN INC.

CORY BLACK - RESIDENTIAL DESIGNER • 480-695-8872

cory@coryblackdesign.com

DRAWN BY: C.B.

CHECKED BY: C.B.

DATE: AUGUST 17, 2023

SCALE: 1/4" = 1'-0"

JOB NO: AP1/PRESTINARIO

SHEET

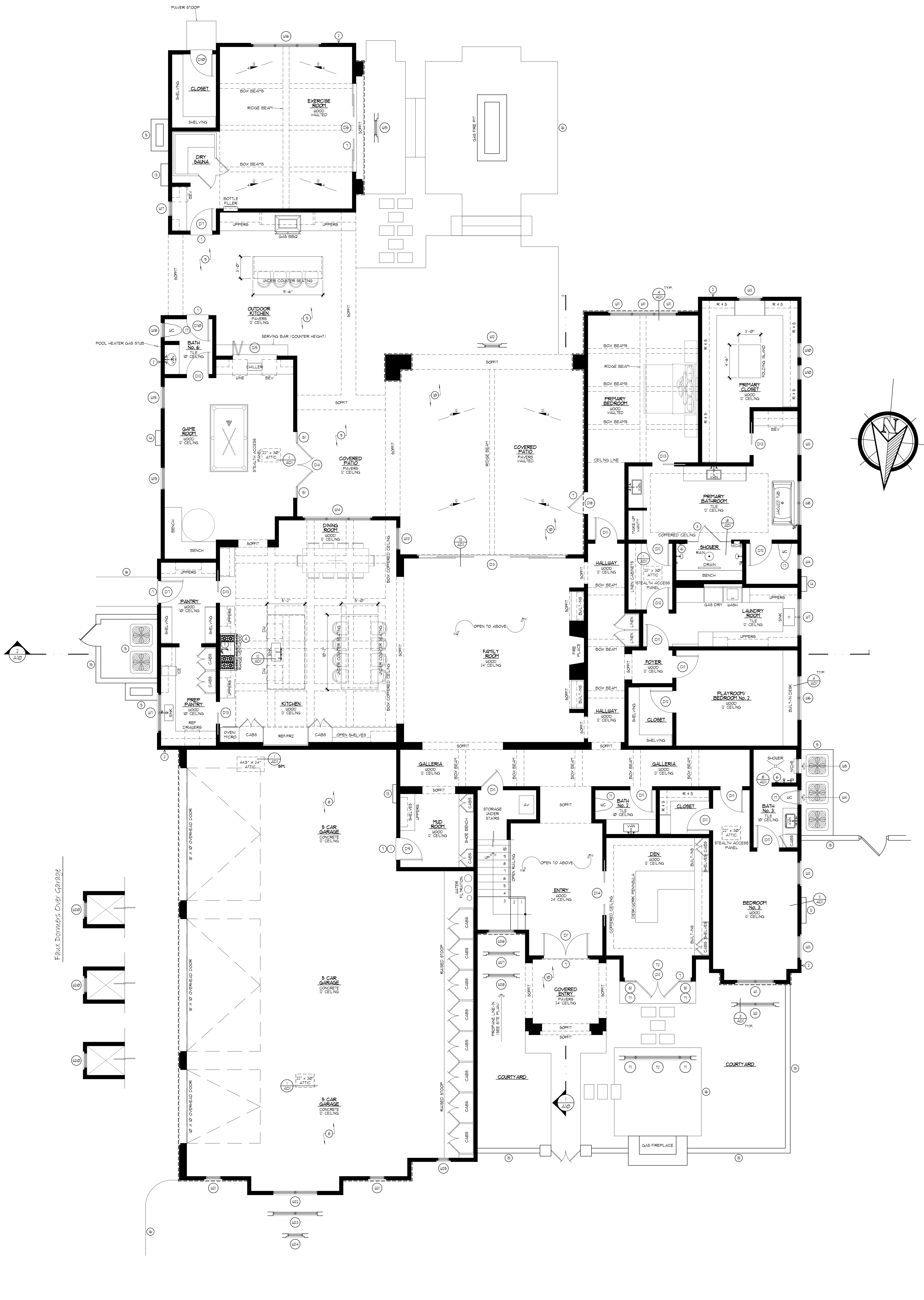
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DOOR SCHEDULE										
SYMBOL	WIDTH	HEIGHT	THICKNESS	MATERIAL	TYPE	SWING	QUANTITY	THRESHOLD	REMARKS	
D1	6'-0"	8'-0"	1 1/2"	EXTERIOR W/ GLASS	CUSTOM NON	LEFT/RIGHT	1	METAL	...	
D2	6'-0"	8'-0"	1 1/2"	EXTERIOR W/ GLASS	DOUBLE DOORS	LEFT/RIGHT	1	METAL	...	
D3	5'-0"	20'-0"	1 1/2"	EXTERIOR W/ GLASS	SLIDING	N/A	1	METAL	...	
D4	6'-0"	8'-0"	1 1/2"	EXTERIOR W/ GLASS	SLIDING	N/A	1	METAL	...	
D5	6'-0"	9'-0"	1 1/2"	EXTERIOR W/ GLASS	BI-FOLDING	LEFT	1	METAL	...	
D6	10'-0"	8'-0"	1 1/2"	EXTERIOR W/ GLASS	SLIDING	N/A	4	METAL	...	
D7	3'-0"	8'-0"	1 1/2"	EXTERIOR W/ GLASS	SOLID CORE	LEFT	2	METAL	...	
D8	3'-0"	8'-0"	1 1/2"	EXTERIOR W/ GLASS	SOLID CORE	RIGHT	1	METAL	...	
D9	3'-0"	8'-0"	1 1/2"	INTERIOR	SOLID CORE	RIGHT	1	METAL	...	
D10	3'-0"	8'-0"	1 1/2"	EXTERIOR	SOLID CORE	LEFT	2	METAL	...	
D11	3'-0"	8'-0"	1 1/2"	INTERIOR	SOLID CORE	LEFT	10	TBD	...	
D12	3'-0"	8'-0"	1 1/2"	INTERIOR	SOLID CORE	RIGHT	4	TBD	...	
D13	3'-0"	8'-0"	1 1/2"	INTERIOR	SOLID CORE	N/A	5	TBD	...	
D14	4'-0"	8'-0"	1 1/2"	INTERIOR	SOLID CORE	DOUBLE POCKET DOOR	LEFT/RIGHT	1	TBD	...

DOOR SIDE LITES							
SYMBOL	WIDTH	HEIGHT	THICKNESS	MATERIAL	QUANTITY	LOCATION	REMARKS
S	1'-6"	8'-0"	1 1/2"	EXTERIOR W/ GLASS	2	DEN	...

DOOR TRANSOM WINDOWS								
SYMBOL	WIDTH	HEIGHT	THICKNESS	MATERIAL	TYPE	QUANTITY	LOCATION	REMARKS
T1	1'-6"	7'-0"	1 1/2"	EXTERIOR W/ GLASS	FIXED	2	DEN	FILLED
T2	6'-0"	7'-0"	1 1/2"	EXTERIOR W/ GLASS	FIXED	1	DEN	FILLED

WINDOW SCHEDULE									
SYMBOL	WIDTH	HEIGHT	THICKNESS	MATERIAL	TYPE	QUANTITY	MANUFACTURER	REMARKS	
W1	5'-0"	5'-0"	3/4"	FIBERGLASS	SLIDER	NO	2	JACOBSON	...
W2	5'-0"	7'-0"	3/4"	FIBERGLASS	FIXED	NO	1	JACOBSON	MULLION N CENTER
W3	3'-0"	5'-0"	3/4"	FIBERGLASS	ANGLE HANG	NO	8	JACOBSON	...
W4	7'-0"	4'-0"	3/4"	FIBERGLASS	FIXED	YES	2	JACOBSON	...
W5	7'-0"	3'-0"	3/4"	FIBERGLASS	FIXED	YES	2	JACOBSON	...
W6	6'-0"	6'-0"	3/4"	FIBERGLASS	SLIDER	NO	1	JACOBSON	...
W7	5'-0"	5'-0"	3/4"	FIBERGLASS	SLIDER	YES	2	JACOBSON	...
W8	6'-0"	5'-0"	3/4"	FIBERGLASS	SLIDER	YES	2	JACOBSON	...
W9	...	...	...	...	...	...	...	...	...
W10	7'-0"	3'-0"	3/4"	FIBERGLASS	FIXED	NO	5	JACOBSON	...
W11	3'-0"	6'-0"	3/4"	FIBERGLASS	FIXED	NO	3	JACOBSON	FILLED
W12	7'-0"	1'-6"	3/4"	FIBERGLASS	FIXED	NO	4	JACOBSON	...
W13	3'-0"	6'-0"	3/4"	FIBERGLASS	FIXED	NO	1	JACOBSON	...
W14	3'-0"	6'-0"	3/4"	FIBERGLASS	FIXED	NO	3	JACOBSON	FILLED
W15	7'-0"	4'-6"	3/4"	FIBERGLASS	FIXED	NO	1	JACOBSON	FAUX/BLACKOUT
W16	3'-0"	6'-0"	3/4"	FIBERGLASS	FIXED	NO	3	JACOBSON	FILLED
W17	7'-0"	5'-0"	3/4"	FIBERGLASS	FIXED	NO	1	JACOBSON	...
W18	7'-0"	5'-0"	3/4"	FIBERGLASS	FIXED	YES	1	JACOBSON	...
W19	3'-0"	6'-0"	3/4"	FIBERGLASS	FIXED	NO	2	JACOBSON	...
W20	7'-0"	3'-0"	3/4"	FIBERGLASS	FIXED	NO	3	JACOBSON	FAUX/BLACKOUT
W21	7'-0"	7'-6"	3/4"	FIBERGLASS	FIXED	NO	2	JACOBSON	...
W22	3'-0"	5'-0"	3/4"	FIBERGLASS	FIXED	NO	2	JACOBSON	FILLED
W23	3'-0"	7'-0"	3/4"	FIBERGLASS	FIXED	NO	2	JACOBSON	FILLED
W24	2'-0"	4'-6"	3/4"	FIBERGLASS	FIXED	NO	1	JACOBSON	FAUX/BLACKOUT
W25	1'-6"	3'-0"	3/4"	FIBERGLASS	FIXED	NO	1	JACOBSON	...
W26	3'-6"	6'-0"	3/4"	FIBERGLASS	FIXED	NO	2	JACOBSON	FILLED TO 1/2"
W27	3'-6"	6'-0"	3/4"	FIBERGLASS	FIXED	NO	1	JACOBSON	FILLED TO 1/2"
W28	3'-6"	6'-0"	3/4"	FIBERGLASS	FIXED	NO	1	JACOBSON	FILLED TO 1/2"
W29	7'-0"	6'-0"	3/4"	FIBERGLASS	FIXED	NO	3	JACOBSON	FILLED
W30	7'-0"	6'-0"	3/4"	FIBERGLASS	FIXED	NO	3	JACOBSON	FILLED
W31	7'-0"	7'-6"	3/4"	FIBERGLASS	FIXED	NO	1	JACOBSON	MULLION N CENTER
W32	7'-0"	7'-6"	3/4"	FIBERGLASS	FIXED	YES	1	JACOBSON	MULLION N CENTER
W33	1'-6"	7'-0"	3/4"	FIBERGLASS	FIXED	NO	3	JACOBSON	...
W34	1'-6"	7'-0"	3/4"	FIBERGLASS	FIXED	NO	1	JACOBSON	...
W35	2'-0"	4'-0"	3/4"	FIBERGLASS	FIXED	NO	1	JACOBSON	...



AREA CALCULATIONS:

FIRST FLOOR LIVABLE: 545 SQ FT
 SECOND FLOOR LIVABLE: 1381 SQ FT
 TOTAL LIVABLE: 1926 SQ FT
 GARAGE: 1200 SQ FT
 COVERED ENTRY: 87 SQ FT
 COVERED PATIO: 124 SQ FT
 POOL: 1000 SQ FT
 TOTAL AREA: 3337 SQ FT

FINISHES SPECIFICATIONS:

LIVING ROOM + FAMILY ROOM:
 MANUFACTURER: TORON
 MODEL: 1 SQUARE SERIES 4P
 SIZE: 6' x 8' x 2 1/2"

NOTE:
 USE LISTED FINISHES (S) OR REPLACE W/ EQUAL QUALITY THAT COMPLY W/ LIST

PLUMBING MATERIALS:

PIPE: PIPING TO BE USED IN ACCORDANCE WITH LOCAL PLUMBING ORDINANCES

MANUFACTURER'S FINISH:

TYPE: TEMPERATURE CONTROLLED CONTINUOUS FLOW
 MODEL: 1 OPEN

PLUMBING NOTES:

1. DRAIN LINES + 1/2" DIA. PIPING SHALL BE PLASTIC ABS SCHEDULE 40
 2. GAS PIPING TO BE SCHEDULE 40 METALLIC PIPE

MECH. NOTES:

1. ALL PLUMBING STUB OUT + AIR RETURN TO BE 1" FINISH ABOVE FINISH FLOOR TYP.

2. PROVIDE BRACING:
 2.1. ALL EXTERIOR WALLS AND MAIN CROSS STUD PARTITIONS SHALL BE BRACED AT EACH END
 2.2. BRACING ON METAL W/ BRACING CANNOT BE UTILIZED DUE TO OPENING PROVIDE A MINIMUM OF 1/4" TYPICAL BRACING FROM THE CORNER TO 1/4" BEYOND THE WALL OPENING OR TO THE NEXT CORNER (SEE ELEVATIONS)

3. PROVIDE A 24" WALL TO ALL ATTIC MOUNTED HVAC EQUIPMENT 24" WORKING SURFACE OF 1/2" RIGID INSULATION + AIR REMOVE OUTLET 1/2" RIGID INSULATION + VALVE FOR ALL HOODS AND EXHAUSTER COINTEGRATIONS

4. PROVIDE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE CONTROL VALVES FOR ALL HOODS AND EXHAUSTER COINTEGRATIONS

5. THE FOLLOWING SHALL BE CONSIDERED SPECIFIC HAZARDOUS LOCATIONS FOR THE PURPOSE OF SAFETY GLAZING:
 5.1. GLAZING IN ANY PART OF A BUILDING WALL ENCLOSES A NON-SMOKING COMPARTMENT WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 40" MEASURED VERTICALLY ABOVE AN ADJACENT WALKING SURFACE
 5.2. GLAZING IN A WALL ENCLOSES AN AREA OF A ROOM WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24" JAMB OF THE DOOR IN A CLOSET POSITION AND ABOVE BOTTOM EDGE IS LESS THAN 40" ABOVE THE DOOR OR WALKING SURFACE
 5.3. SAFETY GLAZING SHALL BE INSTALLED WHEN ALL THE FOLLOWING CONDITIONS ARE MET:
 5.3.1. EXPOSED AREA OF AN INDIVIDUAL PANEL IS GREATER THAN 9 SQ FT; BOTTOM EDGE IS LESS THAN 40" ABOVE THE FLOOR; TOP EDGE IS GREATER THAN 40" ABOVE THE FLOOR AND ONE OR MORE WALKING SURFACES WITHIN AN AREA OR HEIGHT ABOVE A WALKING SURFACE SHALL BE SAFETY GLAZING INCLUDING AN ARCHITECTURAL GLAZER PANELS AND METALLIC GLAZING
 5.3.2. GLAZING IN WALLS ENCLOSES STAIRWAYS OR AREAS OF STAIRWAYS
 5.3.3. GLAZING IN WALLS ENCLOSES STAIRWAYS LANDING OR STAIRWELL AND TOP OF STAIRWAYS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 40" ABOVE A WALKING SURFACE SHALL BE SAFETY GLAZING

6. HABITABLE ROOMS SHALL HAVE A MINIMUM CEILING HEIGHT OF 7'-0"; HALLWAYS CORRIDORS BATHROOMS TOILET ROOMS AND BATHS SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 7'-0"

7. ALL DOORS INTERIOR + EXTERIOR ARE TO BE 8'-0" TALL UNL.

8. ESCAPE AND RESCUE SLEEPING ROOM UNDOORS:
 8.1. 5 1/2" SQUARE FEET EXCEPT 8 1/2" SQUARE FEET AT GARAGE LEVEL
 8.2. 24" MINIMUM NET CLEAR OPENING
 8.3. 24" MINIMUM NET HEIGHT
 8.4. 24" MINIMUM NET WIDTH

9. REQUIRED DRAIN PAN FOR WATER HEATER:
 9.1. PAN SHALL BE GALVANIZED STEEL HAVING A MINIMUM THICKNESS OF 24 GAUGE OR OTHER PAN LISTED FOR SUCH USE PAN SHALL BE NOT LESS THAN 1/2" DEEP AND SHALL BE 6" WIDER THAN THE WATER HEATER AND SHALL BE INSTALLED ALL CORNERS AND SHALL BE 6" WIDER THAN THE WATER HEATER THE PAN SHALL BE DRAINED BY AN INDEPENDENT WASTE PIPE LEAVING A POWER EXHAUSTER OR 1/2" DIA. DRAIN SHALL BE INSTALLED AND TERMINATE OVER THE EXTERIOR OF THE BUILDING AND TERMINATE NOT LESS THAN 6" ABOVE THE FINISH FLOOR AND NOT MORE THAN 10' AWAY FROM THE ADJACENT WALKING SURFACE

10. 1/2" FIRE RATED GIBS FIRE TAPED AT GARAGE WALLS REQUIRED AT MECHANICAL AND STORAGE CLOSETS

11. ANY AND ALL PENETRATION OF THE GARAGE ENCLAVING REPAIRATION SUCH AS PIPES ARE TO BE PROVIDED BY ALL THE OTHERS AROUND THE FINISH FLOOR (SEE ELEVATIONS)

12. BATHROOM COMPARTMENTS SHALL BE FINISHED WITH A NON-SLIP SURFACE TO A HEIGHT OF NOT LESS THAN 6" FEET ABOVE THE FINISH FLOOR (SEE ELEVATIONS)

13. TEMPERATURE AND PRESSURE RELIEF LINE TO BE FULL SIZE STEEL OR HARD DRAIN COPPER TERMINATING TO THE EXTERIOR OF THE BUILDING AND TERMINATING OUTSIDE THE PROPERTY LINE OR TO THE EXTERIOR OF THE BUILDING SHALL BE INSTALLED AND TERMINATE OVER THE EXTERIOR OF THE BUILDING AND TERMINATE NOT LESS THAN 6" ABOVE THE FINISH FLOOR AND NOT MORE THAN 10' AWAY FROM THE ADJACENT WALKING SURFACE

14. WATER RELIEF VALVE DISCHARGE PIPE SHALL NOT BE SMALLER THAN THE DIAMETER OF THE OUTLET OF THE VALVE BEHIND BENEATH A SINGLE NEUF DEVICE TO AN INDEPENDENT RECEPTOR OR TO THE OUTSIDE BE INSTALLED TO PLACE BY QUALITY TERMINATING NOT LESS THAN 6" ABOVE THE FINISH FLOOR AND TERMINATE NOT LESS THAN 6" ABOVE THE FINISH FLOOR AND NOT MORE THAN 10' AWAY FROM THE ADJACENT WALKING SURFACE

15. THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN 1/2" GYPSEUM WALL BOARD APPLIED TO THE GARAGE SIDE GARAGE SIDE HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOMS ABOVE BY NOT LESS THAN 2" GYPSEUM WALL BOARD OR EQUIVALENT IN BUILDINGS PROTECTED BY AN AUTOMATIC SPRINKLER SYSTEM INCLUDING THE FIRE WALL GARAGE THE SEPARATION SHALL BE INSTALLED TO BE LISTED TO A MINIMUM 1/2" GYPSEUM WALL BOARD APPLIED TO THE GARAGE SIDE (SEE ELEVATIONS)

16. CEILING TILE SURFACES SHALL BE INSTALLED IN ACCORDANCE WITH THE SPEC.

17. ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE MINIMUM 1/4" GYPSEUM WALL BOARD PER SEC SECTION 902.1.

REVISIONS BY

FIRST FLOOR PLAN

NOTE: ALL WORK PERFORMED ON THIS DESIGN SHALL BE BY A LICENSED CONTRACTOR IN ACCORDANCE WITH LOCAL AND NATIONAL CODES. CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND SPECIFICATIONS AND ASSUME RESPONSIBILITY FOR ANY DAMAGES OR STRUCTURAL FAILURES DUE TO ANY ERRORS OR OMISSIONS IN THE DESIGN AND/OR THESE DRAWINGS.

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PRESTINARIO RESIDENCE

2035 E RAVENHILL RD. - TEMPE, AZ 85284

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DRAWN BY: C.B.
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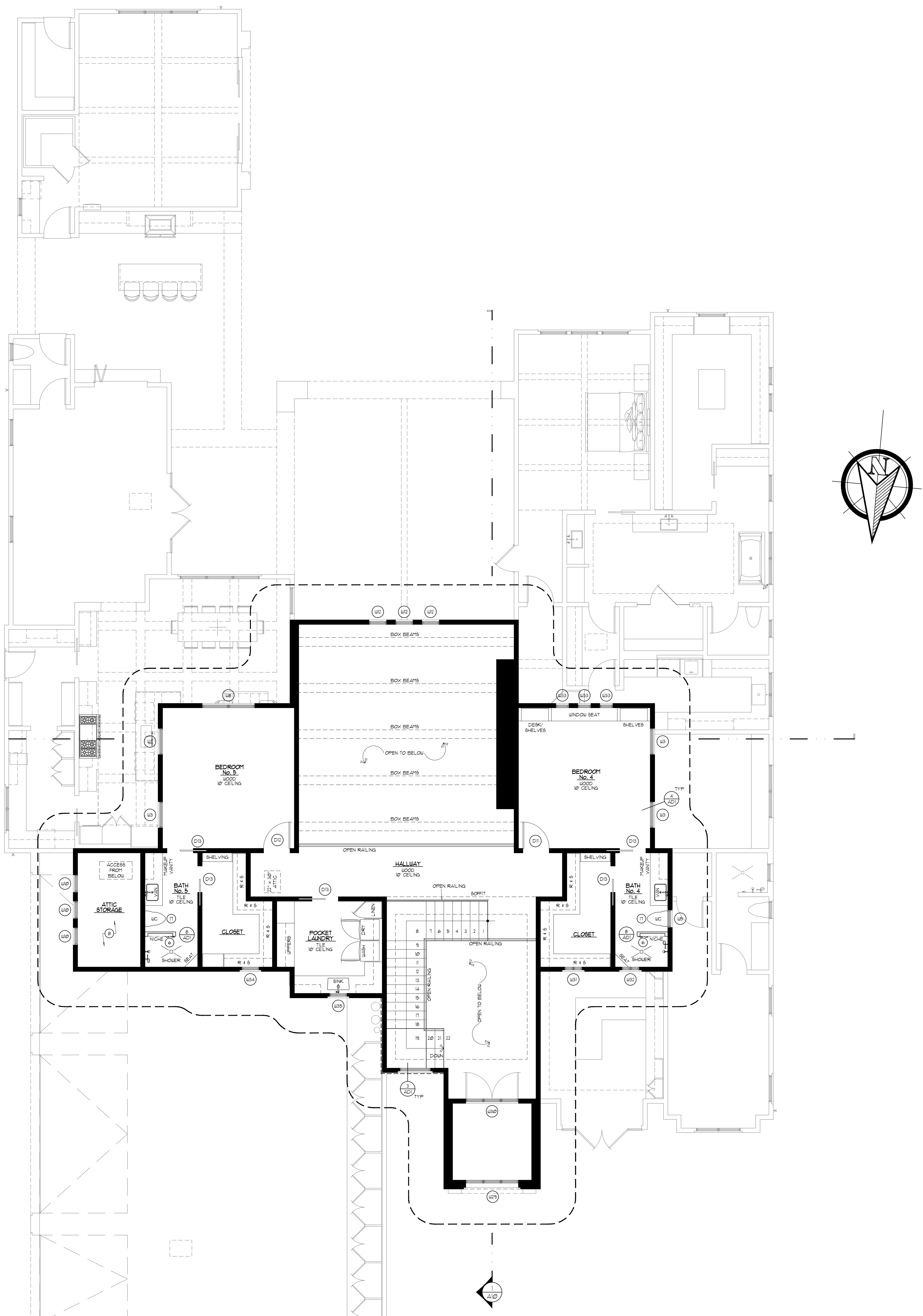
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DOOR SCHEDULE									
SYMBOL	WIDTH	HEIGHT	THICKNESS	MATERIAL	TYPE	SWING	QUANTITY	THRESHOLD	REMARKS
D1	6'-0"	8'-0"	1 1/2"	EXTERIOR W/ GLASS	CUSTOM MON	LEFT/RIGHT	1	METAL	...
D2	6'-0"	8'-0"	1 1/2"	EXTERIOR W/ GLASS	DOUBLE DOORS	LEFT/RIGHT	1	METAL	...
D3	5'-0"	20'-0"	1 1/2"	EXTERIOR W/ GLASS	SLIDING	N/A	1	METAL	...
D4	6'-0"	8'-0"	1 1/2"	EXTERIOR W/ GLASS	SLIDING	N/A	1	METAL	...
D5	6'-0"	9'-0"	1 1/2"	EXTERIOR W/ GLASS	BI-FOLDING	LEFT	1	METAL	...
D6	10'-0"	8'-0"	1 1/2"	EXTERIOR W/ GLASS	SLIDING	N/A	4	METAL	...
D7	3'-0"	8'-0"	1 1/2"	EXTERIOR W/ GLASS	SOLID CORE	LEFT	2	METAL	...
D8	3'-0"	8'-0"	1 1/2"	EXTERIOR W/ GLASS	SOLID CORE	RIGHT	1	METAL	...
D9	3'-0"	8'-0"	1 1/2"	INTERIOR	SOLID CORE	RIGHT	1	METAL	...
D10	3'-0"	8'-0"	1 1/2"	EXTERIOR	SOLID CORE	LEFT	2	METAL	...
D11	3'-0"	8'-0"	1 1/2"	INTERIOR	SOLID CORE	LEFT	10	TBD	...
D12	3'-0"	8'-0"	1 1/2"	INTERIOR	SOLID CORE	RIGHT	4	TBD	...
D13	3'-0"	8'-0"	1 1/2"	INTERIOR	SOLID CORE	N/A	5	TBD	...
D14	4'-0"	8'-0"	1 1/2"	INTERIOR	SOLID CORE	LEFT/RIGHT	1	TBD	...

DOOR SIDE LITES									
SYMBOL	WIDTH	HEIGHT	THICKNESS	MATERIAL	QUANTITY	LOCATION	REMARKS		
S	1'-6"	8'-0"	1 1/2"	EXTERIOR W/ GLASS	2	DEN	...		

DOOR TRANSOM WINDOWS									
SYMBOL	WIDTH	HEIGHT	THICKNESS	MATERIAL	TYPE	QUANTITY	LOCATION	REMARKS	
T1	1'-6"	7'-0"	1 1/2"	EXTERIOR W/ GLASS	FIXED	2	DEN	FILLED	
T2	6'-0"	7'-0"	1 1/2"	EXTERIOR W/ GLASS	FIXED	1	DEN	FILLED	

WINDOW SCHEDULE									
SYMBOL	WIDTH	HEIGHT	BILL	MATERIAL	TYPE	TYPED GLASS	QUANTITY	MANUFACTURER	REMARKS
W1	5'-0"	5'-0"	24"	FIBERX	SLIDER	NO	2	JACOBSEN WOOD SERIES	...
W2	5'-0"	7'-0"	TRANGOM	FIBERX	FIXED	NO	1	JACOBSEN WOOD SERIES	MULLION N CENTER
W3	3'-0"	5'-0"	36"	FIBERX	ANGLE HANG	NO	8	JACOBSEN WOOD SERIES	...
W4	7'-0"	4'-0"	48"	FIBERX	FIXED	YES	2	JACOBSEN WOOD SERIES	...
W5	7'-0"	3'-0"	60"	FIBERX	FIXED	YES	2	JACOBSEN WOOD SERIES	...
W6	6'-0"	6'-0"	24"	FIBERX	SLIDER	NO	1	JACOBSEN WOOD SERIES	...
W7	5'-0"	5'-0"	36"	FIBERX	SLIDER	YES	2	JACOBSEN WOOD SERIES	...
W8	6'-0"	5'-0"	36"	FIBERX	SLIDER	YES	2	JACOBSEN WOOD SERIES	...
W9	...	...	...	...	...	...	...	...	...
W10	7'-0"	3'-0"	60"	FIBERX	FIXED	NO	5	JACOBSEN WOOD SERIES	...
W11	3'-0"	6'-0"	24"	FIBERX	FIXED	NO	3	JACOBSEN WOOD SERIES	FILLED
W12	7'-0"	1'-6"	30"	FIBERX	FIXED	NO	4	JACOBSEN WOOD SERIES	...
W13	3'-0"	6'-0"	24"	FIBERX	FIXED	NO	1	JACOBSEN WOOD SERIES	...
W14	3'-0"	6'-0"	24"	FIBERX	FIXED	NO	3	JACOBSEN WOOD SERIES	FILLED
W15	7'-0"	1'-6"	30"	FIBERX	FIXED	NO	1	JACOBSEN WOOD SERIES	FAUX/BLACKOUT
W16	3'-0"	6'-0"	24"	FIBERX	FIXED	NO	3	JACOBSEN WOOD SERIES	FILLED
W17	7'-0"	5'-0"	36"	FIBERX	FIXED	NO	1	JACOBSEN WOOD SERIES	...
W18	7'-0"	5'-0"	36"	FIBERX	FIXED	YES	1	JACOBSEN WOOD SERIES	...
W19	3'-0"	6'-0"	24"	FIBERX	FIXED	NO	2	JACOBSEN WOOD SERIES	...
W20	7'-0"	3'-0"	36"	FIBERX	FIXED	NO	3	JACOBSEN WOOD SERIES	FAUX/BLACKOUT
W21	7'-0"	7'-6"	54"	FIBERX	FIXED	NO	2	JACOBSEN WOOD SERIES	...
W22	3'-0"	5'-0"	24"	FIBERX	FIXED	NO	2	JACOBSEN WOOD SERIES	FILLED
W23	3'-0"	7'-0"	TRANGOM	FIBERX	FIXED	NO	2	JACOBSEN WOOD SERIES	FILLED
W24	2'-0"	4'-6"	36"	FIBERX	FIXED	NO	1	JACOBSEN WOOD SERIES	FAUX/BLACKOUT
W25	1'-6"	3'-0"	12"	FIBERX	FIXED	NO	1	JACOBSEN WOOD SERIES	...
W26	3'-6"	6'-0"	42"	FIBERX	FIXED	NO	2	JACOBSEN WOOD SERIES	FILLED TO 10'
W27	3'-6"	6'-0"	TRANGOM	FIBERX	FIXED	NO	1	JACOBSEN WOOD SERIES	FILLED TO 10'
W28	3'-6"	6'-0"	TRANGOM	FIBERX	FIXED	NO	1	JACOBSEN WOOD SERIES	FILLED TO 10'
W29	7'-0"	6'-0"	36"	FIBERX	FIXED	NO	3	JACOBSEN WOOD SERIES	FILLED
W30	7'-0"	6'-0"	36"	FIBERX	FIXED	NO	3	JACOBSEN WOOD SERIES	FILLED
W31	7'-0"	7'-6"	60"	FIBERX	FIXED	NO	1	JACOBSEN WOOD SERIES	MULLION N CENTER
W32	7'-0"	7'-6"	60"	FIBERX	FIXED	YES	1	JACOBSEN WOOD SERIES	MULLION N CENTER
W33	1'-6"	7'-0"	12"	FIBERX	FIXED	NO	3	JACOBSEN WOOD SERIES	...
W34	1'-6"	7'-0"	66"	FIBERX	FIXED	NO	1	JACOBSEN WOOD SERIES	...
W35	2'-0"	4'-0"	42"	FIBERX	FIXED	NO	1	JACOBSEN WOOD SERIES	...



SECOND FLOOR PLAN
3/16" = 1'-0"

AREA CALCULATIONS:

FIRST FLOOR LIVABLE: 949 SQFT
SECOND FLOOR LIVABLE: 1391 SQFT
TOTAL LIVABLE: 2340 SQFT
TOTAL GARAGE: 1200 SQFT
TOTAL UNFINISHED: 107 SQFT
TOTAL FINISHED: 1293 SQFT
TOTAL AREA: 3540 SQFT

FINISH SPECIFICATIONS:

LIVING ROOM + FAMILY ROOM: MANUFACTURER'S CHOICE
MODEL: 1 SQUARE SERIES 48" SQUARE
NOTE: USE LISTED FINISHES OR REPLACE W/ EQUAL QUALITY THAT COMPLY W/ LOT

TANK LESS WATER HEATERS:

MANUFACTURER'S CHOICE
TYPE: TEMPERATURE CONTROLLED, CONTINUOUS FLOW
MODEL: 4 OPEN

FLOORING MATERIALS:

FLEX FINISH TO BE USED IN ACCORDANCE WITH LOCAL PLUMBING ORDINANCES

1. DRAIN LITERATURE MUST BE EQUIPPED WITH SCHEDULE 40 METALLIC PIPE
2. SAG PIPING TO BE SCHEDULE 40 METALLIC PIPE

MEET AT SPECIFICATIONS:

1. 1/2" MIN. W/ SELF-CLOSING OR SELF-LATCHING (NO KNOBS)
2. NOSE BISEL ARE TO BE EQUIPPED WITH METALLIC BLACK/BLACK FINISH-VENTS, REFERENCE TO NOTES
3. FRAME LESS GLASS DOOR/ENCLOSURE - VERIFY SWING + FINISH (TEMPERED GLASS REQUIRED)
4. VENT HOOD
5. A/C CONDENSERS (SEE TECHNICAL PLAN)
6. SHOWER/PLUMBING VALVES
7. EXTERIOR FRAME, THRESHOLD + SWEEP
8. 1/2" FIRE RATED GLASS FIRE TAPED + GARAGE WALLS + CEILING
9. 1/2" SAG-RESISTANT GLASS + PATIO/PORCH/ENTRY CEILING
10. 1 X 4 TONGUE + GROOVE + PATIO/PORCH/ENTRY CEILING
11. NOT FILLER OVER RANGE
12. SEE
13. ELECTRICAL SUB-PANEL
14. GAS TANK LESS WATER HEATER
15. SITE WALLS AND/OR GATES/SCREEN WALLS/COURTARD WALLS (SEE ARCHITECTURAL SITE PLAN)
16. PAVEMENT DRIVES AND/OR WALLS (SEE ARCHITECTURAL SITE PLAN)
17. BATHROOM FIXTURES SHALL BE SPACED IN ACCORDANCE WITH IRC SECTION R301
18. INDICATES STONE OR BRICK VENEER + EXTERIOR (SEE ELEVATIONS)

GENERAL FLOOR PLAN NOTES:

- ALL PLUMBING STUB OUT 4" AIR RETURN TO BE 1" FINISH ABOVE FINISH FLOOR THIN
- PROVIDE BRACING:
a. ALL EXTERIOR WALLS AND MAIN CROSS STUD PARTITIONS SHALL BE BRACED AT EACH END
b. ALL EXTERIOR WALLS AND MAIN CROSS STUD PARTITIONS SHALL BE BRACED AT EACH END
c. BRACING OR METAL W/ BRACING CANNOT BE UTILIZED DUE TO OPENING, PROVIDE A MINIMUM OF 1/4" TYPED BRACING FROM THE CORNER TO 4" UP BEYOND THE WALL OPENING OR TO THE NEXT CORNER (SAG-EVEN CORNER FIRST)
- PROVIDE A 2" W/ AIRWAY TO ALL ATTIC MOUNTED HVAC EQUIPMENT, TOP WORKING SURFACE OF 1/2" PLUMBING IN FRONT OF AIR REMOVE OUTLET WITH BATTERY LIGHT
- PROVIDE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE CONTROL, VALVES FOR ALL SHOWER AND TUB/SHOWER COMBINATIONS
- THE FOLLOWING SHALL BE CONSIDERED SPECIFIC HAZARDOUS LOCATIONS FOR THE PURPOSE OF SAFETY GLAZING:
a. GLAZING IN ANY PART OF A BUILDING WALL ENCLOSING A TUB/SHOWER COMPARTMENT WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 40" MEASURED VERTICALLY ABOVE AN ADJACENT WALKING SURFACE
b. GLAZING IN WALLS OF A BATHROOM OR OTHER ROOM ADJACENT TO A TUB OR SHOWER WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24" AND OF THE DOOR IN A CLOSET POSITION AND WHERE BOTTOM EDGE IS LESS THAN 40" ABOVE THE FLOOR OR WALKING SURFACE
c. SAFETY GLAZING SHALL BE INSTALLED WHEN ALL THE FOLLOWING CONDITIONS ARE MET:
i. EXPOSED AREA OF AN INDIVIDUAL PANEL IS GREATER THAN 5 SQFT
ii. BOTTOM EDGE IS LESS THAN 40" ABOVE THE FLOOR TOP EDGE IS GREATER THAN 40" ABOVE THE FLOOR AND ONE OR MORE WALKING SURFACES OF AN AREA OR HEIGHT ABOVE A WALKING SURFACE SHALL BE SAFETY GLAZING INCLUDING AN ARCHITECTURAL SHOWER PANELS AND ENCLOSURES
iii. GLAZING IN WALLS ENCLOSING STAIRWAY LANDINGS OR WITHIN 48" OF THE BOTTOM AND TOP OF STAIRWAYS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 40" ABOVE A WALKING SURFACE SHALL BE SAFETY GLAZING
- HABITABLE ROOMS SHALL HAVE A MINIMUM CEILING HEIGHT OF 7'-6" HALLWAYS CORRIDORS, BATHROOMS, TOILET ROOMS AND SHOWER ROOMS SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 7'-0"
- ALL DOORS INTERIOR + EXTERIOR ARE TO BE 8'-0" TALL UNLS
- ESCAPE AND RESCUE SLEEPING ROOM WINDOWS:
a. 5.7 SQUARE FEET EXCEPTION: 8.0 SQUARE FEET AT GARAGE LEVEL
b. 20" MINIMUM NET OPENING HEIGHT
c. 20" MINIMUM NET OPENING WIDTH
d. 24" MINIMUM SILL HEIGHT
- REQUIRED DRAIN PAN FOR WATER HEATER:
a. PAN SHALL BE GALVANIZED STEEL HAVING A MINIMUM THICKNESS OF 24 GAUGE OR OTHER PAN LISTED FOR SUCH USE PAN SHALL BE NOT LESS THAN 1/2" NOISE DEEP AND SHALL BE OF SUFFICIENT SIZE AND SHAPE TO RECEIVE ALL DRAINAGE OR CONDENSATE FROM TANK OR WATER HEATER THE PAN SHALL BE DRAINED BY AN INDEPENDENT WASTE PIPE HAVING A MINIMUM DIAMETER OF 1/2" INCH THE DRAIN SHALL BE TO THE OUTSIDE AND TERMINATE OVER A BATHROOM OR OTHER UNFINISHED AREA (NO DISCHARGE TO AN INDEPENDENT WASTE RECEPTOR OR TO THE OUTSIDE PER IRC SECTION R401)
b. WATER RELIEF VALVE DISCHARGE PIPE SHALL NOT BE SMALLER THAN THE DIAMETER OF THE OUTLET OF THE VALVE BEHIND BENEATH A SINGLE NEIP DEVICE TO AN INDEPENDENT WASTE RECEPTOR OR TO THE OUTSIDE PER IRC SECTION R401
c. DISCHARGE PIPE SHALL NOT BE LESS THAN 1/2" DIAMETER AND SHALL NOT BE SMALLER THAN THE DIAMETER OF THE OUTLET OF THE VALVE BEHIND BENEATH A SINGLE NEIP DEVICE TO AN INDEPENDENT WASTE RECEPTOR OR TO THE OUTSIDE PER IRC SECTION R401
d. DISCHARGE PIPE SHALL NOT BE SMALLER THAN THE DIAMETER OF THE OUTLET OF THE VALVE BEHIND BENEATH A SINGLE NEIP DEVICE TO AN INDEPENDENT WASTE RECEPTOR OR TO THE OUTSIDE PER IRC SECTION R401
- ENCLOSURE ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE MINIMUM 1/2" HIGH GYPSUM BOARD PER IRC SECTION R401.1

REVISIONS	BY

SECOND FLOOR PLAN

NOTE: ALL WORK PERFORMED ON THIS DESIGN SHALL BE BY A LICENSED CONTRACTOR IN ACCORDANCE WITH LOCAL AND NATIONAL CODES. CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND SPECIFICATIONS AND ASSUME RESPONSIBILITY FOR ANY DAMAGES OR STRUCTURAL FAILURES DUE TO ANY ERRORS OR OMISSIONS IN THE DESIGN AND/OR THESE DRAWINGS.

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PRESTINARIO RESIDENCE

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DATE: AUGUST 17, 2023
SCALE: 3/16" = 1'-0"
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SHEET **A2**