

**CITY OF TEMPE
DEVELOPMENT REVIEW COMMISSION**

**Meeting Date: 10/24/2023
Agenda Item: 6**

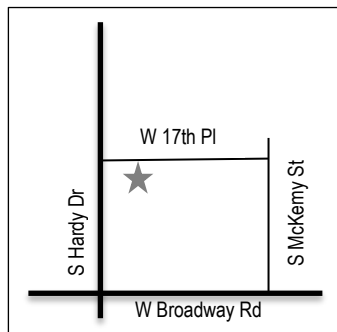
ACTION: Request a Use Permit to allow required parking in the required front building setback for ISSELHARD RESIDENCE, located at 817 W 17th Place. The applicant is Ian McAllister.

FISCAL IMPACT: N/A

RECOMMENDATION: Staff – Approve, subject to conditions

BACKGROUND INFORMATION: ISSELHARD RESIDENCE (PL230291) is located at 817 W 17th Place within the Parkway Manor subdivision. The property is zoned Single-Family Residential (R1-6) and is located within the Marilyn Ann Residential Association. The applicant is requesting a Use Permit to locate required parking within the required front building setback due to a building addition. The request includes the following:

ZUP230063 Use Permit to allow required parking within the required front yard building setback.



Property Owner	Amber and Karl Isselhard
Applicant	Ian McCallister, UMC Builders LLC
Zoning District	R1-6
Site Area	6,510 s.f.
Building Area	2,567 s.f.
Lot Coverage	39.4% (45% max. allowed)
Building Setbacks	26' front, 3' side, 25' rear (20', 5', 15' min. required)
Vehicle Parking	2 spaces (2 min. required)

ATTACHMENTS: Development Project File

STAFF CONTACT(S): Chris Jasper, Senior Planner (480) 350-8096

Department Director: Jeff Tamulevich, Community Development Director

Legal review by: N/A

Prepared by: Chris Jasper, Senior Planner

Reviewed by: Mailen Pankiewicz, Principal Planner

COMMENTS

When the subject property was constructed in 1962, the City required one (1) off-street parking space for single-family residential units. The Zoning and Development Code has since been updated to require two (2) off-street parking spaces for single-family residential homes with no more than five (5) bedrooms. Because the property owner is proposing to expand the number of bedrooms on the property from three (3) to four (4) with a building addition on the rear of the existing home, the property must meet current development standards related to parking. One vehicle will be parked in the existing attached garage, and the second is proposed to be located in the driveway, which will encroach into the required front building setback. The building addition will include a new bedroom and a new bathroom at the rear of the property, and will add approximately 290 square feet of living space to the existing building.

PUBLIC INPUT

Staff has not received any public comments as of the publication of this report.

USE PERMIT

The proposed use requires a Use Permit to allow required parking within the front building setback within the R1-6 zoning district.

Section 6-308(E) Approval criteria for Use Permit (*in italics*):

1. *Any significant increase in vehicular or pedestrian traffic*; The building addition is not expected to increase vehicular or pedestrian traffic. The addition is intended to serve only the occupants of the existing single-family residence.
2. *Nuisance arising from the emission of odor, dust, gas, noise, vibration, smoke, heat or glare at a level exceeding that of ambient conditions*; Locating a required parking space in the front building setback is not anticipated to generate emissions or other nuisances beyond those present in ambient conditions.
3. *Contribution to the deterioration of the neighborhood or to the downgrading of property values, which is in conflict with the goals, objectives or policies for rehabilitation, redevelopment or conservation as set forth in the city's adopted plans or General Plan*; Parking on the driveway is not anticipated to result in the degradation of property values. The building addition is likely to increase property values and benefit the neighborhood.
4. *Compatibility with existing surrounding structures and uses*; The proposed building addition is architecturally consistent with the existing structure in terms of color, material, and roof pitch. Parking in front-yard driveways is common throughout the surrounding neighborhood. Therefore, the proposed use is compatible with all surrounding structures, uses, and conditions.
5. *Adequate control of disruptive behavior both inside and outside the premises which may create a nuisance to the surrounding area or general public*; The proposed use is not anticipated to generate disruptive behavior.

REASONS FOR APPROVAL:

Based on the information provided by the applicant, the public input received, and the above analysis staff, supports approval of the requested Use Permit. This request meets the required criteria and will conform to the conditions.

SHOULD AN AFFIRMATIVE ACTION BE TAKEN ON THIS REQUEST, THE FOLLOWING NUMBERED CONDITIONS OF APPROVAL SHALL APPLY, BUT MAY BE AMENDED BY THE DECISION-MAKING BODY.

CONDITION(S) OF APPROVAL: (Non-standard conditions are identified in bold)

EACH NUMBERED ITEM IS A CONDITION OF APPROVAL. THE DECISION-MAKING BODY MAY MODIFY, DELETE OR ADD TO THESE CONDITIONS.

1. The Use Permit is valid only after a Building Permit has been obtained, the required inspections have been completed and a Final Inspection has been passed. As part of the Building Permit process, on-site storm water retention may be required to be verified or accomplished on this Site.
2. The Use Permit is valid for the plans as submitted within this application. Any additions or modifications may be submitted for review during the building plan check process.

CODE/ORDINANCE REQUIREMENTS:

THE BULLETED ITEMS REFER TO EXISTING CODE OR ORDINANCES THAT PLANNING STAFF OBSERVES ARE PERTINENT TO THIS CASE. THE BULLET ITEMS ARE INCLUDED TO ALERT THE DESIGN TEAM AND ASSIST IN OBTAINING A BUILDING PERMIT AND ARE NOT AN EXHAUSTIVE LIST.

USE PERMIT:

- The use permit approval shall be void if the use is not commenced or if an application for a building permit has not been submitted, whichever is applicable, within twelve (12) months after the use permit is granted or within the time stipulated by the decision-making body.

- The decision-making body, upon finding that the applicant has not taken corrective actions to resolve issues related to the permit/approval and that a continuation of the permit/approval is not in the interest of the public health, safety and general welfare, can revoke the permit/approval after providing written notice of its intentions to the holder of the permit.
- Specific requirements of the **Zoning and Development Code (ZDC)** are not listed as a condition of approval but will apply to any application. To avoid unnecessary review time and reduce the potential for multiple plan check submittals, become familiar with the ZDC. Access the ZDC through <http://www.tempe.gov/zoning> or purchase from Development Services.
- Any intensification or expansion of use shall require a new Use Permit.
- All required Federal, State, County, and Municipal permits, licenses, and clearances shall be obtained, or the Use Permit is void.

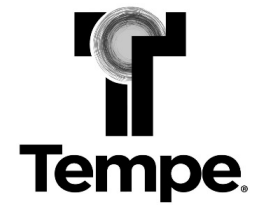
HISTORY & FACTS:

October 25, 1962 Single-family residential home is constructed

January 15, 1973 The Board of Adjustment approved a Variance request to reduce the required side yard setback from 7 feet to 3 feet to enlarge a storage room and to permit an entrance between the storage room and the house.

ZONING AND DEVELOPMENT CODE REFERENCE:

- [Section 3-102, Permitted Uses in Residential Districts](#)
- [Section 4-202, Development Standards for Residential Districts](#)
- [Section 6-308, Use Permit](#)



DEVELOPMENT PROJECT FILE
for
ISSELHARD RESIDENCE
(PL230291)

ATTACHMENTS:

1. Location Map
2. Aerial
3. Letter of Explanation
- 4-8. Site Context (Existing Site Plan and Context Photos)
- 9-13. Site Design (Proposed Site Plan and Blackline Elevations)



- Commercial Shopping and Services (CSS)
 - Planned Commercial Center Neighborhood (PCC-1)
 - Single-Family Residential (R1-6)
 - Multi-Family Residential Limited (R-3)
 - Parcels
- Twelve Point CenterlineSubType**
- ADOT
 - Canal
 - Monument
 - Private

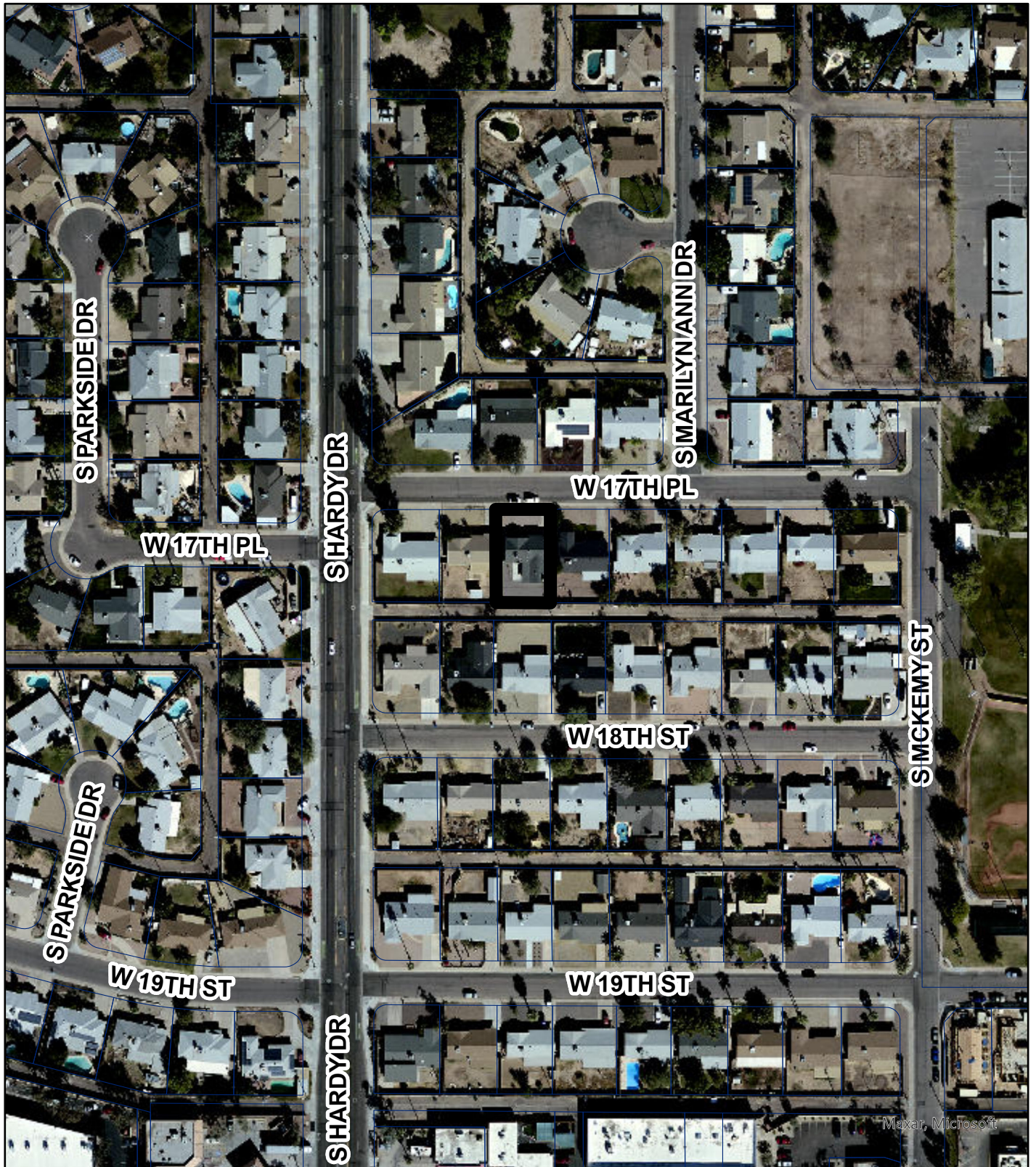
- Light Industrial District (LID)
 - General Industrial District (GID)
 - Heavy Industrial District (HID)
- Zoning District**
- Railroad
 - Street
 - <all other values>

ATTACHMENT 1

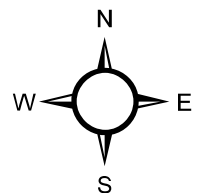


817 W 17th PL

PL230291



Aerial Map



LETTER OF EXPLANATION

USE PERMIT

The project goal is to get approval for the use of the already present concrete driveway to count as the second parking space for the home. The second parking space is needed for the additional square footage of the game room to be added to the rear of the home, which is now being held up in permitting for the need of said second parking space.

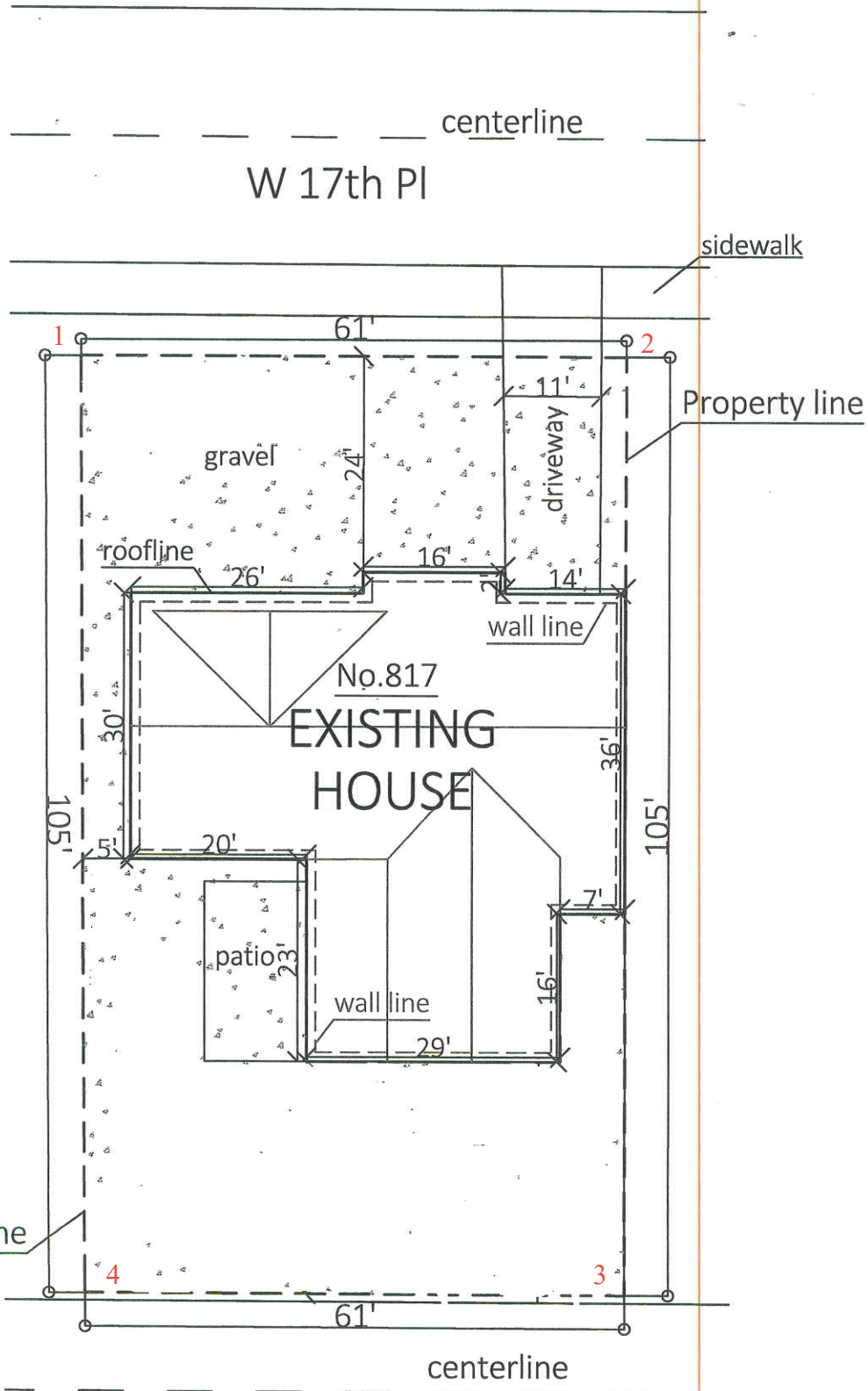
No foreseen potential impacts to adjacent properties, as the driveways on the block are already being used as parking spaces.

Since the space in question is an existing driveway and no changes to the front of the house, yard or layout the proposed use will:

- a. not cause any significant vehicular or pedestrian traffic in adjacent areas
- b. not cause any nuisance exceeding that of ambient conditions
- c. not contribute to the deterioration of the neighborhood or be in conflict with the goals, objectives and policies of the city
- d. be compatible with existing surrounding structures
- e. not result in any disruptive behavior which may create a nuisance to the surrounding area or general public.

Ian McAllister
9/7/23

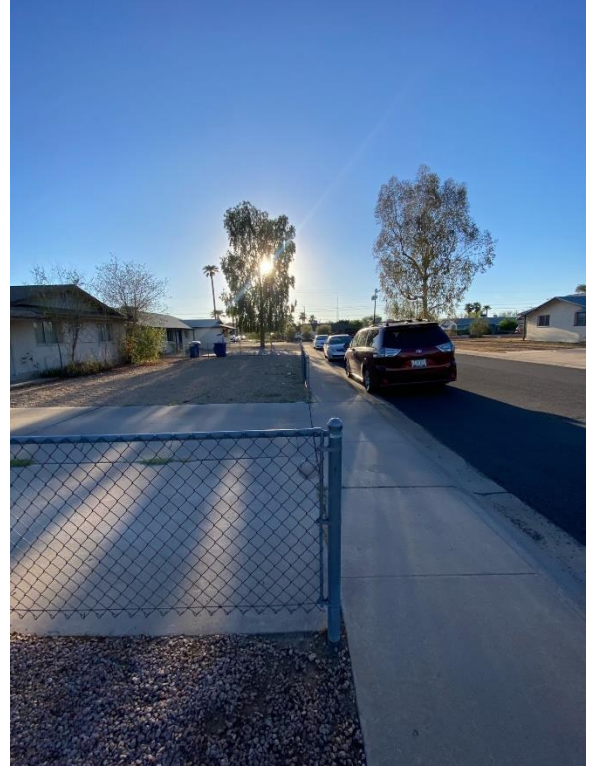
A handwritten signature in black ink, appearing to be 'Ian McAllister', written in a cursive style.



1 – East



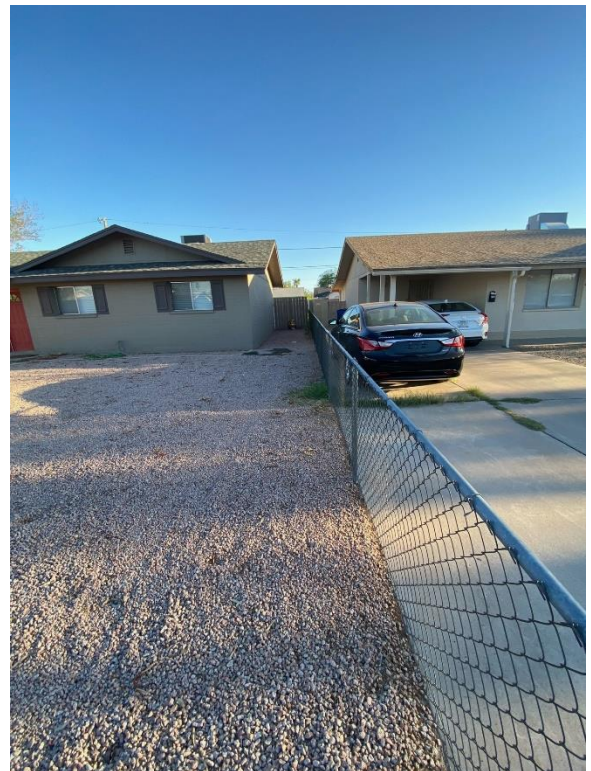
1 – West



1 – North



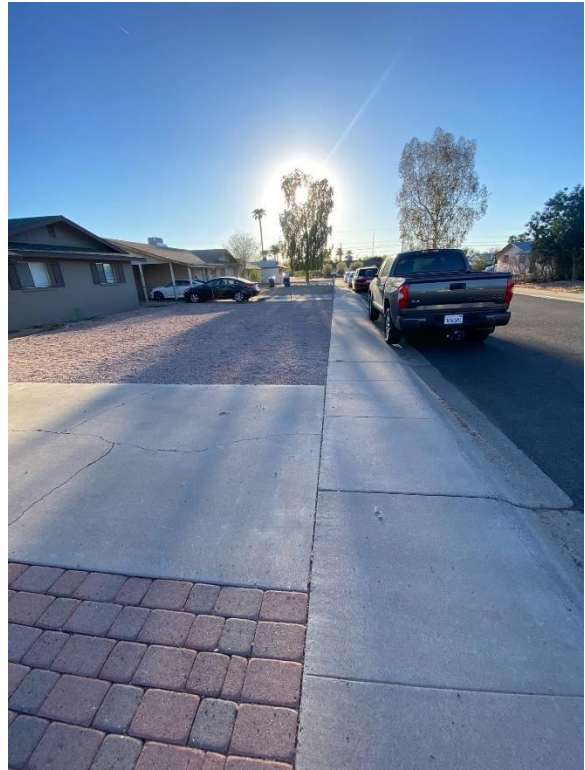
1 – South



2 – East



2 – West



2 – North



2 – South



3 – East



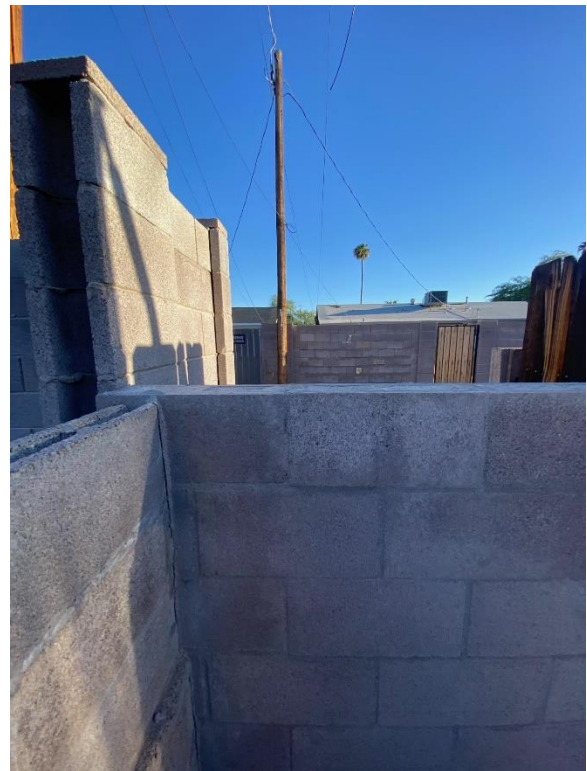
3 – West



3 – North



3 – South



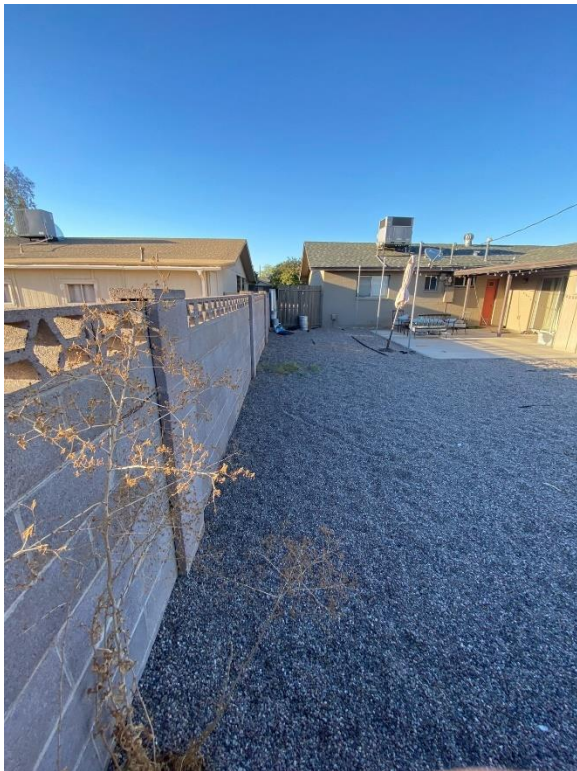
4 – East



4 – West



4 – North



4 – South



PROJECT DATA

SCOPE: RESIDENTIAL ADDITION TO EXISTING SFR, NEW GAME ROOM AND BATHROOM
 LOCATION: 817 W 17th PL
 LEGAL DESCRIPTION: PARKWAY MANOR LOT 43
 JURISDICTION: CITY OF TEMPE
 ACCESSORY BLDGS: NONE
 ZONING: R1-6
 OCCUPANCY: R-3 PER IRC 2018
 CONSTRUCTION TYPE: VB

SETBACKS:
 R1-6 ZONING REQUIRED: 20' FRONT
 5' SIDE
 5' REAR [TO CENTERLINE OF ALLEY] 15'

PROVIDED SETBACKS: 26' FRONT (EXISTING-ORIGINAL HOUSE BUILD - NO CHANGE)
 3' SIDE (EXISTING-ORIGINAL HOUSE BUILD - NO CHANGE)
 25' REAR [TO CENTERLINE OF ALLEY] 15'

MIN. DISTANCE BETWEEN BLDGS: = 15'-0" BETWEEN BUILDINGS

LOT AREA: 6510 S.F. (2567 S.F. COVERED = 39.4% MAX COVERAGE ALLOWABLE)
 FLAMESPREAD RATING: 35-75 CLASS III IRC 2018 SECTION R315

FIRE ALARM SYSTEM: SMOKE DETECTORS PER IRC 2018 R313

FIRE SPRINKLER SYSTEM: PROVIDE WHERE REQUIRED PER IRC 2018 IRC 2018 SEC. R301-22
 IRC 2018 SEC. R301.2(4) & R301.2(4) APPENDIX B

ROOF VENTILATION: TYPICAL VENTED ROOF

SEISMIC ZONE: NO SEISMIC DESIGN REQUIRED BY IRC 2018 SEC. R301-2(4)

WIND LOAD: IRC 2018 SECTION R301.2(4)

ROOF LIVE LOAD: IRC 2018 SEC. R1003.8 & R301

SOIL BEARING: ASSUMED 1500 PSF PER IRC SEC. R401.4.1

FINISHED FLOOR HEIGHT: 6" ABOVE NATURAL GRADE EXISTING
 WATER & WASTE SYSTEMS: PER CITY OF TEMPE BUILDING DEPT., PIMA COUNTY HEALTH DEPT. AND LOCAL UTILITY COMPANIES.

HEIGHT OF EXTERIOR WALLS: 8'-0"

NOTE: ALL PLUMBING, MECHANICAL AND ELECTRICAL SHALL BE INSTALLED BY A LICENSED CONTRACTOR PER BUILDING CURRENT CODES.

LOT COVERAGE AREAS

LOT AREA TOTAL 6510 S.F.
 EXISTING HEATED S.F. 1997 S.F.
 EXISTING GARAGE 280 S.F.
 PROPOSED ADDITION +290 S.F.
 (N) TOTAL UNDER ROOF 2567 S.F.

TOTAL S.F. LOT COV. 2567 S.F.

2567 S.F. / 6510 S.F. = 39.4%

PARKING PROVIDED

ON-SITE PARKING REQUIRED: 1 SPACES
 PARKING PROVIDED: CONCRETE DRIVE (1) SPACE, GARAGE (1) SPACE.
 OWNER TO OBTAIN PARKING USE PERMIT

SPECIAL NOTES

- WHEN NOTED OR REQUIRED BY BUILDING DEPARTMENT, A SPECIAL INSPECTION SHALL BE EMPLOYED DURING CONSTRUCTION PER 2018 IRC & IBC.
- THE CONTRACTOR(S) SHALL STUDY ALL DRAWINGS AND SPECIFICATIONS TO CONSTRUCTION CODES WITH CARE. ANY CHANGES TO THE EXISTING PROJECT CONDITIONS OR ANY OTHER INFORMATION ON THE DRAWING APPROVALS WILL NOT BE ALLOWED WITHOUT FIRST OBTAINING A/E APPROVALS.
- ALL CHANGES, ALTERATIONS, AND "SHOP DRAWINGS AS NOTED" SHALL BE SUBMITTED TO THE GOVERNING BUILDING DEPARTMENT AND ARCHITECT FOR APPROVAL PRIOR TO COMMENCING WITH WORK.
- SUBCONTRACTORS SHALL BE RESPONSIBLE FOR REMOVAL OF THEIR OWN TRASH EACH DAY.
- FILL SHALL BE COMPACTED BY POWER OPERATED MECHANICAL EQUIP.
- POWER OPERATED MECHANICAL EQUIPMENT SHALL NOT BE OPERATED CLOSE TO FOUNDATION THAN A DISTANCE EQUAL TO THE HEIGHT OF FILL ABOVE THE TOP OF FOOTING. AREAS WHERE MECHANICAL EQUIPMENT CANNOT BE OPERATED SHALL BE COMPACTED BY DRIVEN HAND OPERATED EQUIPMENT.

SITE CONSTRUCTION NOTES

- ALL SITE AND UTILITY DATA OBTAINED FROM THE SITE / OWNER.
- ALL UTILITY ENTRANCES TO BE VERIFIED BY THE CONTRACTOR / OWNER & APPROVED BY LOCAL AUTHORITIES. VERIFY RIM ELEVATIONS TO BE LOWER THAN FINISHED FLOOR AND REQUIRED PLUMBING INVERTS. (VERIFY ELEC., WATER, SEWER, AND PH. SEWER CONN'S) CALL BLUESTAKE PH., 263-1100 OR 1-800-782-5348.
- SLOPE FINISHED GRADES 5% THE FIRST 10' - 0" AWAY FROM THE BUILDING PERIMETER. THERE SHALL BE NO PONDING OF WATER ADJACENT TO THE BUILDING AND / OR NEW ADDITIONS.
- ALL SITE DRAINAGE TO BE CALCULATED BY THE CONTRACTOR. (MAINTAIN EXIST. DRAINAGE) NEW RESIDENCE TO BE GRADED ALL-AROUND TO ACCOMMODATE POSITIVE DRAINAGE IN ALL DIRECTIONS
- SLOPE ALL WALKS 1/4" : 12" TYPICAL (MIN 1/8" : 12") AWAY FROM THE BUILDING FOR ADEQUATE & DESIRABLE DRAINAGE. PROVIDE SAME AT ALL NEW WALK AND/OR GRADED LOCATIONS
- ALL EXISTING LANDSCAPE AND TREES SHALL REMAIN UNLESS NOTED OTHERWISE. CONTRACTOR TO VERIFY, ON SITE WITH OWNER, THE REMOVAL AND/OR REPLANTING OF LANDSCAPE. ALL QUESTIONS REGARDING DRAINAGE SHALL BE DIRECTED TO THE CONTRACTOR.
- SEE FOUNDATION, MECHANICAL, PLUMBING AND ELECTRICAL PLANS, PRIOR TO COMMENCING WITH THE OVERALL PROJECT. INFORMATION NOT SHOWN ON ONE PLAN DOES NOT RELIEVE THE GENERAL AND/OR SUB-CONTRACTOR FROM ANY CONSTRUCTION RELATED ITEMS.
- OBTAIN LOCAL UTILITY COMPANY APPROVAL FOR ALL UTILITY RELATED WORK (I.E. SEWER WATER ELECTRICITY, PHONE, CABLE TV AND GAS.)
- SANITARY SEWER SYSTEM STUBBED-OUT AT PROPERTY LINE AS APPROVED & PERMITTED BY PIMA COUNTY PLANNING, ZONING DEPARTMENTS AND THE AUTHORIZED HEALTH AGENCY
- REFER TO THE GENERAL NOTES AND CONDITIONS, SHEET G1

SITE PLAN KEYNOTES

- LINE OF SETBACK, TYPICAL
- PROPERTY LINE, TYPICAL
- ELECTRICAL SERVICE ENTRY 200A SERVICE
- MASONRY WALL 6'-0" HIGH MAX
- NOT USED
- NOT USED
- NOT USED
- PERIMETER EDGE OF STRUCTURE
- NOT USED
- 1" HW WATER LINE
- EXISTING 3" ABS SEWER
- EXISTING LANDSCAPE TO REMAIN
- NOT USED
- EXISTING PAVED ROAD

INDEX

SHT.#	SHEET	SHEET NAME
1	C1	SITE PLAN, GENERAL CONDITIONS, INDEX OF DRAWINGS, PROJECT DATA, LEGAL DESCRIPTION, FOUNDATION PLAN AND SITE PLAN
2	S1	FOUNDATION PLAN
3	S2	FRAMING PLAN
4	A1	FLOOR PLAN
5	A2	ELEVATIONS & SECTIONS
6	P1	PLUMBING PLAN
7	M1	MECHANICAL PLAN
8	E1	ELECTRICAL PLAN

TAX PARCEL NO.

124-63-056

OWNER

ISSELHARD AMBER/KARL M
 2801 W PUCCONI PL TUCSON AZ USA 85741
 TUCSON AZ

REVISIONS	BY
△ CITY OF TEMPE	EMG
7-29-23	
△ CITY OF TEMPE	EMG
10-2-23	

LIGHTNING SKY DRAFTING SERVICES
 20950 E. FRONTIER RD.
 RED ROCK AZ 85145
 PLANS PREPARED BY: ERIC GONZALES
 (920) 780-5792
 REQUESTED BY:

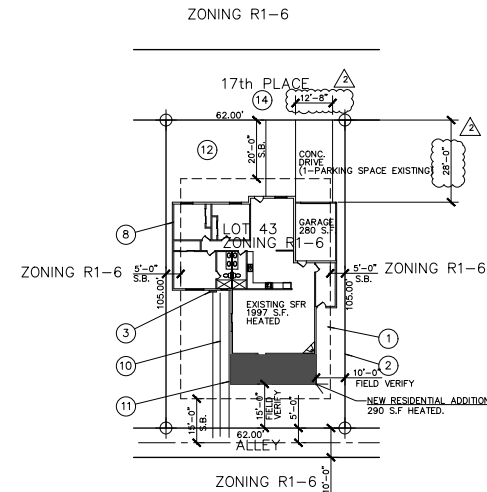
SITE PLAN AND NOTES
GENERAL

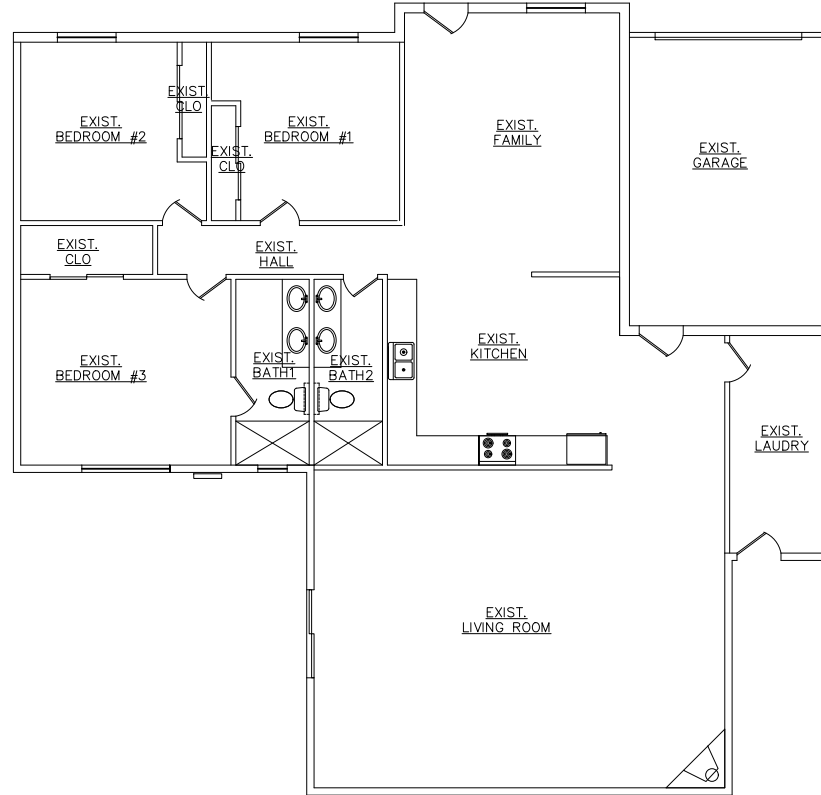
RESIDENTIAL ADDITION:
FOR: ISSELHARD FAMILY
 817 W 17th PL
 TEMPE, AZ 85281
 PHONE #: (920) ATTN:

DRAWN	EMG
CHECKED	EMG
DATE	7-10-23
SCALE	AS NOTED
JOB NO.	ISS-01-01-23
SHEET	

C1

1 OF 8 SHEETS





REVISIONS	BY
CITY OF TEMPE	EMG

LIGHTNING SKY DRAFTING SERVICES
 2500 N. FRONTIER RD.
 RED ROCK, AZ 85145
 PLANS PREPARED BY: ERIC GONZALES
 (520) 760-3792

AS-BUILT
 FLOOR PLAN
 ARCHITECTURAL

RESIDENTIAL ADD/REMODEL:
 FOR: KARL ISSELHARD
 XXX
 TUCSON, AZ 857XX
 PHONE #: (520) XXX ATTN:

DRAWN	EMG
CHECKED	EMG
DATE	7-10-23
SCALE	AS NOTED
JOB NO.	ISS-101-23
SHEET	AB1
OF	SHEETS

ATTACHMENT 10

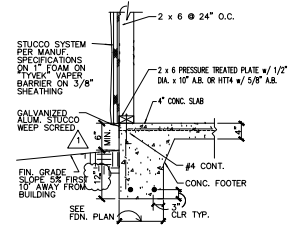
FLOOR PLAN - AS-BUILT

SCALE: 3/16" = 1' - 0"

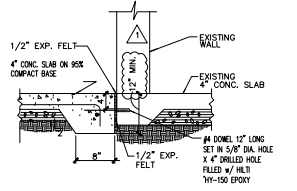
FOUNDATION KEYNOTES

1. 4" CONC. SLAB ON 95% COMPACTED FILL WITH WWF 6 x 6 -W2.9 x W2.9 @ MID DEPTH
2. NOT USED
3. PROVIDE 2-#4's CONTINUOUS, MIN. @ EXTERIOR WALL FOOTINGS. REFER TO FTG. SCHED THIS SHEET.
4. CONTINUOUS CONCRETE FOOTING PER FOOTING SCHEDULE. MAINTAIN 1" BELOW NATURAL GRADE, TYPICAL, STEEPED WHEN REQUIRED PER DETAILS.
5. TERMITE TREATMENT PER INDUSTRY STANDARDS AND GENERAL NOTES & SPECIFICATIONS, CONTRACTOR SHALL PROVIDE "5-STAR" TREATMENT w/ WRITTEN GUARANTEE.
6. CLEAR SITE OF LOOSE SOIL AND RECOMPACT. REFER TO GSI FOR ADDITIONAL REQUIREMENTS.
7. ALL REINFORCING BARS TO BE PER GSN. LAP SPLICE 2' - 0" MINIMUM.
8. DEMO / UNDERPIN AS REQUIRED FOR NEW FOOTING
9. SLOPE ALL GRADES AWAY FROM BUILDING, MINIMUM 5% FIRST 10'-0" THERE SHALL BE NO PONDING OF WATER AROUND THE BUILDING.
10. EDGE OF SLAB, FOOTING AND/OR TOE DOWN.
11. PROVIDE JOINTS IN INTERIOR SLABS PER DETAILS, SPACE JOINTS NO GREATER THAN 20'-0" O.C. (CJ)
12. CONCRETE CONTRACTOR SHALL VERIFY ALL ANCHOR BOLTS, HOLD DOWNS AND COLUMN BASE CONNECTOR INSTALLATIONS, PRIOR TO PLACING CONCRETE.
13. PROVIDE SLEEVES FOR PLUMBING AND ELECTRICAL PENETRATIONS IN CONCRETE BEFORE PLACING CONCRETE. DO NOT CUT ANY REINFORCING WHICH MAY CONFLICT. ALL REINFORCING BARS, ANCHOR BOLTS AND CONCRETE INSERTS SHALL BE SECURED IN POSITION PRIOR TO PLACING CONCRETE.
14. INSTALL FILL IN HORIZONTAL LAYERS PER GSN.
15. FINISH CONCRETE SMOOTH, U.N.O.
16. ENSURE FLUSH TRANSITION, NO LEVEL CHANGE
17. SEE DETAIL 1 / S1
18. SLOPE TO DRAIN ALL AROUND
19. FILL RAISE / CONCRETE AS REQUIRED, NO LEVEL CHANGE
20. NEW CONC. STEP AS REQUIRED, MAX 4" RISE, MIN. 12" TREAD
21. PLUMBING FIXTURE AND/OR SEWER WASTE LINE, REFER TO PLUMBING DRAWINGS.

REVISIONS	BY
1	EMG
7-29-23	



2 EXTERIOR FOOTING
NTS



3 NEW SLAB TO EXISTING SLAB
NTS
NOTE: SPECIAL INSPECTION REQUIRED FOR EPOXY ADHESIVE

LIGHTNING SKY DRAFTING SERVICES
 FOUNDATION PLAN SCHEDULES AND NOTES
STRUCTURAL
 DESIGNED BY: ERIC GONZALES
 (602) 998-2792

RESIDENTIAL ADD/REMODEL:
 FOR: Karl Iselhard
 817 W 17th PL
 TEMPE, AZ 85288
 PHONE #: (602) XXX-ATTN:

DRAWN	EMG
CHECKED	EMG
DATE	7-18-23
SCALE	AS NOTED
JOB NO.	858-101-23
SHEET	
S1	
X OF X SHEETS	

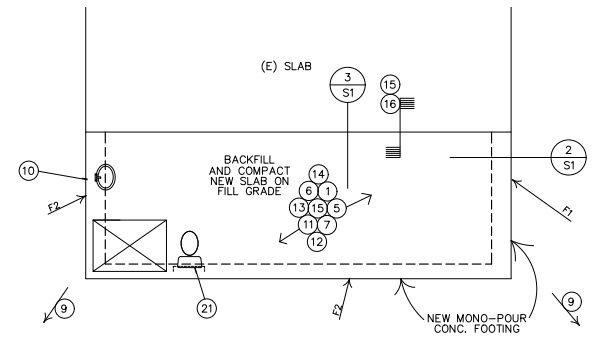
IRC R401.4 SOIL TESTS

ADDITIONS TO SINGLE FAMILY RESIDENTIAL BUILDINGS, NEW NEW DETACHED GARAGES, STORAGE SHEDS, AND PATIO WALLS OVER 6'-0" IN HEIGHT:

- A. IN LIEU OF A COMPLETE GEOTECHNICAL EVALUATION, THE MOST RESTRICTIVE LOAD-BEARING VALUE OF 1500 POUNDS PER SQUARE FOOT FROM TABLE R401.4 OF THE IRC SHALL BE ASSUMED AND SPECIFIED ON THE PLANS FOR FOUNDATION & FOOTING DESIGN.
- B. IF AT FOOTING OR FOUNDATION INSPECTION, SUSPECT SOIL CONDITIONS ARE DISCOVERED, THE BUILDING INSPECTOR WILL REQUEST CORRECTIVE MEASURES TO BE ESTABLISHED BY A QUALIFIED REGISTRANT AND BE SUBMITTED TO THE BUILDING SAFETY DIVISION FOR REVIEW, APPROVAL AND INCLUSION INTO THE APPROVED PLANS. WORK SHALL NOT PROCEED UNTIL APPROVAL HAS BEEN OBTAINED AND RE-INSPECTION OF SUCH WORK IS PERFORMED.

COLUMN SCHEDULE		
MARK	SIZE	BASE CONNECTION
C1	6 x 6 WOOD POST	PBS66
C2	NOT USED	NOT USED
C3	NOT USED	NOT USED

FOOTING SCHEDULE			
MARK	FOOTING WIDTH	FOOTING DEPTH	FOOTING STEEL LONGITUDINAL
F1	1'-4"	12" MIN.	2 - #4 x CONT.
F2	12"	12" MIN.	2 - #4 x CONT.



ATTACHMENT 11

FOUNDATION PLAN - ADDITION

SCALE: 1/4" = 1'-0"

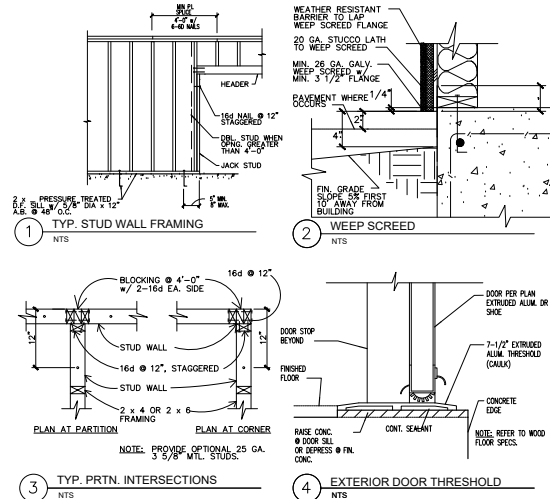


FLOOR PLAN KEYNOTES

- EXISTING WALL TO REMAIN
- COUNTERTOP PER OWNER SELECTION
- 2 x 6 @ 24" O.C. EXTERIOR STUD WALL w/ R-19 BATT BATT INSULATION AND STONE VENEER OR STUCCO EXTERIOR FINISH AS NOTED.
- 5'-0" WIDE x 4'-0" HIGH SLIDER WINDOW WITH SILL @ 42" DBL PANE, LOW 'E', w/ ALUM. FRAME
- FLOORING PER OWNER SELECTION
- PLUMBING FIXTURE PER OWNER SELECTION
- 2'-8" x 6'-8" HOLLOW CORE INTERIOR DOOR TO MATCH (E)
- INTERIOR WALL 2 x 4 @ 24" O.C. 1/2" GWB EA. FACE

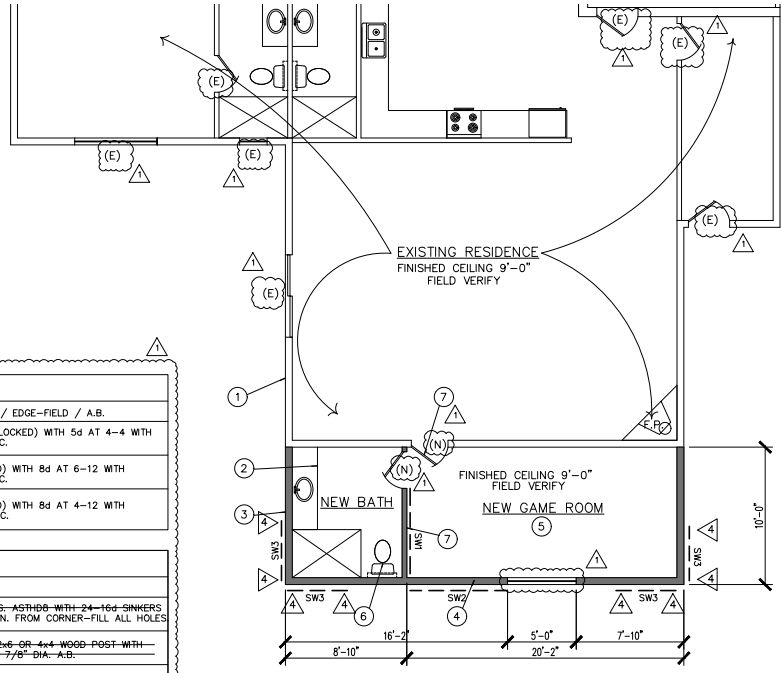
NOTE:
1. ALL WOOD SILL PLATES SHALL BE PRESSURE TREATED

NOTE: PROVIDE TEMPERED OR WIRE GLASS WHERE REQUIRED BY THE IRC R308 AND IRC 2016 AND/OR LOCAL AUTHORITIES. MAINTAIN 18" CLEAR ABOVE FINISHED FLOOR AND 24" FROM DOCKWAYS OR PROVIDE TEMPERED GLAZING.



SHEAR WALL SCHEDULE	
MARK	SHEATHING / NAIL SIZE / EDGE-FIELD / A.B.
SW1	1/2" GYPSUM BOARD (BLOCKED) WITH 5d AT 4-4 WITH 1/2" DIA. A.B. @ 48" O.C.
SW2	1/2" PLYWOOD (BLOCKED) WITH 8d AT 6-12 WITH 1/2" DIA. A.B. @ 24" O.C.
SW3	1/2" PLYWOOD (BLOCKED) WITH 8d AT 4-12 WITH 5/8" DIA. A.B. @ 32" O.C.

HOLD DOWN SCHEDULE	
MARK	TYPE
HD-1	SIMPSON LSTHDB OR AGS-ASTHDB WITH 24-16d SINKERS INTO (2) 2x's - 1/2" MIN. FROM CORNER-FILL ALL HOLES
HD-2	SIMPSON HD7B INTO 3-2x6 OR 4x4 WOOD POST WITH 3-3/4" DIA. BOLTS AND 7/8" DIA. A.B.
HD-3	SIMPSON CS10 COILED STRAP WITH 22-10d NAILS INTO 2-2x's
HD-4	USE STRAP TIE ST-18



NOTE: PER IRC TABLE N1102.1.1 MINIMUM INSULATION: CEILING R-38, MASS WALL R4/R6, FENESTRATION: U-FACTOR 0.40 OR BETTER SHGC 0.25 OR BETTER

REFER TO SHEET S2 FOR NAILING SCHEDULE. ADDITION TO BE FULLY SHEATHED WITH 1/2" PLYWOOD.

INSULATION:

FLAMESPREAD RATING NOT TO EXCEED 200 AND SMOKE DENSITY NOT TO EXCEED 450. PER IRC SECTION R318.

EXTERIOR WALLS: R-19
INTERIOR WALLS: R-13
CEILING / ROOF: R-38
DUCTWORK: R-6 MINIMUM

SYMBOL LEGEND

14 ROOM
⊗ WINDOW
⊞ DOOR

FLOOR PLAN - ADDITION
SCALE: 3/16" = 1'-0"

REVISIONS	BY
1	STY OF TEMPE EMG
2	
3	
4	
5	
6	
7	
8	

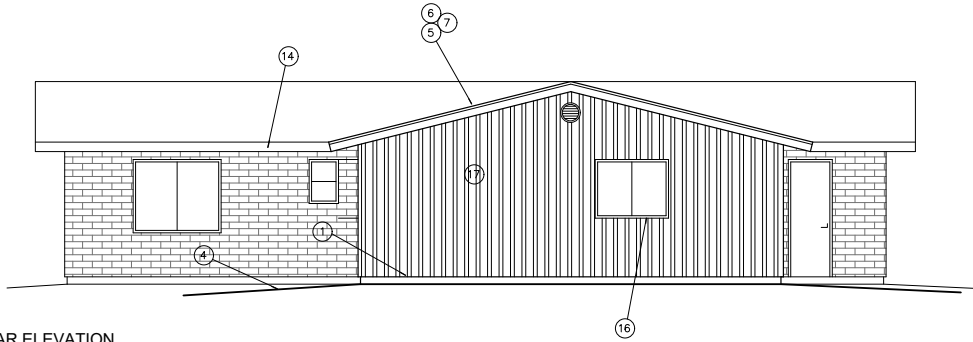
LIGHTNING SKY DRAFTING SERVICES
101. RED ROCK, AZ 85145
PLANS PREPARED BY: ERIC GONZALES
(602) 789-9792

DESIGN FLOOR PLAN ARCHITECTURAL

RESIDENTIAL ADD/REMODEL:
FOR: Karl Isselhard
817 W. 17th ST
TEMPE, AZ 85281
PHONE #: (602) XXX-XXXX

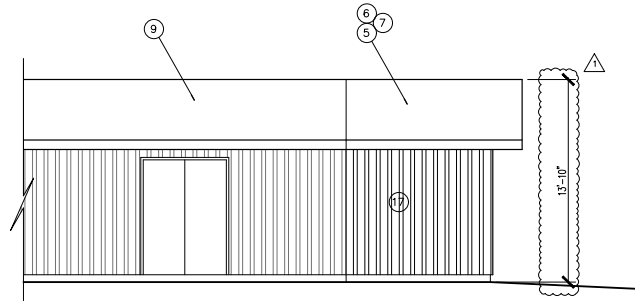
DRAWN	EMG
CHECKED	EMG
DATE	11-23-23
SCALE	AS NOTED
JOB NO.	RES-2023-03
SHEET	
A1	

OF SHEETS



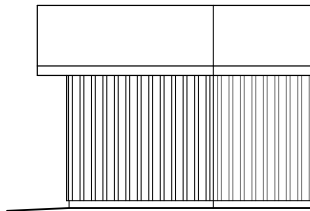
REAR ELEVATION

SCALE: 1/4" = 1'-0"



SIDE ELEVATION 1

SCALE: 1/4" = 1'-0"

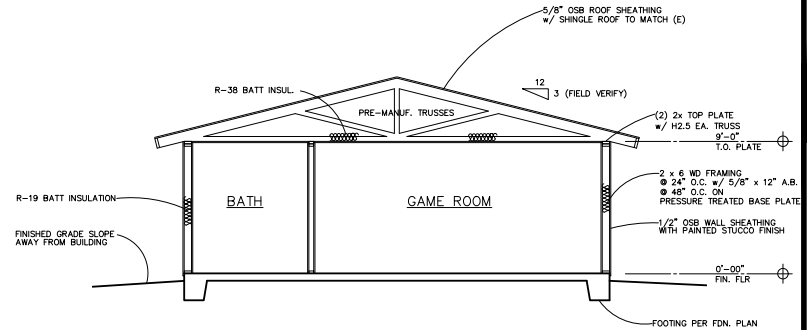


SIDE ELEVATION 2

SCALE: 1/4" = 1'-0"

ELEVATION KEYNOTES

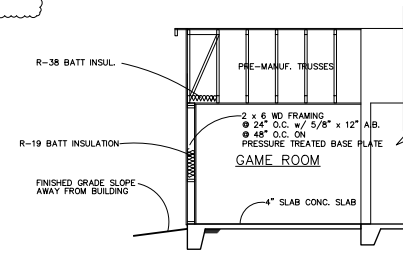
1. FINISHED CONCRETE SLAB, TYPICAL
2. MONO-FOOTING BEYOND, REFER TO FOUNDATION PLAN.
3. NOT USED
4. FINISHED GRADE, SLOPE 5% FIRST 10' - 0" AWAY FROM BLDG.
5. ALL ROOF APPLICATIONS TO BE APPROVED BY MANUF.'S, REP. BUILDING INSPECTOR AND/OR DESIGNER
6. ALL ROOFING FINISHES TO MATCH CONSISTENTLY THRU-OUT
7. SHINGLE ROOF ON 1/2" CDX PLYWOOD TO MATCH EXISTING
8. NOT USED
9. EXISTING ROOF TO REMAIN
10. CONTINUOUS CONCRETE FOOTING, SEE FOUNDATION PLAN
11. NOT USED
12. NOT USED
13. NOT USED
14. EXISTING FASCIA
15. DOOR PER DOOR SCHEDULE, FLOOR PLAN & MFR. SPECS.
16. WINDOWS PER WINDOW SCHEDULE, PLAN & MFR. SPECS.
17. T1-T11 SIDING PER MANUF. SPECS.
18. 4" CONCRETE SLAB ON 85% COMPACTED BASE w/ WIRE MESH, SEE FOUNDATION PLANS.



SECTION 'A'

SCALE: 1/4" = 1'-0"

NOTATION ADDED TO SECTIONS



SECTION 'B'

SCALE: 1/4" = 1'-0"

REVISIONS	BY
△ CITY OF TEMPE 7-28-23	EMG

LIGHTNING SKY DRAFTING SERVICES
20950 E. FRONTIER RD.
RED ROCK, AZ 85146

PLANS PREPARED BY: ERIC GONZALES
(520) 780-5992
REQUESTED BY:

ELEVATIONS

ARCHITECTURAL

RESIDENTIAL ADDITION:

FOR: KARL ISSELHARD
XXX
TUCSON, AZ 857__

PHONE #: (520) ATTN:

DRAWN
EMG
CHECKED
EMG
DATE
7-10-23
SCALE
AS NOTED
JOB NO.
158-101-23

A2