

**CITY OF TEMPE
DEVELOPMENT REVIEW COMMISSION**

**Meeting Date: 10/24/2023
Agenda Item: 2**

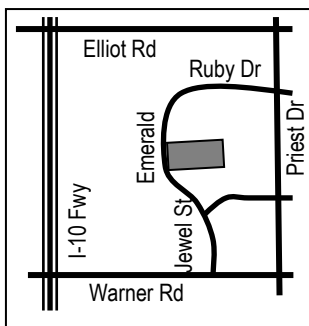
ACTION: Request for a Development Plan Review for consisting of an addition to an existing furniture store for ASHLEY FURNITURE ADDITION, located at 8515 S. Emerald Drive. The applicant is Cawley Architects.

FISCAL IMPACT: There is no fiscal impact on City funds.

RECOMMENDATION: Approve, subject to conditions

BACKGROUND INFORMATION: ASHLEY FURNITURE ADDITION (PL230212) is located mid-block between Elliot and Warner roads, within the Emerald Center Business Park. The property is separately owned and not a part of the Planned Area Development of Emerald Center. The site is zoned RCC, Regional Commercial Center and is located within the Southwest Overlay District; retail uses are allowed within this zoning. The request is for the design of a 44,679 square foot addition to an existing furniture retailer and includes the following:

DPR230102 Development Plan Review including site plan, building elevations, and landscape plan



Property Owner	Troy Muller, Ashley Real Estate LLC
Applicant	Jeff Ducay, Cawley Architects
Current Zoning District	Regional Commercial Center (RCC) / Southwest Tempe Overlay District (SWOD)
Gross/Net site area	5.33 acres
Total Building area	36,938 gross sf existing and 44,679 gross sf addition for a total of 81,617 gross sf
Lot Coverage	35% (50% maximum allowed in RCC)
Building Height	56 ft existing 38 ft new (100 ft maximum allowed in RCC SWOD)
Building Setbacks	103' west front, 35' south side, 25' north side, 318' rear (25', 25', 25' minimum in RCC)
Landscape area	16% 36,923 sf (15% minimum required in RCC)
Vehicle Parking	274 spaces (shared parking with Main Event) (34 spaces required for furniture retail, 270 min. required for general retail: per prior entitlement the site is parked as general retail, maximum 338 allowed)
Bicycle Parking	20 spaces (16 required)

ATTACHMENTS: Development Project File

STAFF CONTACT(S): Diana Kaminski, Senior Planner (480) 858-2391

Department Director: Jeff Tamulevich, Community Development Director
 Legal review by: N/A
 Prepared by: Diana Kaminski, Senior Planner
 Reviewed by: Mailen Pankiewicz, Principal Planner

COMMENTS:

The site is located mid-block between Elliot and Warner roads, along Emerald Drive east of the I-10 Freeway and west of Priest Drive, within the Emerald Center Business Park. The property is separately owned and not a part of the Planned Area Development of Emerald Center. The site is zoned RCC, Regional Commercial Center, within the Southwest Overlay District which allows the furniture retailing use. The request is for the design of the proposed development and includes a Development Plan Review for a 44,679 square foot retail building addition to match the existing 36,938 square foot building. The request includes modifications to the east side of the site and landscape design. The applicant is requesting the Development Review Commission approve the requested Development Plan Review. A Lot Combination will be required prior to issuance of building permits to remove an existing property line between two existing lots to create one lot for the development.

PUBLIC INPUT

- Neighborhood meeting was not required for this request
- Review of design by Emerald Center Architectural Review Committee was approved prior to submittal.

PROJECT ANALYSIS

DEVELOPMENT PLAN REVIEW

Site Plan

The net area of the site is 5.33 acres consisting of two lots that will be combined into one lot for a 44,679 square foot addition to the existing 36,938 square foot building for a total of 81,617 square feet. The primary building entrance is located on the existing west side, approximately 100 feet from the western property line, two additional entrances are located on the south elevation to access the existing store and the addition of an outlet to the east. The majority of customer parking is on the south and east side of the building. There is a shared parking agreement between this site and Main Event to the south east. Thirty-four parking spaces are needed for furniture retailing; however the site was previously entitled to allow the site to be parked as general retail to allow flexibility in tenant mix which would require more parking. A 60' no build easement is recorded on the south side of the building. The loading dock and solid waste enclosures are being relocated with this addition and are located on the east end building. The building height may create shade for customers parking east of the building in late afternoon.

Building Elevations

The building height allowed within the RCC district, is 75 feet with an additional 25 feet in the Southwest Overlay District. The proposed building is one story and has a 33 foot height with mezzanine space. The tallest point of the building is a canopy tower at 56 feet on the west elevation at the center of the building's façade. The color scheme and materials are designed to blend with what was approved from Main Event building to the south and the retail buildings to the north. Building colors range from a dark brown to a beige in color. The building elevations are a combination of three exposed aggregate concrete masonry units with integral color, four shades of exterior insulation stucco finishing system, aluminum storefront, stone wrapped projections and painted metal canopies and decorative fins. The colors pick up the neutral tones of nearby existing buildings, with darker and brighter tones as accents. The west elevation of the building has a tower at each end and a canopy tower in the center where the main door is located, the secondary entrances are raised in height with a capped top forming a framed sign band, signs will be reviewed through a separate process and are shown for context only.

Landscape

The site design incorporates required Emerald Center landscape features at the street front including turf, olive and gum trees. The remainder of the site provides required trees in landscape islands and accent vegetation at the base of the building perimeter. The combination of trees, shrubs and ground cover provide variation in height, texture and color and have a Mediterranean look with olives, palms, mountain laurels, rosemary, red yucca, desert spoon, natal plum, lantana and bougainvillea.

Section 6-306 D Approval criteria for Development Plan Review (*in italics*):

1. *Placement, form, and articulation of buildings and structures provide variety in the streetscape*; The Ashley Furniture store building is located north of the Main Event building and aligns with the building setback of the multi-tenant building to the north. The existing building will remain the primary street front structure with the addition being added to the east, visible from the south parking field of Main Event. The building elevations have variation in massing and match the existing building.
2. *Building design and orientation, together with landscape, combine to mitigate heat gain/retention while providing shade for energy conservation and human comfort*; The entrances provide slotted metal shade canopies over entrances and trees will provide shade for the pedestrian access from the parking lot.
3. *Materials are of a superior quality, providing detail appropriate with their location and function while complementing the surroundings*; materials and colors and material for this project were chosen to blend in with the design and colors of the surrounding buildings. Neutral colors will be used for the building's façade and metal awnings are compatible to existing conditions on adjacent developments.
4. *Buildings, structures, and landscape elements are appropriately scaled, relative to the site and surroundings*; the building addition ranges from 25 to 36 feet high, the tallest portion of the building is the existing tower along the street front which is 56 feet tall. The building is appropriately scaled relative to the surrounding Emerald Center structures and setbacks. The landscape conforms to the requirements of the Emerald Center street front palette, and integrates other plants found in surrounding landscape context.
5. *Large building masses are sufficiently articulated so as to relieve monotony and create a sense of movement, resulting in a well-defined base and top, featuring an enhanced pedestrian experience at and near street level*; the building uses light and dark neutral colors to break up the massing of the building, natural stone at the base provides texture at the pedestrian level, blocks of windows create a pattern along the façade on all sides of the building. The metal trellis canopies cast shadows on the building plane that change as the sun passes overhead, changing the character of the building throughout the day.
6. *Building facades provide architectural detail and interest overall with visibility at street level (in particular, special treatment of windows, entries and walkways with particular attention to proportionality, scale, materials, rhythm, etc.) while responding to varying climatic and contextual conditions*; The building has metal canopy towers on the west and east elevations bookmarking the narrow ends of the building. Two raised parapet sections on the south building elevation signify the secondary entrances to the building to enhance visibility and provide a breakup of the longer elevation roofline. Rhythm is created through change of materials, colors and projections in the façade.
7. *Plans take into account pleasant and convenient access to multi-modal transportation options and support the potential for transit patronage*; the building breaks up a large area of parking, and provides pedestrian access from the both the parking area and the street front, where bus transit is available. Bike parking will be provided near the building entrance. The site plan is more pedestrian friendly with proximity to parking and availability of shade, compared to other developments in the area, which require long distances to walk from unshaded parking or walkways to the businesses
8. *Vehicular circulation is designed to minimize conflicts with pedestrian access and circulation, and with surrounding residential uses*; the site uses existing driveways and is designed to minimize vehicle/pedestrian conflicts. Fire and refuse have reviewed the plans to assure access for services, which also double for delivery and trucks visiting the site for access to the east end of the building.
9. *Plans appropriately integrate Crime Prevention Through Environmental Design principles such as territoriality, natural surveillance, access control, activity support, and maintenance*; the plans provide activity support on all four sides of the building, providing parking and circulation on all sides. The elevations have windows facing all four directions.

10. *Landscape accents and provides delineation from parking, buildings, driveways and pathways*; the landscape ties in street front requirements with surrounding vegetation, with plant massing to draw attention to entry points to the building and plants along the base to soften the building edge. Plants proposed are appropriate for the area and will enhance the area.
11. *Lighting is compatible with the proposed building(s) and adjoining buildings and uses, and does not create negative effects*. Lighting design solutions and photometrics were provided and coordinated with landscape to prevent conflict. Adding lighting to this area will provide greater safety to existing businesses

Conclusion

Based on the information provided and the above analysis, staff recommends approval of the requested Development Plan Review. This request meets the required criteria and will conform to the conditions.

REASONS FOR APPROVAL:

1. The project meets the General Plan Projected Land Use for this site.
2. The project will meet the development standards required under the Zoning and Development Code and Southwest Overlay District.
3. The proposed project meets the approval criteria for a Development Plan Review.

CONDITIONS OF APPROVAL:

EACH NUMBERED ITEM IS A CONDITION OF APPROVAL. THE DECISION-MAKING BODY MAY MODIFY, DELETE OR ADD TO THESE CONDITIONS.

Site Plan

1. At the time a temporary construction fence is added to the site, a future development sign banner shall be attached to the fence and provide information for the new development, in conformance with the Zoning and Development Code, Section 4-903, Sign Type J. The sign banner shall include: project name/information and future tenant (if known). Images of the project may be included on the banner. A sign permit is required. The building permit plans shall include a note on the plans to provide this future development sign banner on site as long as the construction fencing remains.
2. Provide service yard and mechanical yard walls that are at least 8'-0" tall as measured from adjacent grade and are at least the height of the equipment being enclosed, whichever is greater. Verify height of equipment and mounting base to ensure that wall height is adequate to fully screen the equipment. Locate electrical service entrance sections inside the service yard.
3. Provide gates of steel vertical picket, steel mesh, steel panel or similar construction. Where a gate has a screen function and is completely opaque, provide vision portals for visual surveillance. Provide gates of height that match that of the adjacent enclosure walls. Review gate hardware with Building Safety and Fire staff and design gate to resolve lock and emergency ingress/egress features that may be required.
4. Utility equipment boxes for this development shall be finished in a neutral color (subject to utility provider approval) that compliments the coloring of the buildings.
5. Place exterior, freestanding reduced pressure and double check backflow assemblies in pre-manufactured, pre-finished, lockable cages (one assembly per cage). If backflow prevention or similar device is for a 3" or greater water line, delete cage and provide a masonry or concrete screen wall following the requirements of Standard Detail T-214.

Building Elevations

6. The materials and colors are approved as presented:

MATERIAL KEY / COLOR KEY

<u>MATERIAL</u>	<u>DESCRIPTION</u>
[EIFS]	EXTERIOR INSULATED FINISH SYSTEM
[LS]	LUEDER'S LIMESTONE OR EQUAL TYPE: SAWN COURSE HEIGHT @ 8", 10", 12", 16" RANDOM CHOPPED LENGTH (16"-30") COLOR: BUFF 100% ROUGHBACK
[MC]	ROLLFAB PRO FINISH 500 METAL CAP COLOR: PRE-FINISHED SILVER METALLIC
[SC]	STEEL CANOPY: FRAME: 12"x2" TUBE STEEL COLOR: PAINT TO MATCH PRE-FINISHED SILVER METALLIC METAL CAP
<u>COLOR</u>	<u>MANUF. - SHERWIN WILLIAMS COLOR NAME & NUMBER:</u>
①	GRIFFIN - SW7026
②	REQUISITE GREY - SW7023
③	AESTHETIC WHITE - SW7035
⑤	BLACK FOX - SW7020
⑥	WHOLE WHEAT - SW6121
<u>COLOR</u>	<u>MANUF. - BENJAMIN MOORE COLOR NAME & NUMBER:</u>
④	TERRA MAUVE - 105

STOREFRONT / GLAZING KEY

<u>MATERIAL</u>	<u>COLOR</u>
FRAMES [F1]	CLEAR ANODIZED ALUMINUM
GLAZING [GL]	1" INSULATED CLEAR REFLECTIVE
<u>INSULATED GLAZING SYSTEM SPECIFICATION</u>	
OLDCASTLE - 1" INSULATED GLAZING SYSTEM	
U-FACTOR: 0.29	
SOLAR HEAT GAIN COEFFICIENT (SHGC) : 0.23	
OUTBOARD: 1/4" PPG SOLARBAN 100VT CLEAR (SRF #2)	
AIRSPACE: 1/2" (AIR FILL)	
INBOARD: 1/4" CLEAR	

1. 'S' AT WINDOW LOCATIONS INDICATES SPANDREL PANELS.
2. SEE WINDOW TYPES FOR LOCATIONS OF TEMPERED GLASS.
3. 'TT' AT WINDOW LOCATIONS INDICATES TRANSLUCENT PANELS.

Provide main colors and materials with a light reflectance value of 75 percent or less. Specific colors and materials exhibited on the materials sample board are approved by planning staff. Additions or modifications may be submitted for review during building plan check process.

7. Provide secure roof access from the interior of the building. Do not expose roof access to public view.
8. Conceal roof drainage system within the interior of the building.
9. Incorporate lighting, address signs, and incidental equipment attachments (alarm klaxons, security cameras, etc.) where exposed into the design of the building elevations. Exposed conduit, piping, or related materials is not permitted.

Lighting

10. This project shall follow requirements of ZDC Part 4, Chapter 8, Lighting, unless otherwise conditioned.
11. Illuminate building entrances from dusk to dawn to assist with visual surveillance at these locations.

Landscape

12. The plant palette is approved as proposed and specified on the landscape plan. Any additions or modifications may be submitted for review during building plan check process.
13. Irrigation notes:
 - a. Provide dedicated landscape water meter.
 - b. Provide pipe distribution system of buried rigid (polyvinylchloride), not flexible (polyethylene). Use of schedule 40 PVC mainline and class 315 PVC 1/2" feeder line is acceptable. Class 200 PVC feeder line may be used for sizes greater than 1/2". Provide details of water distribution system.
 - c. Locate valve controller in a vandal resistant housing.
 - d. Hardwire power source to controller (a receptacle connection is not allowed).
 - e. Controller valve wire conduit may be exposed if the controller remains in the mechanical yard.

- f. Provide temporary irrigation for the turf area. Dismantle this irrigation system when germination of hydro-seed is seen.
 - g. Repair existing irrigation system on site or on the adjacent street frontage where damaged by work of this project. Provide temporary irrigation to existing landscape for period of time that irrigation system is out of repair. Design irrigation so is irrigated as part of the reconfigured system at the conclusion of this construction.
14. Include requirement to de-compact soil in planting areas on site and in public right of way and remove construction debris from planting areas prior to landscape installation.
 15. Top dress planting areas with a rock or decomposed granite application. Provide rock or decomposed granite of 2" uniform thickness. Provide pre-emergence weed control application and do not underlay rock or decomposed granite application with plastic.
 16. Trees shall be planted a minimum of 12'-0" from any existing or proposed public water or sewer lines located on-site. Trees near the main water or sewer lines located within the right of way shall be planted at least 20'-0" away. Final approval subject to determination by the Public Works, Water Utilities Division.
 17. The tree planting separation requirements may be reduced from the waterline upon the installation of a linear root barrier, a minimum of 6'-0" parallel from the waterline, or around the tree. The root barrier shall be a continuous material, a minimum of 0.08" thick, installed 0'-2" above finish grade to a depth of 8'-0" below grade. Final approval subject to determination by the Public Works, Water Utilities Division.

Signage

18. Provide address sign(s) on the building elevation facing the street to which the property is identified.
 - a. Conform to the following for building address signs:
 - 1) Provide street number only, not the street name
 - 2) Compose of 12" high individual mount, metal reverse pan channel characters.
 - 3) Self-illuminated or dedicated light source.
 - 4) Coordinate address signs with trees, vines, or other landscaping, to avoid any potential visual obstruction.
 - 5) Do not affix number or letter to elevation that might be mistaken for the address.
 - b. Utility meters shall utilize a minimum 1" number height in accordance with the applicable electrical code and utility company standards.

CODE/ORDINANCE REQUIREMENTS:

THE BULLETED ITEMS REFER TO EXISTING CODE OR ORDINANCES THAT PLANNING STAFF OBSERVES ARE PERTINENT TO THIS CASE. THE BULLET ITEMS ARE INCLUDED TO ALERT THE DESIGN TEAM AND ASSIST IN OBTAINING A BUILDING PERMIT AND ARE NOT AN EXHAUSTIVE LIST.

SITE PLAN REVIEW: Verify all comments by all departments on each Preliminary Site Plan Review. If questions arise related to specific comments, they should be directed to the appropriate department, and any necessary modifications coordinated with all concerned parties, prior to application for building permit. Construction Documents submitted to the Building Safety Division will be reviewed by planning staff to ensure consistency with this Design Review approval prior to issuance of building permits.

DEADLINE: Development plan approval shall be void if the development is not commenced or if an application for a building permit has not been submitted, whichever is applicable, within twelve (12) months after the approval is granted or within the time stipulated by the decision-making body. A complete building permit application shall be made on or before two (2) years from the date of city council approval or within a time stipulated as a condition of approval, when development plan review application is processed concurrently with a PAD Overlay District. The period of approval is extended upon the time review limitations set forth for building permit applications, pursuant to Tempe Building Safety Administrative Code, Section 8-104.15. An expiration of the building permit application will result in expiration of the development plan.

STANDARD DETAILS:

- Access to Tempe Supplement to the M.A.G. Uniform Standard Details and Specifications for Public Works Construction, at this link: <https://www.tempe.gov/government/engineering-and-transportation/engineering/standards-details> or purchase book from the Public Works Engineering Division.
- Access to refuse enclosure details DS116 and DS118 and all other Development Services forms at this link: <https://www.tempe.gov/government/community-development/building-safety/applications-forms>. The enclosure details are under Civil Engineering & Right of Way.

BASIS OF BUILDING HEIGHT: Measure height of buildings from top of curb at a point adjacent to the center of the front property line.

MECHANICAL SCREENING: All roof mounted mechanical equipment shall be concealed on all sides by elements that are an integral part of the building design and are equal to or greater in height than the mechanical equipment. Ground-mounted equipment may be screened using a masonry wall or other durable material as approved through development plan review.

COMMUNICATIONS:

- Provide emergency radio amplification for the combined building and garage area in excess of 50,000 sf. Amplification will allow Police and Fire personnel to communicate in the buildings during a catastrophe. Refer to this link: <http://www.tempe.gov/home/showdocument?id=30871>. Contact the Information Technology Division to discuss size and materials of the buildings and to verify radio amplification requirements.
- For building height in excess of 50'-0", design top of building and parapet to allow cellular communications providers to incorporate antenna within the building architecture so future installations may be concealed with little or no building elevation modification.

PUBLIC ART: Provide public art for this development in conformance with the Art in Private Development Ordinance and ZDC Sec. 4-407 and ZDC Appendix D. Contact the Community Services Cultural Services Division regarding implementation of this requirement prior to receiving building permits.

WATER CONSERVATION AND EFFICIENCY: As required in [Tempe City Code 33-140 - 142](#), all new non-residential development projects are required to submit a Water Conservation Report that details potential water use, for review and approval by the Municipal Utilities Department, prior to building permit issuance. For a report template and more information, visit the [commercial water conservation webpage](#).

HISTORIC PRESERVATION: State and federal laws apply to the discovery of features or artifacts during site excavation (typically, the discovery of ancestral (human) remains or associated funerary objects). Arizona Revised Statutes [§ 41-865](#) stipulates that "any landowner with intention to disturb human remains or having unintentionally disturbed human remains shall immediately cease any activity in the vicinity of the remains and shall notify the Arizona State Museum Repatriation Office of the encounter. Any human remains and funerary objects shall not be further disturbed without obtaining written permission from the Repatriation Office." Additional information about requirements related to encountering and disturbing ancestral (human) remains and funerary objects on private land can be found on the Arizona State Museum [website](#). While not required, applicants are encouraged to enlist the services of a qualified archaeological firm to conduct monitoring during ground-disturbing activity on private property that is Archaeologically Sensitive (AS). Contact the Historic Preservation Officer with general questions.

POLICE DEPARTMENT SECURITY REQUIREMENTS:

- Design building entrance(s) to maximize visual surveillance of vicinity. Limit height of walls or landscape materials, and design columns or corners to discourage ambush.
- Maintain distances of 20'-0" or greater between a pedestrian path of travel and any hidden area to allow for increased reaction time and safety.
- Follow the design guidelines listed under appendix A of the Zoning and Development Code. In particular, reference the CPTED principal listed under A-II Building Design Guidelines (C) as it relates to the location of pedestrian environments and places of concealment.

- Provide a security vision panel at service and exit doors (except to rarely accessed equipment rooms) with a 3" wide, high strength plastic or laminated glass window, located between 43" and 66" from the bottom edge of the door.

TRAFFIC ENGINEERING: Correctly indicate clear vision triangles at driveways on the site and landscape plans. Identify speed limits for adjacent streets at the site frontages. Begin sight triangle in driveways at point 15'-0" from face of curb. Consult Intersection Sight Distance memo, available from Traffic Engineering if needed <https://www.tempe.gov/home/showpublisheddocument/6815/635323967996830000>. Do not locate site furnishings, screen walls or other visual obstructions over 2'-0" tall (except canopy trees are allowed) within each clear vision triangle.

FIRE: Clearly define the fire lanes. Ensure that there is at least a 20'-0" horizontal width, and a 14'-0" vertical clearance from the fire lane surface to the underside of tree canopies or overhead structures. Layout and details of fire lanes are subject to Fire Department approval.

CIVIL ENGINEERING:

- An Encroachment Permit or License Agreement must be obtained from the City for any projections into the right of way or crossing of a public utility easement, prior to submittal of construction documents for building permit.
- Maintain a minimum clear distance of twenty-four (24) feet between the sidewalk level and any overhead structure.
- All existing overhead utilities on or adjacent to site must be placed underground, including street crossings, per City of Tempe Code, Section 25-120 thru 25-126 & Ord # 88.85 except for transmission lines (greater than 12.5 kv).
- Coordinate site layout with utility provider(s) to provide adequate access easement(s).
- Clearly indicate property lines, the dimensional relation of the buildings to the property lines and the separation of the buildings from each other.
- Verify location of any easements, or property restrictions, to ensure no conflict exists with the site layout or foundation design.
- 100-year onsite retention required for this property, coordinate design with requirements of the Engineering Department.

SOLID WASTE SERVICES:

- Enclosure indicated on site plan is exclusively for refuse. Construct walls, pad and bollards in conformance with standard detail DS-116.
- Develop strategy for recycling collection and pick-up from site. Roll-outs may be allowed for recycled materials. Coordinate storage area for recycling containers with overall site and landscape layout.
- Gates for refuse enclosure(s) are not required, unless visible from the street. If gates are provided, the property manager must arrange for gates to be open from 6:00 am to 4:30 pm on collection days.

PARKING SPACES:

- Verify conformance of accessible vehicle parking to the Americans with Disabilities Act and the Code of Federal Regulations Implementing the Act. Refer to Building Safety ADA Accessible Parking Spaces Marking/Signage on Private Development details.
- At parking areas, provide demarcated accessible aisle for disabled parking.
- Distribute bike parking areas nearest to main entrance(s). Provide parking loop/rack per standard detail T-578. Provide 15" by 6'-0" individual bicycle parking spaces. One loop may be used to separate two bike parking spaces. Provide clearance between bike spaces and adjacent walkway to allow bike maneuvering in and out of space without interfering with pedestrians, landscape materials or vehicles nearby.

ZONING AND DEVELOPMENT CODE: Specific requirements of the **Zoning and Development Code (ZDC)** are not listed as a condition of approval but will apply to any application. To avoid unnecessary review time and reduce the potential for multiple plan check submittals, become familiar with the ZDC. Access the ZDC through www.tempe.gov/zoning or purchase from Community Development.

LIGHTING:

- Plans shall include the nearest adjacent street lights to the development. Street lights shall conform to the City of Tempe Public Works Standard Details and the Engineering Design Criteria Manual contained in the Comprehensive Transportation Plan
- Design site security lighting in accordance with requirements of ZDC Part 4 Chapter 8 (Lighting) and ZDC Appendix E (Photometric Plan).
- Indicate the location of all exterior light fixtures on the site, landscape and photometric plans. Avoid conflicts between lights and trees or other site features in order to maintain illumination levels for exterior lighting.

LANDSCAPE:

- Trees shall be planted a minimum of 16'-0" from any existing or proposed public utility lines. Tree planting separation requirements may be reduced to no less than 8'-0" from utility lines upon the installation of a linear root barrier. Per Detail T-460, the root barrier shall be a continuous material, a minimum of 0.08" thick, installed to a minimum depth of 4'-0" below grade. The root barrier shall extend 6'-0" on either side of the tree parallel to the utility line for a minimum length of 12'-0". Final approval is subject to determination by the Public Works, Water Utilities Division.
- Prepare an existing plant inventory for the site and adjacent street frontages. The inventory may be prepared by the Landscape Architect or a plant salvage specialist. Note original locations and species of native and "protected" trees and other plants on site. Move, preserve in place, or demolish native or "protected" trees and plants per State of Arizona Agricultural Department standards. File Notice of Intent to Clear Land with the Agricultural Department. Notice of Intent to Clear Land form is available at <https://agriculture.az.gov/plantsproduce/native-plants>. Follow the link to "applications to move a native plant" to "notice of intent to clear land".

SIGNS: Separate plan review process is required for signs in accordance with requirements of ZDC Part 4 Chapter 9 (Signs). Refer to www.tempe.gov/signs.

DUST CONTROL: Any operation capable of generating dust, include, but not limited to, land clearing, earth moving, excavating, construction, demolition and other similar operations, that disturbs 0.10 acres (4,356 square feet) or more shall require a dust control permit from the Maricopa County Air Quality Department (MCAQD). Contact MCAQD at <http://www.maricopa.gov/aq/>.

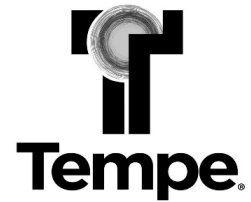
HISTORY & FACTS:

November 30, 1978	City Council approved the rezoning from AG, Agricultural Zoning District to the I-1 Light Industrial and I-2 General Industrial Zoning Districts on 154.3 acres.
July 17, 2003	City Council approved a Development Agreement with Tait Development Inc. for Emerald Center.
September 11, 2003	City Council approved a General Plan Land Use Map Amendment and Zoning Map Amendment, a Preliminary Planned area Development and three variances for Lots 1, 4 and 5. Lot 2 was excluded from this PAD.
October 5, 2005	The Design Review Board approved the building elevations, site plan and landscape plan for EMERALD DESIGN CENTER-PHASES II & III located at 8475 South Emerald Drive, located on Lot 2. This site design expired on June 2, 2007.
October 20, 2005	City Council approved a General Plan 2030 Land Use Map Amendment from Industrial to Commercial and a Zoning Map Amendment from GID General Industrial District to RCC Regional Commercial Center for 23.7 acres on Lot 2 of Emerald Center. This request did not include a PAD overlay for the site plan.
July 20, 2006	City Council approved a subdivision plat for Emerald Phase II and III located on the east side of Emerald Drive, south of Ruby and north of Commerce drives, creating Lots 1 and 2 from Lot 2.

December 1, 2006	A covenant and agreement regarding maintenance of yards for an adjacent oversized building was recorded on the north side of the new Lot 1.
June 8, 2010	Development Review Commission approved request for Development Plan Review for a site plan for Furniture Row on the new Lot 1.
June 24, 2010	City Council approved a Subdivision Plat of Lot 2 into two new lots, Lot 1 5.328 acres and Lot 2 6.390 acres located at 8515 S Emerald Drive in the RCC Zoning District. This took the bottom half of the original Lot 2, and subdivided that into 2 new lots.
July 22, 2010	Emerald Phase III LLC sold Lot 1 to Furniture Row.
May 9, 2011	Staff granted an extension for the site plan approved until May 10, 2013, at which time, the plan would expire.
August 14, 2012	Development Review Commission approved a request for Development Plan Review for a site plan for Main Event on the south quarter of the site, this site plan was designed around the Furniture Row site layout and included cross access and shared parking agreements.
December 27, 2012	Emerald Holding LLC sold Lot 2 to Main Event.
September 9, 2014	Development Review Commission approved a request for a Development Plan Review consisting of a new furniture store for ASHLEY FURNITURE HOMESTORE, located at 8515 S. Emerald Drive. PL PL140130
March 10, 2017	Community Development Planning Division administratively approved a building modification reducing building footprint and changing building color palette. PL170019.
October 24, 2023	Development Review Commission is scheduled to hear a request for a Development Plan Review for an addition to the existing furniture store for ASHLEY FURNITURE ADDITION.

ZONING AND DEVELOPMENT CODE REFERENCE:

Section 6-306, Development Plan Review



DEVELOPMENT PROJECT FILE

for

ASHLEY FURNITURE ADDITION (PL230212)

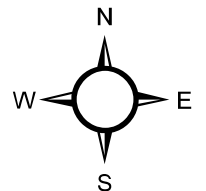
ATTACHMENTS:

- 1-17. Site Context (Location Map, Aerial and Aerial with Site Plan Overlay, Site Photos)
- 18-19. Applicant's Letter of Explanation
- 20-23. Site Design (Site Plan, Landscape Plan of east expansion area, Overall Landscape Plan, Utility and Lighting Plan with plant overlay)
- 24-31. Building Design (Blackline/Color Elevations, Rendering, Sections, Material Samples, Floor Plans)

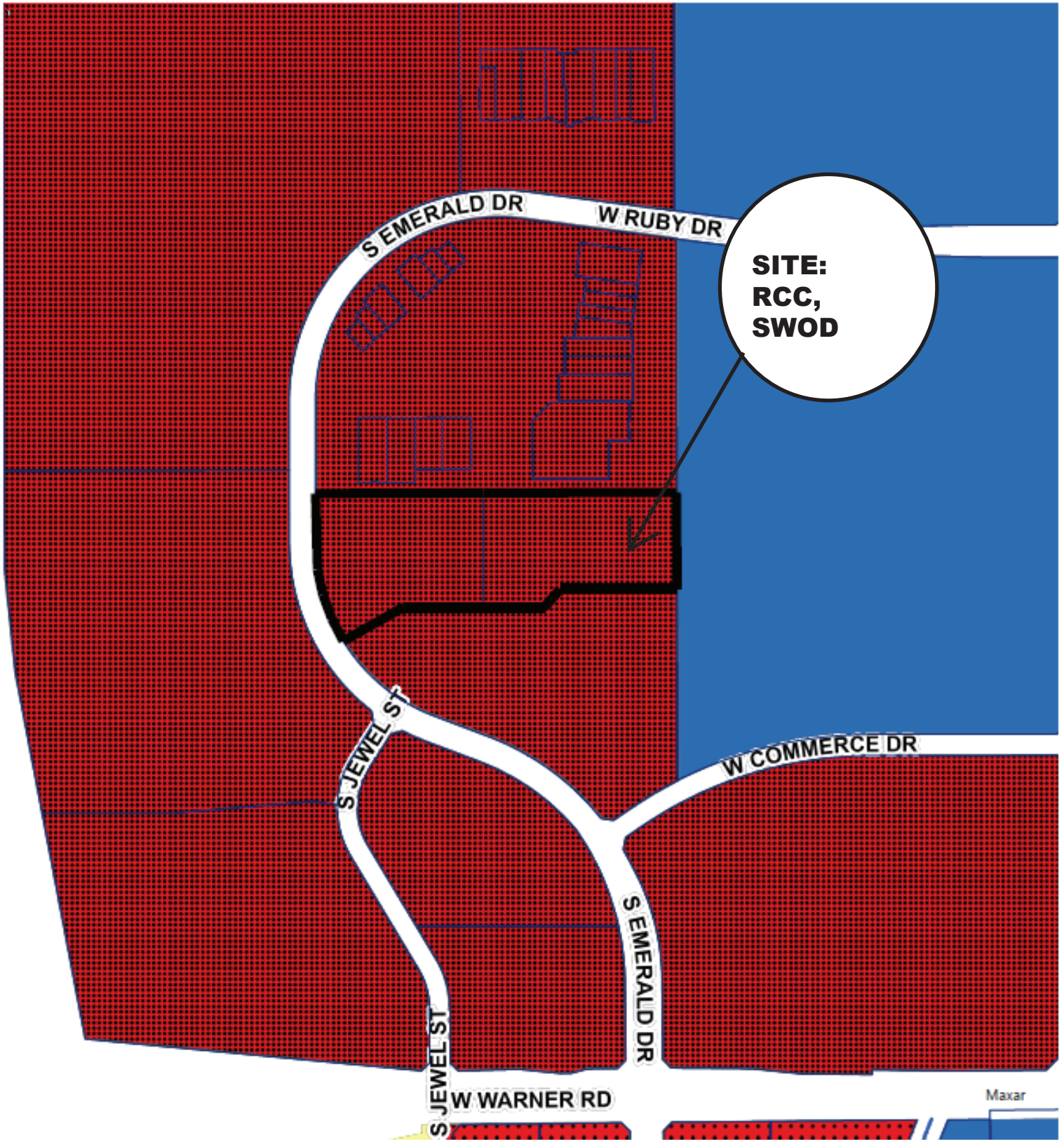
Ashley Furniture



Aerial Map



Ashley Furniture



- General Industrial District (GID)
- Planned Commercial Center Neighborhood (PCC-1)
- Regional Commercial Center (RCC)
- Agricultural (AG)
- Override 1

- Twelve Point CenterlineSubType**
- ADOT
 - Canal
 - Monument
 - Private

- Railroad
 - Street
 - <all other values>
- Zoning District**
- Light Industrial District (LID)
 - General Industrial District (GID)
 - Heavy Industrial District (HID)

ATTACHMENT 2





**ASHLEY
FURNITURE
HOMESTORE
ADDITION**

8515
S. EMERALD DR.
TEMPE
ARIZONA 85284

DATE	
PRE-APP SUBMITTAL	10-14-2022
CCR SUBMITTAL	01-23-2023
2nd PRE-APP SUBMITTAL	04-10-2023
FLOOR PLAN UPDATE	04-25-2023
ELEVATION UPDATE	04-25-2023
SITE/ELEVATION UPDATE	05-18-2023
1st DR SUBMITTAL	06-20-2023
2nd DR SUBMITTAL	09-11-2023

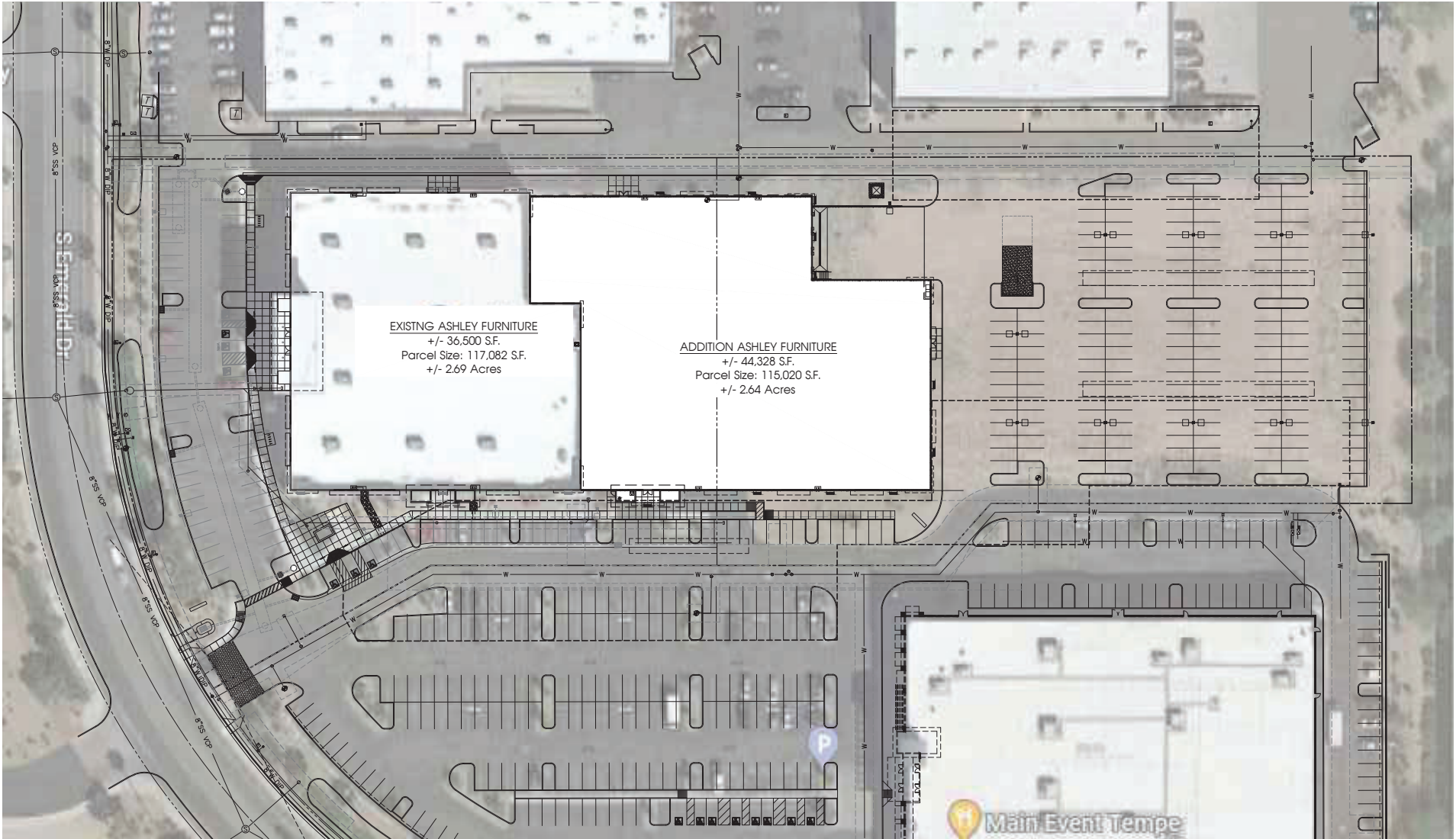
DRAWN BY: JD

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All discrepancies found in these documents or conflicts between these documents and field conditions shall be resolved by Cawley Architects Inc. for resolution before the commencement of the work.

CONTEXTUAL AERIAL MAP
W/ SITE PLAN OVERLAY

Project: 22057
CP1.1

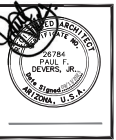


EXISTING ASHLEY FURNITURE
+/- 36,500 S.F.
Parcel Size: 117,082 S.F.
+/- 2.69 Acres

ADDITION ASHLEY FURNITURE
+/- 44,328 S.F.
Parcel Size: 115,020 S.F.
+/- 2.64 Acres

CONTEXTUAL AERIAL MAP W/ SITE PLAN OVERLAY





**ASHLEY
FURNITURE
HOMESTORE
ADDITION**

8515
S. EMERALD DR.
TEMPE
ARIZONA 85284

DATE
PRE-APP SUBMITTAL 10-14-2022
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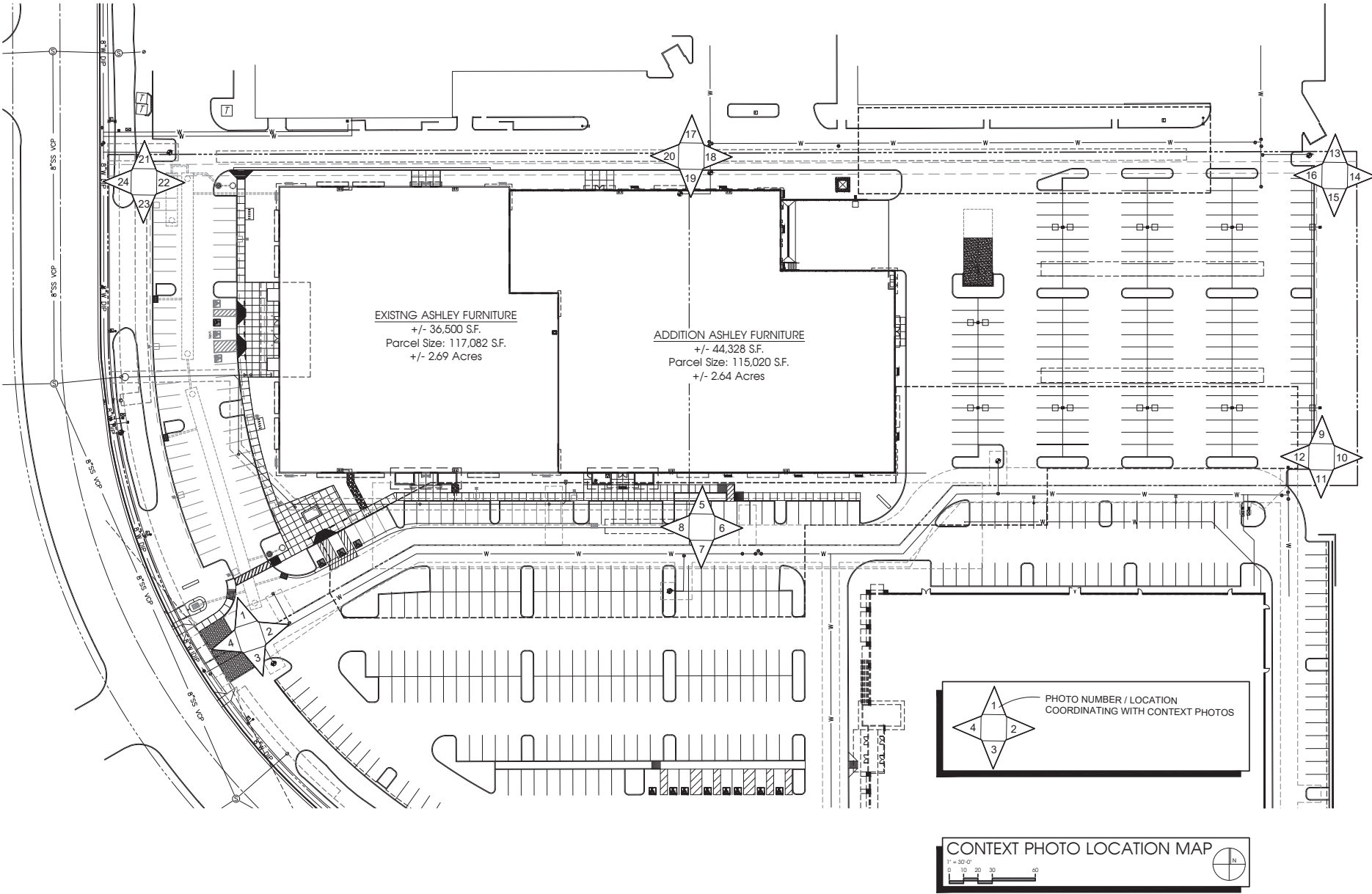
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CONTEXT PHOTO LOCATION MAP

Project: 22057
CP1.2



CONTEXT PHOTOS

ASHLEY FURNITURE HOMESTORE ADDITION

8515 S. Emerald Dr.
Tempe, Arizona
85284



1



2



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4



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6



7



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23



24

To: City of Tempe

From: Jeff Ducay
Cawley Architects, Inc

Subject: Major Development Plan Review
Application
Ashley Furniture Addition - SPR22140
8516 W. Emerald Dr.

Date: July 26, 2023

NARRATIVE

Ashley Furniture and Cawley Architects are requesting for a Major Development Plan Review of an addition to the existing Ashley Furniture store located at 8515 S. Emerald Dr. The existing building is 36,473 SF and the proposed addition is 44,328 SF. for a combined 80,801 SF.

Zoning, Use, and Conformance:

This site is zoned Regional Commercial Center (RCC-SWOD). There are no zoning or use change for the proposed addition and is conforming to the City of Tempe Zoning and Development Code guidance and requirements. The site and building will also conform to the Emerald Center Covenants, Conditions & Restrictions guidelines.

Site, Access, and Parking

The site consist of two parcels; 301-54-967 (west parcel) and 301-54-968 (east parcel) with a total of 232,102 SF. The addition will reside on the east parcel. The two properties are owned by Ashley Furniture and a lot combination will be executed.

Existing site vehicular access located along S. Emerald Dr. will be utilized. Existing pedestrian building access remain the same circulating from S. Emerald Dr. to the building entrance located west of the building. This is the only entry to the building. All other building exterior doors are for exit only.

The truck well is located on the northeast corner of the building and the double trash enclosure is located east of the truck well. An adequate truck maneuvering area is strategically provided to help with truck well and trash enclosure circulation.

Existing site parking is located west through partial southwest of the property. New parking is provided partial southeast through east of the property. The existing approved parking calculation for the existing building is for Retail and the addition calculation is to follow suit. This concept provides the flexibility of leasing the building

as retail space for the future. Should the building be leased into two separate retail suites, the addition building is designed to have an entry in place. Additionally, an ADA compliant parking and sidewalk access for the addition building will be graded accordingly and provided. The parking striping will be regular parking now and can be restriped into ADA spaces for future.

Vehicle flow is sufficiently designed to minimize conflicts with consideration of the existing adjacent properties of the Emerald Center. Cross access easement agreement document is provided for reference.

Site Lighting, Landscape, and Drainage

Site lighting and landscaping design will follow the existing palette conforming to the City of Tempe and Emerald Center guidance and requirements. Site drainage is adequately designed through underground storm water retention system.

Building Design

The design of the building addition elevation will mimic the existing building elevation following the articulated facade, utilizing the same construction materials, finishes, and glazing. Along with incorporating the current color scheme palette, Ashley Furniture will introduce a color supporting the new Ashley Furniture color branding scheme. The use of materials and color scheme is strategically incorporated to create a cohesive design, scale, & overall character of the building.

The Building facade expresses contemporary architectural character keeping with the Ashley Furniture Homestore new branding as well as being in tune with the existing building and Emerald Center. Two steel framed pop-out is introduced to enhance and provide plane relief along the south building elevation to enhance the busy Emerald Drive public view. These pop-out are proportionally scaled to the building and existing West Tower building entry.

Signage

Signage is provided with the proper scale and proportion for the building. Monument and Building signage will be under separate review and approval conforming to the City of Tempe and Emerald Center guidance and requirements.

Scope of work

The addition proposed scope of work includes site improvements with associated Civil, Landscape, Site Lighting, Structural, Mechanical, Plumbing, and Electrical.

Thank you and I look forward to your comments during the review process. I appreciate your time and effort to assist us in this endeavor.

Sincerely,
Jeff Ducay
Project Manager
Cawley Architects, Inc.



ASHLEY FURNITURE HOMESTORE ADDITION

8515 S. EMERALD DR.
TEMPE ARIZONA 85284

DATE

PRE-APP SUBMITAL	10-14-2022
CCR SUBMITAL	01-23-2023
2nd PRE-APP SUBMITAL	04-10-2023
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ELEVATION UPDATE	04-25-2023
SITE/ELEVATION UPDATE	05-18-2023
1st DR SUBMITAL	06-20-2023
2nd DR SUBMITAL	09-11-2023
3rd DR SUBMITAL	09-26-2023

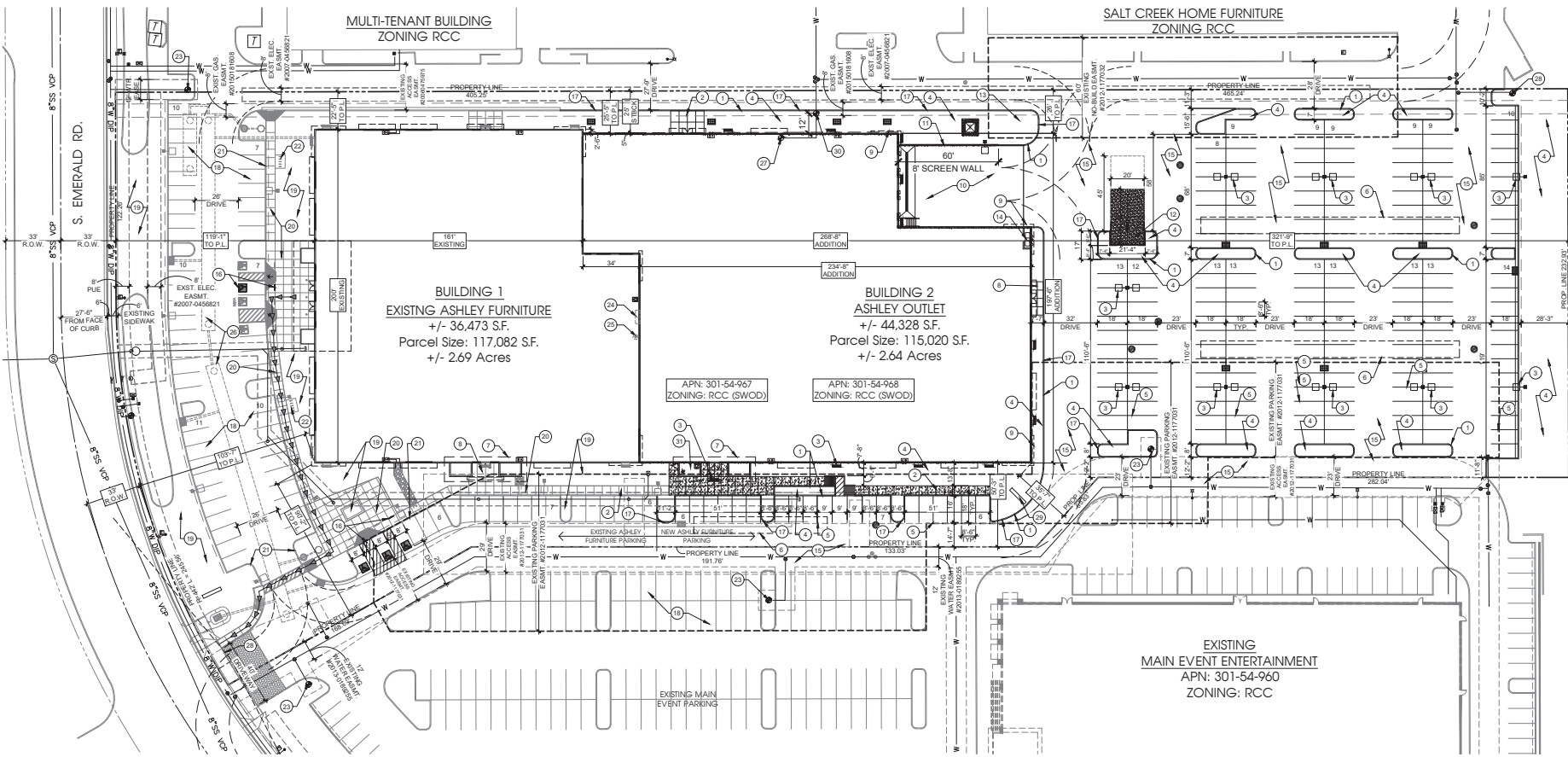
DRAWN BY: JD

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SITE PLAN

Project: 22057

A1.1



PARKING CALCULATIONS

EXISTING BUILDING AREA CALCULATIONS			
OCCUPANCY	S.F.		TOTAL
MERCANTILE	36,473 S.F.		36,473 S.F.
TOTAL	36,473 S.F.		36,473 S.F.
EXISTING REQUIRED PARKING CALCULATIONS			
OCCUPANCY	S.F.	FACTOR	TOTAL
MERCANTILE	36,473 S.F.	1/300	122
TOTAL			122
ADDITION BUILDING AREA CALCULATIONS			
OCCUPANCY	S.F.		TOTALS
MERCANTILE (INDOOR/RETAIL)	44,328 S.F.		44,328 S.F.
MERCANTILE	36,473 S.F.		44,328 S.F.
TOTAL	44,328 S.F.		44,328 S.F.
ADDITION REQUIRED PARKING CALCULATIONS			
OCCUPANCY	S.F.	FACTOR	TOTAL
MERCANTILE	44,328 S.F.	1/300	148
MERCANTILE	36,473 S.F.		148
TOTAL			148
TOTAL REQUIRED: (EXISTING + ADDITIONAL INDOOR RETAIL)			122 + 148 = 270
TOTAL SPACES ON SITE: (EXISTING + ADDITIONAL)			74 + 200 = 274
ACCESSIBLE SPACES REQUIRED:			7
ACCESSIBLE SPACES PROVIDED:			7

NOTE:
PARKING CALCULATIONS ARE FOR TOTAL INCLUDING SUIT OF THE EXISTING BUILDING PERMIT #P10050 AS RETAIL. THE TOTAL REQUIRED EXISTING + ADDITION = 270 SPACES.
PER C.O.T. ZONING CODE TABLE 4-602E FOR FURNITURE SALES, FOR RETAILERS THE TOTAL REQUIRED EXISTING + ADDITION (268.81 SF) MUST BE 100% OF 270 (270.00) (MINIMUM REMAINING).

BICYCLE PARKING CALCULATIONS		
RATIO	REQUIRED	PROVIDED
1/15,000 S.F.	16	20 EXISTING

SITE DATA

PROJECT: ASHLEY FURNITURE EXPANSION
ADDRESS: 8515 SOUTH EMERALD DRIVE TEMPE, ARIZONA 85284
CONTACT: HARRON HODGSON/HMC CONSTRUCTION 1401 E. COOLEY DR., STE. 230 COLTON, CA. 92324

SCOPE: A FURNITURE SALES / SHOWROOM ADDITION
LEGAL DESCRIPTION: LOT 1 OF EMERALD PHASE II ACCORDING TO BOOK 1058 OF MAPS, PAGE 37, RECORDS OF MARICOPA COUNTY, AZ

GEN. PLAN PROJ. USE: PROD. BENEFL. & LAND USE
ASSESSOR PARCEL NO.: 301-54-967 / 301-54-968
ZONING: RCC (SWOOD) / RCC (SWOOD)
SITE AREA: +/- 117,082 S.F. (+/- 2.69 ACRES) / 332,102 TOTAL (5.33 ACRES)

BUILDING AREA: EXISTING: 36,473 (NET) / 44,328 S.F. GROSS ADDITION: 44,328 (NET) / 81,617 S.F. GROSS TOTAL: (S.F.) 80,801

STORIES: SINGLE STORY
 35% MAXIMUM 50% PER CITY OF TEMPE RCC STANDARDS

LOT COVERAGE: FRONT=25, PARKING=20, SIDE/REAR=20, STREET=25, PARKING=20

BUILDING SETBACKS: 36,923 S.F. 50% 15% MIN PER CITY OF TEMPE RCC STANDARDS

LANDSCAPE AREA: 36,923 S.F. 50% 15% MIN PER CITY OF TEMPE RCC STANDARDS

LANDSCAPE COVERAGE: M

OCCUPANCY: M

CONSTRUCTION TYPE: I-B w/ A.F.E.S.
CLEAR HEIGHT: 21'-0" / 56'-0" TOP OF EXISTING TOWER / 38'-0" TOP OF ADDITION

BUILDING HEIGHT: 100'-0" MAX. ALLOWED PER CITY OF TEMPE RCC (SWOOD) STANDARDS

SHEET KEYNOTES

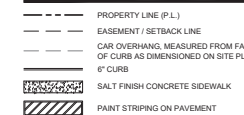
- CONCRETE CURB TYP.
- CONCRETE SIDEWALK TYP.
- SITE LIGHTING - SEE ELECTRICAL PLAN
- LANDSCAPE AREA TYP.
- PARKING PAINT STRIPING ON PAVEMENT
- UNDER GROUND STORM WATER RETENTION
- LINE DEPICTS EXTENT OF NEW EMPLOYEE ENTRY CANOPY
- LINE DEPICTS EXTENT OF BUILDING CORNER CANOPY - MATCH EXISTING BUILDING
- CONCRETE TRUCK WELL WITH TRENCH DRAIN AND ACCESS STAIR
- 6'-0" HIGH YARD SCREEN WALL - SEE EXTERIOR ELEVATIONS FOR COLOR SCHEME
- DOUBLE TRASH ENCLOSURE PER C.O.T. STANDARD DET. DS-16- RE-USE SALVAGED GATES FROM EXISTING
- TRANSFORMER ON CONCRETE PAD WITH CLEAR SPACE PER UTILITY COMPANY
- SERVICE ENTRANCE SECTION (S.E.S.)
- ASPHALT PAVING OVER ABC
- MIN. ADA PARKING SIGNAGE / STRIPING PER CITY OF TEMPE STANDARD DETAIL T-360

ART IN PRIVATE DEVELOPMENT NOTE:
 SUBJECT TO THE TEMPE MUNICIPAL ORDINANCES

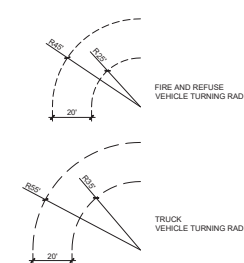
LEGEND

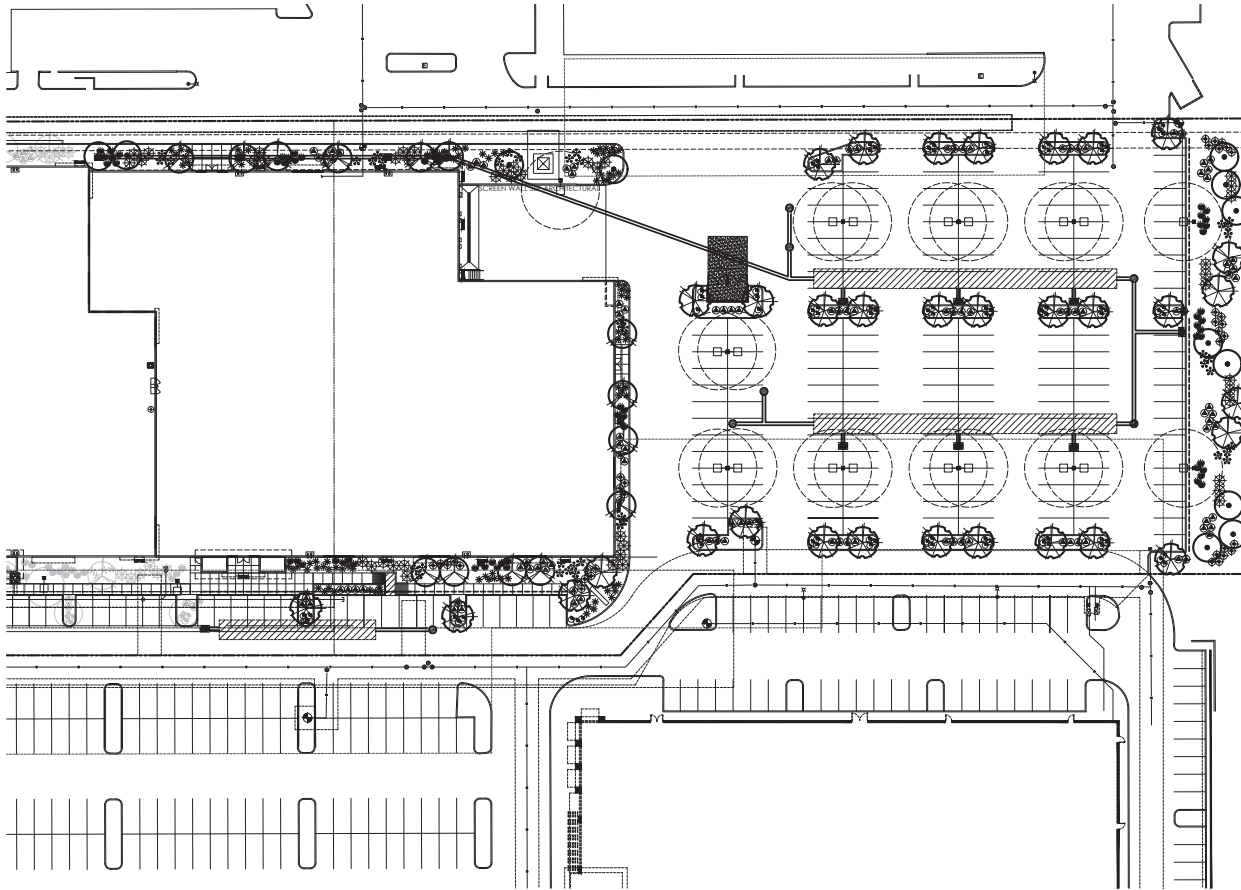
- PROPERTY LINE (P.L.)
- EASEMENT / SETBACK LINE
- CAR OVERHANG, MEASURED FROM FACE OF CURB AS DIMENSIONED ON SITE PLAN
- 6" CURB
- SALT FINISH CONCRETE SIDEWALK
- PAINT STRIPING ON PAVEMENT
- ACCESSIBLE ROUT / PATH OF TRAVEL
- FIRE AND REFUSE VEHICLE TURNING RADIUS
- TRUCK VEHICLE TURNING RADIUS

OVERALL SITE PLAN

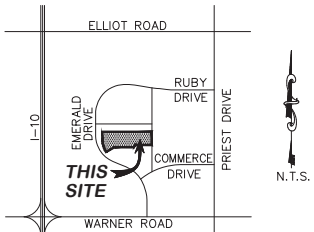


VICINITY MAP

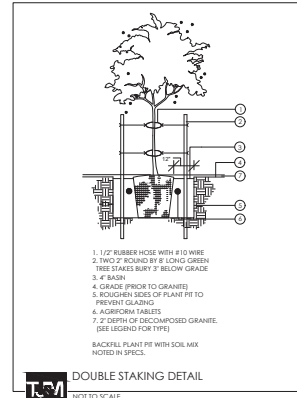




1 LANDSCAPE PLAN
1" = 30' 0"



2 LOCATION MAP
N.T.S.



- LANDSCAPE LEGEND**
- OLEA EUROPAEA 'SWAN HILL' (FRUITLESS OLIVE BUNGLE TREE) 36" BOX
 - EUCALYPTUS PARLIANA 'CHOCOT' 24" BOX
 - EUCALYPTUS POPLIANA 'CHOCOT' 24" BOX
 - SOPHORA SECUNDFLORA TEXAS MOUNTAIN LAUREL 24" BOX
 - EX MEXICAN FAN PALM (REMAIN DURING CONSTRUCTION)
 - EX TREE (TO REMAIN DURING CONSTRUCTION)
 - DASYLIRION WHEELERI 'SWEET SPOON' 5 GALLON
 - LANTANA MONTEVIDENSIS 'SOLD MOUNT' LANTANA 1 GALLON
 - LANTANA MONTEVIDENSIS 'PURPLE LANTANA' 1 GALLON
 - CARESSA GRANDIFLORA 'GREEN CARPET' NATAL PALM 5 GALLON
 - BOUGHANVILLEA SPP. 'TORCH GLOW' TORCH GLOW BOUGHANVILLEA 15 GALLON
 - ROSEMARINUS PROSTRATA 'TRAILING ROSEMARY' 5 GALLON
 - HESPERALOE PARVIFLORA RED 'YUCCA' 5 GALLON
 - EXIST MID IRON
 - TURF EXISTING TO REMAIN
 - EXIST 4" EXTRUDED CURB (CONCRETE HEADER EXISTING)
- ON SITE COLOR & SIZE TO MATCH B.O.W.
1" DEPTH TO MATCH EXISTING STREETSCAPE
2" DEPTH IN ALL LANDSCAPE AREAS

LANDSCAPE NOTES

THE ENTIRE SITE WILL BE MAINTAINED IN ACCORDANCE WITH TEMPE STANDARDS. ALL PARKING LOT FINGERS WILL RECEIVE 1-1/2" CALIPER TREE AND 5.5 GALLON SHRUBS PER SINGLE ROW OF PARKING.

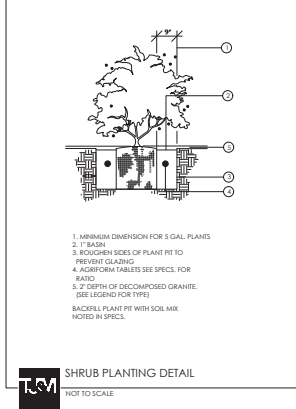
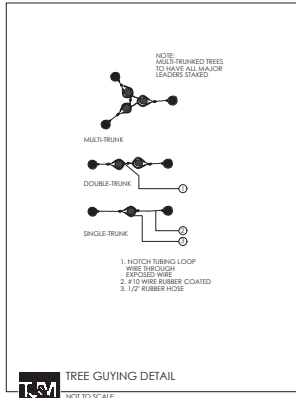
ALL PLANT MATERIAL WITH IN THE CITY OF TEMPE SIGHT DISTANCE TRIANGLES WILL BE SELECTED FROM THE TEMPE APPROVED SIGHT DISTANCE TRIANGLE LIST.

ALL LANDSCAPE AREAS WILL BE TOP-DRESSED WITH A 2" DEPTH OF DECOMPOSED GRANITE. (TO MATCH LIFETIME AND TARGET IN COLOR & SIZE)

TREES WILL BE PLACED AS TO NOT INTERFERE WITH PARKING LOT LIGHTS.

NO RIVER ROCK PERMITTED UNLESS 2/3 OF EACH STONE IS EMBEDDED IN CONCRETE

NO CLEANDER HEDGES WILL BE USED IN PARKING LOT AREAS.



DATE

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SHEET DESCRIPTION

Project: 22057
La.01

T.J. McQUEEN & ASSOCIATES, INC.
LANDSCAPE ARCHITECTURE
URBAN DESIGN
SITE PLANNING
10450 N. 74th Street, Suite 120
Scottsdale, Arizona 85258
P. (602) 265-0320
EMAIL: timmccqueen@tjma.net

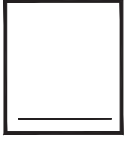




CAWLEY ARCHITECTS

730 N. 52nd St. Ste. 203
Phoenix, Arizona 85008
P 602.393.5060

CawleyArchitects.com



ASHLEY FURNITURE HOMESTORE ADDITION

8515
S. EMERALD DR.
TEMPE
ARIZONA 85284

DATE
PRE-APP SUBMITTAL 10-14-2022
CCR SUBMITTAL 01-23-2023
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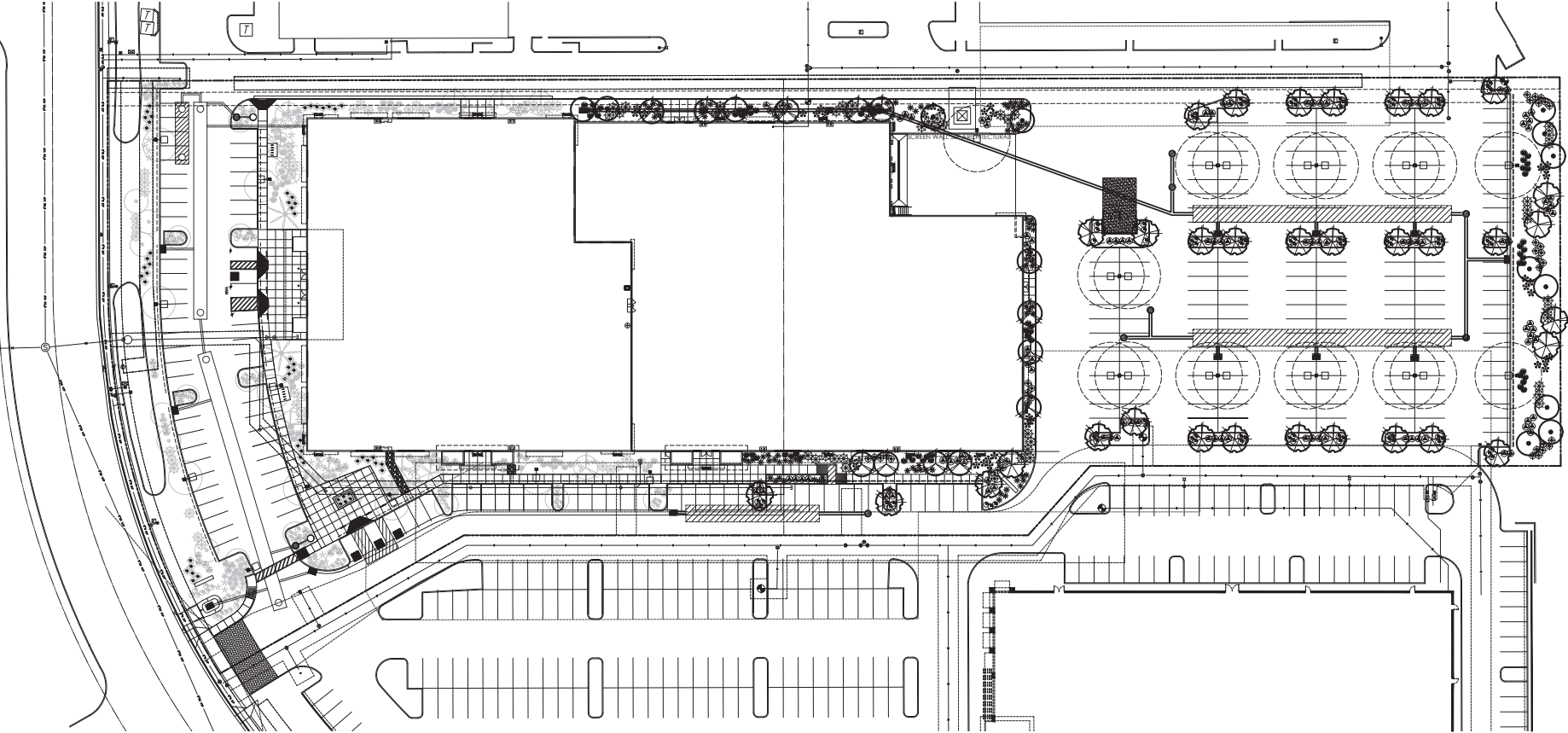
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OVERALL LANDSCAPE

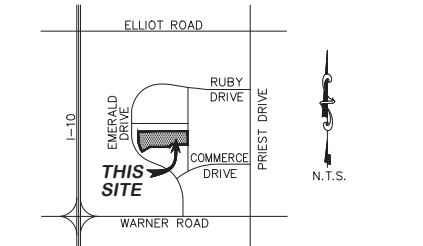
Project: 22057
La.00



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LANDSCAPE ARCHITECTURE
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10450 N. 74th Street, Suite 120
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P. (602) 265-0320
EMAIL: timmcqueen@tjma.net



1 LANDSCAPE PLAN
1" = 30'-0"



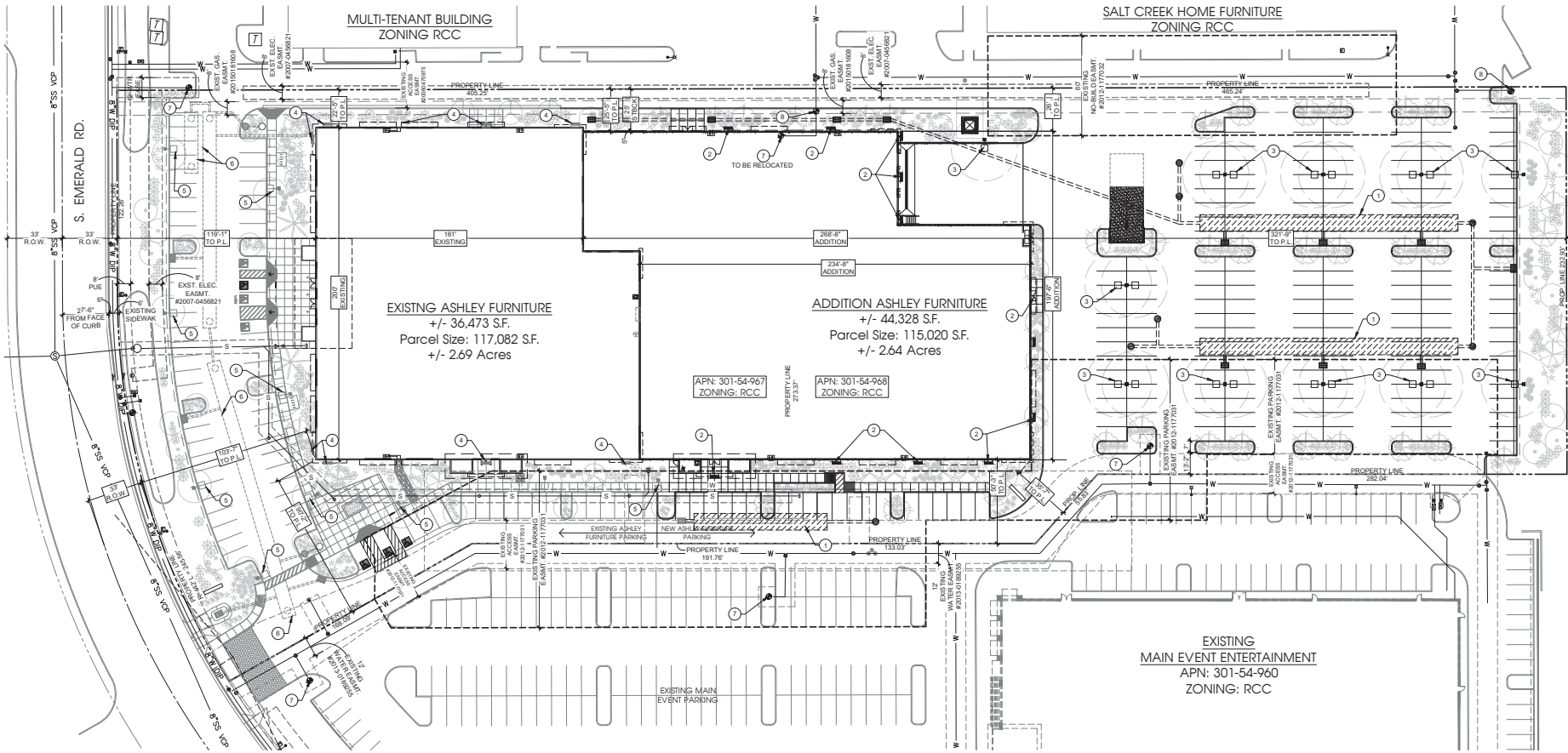
2 LOCATION MAP
NTS

LANDSCAPE LEGEND

- OLEA EUROPAEA 'SWAN HILL' / FRUITLESS OLIVE (SINGLE TRUNK) / 36" BOX
- EUCALYPTUS PAPIUANA / GINNET GUM / 24" BOX
- EUCALYPTUS POPULANA / GINNET GUM / 24" BOX
- SOPHORA SECUNDFLORA / TEXAS MOUNTAIN LAUREL / 24" BOX
- EX. MEXICAN FAN PALM / TO REMAIN DURING CONSTRUCTION
- EX. TREE / TO REMAIN DURING CONSTRUCTION
- DASTURION WHEELERI / DESERT SPOON / 5 GALLON
- LANTANA MONTEVIDENSIS / 'OLD ROUND' LANTANA / GALLON
- LANTANA MONTEVIDENSIS / PURPLE LANTANA / GALLON
- CARISSA GRANDIFLORA / 'GREEN CARPET' / 5 GALLON
- BOUGANVILLEA SPP. 'TORCH GLOW' / TORCH GLOW BOUGANVILLEA / 15 GALLON
- ROSEMARINUS PROSTRATA / TRAILING ROSEMARY / 5 GALLON
- HESPERALOE PARVIFLORA / RED YUCCA / 5 GALLON
- EXIST. MID IRON TUB / EXISTING TO REMAIN
- EXIST. #1 EXTRUDED CURB / CONCRETE HEADS / EXISTING

ON SITE COLOR & SIZE TO MATCH R.O.W.
1" DECOMPOSED GRANITE TO MATCH EXISTING STREETCOURSE
2" DEPTH IN ALL LANDSCAPE AREAS

LANDSCAPE NOTES
THE ENTIRE SITE WILL BE MAINTAINED IN ACCORDANCE WITH TEMPE STANDARDS.
ALL PARKING LOT FINGERS WILL RECEIVE 1-1.2" CALIBER TREE AND 5-5 GALLON SHRUBS PER SINGLE ROW OF PARKING.
ALL PLANT MATERIAL WITHIN THE CITY OF TEMPE SIGHT DISTANCE TRIANGLES WILL BE SELECTED FROM THE TEMPE APPROVED SIGHT DISTANCE TRIANGLE LIST.
ALL LANDSCAPE AREAS WILL BE TOP DRESSED WITH A 2" DEPTH OF DECOMPOSED GRANITE. (TO MATCH LUTERNE AND TARGET IN COLOR & SIZE)
TREES WILL BE PLACED AS TO NOT INTERFERE WITH PARKING LOT LIGHTS.
NO RIVER ROCK PERMITTED UNLESS 2/3 OF EACH STONE IS EMBEDDED IN CONCRETE.
NO CLEANDER HEDGES WILL BE USED IN PARKING LOT AREAS.



PARKING CALCULATIONS

EXISTING BUILDING AREA CALCULATIONS

OCCUPANCY	S.F.	TOTAL
MERCANTILE	36,473 S.F.	36,473 S.F.
TOTAL:	36,473 S.F.	36,473 S.F.

EXISTING REQUIRED PARKING CALCULATIONS

OCCUPANCY	S.F.	FACTOR	TOTAL
MERCANTILE	36,473 S.F.	1/300	122
TOTAL:			122

ADDITION BUILDING AREA CALCULATIONS

OCCUPANCY	S.F.	TOTALS
MERCANTILE	44,328 S.F.	44,328 S.F.
TOTAL:	44,328 S.F.	44,328 S.F.

ADDITION REQUIRED PARKING CALCULATIONS

OCCUPANCY	S.F.	FACTOR	TOTAL
MERCANTILE	44,328 S.F.	1/300	148
TOTAL:			148

TOTAL REQUIRED:
 EXISTING + ADDITIONAL INDOOR RETAIL: 122 + 148 = 270
 TOTAL SPACES ON SITE: 74 + 200 = 274
 ACCESSIBLE SPACES REQUIRED: 7
 ACCESSIBLE SPACES PROVIDED: 7

NOTE:
 THESE CALCULATIONS ARE FOR RETAIL FOLLOWING OUT OF THE EXISTING BUILDING PERMIT PERMITTED AS RETAIL. THE TOTAL REQUIRED EXISTING + ADDITION = 270 SPACES.
 PER C.O.T. ZONING CODE TABLE 4.4.0.0 FOR FURNITURE SALES.
 FOR RETAIL THE TOTAL REQUIRED EXISTING + ADDITION (80,801 SF) (10% ALLOWANCE OF 1,000 SF + 1,000 SF REMAINING)

BICYCLE PARKING CALCULATIONS

RATIO	REQUIRED	PROVIDED
15,000 S.F.	16	20 EXISTING

SITE DATA

PROJECT: ASHLEY FURNITURE EXPANSION
ADDRESS: 8515 SOUTH EMERALD DRIVE, TEMPE, ARIZONA 85284
CONTACT: HMC CONSTRUCTION, 1461 E. COOLEY DR., STE. 230, COLEEN, CA 95224

SCORE: A FURNITURE SALES / SHOWROOM ADDITION
LEGAL DESCRIPTION: LOT 1 OF EMERALD PHASE II, ACCORDING TO BOOK 158 OF MAPS, PAGE 37, RECORDS OF MARICOPA COUNTY, AZ

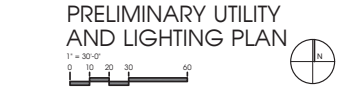
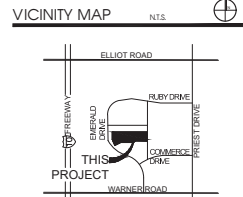
GEN. PLAN PROJ. USE, FREQ. DENSITY & LAND USE: COMMERCIAL
ASSESSOR PARCEL NO.: 301-54-967 | 301-54-968
ZONING: RCC (S/WD0) | RCC (S/WD0)
SITE AREA: +/- 117,082 S.F. (+/- 2.69 ACRES) | +/- 115,020 S.F. (+/- 2.64 ACRES)
252,102 TOTAL (5.33 ACRES)

BUILDING AREA: EXISTING: 36,473 (NET) | 36,938 S.F. GROSS (63,328 (NET) | 44,679 S.F. GROSS) | TOTAL (S.F.): 80,801 (NET) | 81,617 S.F. GROSS

STORIES: SINGLE STORY
LOT COVERAGE: 35% MAXIMUM 50% PER CITY OF TEMPE (RCC STANDARDS)
BUILDING SETBACKS: FRONT-02; PARKING-02; SIDE/REAR-20; STREET-02; PARKING-02
LANDSCAPE AREA: 36,923 S.F.
LANDSCAPE COVERAGE: 15% (15% MIN. PER CITY OF TEMPE (RCC STANDARDS))
OCCUPANCY: M
CONSTRUCTION TYPE: I/II w/ A.F.E.S.
CLEAR HEIGHT: 21'-0"
BUILDING HEIGHT: 50'-0" TOP OF EXISTING TOWER | 38'-0" TOP OF ADDITION | 100'-0" MAX. ALLOWED PER CITY OF TEMPE (RCC) (S/WD0) STANDARDS

- ### SHEET KEYNOTES
- UNDERGROUND STORM WATER - SEE CIVIL
 - BUILDING MOUNTED LIGHT FIXTURES - SEE ELECTRICAL LIGHTING
 - LIGHT POLE - SEE ELECTRICAL LIGHTING
 - EXISTING BUILDING MOUNTED LIGHT FIXTURES
 - EXISTING LIGHT POLE
 - EXISTING UNDERGROUND STORM WATER
 - EXISTING FIRE HYDRANT
 - RELOCATED FIRE HYDRANT

- ### LEGEND
- PROPERTY LINE (P.L.)
 - EASEMENT / SETBACK LINE
 - CAR OVERHANG, MEASURED FROM FACE OF CURB AS DIMENSIONED ON SITE PLAN
 - 6" CURB
 - SALT FINISH CONCRETE SIDEWALK
 - PAINT STRIPING ON PAVEMENT
 - TRANSFORMER



ASHLEY FURNITURE HOMESTORE ADDITION
 8515 S. EMERALD DR. TEMPE ARIZONA 85284

DATE
 PRE-APP SUBMITTAL 10-14-2022
 CCR SUBMITTAL 01-23-2023
 2nd PRE-APP SUBMITTAL 04-10-2023
FLOOR PLAN UPDATE 04-25-2023
ELEVATION UPDATE 04-25-2023
SITE/ELEVATION UPDATE 05-18-2023
 1st DR SUBMITTAL 06-20-2023
 2nd DR SUBMITTAL 09-11-2023
 3rd DR SUBMITTAL 09-26-2023

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PRELIMINARY UTILITY AND LIGHTING PLAN

Project: 22057



ASHLEY
FURNITURE
HOMESTORE
ADDITION

8515
 S. EMERALD DR.
 TEMPE
 ARIZONA 85284

DATE
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 10-14-2022
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 04-25-2023
 ELEVATION UPDATE
 05-19-2023
 SITE/ELEVATION UPDATE
 05-19-2023
 1st DR SUBMITTAL
 06-20-2023
 2nd DR SUBMITTAL
 09-11-2023

Drawn By: JD

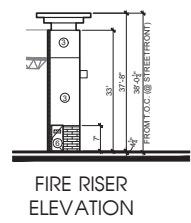
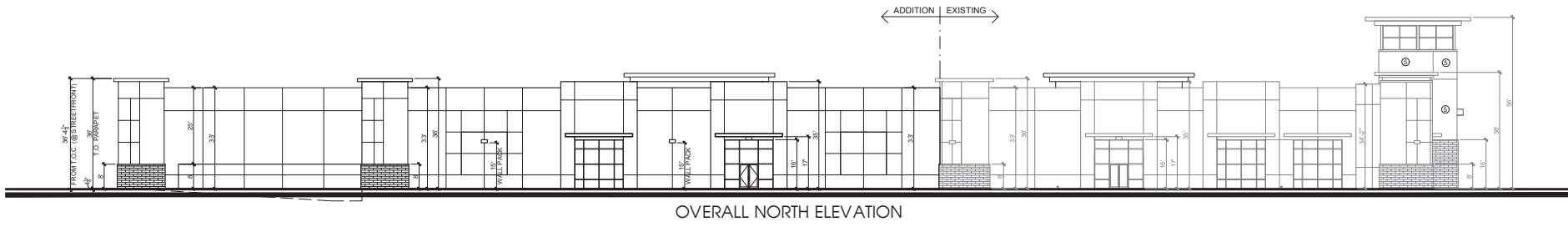
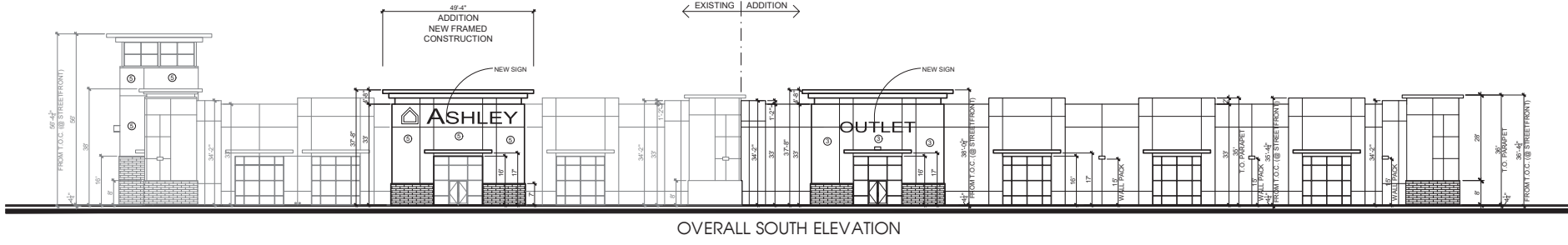
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DISCREPANCIES AND CONFLICTS:
 All discrepancies found in these documents are controlled by these documents and shall prevail and be resolved by Cawley Architects Inc. for resolution before the commencement of the work.

OVERALL EXTERIOR ELEVATIONS

Project: 22057 **A7.1**

- NOTES:**
- T.O. CURB (T.O.C.): AT CENTER OF FRONTAGE = 1234.80'
 - BLDG. F.F.E. = 1235.15' (4 1/4" DIFFERENCE FROM T.O.C.)



GENERAL NOTES

1. ALL MECHANICAL UNITS ARE FULLY SCREENED
2. SEE DOOR SCHEDULE FOR DOOR HEIGHTS.
3. SEE STRUCTURAL FOR CONCRETE PANEL JOINTS.
4. ALL BUILDING SIGNAGE TO BE UNDER SEPARATE SUBMITTAL AND PERMIT. PROVIDE POWER
5. ALL EXTERIOR WALLS ARE TILT CONCRETE U.N.O.
6. [Symbol] INDICATES TILT PANEL NUMBERS. SEE STRUCTURAL FOR ADDITIONAL INFORMATION
7. ADDRESS REQUIRED UNDER THIS PERMIT. PROVIDE 12" HIGH ADDRESS NUMBER, INDIVIDUALLY MOUNTED, METAL REVERSE PAN CHANNEL CHARACTERS WITH HIGH COLOR CONTRAST AND HALO ILLUMINATED. REFER TO ELECTRICAL PLANS FOR POWER LOCATION

MATERIAL SAMPLE APPROVAL

1. PRIOR TO ORDERING, G.C. TO PROVIDE INDIVIDUAL SAMPLES OF ALL BUILDING COLORS AND MATERIALS FOR REVIEW AND APPROVAL BY THE ARCHITECT AND OWNER. (w. PAINTED CMU, ETC.)
2. ALL INDIVIDUAL SAMPLES TO BE PRESENTED AT ONE TIME, ON-SITE IN SIZES OF NO LESS THAN 12" X 12".

STOREFRONT / GLAZING KEY

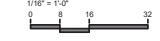
- | MATERIAL | COLOR |
|----------|--|
| FRAMES | [Symbol] CLEAR ANODIZED ALUMINUM |
| GLAZING | [Symbol] 1" INSULATED CLEAR REFLECTIVE |
- INSULATED GLAZING SYSTEM SPECIFICATION**
- OLDCASTLE - 1" INSULATED GLAZING SYSTEM
 U-FACTOR: 0.29
 SOLAR HEAT GAIN COEFFICIENT (SHGC): 0.23
 OUTBOARD: 1/4" PPG SOLARBAN 100V CLEAR (SRF #2)
 AIRSPACE: 1/2" (AIR FILL)
 INBOARD: 1/4" CLEAR
1. 'S' AT WINDOW LOCATIONS INDICATES SPANDREL PANELS.
 2. SEE WINDOW TYPES FOR LOCATIONS OF TEMPERED GLASS.
 3. 'TT' AT WINDOW LOCATIONS INDICATES TRANSLUCENT PANELS.

MATERIAL KEY / COLOR KEY

MATERIAL	DESCRIPTION
[Symbol]	EXTERIOR INSULATED FINISH SYSTEM
[Symbol]	LUEDERS LIMESTONE OR EQUAL TYPE: SAWN COURSE HEIGHT @ 8", 10", 12", 16" RANDOM CHIPPED LENGTH (1/8"-3/8") COLOR: BUFF 100% ROUGHBACK
[Symbol]	ROLLFAB PRO FINISH 500 METAL CAP COLOR: PRE-FINISHED SILVER METALLIC
[Symbol]	STEEL CANDOPY FRAME: 1/2" TUBE STEEL COLOR: PAINT TO MATCH PRE-FINISHED SILVER METALLIC METAL CAP
COLOR	
[Symbol]	MANUF. - SHERWIN WILLIAMS COLOR NAME & NUMBER
[Symbol]	GRIFFIN - SW7026
[Symbol]	REGUISITE GREY - SW7023
[Symbol]	AESTHETIC WHITE - SW7035
[Symbol]	BLACK FOX - SW7025
[Symbol]	WHOLE WHEAT - SW9121
[Symbol]	MANUF. - BENJAMIN MOORE COLOR NAME & NUMBER
[Symbol]	TERRA MAUVE - 105

1. SEALANTS FOR PROJECTS TO MATCH ADJACENT MATERIAL COLORS - NO WHITE OR OFF WHITE COLORS.
2. PAINTER TO PROVIDE TWO COATS SEALER TO ALL EXPOSED NATURAL BLOCK, PRECAST CONCRETE, UNPAINTED CONCRETE AND OTHER MATERIALS AS REQUIRED TO PROVIDE A WEATHER SEALED JOINT.
3. G.C. IS RESPONSIBLE FOR SUBMITTING ALL PRE-MANUFACTURED MATERIALS AND COLORS TO ARCHITECT FOR REVIEW AND APPROVAL.
4. G.C. TO OBTAIN APPROVAL FROM UTILITY COMPANY BEFORE PAINTING TRANSFORMER.

OVERALL EXTERIOR ELEVATIONS





ASHLEY FURNITURE HOMESTORE ADDITION

8515 S. EMERALD DR.
TEMPE
ARIZONA 85284

DATE

PRE-APP SUBMITTAL	10-14-2022
CCR SUBMITTAL	01-23-2023
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Drawn by: JD

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DISCREPANCIES AND CONFLICTS:
All discrepancies found in these documents to conflict between these documents and field conditions shall be resolved by Cawley Architects Inc. for resolution before the commencement of the work.

EXTERIOR ELEVATIONS

Project: 22057

A7.2

- NOTES:**
- T.O. CURB (T.O.C.) AT CENTER OF FRONTAGE ±1234.89'
 - BLDG. F.F.E. = 1235.15' (4 1/4" DIFFERENCE FROM T.O.C.)

GENERAL NOTES

1. ALL MECHANICAL UNITS ARE FULLY SCREENED
2. SEE DOOR SCHEDULE FOR DOOR HEIGHTS.
3. SEE STRUCTURAL FOR CONCRETE PANEL JOINTS.
4. ALL BUILDING SIGNAGE TO BE UNDER SEPARATE SUBMITTAL AND PERMIT. PROVIDE POWER
5. ALL EXTERIOR WALLS ARE TILT CONCRETE U.N.O.
6. [Symbol] INDICATES TILT PANEL NUMBERS. SEE STRUCTURAL FOR ADDITIONAL INFORMATION.
7. HIGH ADDRESS NUMBER. INDIVIDUALLY MOUNTED METAL REVERSE PAN CHANNEL CHARACTERS WITH HIGH COLOR CONTRAST AND ILLUMINATED. REFER TO ELECTRICAL PLANS FOR POWER LOCATION.

MATERIAL SAMPLE APPROVAL

1. PRIOR TO ORDERING, G.C. TO PROVIDE INDIVIDUAL SAMPLES OF ALL BUILDING COLORS AND MATERIALS FOR REVIEW AND APPROVAL BY THE ARCHITECT AND OWNER. (i.e. PAINTED CMU ETC.)
2. ALL INDIVIDUAL SAMPLES TO BE PRESENTED AT ONE TIME. ON-SITE IN SIZES OF NO LESS THAN 12" X 12".

STOREFRONT / GLAZING KEY

MATERIAL	COLOR
FRAMES	[Symbol] CLEAR ANODIZED ALUMINUM
GLAZING	[Symbol] 1" INSULATED CLEAR REFLECTIVE
INSULATED GLAZING SYSTEM SPECIFICATION	
QUADCASTLE - 1" INSULATED GLAZING SYSTEM	
U-FACTOR: 0.29	
SOLAR HEAT GAIN COEFFICIENT (SHGC): 0.23	
OUTBOARD: 1/4" PPG SOLARBAN 100V CLEAR (SPF #2)	
AIRSPACE: 1/2" (AIR FILL)	
INBOARD: 1/4" CLEAR	

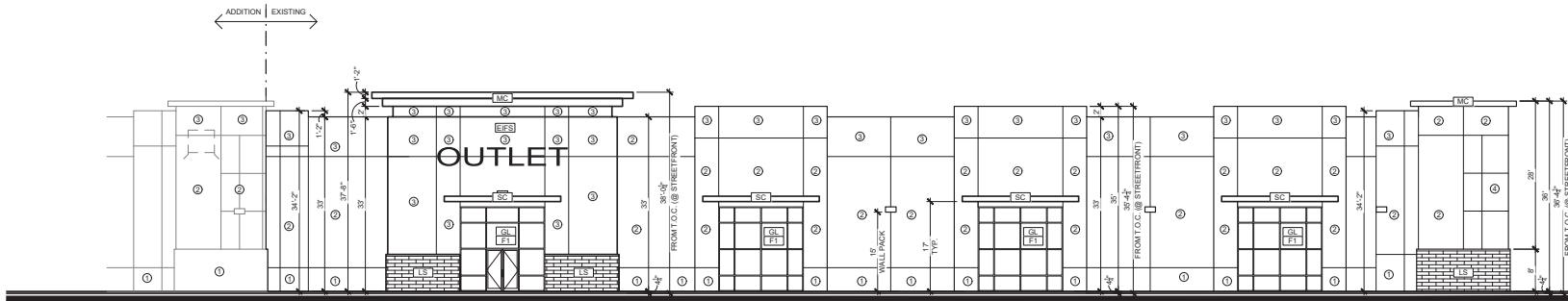
1. 'S' AT WINDOW LOCATIONS INDICATES SPANDREL PANELS.
2. SEE WINDOW TYPES FOR LOCATIONS OF TEMPERED GLASS.
3. 'TT' AT WINDOW LOCATIONS INDICATES TRANSLUCENT PANELS.

MATERIAL KEY / COLOR KEY

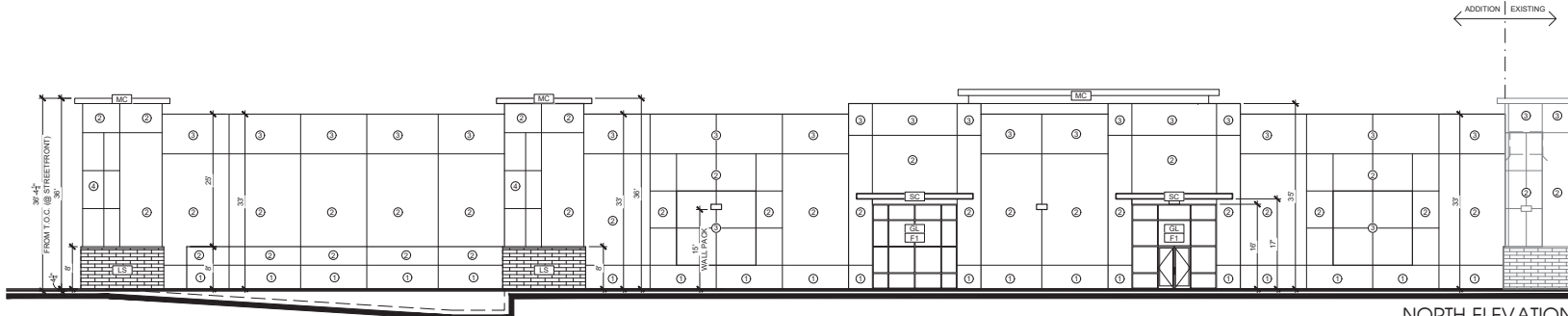
MATERIAL	DESCRIPTION
[Symbol]	EXTERIOR INSULATED FINISH SYSTEM
[Symbol]	LUEDER'S LIMESTONE OR EQUAL TYPE: SAWN COURSE HEIGHT @ 8", 10", 12", 16" RANDOM CHIPPED LENGTH (18" MAX) COLOR: BUFF 100% ROUGHBACK
[Symbol]	ROLLFAB PRO FINISH 500 METAL CAP COLOR: PRE-FINISHED SILVER METALLIC
[Symbol]	STEEL CANOPY, FRAME: T3"X2" TUBE STEEL COLOR: PAINT TO MATCH PRE-FINISHED SILVER METALLIC METAL CAP

COLOR	MANUF. - SHERWIN WILLIAMS COLOR NAME & NUMBER:
①	GRIFFIN - SW7026
②	REQUISITE GREY - SW7023
③	AESTHETIC WHITE - SW7025
④	BLACK FOX - SW7020
⑤	WHOLE WHEAT - SW6121
[Symbol]	MANUF. - BENJAMIN MOORE COLOR NAME & NUMBER:
⑥	TERRA MALIVE - 105

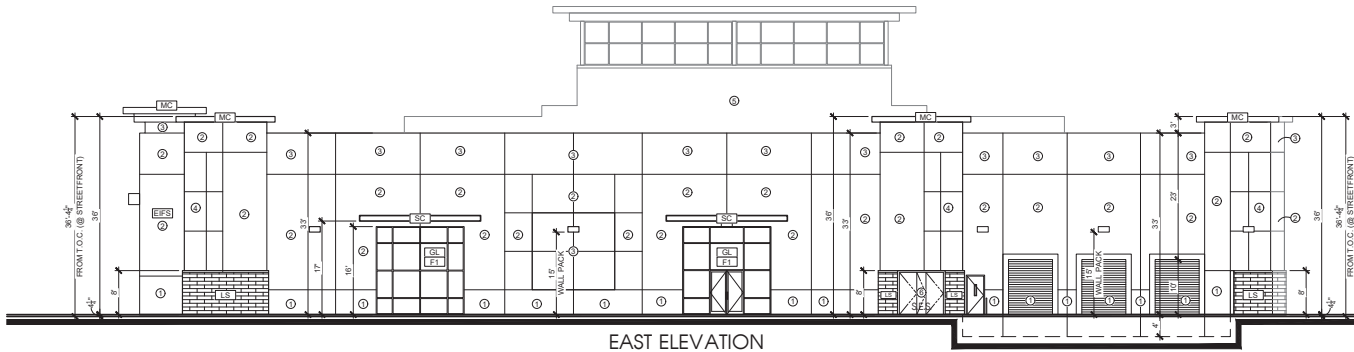
- a. SEALANTS FOR PROJECTS TO MATCH ADJACENT MATERIAL COLORS - NO WHITE OR OFF WHITE COLORS.
- b. PAINTER TO PROVIDE TWO COATS SEALER TO ALL EXPOSED NATURAL BLOCK, PRECAST CONCRETE, UNPAINTED CONCRETE AND OTHER MATERIALS AS REQUIRED TO PROVIDE A WEATHER SEALED PROJECT.
- c. G.C. IS RESPONSIBLE FOR SUBMITTING ALL PRE-MANUFACTURED MATERIALS AND COLORS TO ARCHITECT FOR REVIEW AND APPROVAL.
- d. G.C. TO OBTAIN APPROVAL FROM UTILITY COMPANY BEFORE PAINTING TRANSFORMER.



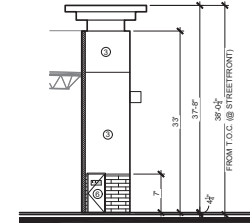
SOUTH ELEVATION



NORTH ELEVATION

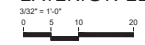


EAST ELEVATION



FIRE RISER ELEVATION

EXTERIOR ELEVATIONS





ASHLEY FURNITURE HOMESTORE ADDITION

8515 S. EMERALD DR.
TEMPE ARIZONA 85284

DATE

PRE-APP SUBMITTAL	10-14-2022
CCR SUBMITTAL	01-23-2023
2nd PRE-APP SUBMITTAL	04-10-2023
FLOOR PLAN UPDATE	04-25-2023
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1st DR SUBMITTAL	06-20-2023
2nd DR SUBMITTAL	09-11-2023

DRAWN BY: JD

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DISCREPANCIES AND CONFLICTS
All discrepancies shall be based on documents and conditions that are approved and most conditions shall be reported to Cawley Architects Inc. for resolution prior to the commencement of the work.

OVERALL EXTERIOR ELEVATIONS

Project: 22057

A7.1



OVERALL SOUTH ELEVATION



OVERALL NORTH ELEVATION



EAST ELEVATION



EXISTING WEST ELEVATION

COLOR / MATERIAL LEGEND

STONE	LUEDER'S LIMESTONE OR EQUAL COLOR: BUFF 100% ROUGHBACK
METAL CAP	PRE-FINISH SILVER METALLIC
ALUMINUM STOREFRONT	PRE-FINISH 'CLEAR ANODIZED'
PAINT / EIFS	SHERWIN WILLIAMS GRIFFIN - SW7029 Light Reflectance Value (LRV): 13
	SHERWIN WILLIAMS REQUISITE GREY - SW7023 LRV: 45
	SHERWIN WILLIAMS AESTHETIC WHITE - SW7035 LRV: 73
	BENJAMIN MOORE TERRA MAUVE - 105 LRV: 14.09
	SHERWIN WILLIAMS BLACK FOX - SW7020 LRV: 7
	SHERWIN WILLIAMS WHOLE WHEAT - SW6121 LRV: 48

GENERAL NOTES

1. ALL MECHANICAL UNITS ARE FULLY SCREENED
2. SEE DOOR SCHEDULE FOR DOOR HEIGHTS.
3. SEE STRUCTURAL FOR CONCRETE PANEL JOINTS.
4. ALL BUILDING SIGNAGE TO BE UNDER SEPARATE SUBMITTAL AND PERMIT. PROVIDE POWER FOR ADDITIONAL INFORMATION.
5. ALL EXTERIOR WALLS ARE TILT CONCRETE U.N.O.
6. INDICATES TILT PANEL NUMBERS. SEE STRUCTURAL FOR ADDITIONAL INFORMATION.
7. ADDRESS REQUIRED UNDER THIS PERMIT. PROVIDE 12" HIGH ADDRESS NUMBER, INDIVIDUALLY MOUNTED, METAL REVERSE PAN CHANNEL CHARACTERS WITH HIGH COLOR CONTRAST AND HALO ILLUMINATED. REFER TO ELECTRICAL PLANS FOR POWER LOCATION.

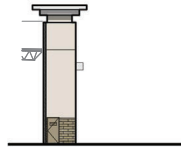
MATERIAL SAMPLE APPROVAL

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2. ALL INDIVIDUAL SAMPLES TO BE PRESENTED AT ONE TIME, ONSITE IN SIZES OF NO LESS THAN 12" X 12".

STOREFRONT / GLAZING KEY

MATERIAL	COLOR
FRAMES	① CLEAR ANODIZED ALUMINUM
GLAZING	② 1" INSULATED CLEAR REFLECTIVE
INSULATED GLAZING SYSTEM SPECIFICATION	
OLDCASTLE:	1" INSULATED GLAZING SYSTEM
U-FACTOR:	0.29
SOLAR HEAT GAIN COEFFICIENT (SHGC):	0.23
OUTBOARD:	1/4" PPG SOLARBAN 100V CLEAR (SRF #2)
AIRSPACE:	1/2" (AIR FILL)
INBOARD:	1/4" CLEAR

1. 'S' AT WINDOW LOCATIONS INDICATES SPANDREL PANELS.
2. SEE WINDOW TYPES FOR LOCATIONS OF TEMPERED GLASS.
3. 'TT' AT WINDOW LOCATIONS INDICATES TRANSLUCENT PANELS.



FIRE RISER ELEVATION

MATERIAL KEY / COLOR KEY

MATERIAL	DESCRIPTION
EIFS	EXTERIOR INSULATED FINISH SYSTEM
STL	LUEDER'S LIMESTONE OR EQUAL TYPE: SAWN COURSE HEIGHT @ 8", 10", 12", 16" RANDOM CHOPPED LENGTH (16'-30') COLOR: BUFF 100% ROUGHBACK
MX	ROLLFAB PRO FINISH 500 METAL CAP COLOR: PRE-FINISHED SILVER METALLIC
SC	STEEL CANOPY: FRAME: 12"x2" TUBE STEEL COLOR: PAINT TO MATCH PRE-FINISHED SILVER METALLIC METAL CAP
COLOR	MANUF. - SHERWIN WILLIAMS COLOR NAME & NUMBER
①	GRIFFIN - SW7029
②	REQUISITE GREY - SW7023
③	AESTHETIC WHITE - SW7035
④	BLACK FOX - SW7020
⑤	WHOLE WHEAT - SW6121
⑥	MANUF. - BENJAMIN MOORE COLOR NAME & NUMBER
⑦	TERRA MAUVE - 105

- a. SEALANTS FOR PROJECTS TO MATCH ADJACENT MATERIAL COLORS - NO WHITE OR OFF WHITE COLORS.
- b. PAINTER TO PROVIDE TWO COATS SEALER TO ALL EXPOSED NATURAL BLOCK, PRECAST CONCRETE UNPAINTED CONCRETE AND OTHER MATERIALS AS REQUIRED TO PROVIDE A WEATHER SEALED PROJECT.
- c. G.C. IS RESPONSIBLE FOR SUBMITTING ALL PRE-MANUFACTURED MATERIALS AND COLORS TO ARCHITECT FOR REVIEW AND APPROVAL.
- d. G.C. TO OBTAIN APPROVAL FROM UTILITY COMPANY BEFORE PAINTING TRANSFORMER.

OVERALL EXTERIOR ELEVATIONS





Ashley Furniture Tempe - Bldg. Addition

Tempe, Arizona

2023 . 05 . 18

This artist rendering is for conceptual design only and should not be referred to as a construction document.





ASHLEY FURNITURE HOMESTORE ADDITION

8515
 S. EMERALD DR.
 TEMPE
 ARIZONA 85284

DATE
PRE-APP SUBMITTAL 10-14-2022
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ELEVATION UPDATE 04-25-2023
SITE/ELEVATION UPDATE 05-18-2023
1st DR SUBMITTAL 05-31-2023

DRAWN BY: JD

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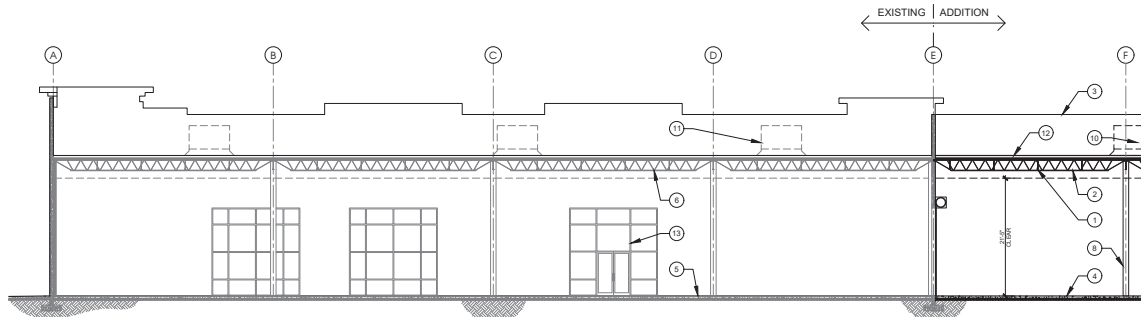
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BUILDING SECTIONS

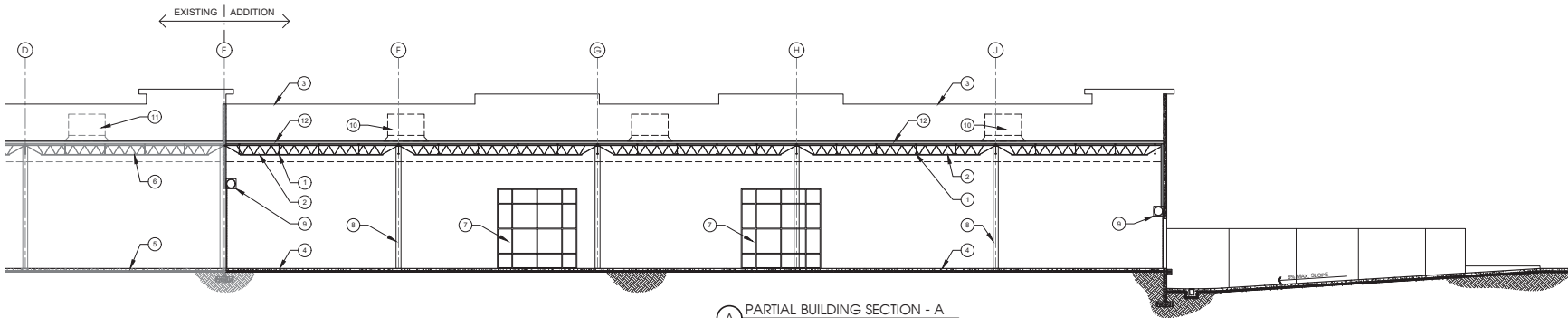
Project: 22057
A5.1

SHEET KEYNOTES

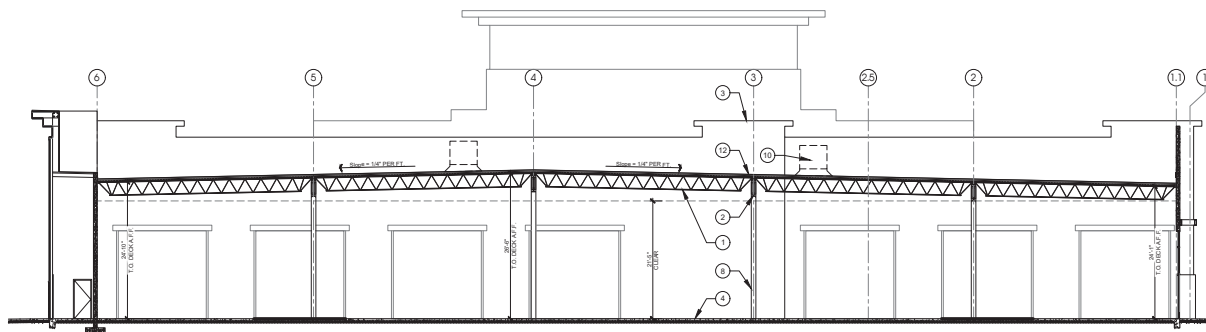
- 1 STEEL JOIST, TYP. - SEE STRUCTURAL DRAWINGS
- 2 STEEL JOIST GIRDER - SEE STRUCTURAL DRAWINGS
- 3 LINE OF PARAPET BEYOND
- 4 CONCRETE SLAB, TYP. - SEE STRUCTURAL DRAWINGS
- 5 EXISTING CONCRETE SLAB
- 6 EXISTING STRUCTURAL FRAMING, TO REMAIN
- 7 ALUMINUM STOREFRONT SYSTEM - SEE EXTERIOR ELEVATIONS
- 8 STEEL COLUMN, TYP. - SEE STRUCTURAL DRAWINGS
- 9 OVERHEAD ROLL-UP DOOR - SEE DOOR SCHEDULE
- 10 ROOFTOP MECHANICAL UNIT - SEE MECHANICAL DRAWINGS
- 11 EXISTING ROOFTOP MECHANICAL UNIT, TYP.
- 12 TPO ROOFING SYSTEM MECHANICALLY FASTENED
- 13 EXISTING STOREFRONT SYSTEM AND HARDWARE TO REMAIN, TYP.



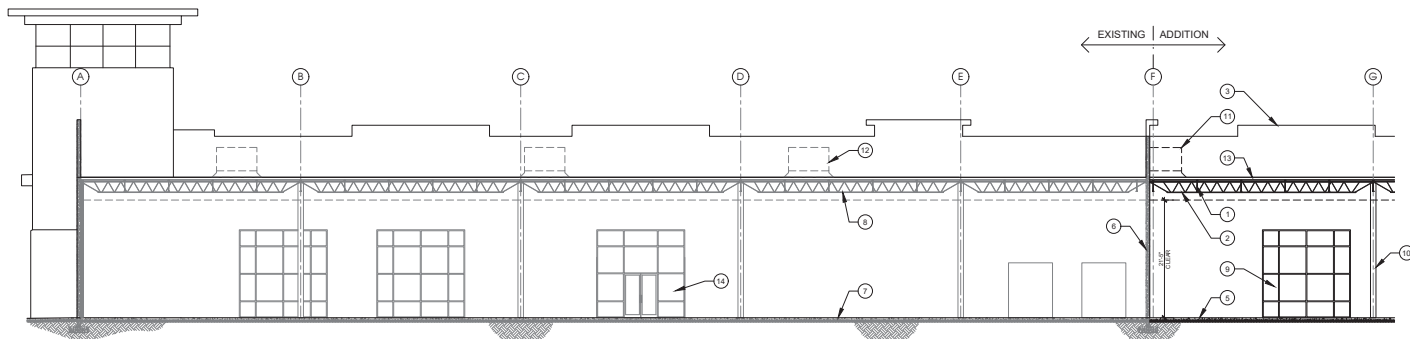
(A) PARTIAL BUILDING SECTION - A
 SCALE: 1/8" = 1'-0"



(A) PARTIAL BUILDING SECTION - A
 SCALE: 1/8" = 1'-0"



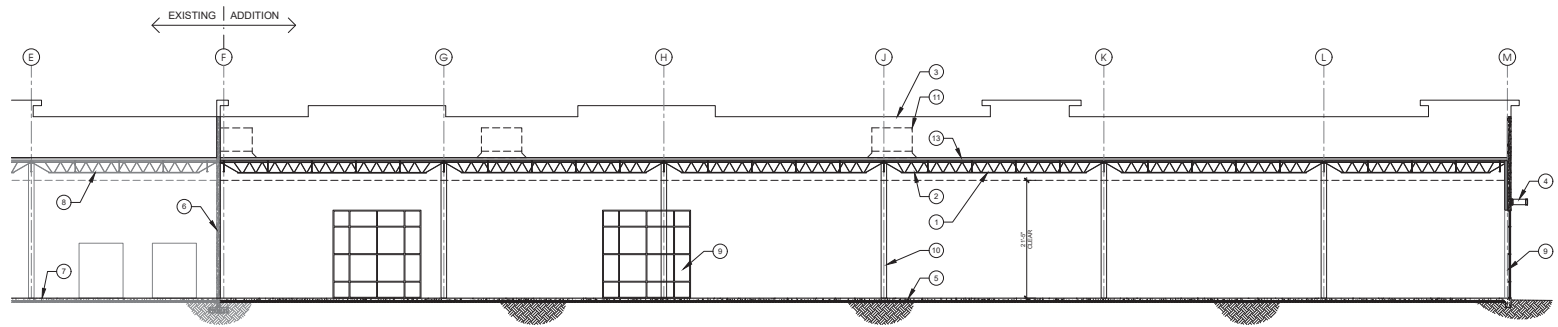
(B) BUILDING SECTION B
 SCALE: 1/8" = 1'-0"



C PARTIAL BUILDING SECTION - C
SCALE: 1/8" = 1'-0"

SHEET KEYNOTES

- 1 STEEL JOIST, TYP. - SEE STRUCTURAL DRAWINGS
- 2 STEEL JOIST GIRDER - SEE STRUCTURAL DRAWINGS
- 3 LINE OF PARAPET BEYOND
- 4 STEEL FRAMED ENTRY CANOPY - SEE STRUCTURAL DRAWINGS
- 5 CONCRETE SLAB, TYP. - SEE STRUCTURAL DRAWINGS
- 6 EXISTING CONCRETE TILT PANEL, TO REMAIN - PROTECT DURING DEMOLITION AND CONSTRUCTION PHASES
- 7 EXISTING CONCRETE SLAB
- 8 EXISTING STRUCTURAL FRAMING, TO REMAIN
- 9 ALUMINUM STOREFRONT SYSTEM - SEE EXTERIOR ELEVATIONS
- 10 STEEL COLUMN, TYP. - SEE STRUCTURAL DRAWINGS
- 11 ROOFTOP MECHANICAL UNIT - SEE MECHANICAL DRAWINGS
- 12 EXISTING ROOFTOP MECHANICAL UNIT, TYP.
- 13 TPO ROOFING SYSTEM MECHANICALLY FASTENED
- 14 EXISTING STOREFRONT SYSTEM AND HARDWARE TO REMAIN, TYP.



C PARTIAL BUILDING SECTION - C
SCALE: 1/8" = 1'-0"



730 N. 52nd St. Ste. 203
Phoenix, Arizona 85008
P 602.393.5060

CawleyArchitects.com



**ASHLEY
FURNITURE
HOMESTORE
ADDITION**

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CCR SUBMITTAL 01-23-2023
2nd PRE-APP SUBMITTAL 04-10-2023
FLOOR PLAN UPDATE 04-25-2023
ELEVATION UPDATE 04-25-2023
SITE/ELEVATION UPDATE 05-18-2023
1st DR SUBMITTAL 05-31-2023

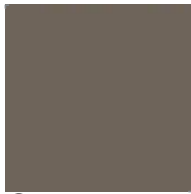
DRAWN BY: JD

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DISCREPANCIES AND CONFLICTS:
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BUILDING SECTIONS

Project: 22057
A5.2



① **Material:** Paint
 Manuf.: Sherwin Williams
 Color: Griffin
 Color Number: SW7026
 Light Reflectance Value (LRV): 13



② **Material:** Paint
 Manuf.: Sherwin Williams
 Color: Requisite Grey
 Color Number: SW7023
 LRV: 45



③ **Material:** Paint
 Manuf.: Sherwin Williams
 Color: Aesthetic White
 Color Number: SW7035
 LRV: 73



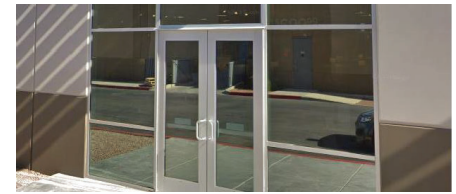
④ **Material:** Paint
 Manuf.: Benjamin Moore
 Color: Terra Mauve
 Color Number: 105
 LRV: 14.09



⑤ **Material:** Paint
 Manuf.: Sherwin Williams
 Color: Black Fox
 Color Number: SW7020
 LRV: 7



⑤ **Material:** Paint
 Manuf.: Sherwin Williams
 Color: Whole Wheat
 Color Number: SW6121
 LRV: 48

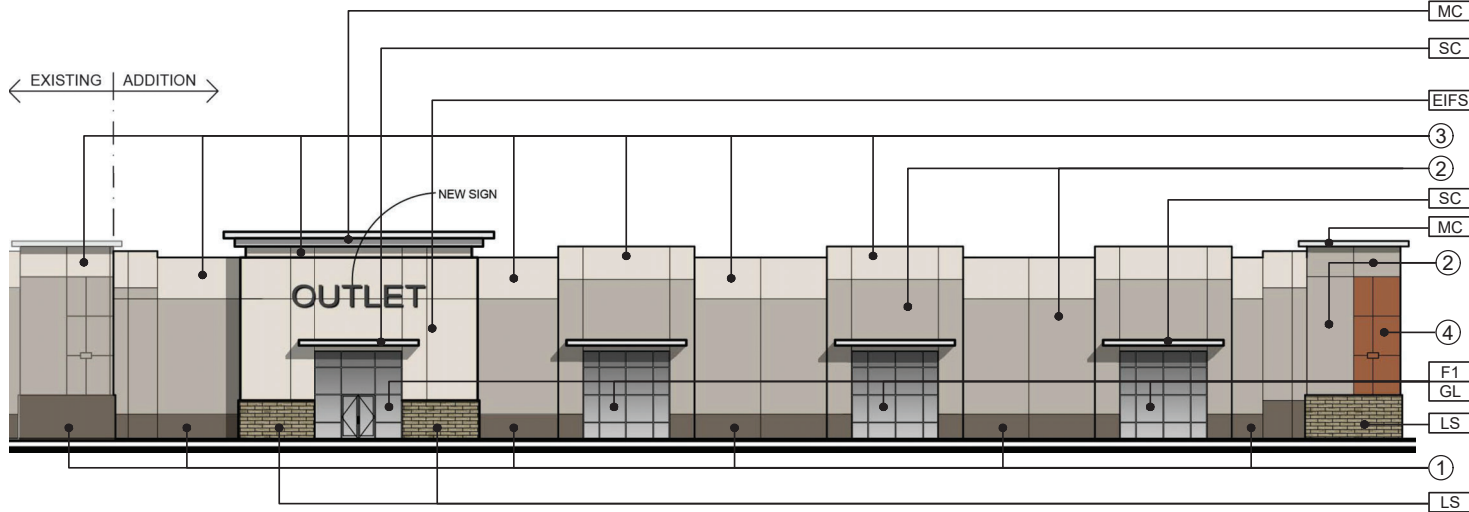


F1

Material: Pre-Finished Storefront
 Manufacturer: Arcadia
 Color: 'Clear Anodized'

GL

Material: Insulated Glazing
 Manufacturer: OLDCASTLE
 Refer to A7 Building Elevations Sheets



MC **Material:** Metal Cap
 Color: Pre-Finished Silver Metallic



LS **Material:** Lueder's Limestone or equal
 Type: Sawn Course Height @ 8", 10", 12", 16", random chopped length (16"-30")
 Color: BUFF 100% Roughback

SC **Material:** Tube Steel Canopy
 Color: Paint to match pre-finished silver metallic metal cap



EIFS **Material:** Exterior Insulated Finish System

ASHLEY FURNITURE HOMESTORE ADDITION

8515 S. EMERALD DR. TEMPE, AZ



The Artist Rendering & Material Specifications are for conceptual design only and should not be referred to as a construction document - See A7 Building Elevation Sheets for actual specifications



ASHLEY FURNITURE HOMESTORE ADDITION

8515 S. EMERALD DR.
TEMPE
ARIZONA 85284

DATE

PRE-APP SUBMITAL	10-14-2022
CCR SUBMITAL	01-23-2023
2nd PRE-APP SUBMITAL	04-10-2023
FLOOR PLAN UPDATE	04-25-2023
ELEVATION UPDATE	04-25-2023
SITE/ELEVATION UPDATE	05-18-2023
1st DR SUBMITAL	06-20-2023
2nd DR SUBMITAL	09-11-2023

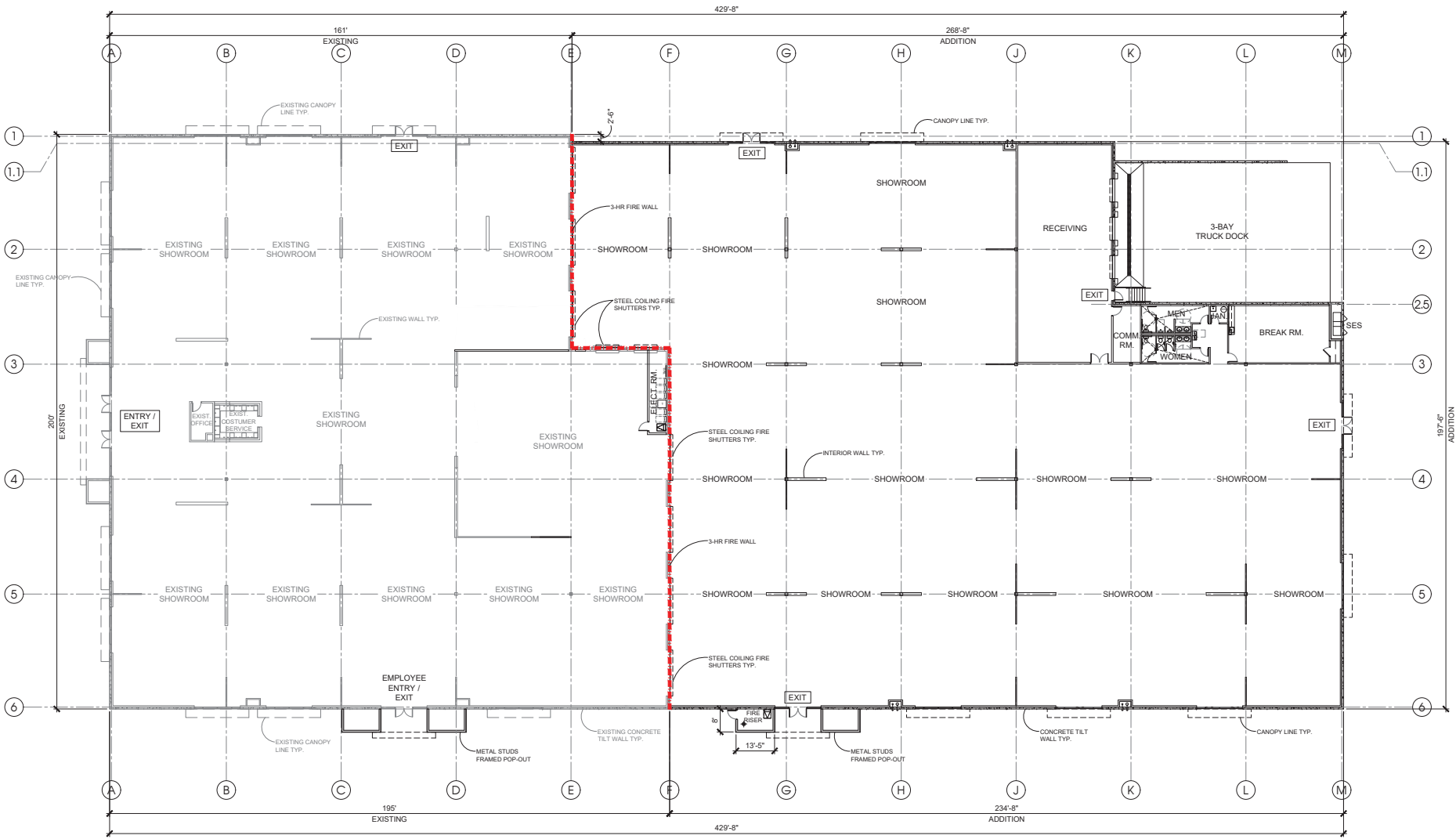
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All discrepancies found in these documents shall be resolved by the architect and shall be subject to the commitment of the architect.

OVERALL FLOOR PLAN

Project: 22057

A2.1



CODE COMPLIANCE METHODOLOGY:

IN DETERMINING THE CODE COMPLIANCE METHODOLOGY IT WAS IMPORTANT TO DETERMINE THE BUILDING TYPE, AS ORIGINALLY PERMITTED, THE EXISTING BUILDING IS FULLY SPRINKLERED WITH AN M-OCCUPANCY AND I-B CONSTRUCTION. THE ADDITION WILL ALSO BE M-OCCUPANCY AND I-B CONSTRUCTION AND TO BE FULLY SPRINKLERED BUILDING.

TO MEET THE ALLOWABLE AREA, THE EXISTING AND ADDITION WILL BE SEPARATED BY A FIRE WALL FUNCTIONING AS SEPARATE BUILDING. THE SEPARATION REQUIRED IS A 3-HR FIRE WALL. THE EXISTING 7" CONCRETE WALL ASSEMBLY EQUATED TO 4-HR FIRE WALL. WALL OPENINGS WILL ALSO BE PROVIDED FOR PEDESTRIAN TRAFFIC THAT WILL HAVE 3-HR RATED STEEL COILING FIRE SHUTTERS.

AUTOMATIC FIRE - EXTINGUISHING SYSTEM:

SPRINKLER SYSTEM SHALL BE INSTALLED TO COMPLY WITH MINIMUM NFPA 13 AND 14 CRITERIA AND CITY AMENDMENTS.

OCCUPANCY & CONSTRUCTION TYPE:

OCCUPANCY TYPE (S):	M
CONSTRUCTION TYPE:	I-B w/ A.F.E.S.
REQUIRED SEPARATIONS:	3-HR FIRE WALL (TABLE 706.4)

BUILDING HEIGHT & AREA:

NUMBER OF STORIES:	1
ALLOWED:	2
BUILDING HEIGHT:	38'
ALLOWED:	100'-0"
MAX. ALLOWED PER C.O.T. RCC (S.W.O.D) STANDARDS	

AREAS	ACTUAL	ALLOWED
BUILDING AREA (EXISTING)	36,473 S.F.	50,000 S.F.
BUILDING AREA (ADDITION)	44,328 S.F.	50,000 S.F.
BUILDING AREA TOTAL:	80,801 S.F.	

STRUCTURAL FIRE RATING:

CONSTRUCTION TYPE	TABLE 601 FIRE RATINGS				TABLE 602	
	FRAME	BEARING WALLS	NON-BEARING WALLS	FLOOR	ROOF	FIRE SEPARATION EXT. DISTANCE = X (FEET)
I-B	0	0	0	0	0	X x 5
	0	0	0	0	0	2 HR

FIRE WALLS AND FIRE BARRIERS:

3-HOUR FIRE WALL IS USED TO SEPARATE THE BUILDING INTO TWO (2) SEPARATE BUILDINGS.

SECTION 706.4 - FIRE RESISTANCE RATING GROUP #1 = 3 HOURS

SECTION 706.5 - HORIZONTAL CONTINUITY EXCEPTION 3 ALLOWS FIRE WALL TO TERMINATE AT THE INTERIOR SURFACE OF NONCOMBUSTIBLE EXTERIOR SHEATHINGS WITH AUTOMATIC SPRINKLER SYSTEM EACH SIDE.

SECTION 721.1 - PRESCRIPTIVE FIRE RESISTANCE THE EXISTING WALL IS 7-3/4" CONCRETE WALL PER TABLE 721.1(2). A MINIMUM SOLID CONCRETE WALL VALUE OF 7.0 INCHES IS REQUIRED TO ACHIEVE A 4-HOUR RATED WALL.

