



**CITY OF TEMPE  
DEVELOPMENT REVIEW COMMISSION**

**Meeting Date: 02/13/2024  
Agenda Item: 2**

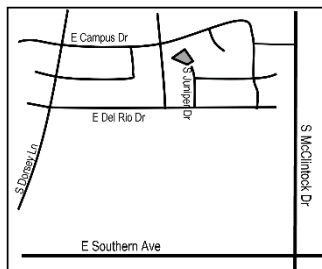
**ACTION:** Request a Use Permit to allow a second-story addition for an existing single-family residence for the SVOBODA RESIDENCE, located at 2902 South Juniper Drive. The applicant is etoddtDesign, Inc.

**FISCAL IMPACT:** N/A

**RECOMMENDATION:** Staff – Approve, subject to conditions

**BACKGROUND INFORMATION:** SVOBODA RESIDENCE (PL240004) is proposing a second story addition consisting of three bedrooms on the new floor. The request includes the following:

ZUP240005 Use Permit to allow a second-story addition on a single-family home.



Property Owner	Ryan and Lizabeth Svoboda
Applicant	Todd Thompson, etoddtDesign, Inc
Zoning District	R1-6
Site Area	8,425 s.f.
Building Area	2,344 s.f.
Lot Coverage	27.9% (50% max. allowed)
Building Height	22 ft 9 in (30 ft max. allowed)
Building Setbacks	24 ft front, 7 ft 4.5 in side, 29 ft rear (20 ft front, 5 ft side, 15 rear min. required)
Vehicle Parking	2 spaces (2 min. required)

**ATTACHMENTS:** Development Project File

**STAFF CONTACT(S):** Jacob Payne, Senior Planner (480) 350-8652

Department Director: Jeff Tamulevich, Community Development Director

Legal review by: N/A

Prepared by: Jacob Payne, Senior Planner

Reviewed by: Michelle Dahlke, Principal Planner

**COMMENTS**

The proposed second-story addition will add 897 square feet of livable space to the home. The existing home is a three-bedroom one bathroom. With the proposed addition, one bedroom would be removed on the ground floor, a bathroom added to the ground floor, and three bedrooms and one bathroom on the new second-story. The proposed second-story is located on the west side of the home. Several homes other in the Meyer Park neighborhood and general vicinity have second stories already. Some of these properties are:

- 930 East Broadmor Drive
- 1006 East Broadmor Drive
- 1122 East Concorda Drive
- 1506 East Del Rio Drive

**PUBLIC INPUT**

To date, staff has not received any public comments.

**USE PERMIT**

The proposed design requires a Use Permit to allow an existing single-story single-family home to add a second-story within the R1-6 Single Family Residential zoning district.

Section 6-308(E) Approval criteria for Use Permit (*in italics*):

1. *Any significant increase in vehicular or pedestrian traffic*; The proposed addition is not anticipated to cause an increase in traffic as the use of the home and addition will be for the existing resident of the home.
2. *Nuisance arising from the emission of odor, dust, gas, noise, vibration, smoke, heat or glare at a level exceeding that of ambient conditions*; The proposed addition is not expected to create nuisance of odor, dust, gas, noise, vibration, smoke, heat or glare.
3. *Contribution to the deterioration of the neighborhood or to the downgrading of property values, which is in conflict with the goals, objectives or policies for rehabilitation, redevelopment or conservation as set forth in the city's adopted plans or General Plan*; The proposed addition is not anticipated to contribute to deterioration of the neighborhood or downgrading of property values. The addition is not in conflict with the goals and objectives of adopted plans of the City.
4. *Compatibility with existing surrounding structures and uses*; The proposed addition maintains the style of the neighborhood. Other two story homes exist in the vicinity of the property.
5. *Adequate control of disruptive behavior both inside and outside the premises which may create a nuisance to the surrounding area or general public*; The proposed addition is not anticipated to create a nuisance to the surrounding area..

**REASONS FOR APPROVAL:**

Based on the information provided by the applicant, the public input received and the above analysis staff supports approval of the requested Use Permit. This request meets the required criteria and will conform to the conditions.

**SHOULD AN AFFIRMATIVE ACTION BE TAKEN ON THIS REQUEST, THE FOLLOWING NUMBERED CONDITIONS OF APPROVAL SHALL APPLY, BUT MAY BE AMENDED BY THE DECISION-MAKING BODY.**

**CONDITION(S) OF APPROVAL: (Non-standard conditions are identified in bold)**

EACH NUMBERED ITEM IS A CONDITION OF APPROVAL. THE DECISION-MAKING BODY MAY MODIFY, DELETE OR ADD TO THESE CONDITIONS.

1. The Use Permit is valid only after a Building Permit has been obtained, the required inspections have been completed and a Final Inspection has been passed. As part of the Building Permit process, on-site storm water retention may be required to be verified or accomplished on this Site.
2. The Use Permit is valid for the plans as submitted within this application. Any additions or modifications may be submitted for review during the building plan check process.

**CODE/ORDINANCE REQUIREMENTS:**

THE BULLETED ITEMS REFER TO EXISTING CODE OR ORDINANCES THAT PLANNING STAFF OBSERVES ARE PERTINENT TO THIS CASE. THE BULLET ITEMS ARE INCLUDED TO ALERT THE DESIGN TEAM AND ASSIST IN OBTAINING A BUILDING PERMIT AND ARE NOT AN EXHAUSTIVE LIST.

**USE PERMIT:**

- The use permit approval shall be void if the use is not commenced or if an application for a building permit has not been submitted, whichever is applicable, within twelve (12) months after the use permit is granted or within the time stipulated by the decision-making body.
- The decision-making body, upon finding that the applicant has not taken corrective actions to resolve issues related to the permit/approval and that a continuation of the permit/approval is not in the interest of the public health, safety and general welfare, can revoke the permit/approval after providing written notice of its intentions to the holder of the permit.
- Specific requirements of the **Zoning and Development Code (ZDC)** are not listed as a condition of approval but will apply to any application. To avoid unnecessary review time and reduce the potential for multiple plan check submittals, become familiar with the ZDC. Access the ZDC through <http://www.tempe.gov/zoning> or purchase from Development Services.
- Any intensification or expansion of use shall require a new Use Permit.

**HISTORY & FACTS:**

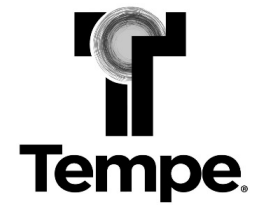
None pertinent to this request.

**ZONING AND DEVELOPMENT CODE REFERENCE:**

[Section 3-102, Permitted Uses in Residential Districts](#)

[Section 4-202, Development Standards for Residential Districts](#)

[Section 6-308, Use Permit](#)



**DEVELOPMENT PROJECT FILE**  
for  
**SVOBODA RESIDENCE**  
**(PL240004)**

**ATTACHMENTS:**

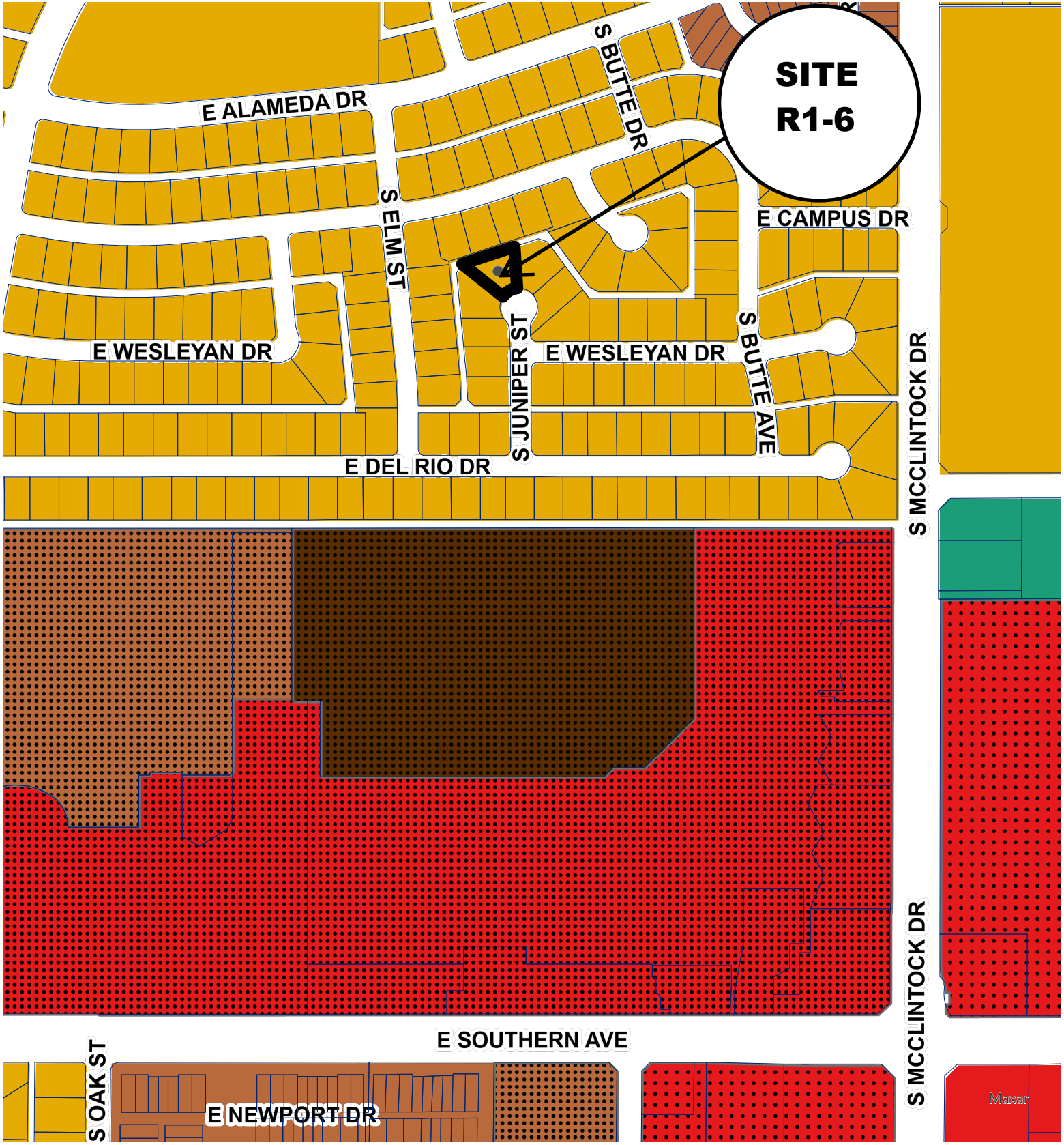
1. Location Map
2. Aerial Map
3. Letter of Explanation
4. Site Plan
5. Floor Plan
6. Elevations
- 7-8. Context Photos



Tempe

PL240004

# SVOBODA RESIDENCE



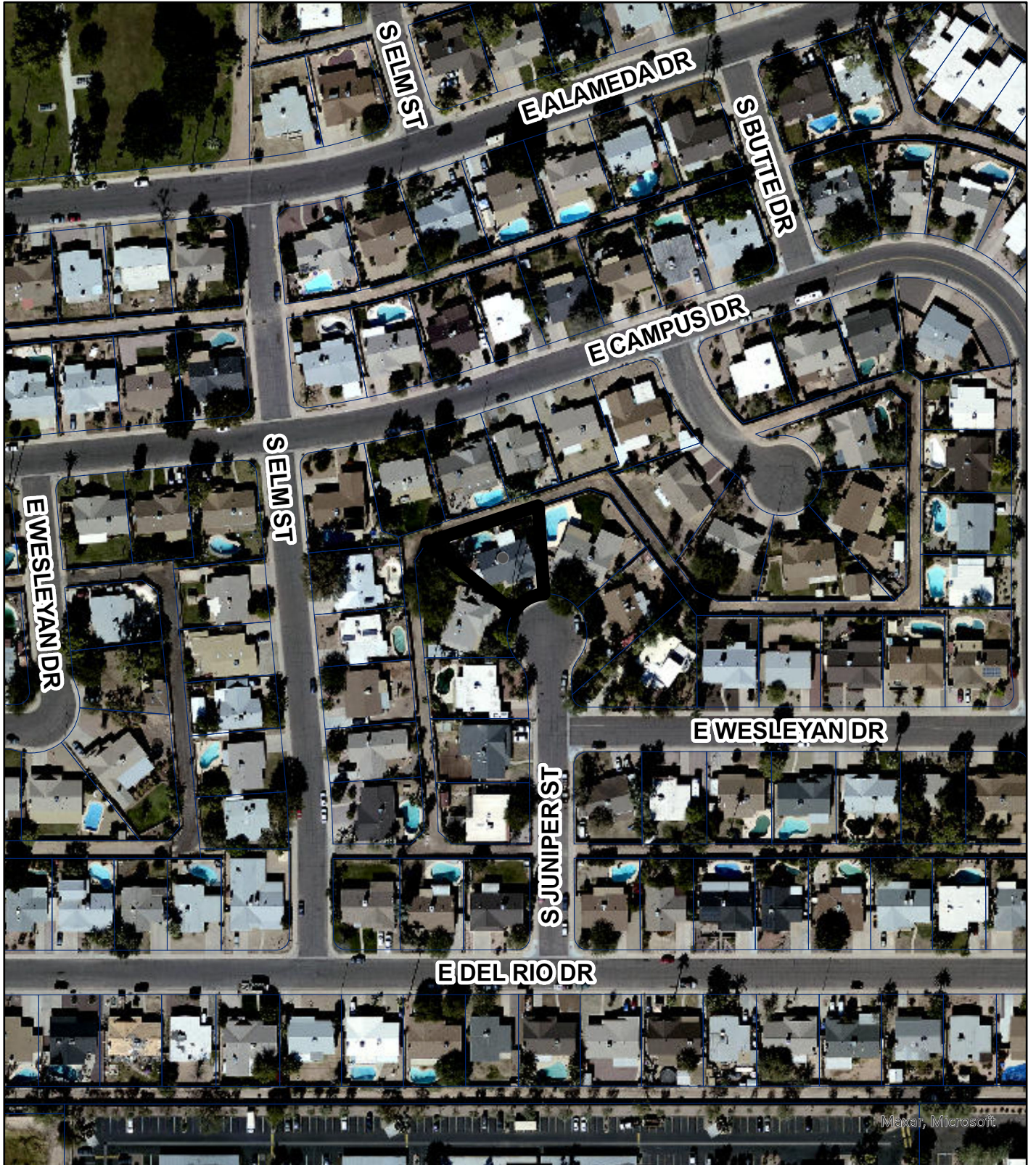
**SITE  
R1-6**

- |  |  |  |  |
|--|--|--|--|
|  | Commercial Shopping and Services (CSS)         |  | Single-Family Residential (R1-6)       |
|  | Planned Commercial Center Neighborhood (PCC-1) |  | Multi-Family Residential (R-2)         |
|  | Planned Commercial Center General (PCC-2)      |  | Multi-Family Residential Limited (R-3) |
|  | Residential/Office (RO)                        |  | Multi-Family Residential High (R-5)    |

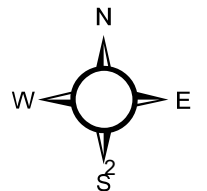


# SVOBODA RESIDENCE

PL240004



**Aerial Map**



SVOBODA 2<sup>ND</sup> STORY ADDITION

To whom it concerns:

Property is located at: 2902 S JUNIPER ST, TEMPE, AZ 85282

We are seeking a use-permit to construct a second story to allow the Svoboda family enough bedroom space to maintain their growing family in the home.

We are proposing to convert one of the 1<sup>st</sup> story bedrooms into a bathroom and stairway to a new 2<sup>nd</sup> story addition. The 2<sup>nd</sup> story will have 3 bedrooms and a 3<sup>rd</sup> bathroom, bringing the bed and bath totals to 5 bedrooms, 3 bathrooms.

This lot is currently zoned R1-6 (Single Family Residence) and will remain R1-6. We are not proposing a change in zoning. There are also a number of homes approved with 2<sup>nd</sup> story use permits already - there will not be negative impact to vehicular or pedestrian traffic.

We also do not foresee any nuisances from emissions, dust, gas, noise, vibration, smoke, heat or glare exceeding any ambient conditions. The second story addition will also not obstruct views, as all homes in the area are single level and tightly oriented – the 2<sup>nd</sup> story addition would not negatively impact the adjacent neighbors.

Since we are looking to maintain the R1-6 zoning, we aren't proposing a customization that would conflict with city's adopted plans for General Plan. Also, we see the ability to build up to a 2<sup>nd</sup> story would only benefit this area. Allowing owners to have the option of upgrading their homes with more bedrooms and bathrooms will increase the value of their homes, which will increase the value of homes overall in the neighborhood.

All surrounding parcels in the area are R1-6 residential, so there would be no compatibility uses that would conflicts with the surrounding structures. Also, we would respect the surrounding styles and materials by building with materials that would match the neighborhood – (eg. asphalt shingle roof, vertical wood siding, maintaining rooftop AC units to the 1<sup>st</sup> story roof, etc).

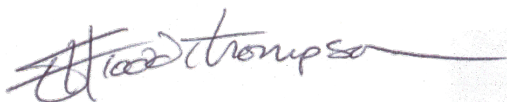
Last, because the parcel would remain a single-family residence there would be no disruptive behavior to the surrounding area of general public that would cause a nuisance to the neighborhood.

Here are a list of some of the homes that have approved 2<sup>nd</sup> story additions in this area:

930 E Broadmor Dr  
1006 E Broadmor Dr  
1112 E Concorda Dr  
1506 E Del Rio Dr

Please let me know if you have any questions.

Sincerely,



TODD THOMPSON  
etoddt@gmail.com  
(480) 720-1562

**PROJECT DESCRIPTION**

NEW 2ND STORY ADDITION - REMODEL BEDROOM TO NEW BATH AND STAIR WAY

OWNERS: RYAN AND LIZABETH SVOBODA  
 PHONE: (520) 661-5474  
 EMAIL: lizabethwd@gmail.com

**PROPERTY INFO**

ADDRESS: 2902 S JUNIPER ST  
 TEMPE, AZ 85282  
 APN: 133-33-242  
 SUB DIV: HUGHES ACRES UNIT 6  
 LOT #: 671  
 ZONING: R1-6  
 LOT SIZE: 8,425 SF

**EXISTING SF**

LIVABLE AREA: 1,566 SF  
 GARAGE: 480 SF  
 COV. PATIO: 160 SF  
**TOTAL: 2,206 SF**

EX. COVERAGE: 26.2%  
 MAX COVERAGE: 50%

**PROPOSED SF**

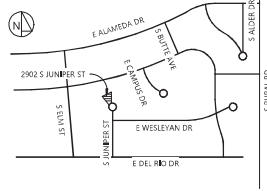
LIVABLE AREA: 1,566 SF  
 \*2ND STORY: 897 SF  
 GARAGE: 480 SF  
 COV. PORCH: 138 SF  
 COV. PATIO: 160 SF  
**TOTAL: 2,344 SF**

LOT COVERAGE: 27.9%  
 MAX COVERAGE: 50%

AREA AFFECTED: 1,800 SF

\* NOT INCLUDED IN LOT COVERAGE

**SITE MAP**



stoddDesign, Inc  
 www.stodd.com

**GENERAL NOTES**

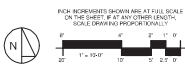
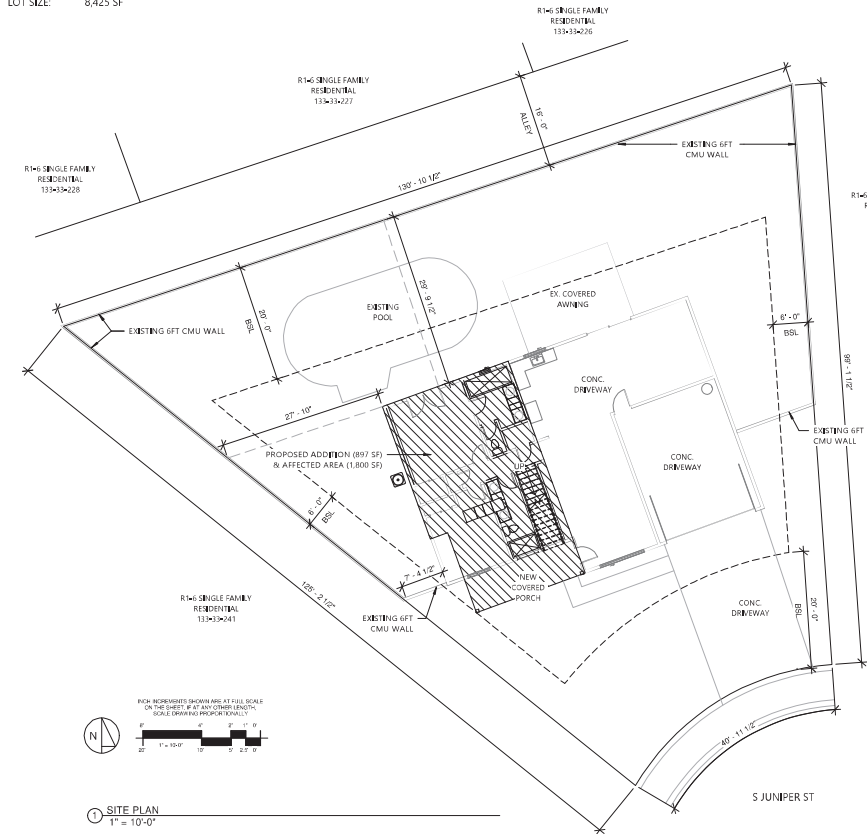
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- ALL EX. EXT. WALLS MASONRY SLUMP BLOCK W/ 2X4 FURRING. ALL NEW EXT. WALLS 2X6 STUD WALLS. ALL INTERIOR WALLS 2X4 STUDS @ 16" O.C., UNLESS OTHERWISE NOTED
- ALL ELECTRICAL OUTLETS TO BE TAMPER-RESISTANT - E4002.14
- INSTALL SMOKE DETECTORS PER CODE ONE IN EACH BEDROOM & CENTRALLY LOCATED IN HALLS LEADING TO SLEEPING ROOMS.
- SMOKE DETECTORS TO BE HARDWIRED & INTERCONNECTED. HALLWAY SMOKE DETECTOR TO BE A COMBO CO2 SENSOR & INTERCONNECTED.
- HARDIE BOARD - ESR-1844
- ASPHALT SHINGLES - ESR-3267
- SWD SPRAY FOAM - CCR-1011

**DESIGNED TO:**

INTERNATIONAL RESIDENTIAL CODE 2018  
 NATIONAL ELECTRIC CODE 2017

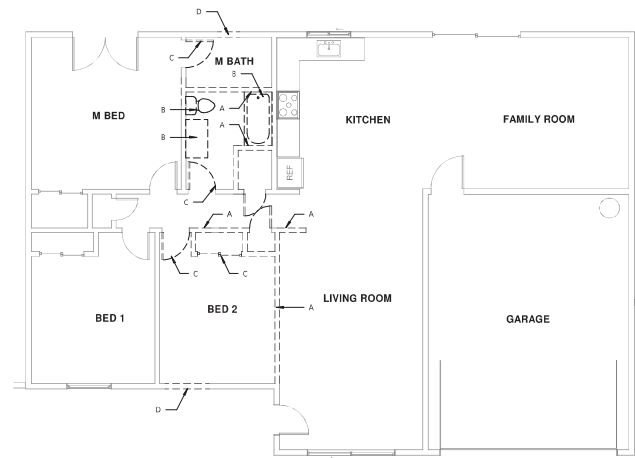
**SHEET SET**

- A001 SITE/GENERAL DEMO
- A002 FLOORPLANS
- A003 CEILING PLANS
- A004 MISC PLANS
- A005 ELEVATIONS
- E001 ELECTRICAL
- S000 STRUCTURAL NOTES
- S001 FOUNDATION PLANS
- S002 FRAMING PLANS
- S003 STRUCTURAL DETAILS



1 SITE PLAN  
 1" = 10'-0"

- A DEMO WALL WHERE INDICATED
- B DEMO CABINET OR PLUMBING FIXTURE
- C DEMO DOOR OR WINDOW
- D OPEN WALL FOR NEW WINDOW



2 FLOORPLAN - DEMO  
 3/16" = 1'-0"

**SVABODA ADDITION**  
 2902 S JUNIPER ST, TEMPE

**SITE/ GENERAL**

Project number 04003  
 Date 08/31/2017  
 Drawn by ETT  
 Checked by ETT

**A001**

Scale As indicated

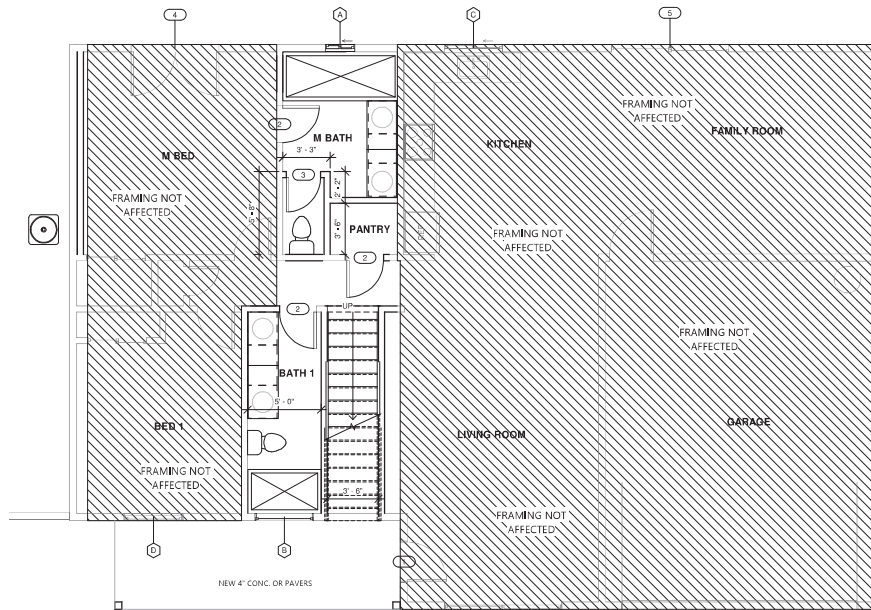


**GENERAL NOTES**

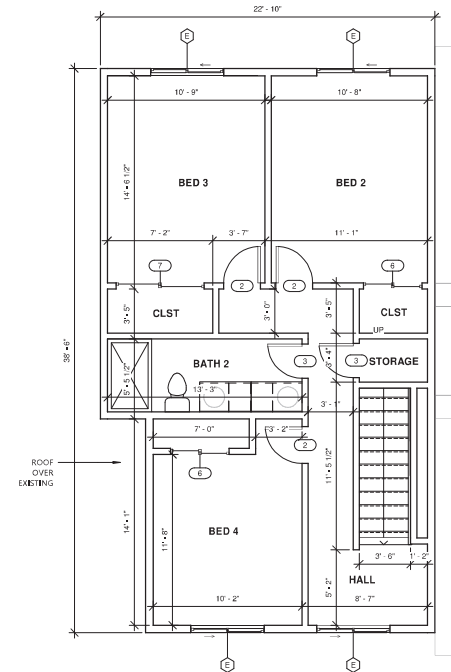
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- 7 ASPHALT SHINGLES - ESR-3267
- 8 SWD SPRAY FOAM - CCR9-1011

**DOOR & WINDOW SCHEDULE**

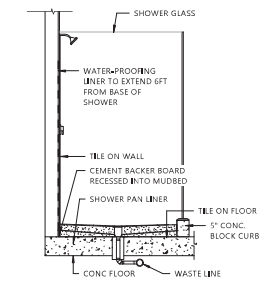
- 1 32" X 80" INTERIOR DOOR
  - 2 30" X 80" INTERIOR DOOR
  - 3 28" X 80" INTERIOR DOOR
  - 4 60" X 80" DOUBLE EXTERIOR DOOR
  - 5 60" X 80" DOUBLE SLIDING DOOR
  - 6 48" X 80" DOUBLE SLIDING DOOR
  - 7 72" X 80" DOUBLE SLIDING DOOR
- A 24" X 24" SLIDING WINDOW @ 60" A.F.F.  
 B 48" X 24" FIXED WINDOW @ 60" A.F.F.  
 C EX 48" X 36" SLIDING WINDOW @ 42" A.F.F.  
 D EX 48" X 48" SINGLE HUNG @ 36" A.F.F.



2 FLOORPLAN - NEW  
1/4" = 1'-0"



3 LEVEL 2 FLOOR  
1/4" = 1'-0"



1 SHOWER CURB SECTION  
1/2" = 1'-0"

**SVABODA ADDITION**  
2902 S JUNIPER ST, TEMPE

**PLANS**

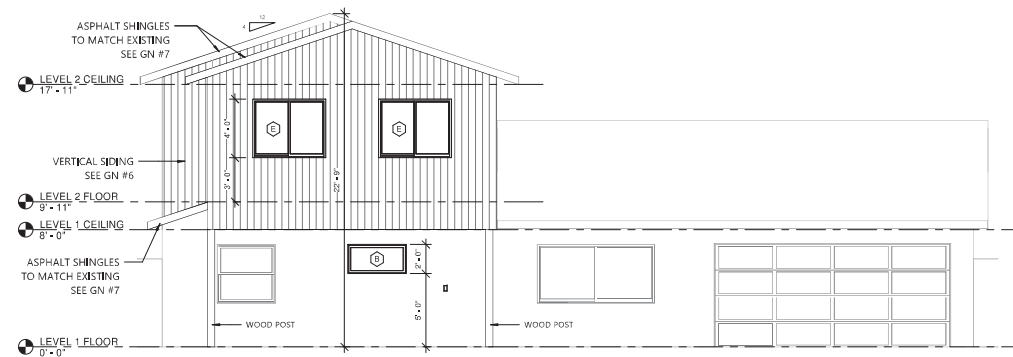
Project number 04003  
 Date 08/31/2017  
 Drawn by Author  
 Checked by Checker

**A002**

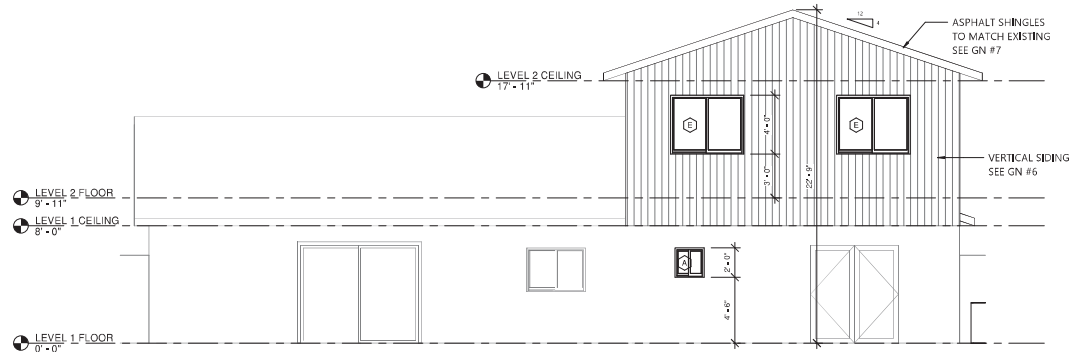
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**GENERAL NOTES**

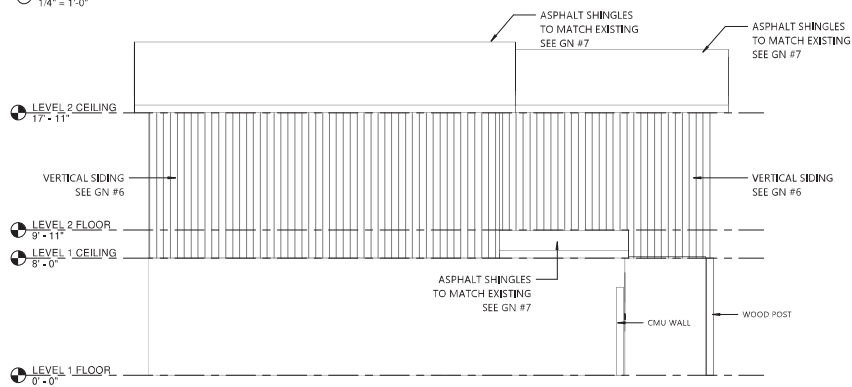
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- 8 SWD SPRAY FOAM - CCR-1011



1 ELEVATION - SOUTH  
1/4" = 1'-0"



2 ELEVATION - NORTH  
1/4" = 1'-0"



3 ELEVATION - WEST  
1/4" = 1'-0"

**SVABODA ADDITION**  
2902 S JUNIPER ST, TEMPE

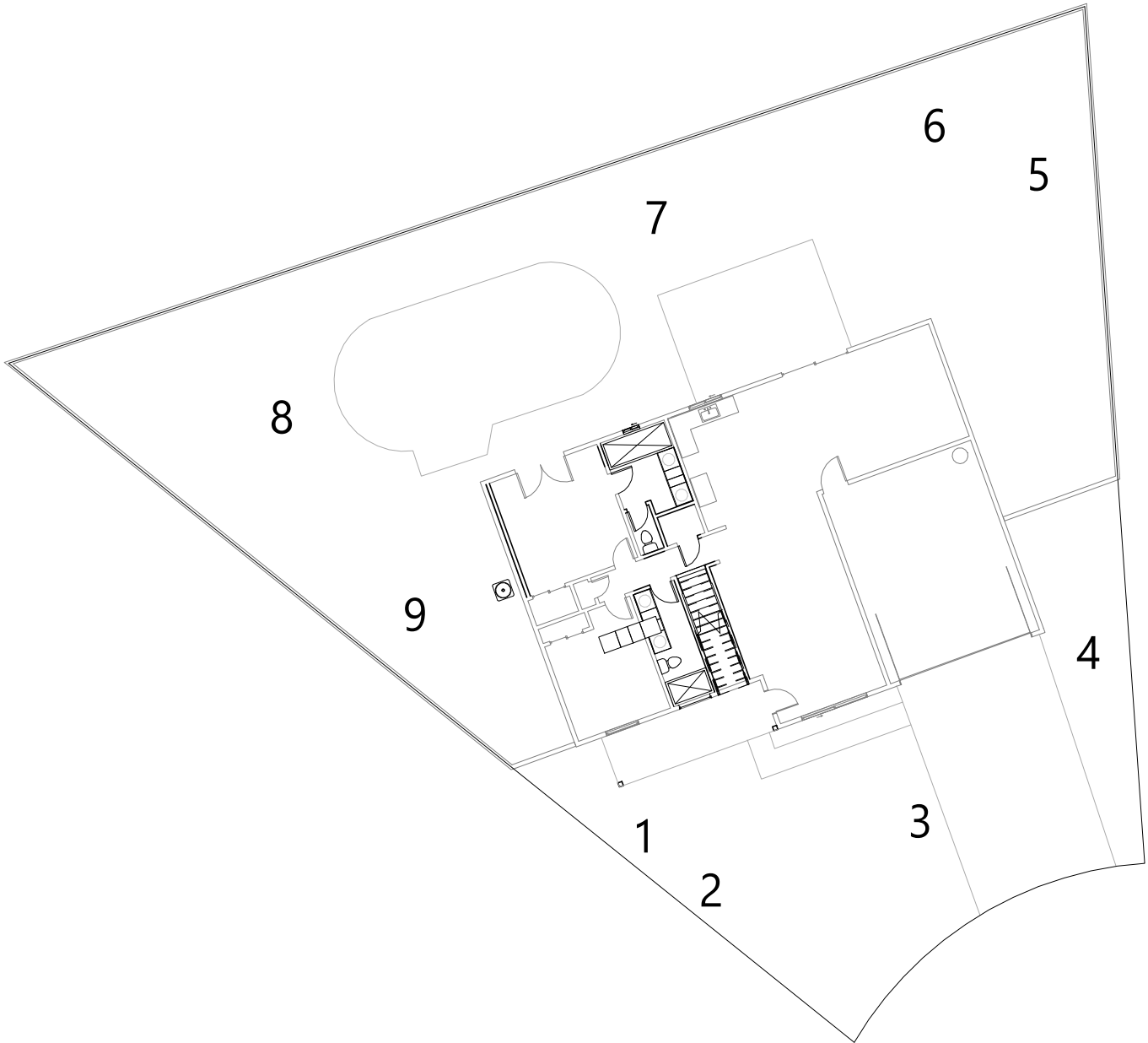
**ELEVATIONS**

Project number 04003  
Date 08/31/2017  
Drawn by Author  
Checked by Checker

**A005**

Scale As indicated

# PHOTO PLAN - ALL IMAGES FACE INWARD





WEST SIDE (8)



NW CORNER (7)



NE CORNER (6)



NORTH SIDE (9)



SW CORNER (1)



NE CORNER (5)



SW CORNER (2)



SOUTH FRONT (3)



SE CORNER (4)