

**CITY OF TEMPE  
DEVELOPMENT REVIEW COMMISSION**

**Meeting Date: 3/26/2024  
Agenda Item: 12**

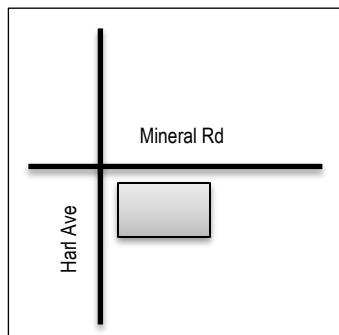
**ACTION:** Request a Use Permit to allow outdoor vehicle rental for **TESLA COLLISION CENTER**, located at 7015 South Harl Avenue. The applicant is Telsa, Inc.

**FISCAL IMPACT:** N/A

**RECOMMENDATION:** Staff – Approve, subject to conditions

**BACKGROUND INFORMATION:** TESLA COLLISION CENTER (PL240045) is an existing auto body repair shop located at the southeast corner of Mineral Road and Harl Avenue west of Priest Drive. The applicant, Amina Taj of Tesla, Inc., is requesting a Use Permit to allow vehicle rentals and to dedicate five parking spaces for the proposed use. The request includes the following:

ZUP240019 Use Permit to allow vehicle rentals



Property Owner	Jacmar Companies LLC
Applicant	Amina Taj, Tesla, Inc.
Zoning District	GID (SWOD)
Site Area	68,287 s.f.
Building Area	30,870 s.f.
Lot Coverage	45% (No Standard)
Building Height	28' 5" (65' max. allowed)
Building Setbacks	No changes to existing structure
Vehicle Parking	96 spaces (96 min. required)
Bicycle Parking	4 spaces (4 min. required)
Hours of Operation	8 a.m. to 5 p.m., M-F

**ATTACHMENTS:** Development Project File

**STAFF CONTACT(S):** Lucas Jensen, Planner I (480) 350-8023

Department Director: Jeff Tamulevich, Community Development Director  
Legal review by: N/A  
Prepared by: Lucas Jensen, Planner I  
Reviewed by: Michelle Dahlke, Principal Planner

## COMMENTS

The Tesla Collision Center is located on the southeast corner of Mineral Road and Harl Avenue and is in the GID, General Industrial zoning district and the Southwest Tempe Overlay district. There is an existing auto body repair use located at the site, and this Use Permit request would allow for vehicle rentals with five (5) designated parking spaces for the proposed use. The Board of Adjustment approved a variance in 1996 to reduce the required parking by seven (7) spaces. Based on the square footage of the uses and required parking ratios, the required number of parking spaces is 103 minus the seven (7) spaces reduced by variance, totaling 96 required parking spaces. The site is providing 88 surface and 13 indoor parking spaces for a total of 101 parking spaces, five (5) of which will be used for vehicle rental cars, bringing the provided parking to 96 spaces. The site meets the minimum number of parking spaces required.

## PUBLIC INPUT

Upon completion of this report staff has not received any public comments or inquiries regarding this request.

## USE PERMIT

The proposed use requires a Use Permit to allow vehicle rentals within the GID, General Industrial zoning district, and Southwest Tempe Overlay District (SWOD).

Section 6-308(E) Approval criteria for Use Permit (*in italics*):

1. *Any significant increase in vehicular or pedestrian traffic*; the proposed vehicle rental use is intended for existing customers and is not expected to increase vehicular or pedestrian traffic to or from the site.
2. *Nuisance arising from the emission of odor, dust, gas, noise, vibration, smoke, heat or glare at a level exceeding that of ambient conditions*; there are no increases to potential nuisances associated with allowing a vehicle rental use at an existing auto body repair shop.
3. *Contribution to the deterioration of the neighborhood or to the downgrading of property values, which is in conflict with the goals, objectives or policies for rehabilitation, redevelopment or conservation as set forth in the city's adopted plans or General Plan*; the proposed use is consistent with the industrial land use designation in the 2040 and 2050 General Plan.
4. *Compatibility with existing surrounding structures and uses*; the vehicle rental use is complimentary to the auto body repair use and is compatible with surrounding industrial uses.
5. *Adequate control of disruptive behavior both inside and outside the premises which may create a nuisance to the surrounding area or general public*; the proposed use includes a help desk at the front which is available to assist customers and help reduce potential disruption during business hours.

## REASONS FOR APPROVAL:

Based on the information provided by the applicant, the public input received and the above analysis staff supports approval of the requested Use Permit. This request meets the required criteria and will conform to the conditions.

## SHOULD AN AFFIRMATIVE ACTION BE TAKEN ON THIS REQUEST, THE FOLLOWING NUMBERED CONDITIONS OF APPROVAL SHALL APPLY, BUT MAY BE AMENDED BY THE DECISION-MAKING BODY.

### CONDITION(S) OF APPROVAL: (Non-standard conditions are identified in bold)

EACH NUMBERED ITEM IS A CONDITION OF APPROVAL. THE DECISION-MAKING BODY MAY MODIFY, DELETE OR ADD TO THESE CONDITIONS.

1. The Use Permit is valid only after a Building Permit has been obtained, the required inspections have been completed and a Final Inspection has been passed. As part of the Building Permit process, on-site storm water retention may be required to be verified or accomplished on this Site.
2. The Use Permit is valid for the plans as submitted within this application. Any additions or modifications may be submitted for review during the building plan check process.
3. **All vehicles generated from the businesses shall be kept on-site in parking areas or other designated storage lots, at all times.**

**CODE/ORDINANCE REQUIREMENTS:**

THE BULLETED ITEMS REFER TO EXISTING CODE OR ORDINANCES THAT PLANNING STAFF OBSERVES ARE PERTINENT TO THIS CASE. THE BULLET ITEMS ARE INCLUDED TO ALERT THE DESIGN TEAM AND ASSIST IN OBTAINING A BUILDING PERMIT AND ARE NOT AN EXHAUSTIVE LIST.

**USE PERMIT:**

- The Use Permit is valid for Tesla, Inc. and may be transferable to successors in interest through an administrative review with the Community Development Director, or designee.
- The use permit approval shall be void if the use is not commenced or if an application for a building permit has not been submitted, whichever is applicable, within twelve (12) months after the use permit is granted or within the time stipulated by the decision-making body.
- The decision-making body, upon finding that the applicant has not taken corrective actions to resolve issues related to the permit/approval and that a continuation of the permit/approval is not in the interest of the public health, safety and general welfare, can revoke the permit/approval after providing written notice of its intentions to the holder of the permit.
- Specific requirements of the **Zoning and Development Code (ZDC)** are not listed as a condition of approval but will apply to any application. To avoid unnecessary review time and reduce the potential for multiple plan check submittals, become familiar with the ZDC. Access the ZDC through <http://www.tempe.gov/zoning> or purchase from Development Services.
- Any intensification or expansion of use shall require a new Use Permit.
- All required permits and clearances shall be obtained from the Audit and Licensing Division of the City of Tempe prior to the Use Permit becoming effective.
- All required Federal, State, County, and Municipal permits, licenses, and clearances shall be obtained, or the Use Permit is void.

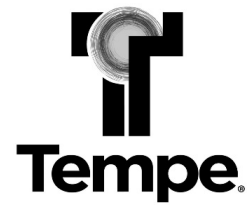
SIGNS: Separate plan review process is required for signs in accordance with requirements of ZDC Part 4 Chapter 9 (Signs). Refer to [www.tempe.gov/signs](http://www.tempe.gov/signs).

**HISTORY & FACTS:**

- June 18, 1996 Board of Adjustment approved a variance to reduce the required on-site parking from 98 spaces to 91 spaces (7 spaces).
- April 9, 1997 Certificate of Occupancy was issued for office and body shop.

**ZONING AND DEVELOPMENT CODE REFERENCE:**

[Section 6-308. Use Permit](#)



# **DEVELOPMENT PROJECT FILE**

for

**TESLA COLLISION CENTER  
(PL240045)**





## **ATTACHMENTS:**

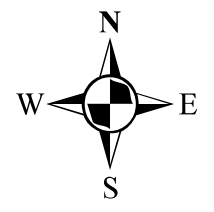
1. Zoning Map
2. Aerial Map
- 3-5. Context Photos
6. Applicant's Letter of Explanation
7. Site Plan
8. Blackline Elevations
9. Floor Plans

# Tesla Collision Center

PL240045

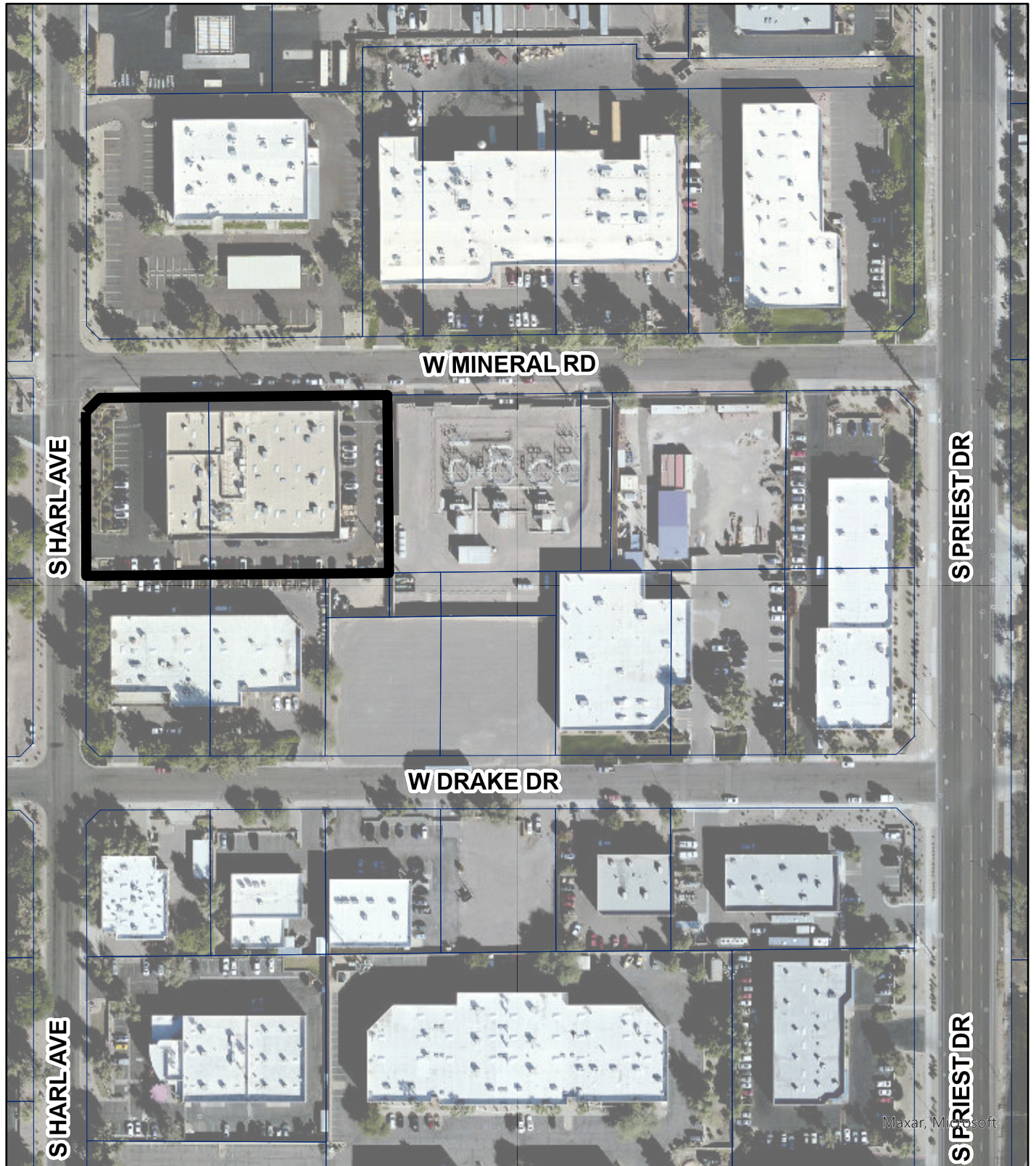


-  General Industrial District (GID)
-  Planned Commercial Center Neighborhood (PCC-1)
-  Multi-Family Residential Limited (R-3)
-  Multi-Family Residential General (R-4)

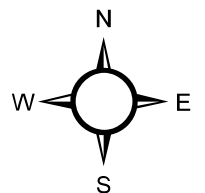


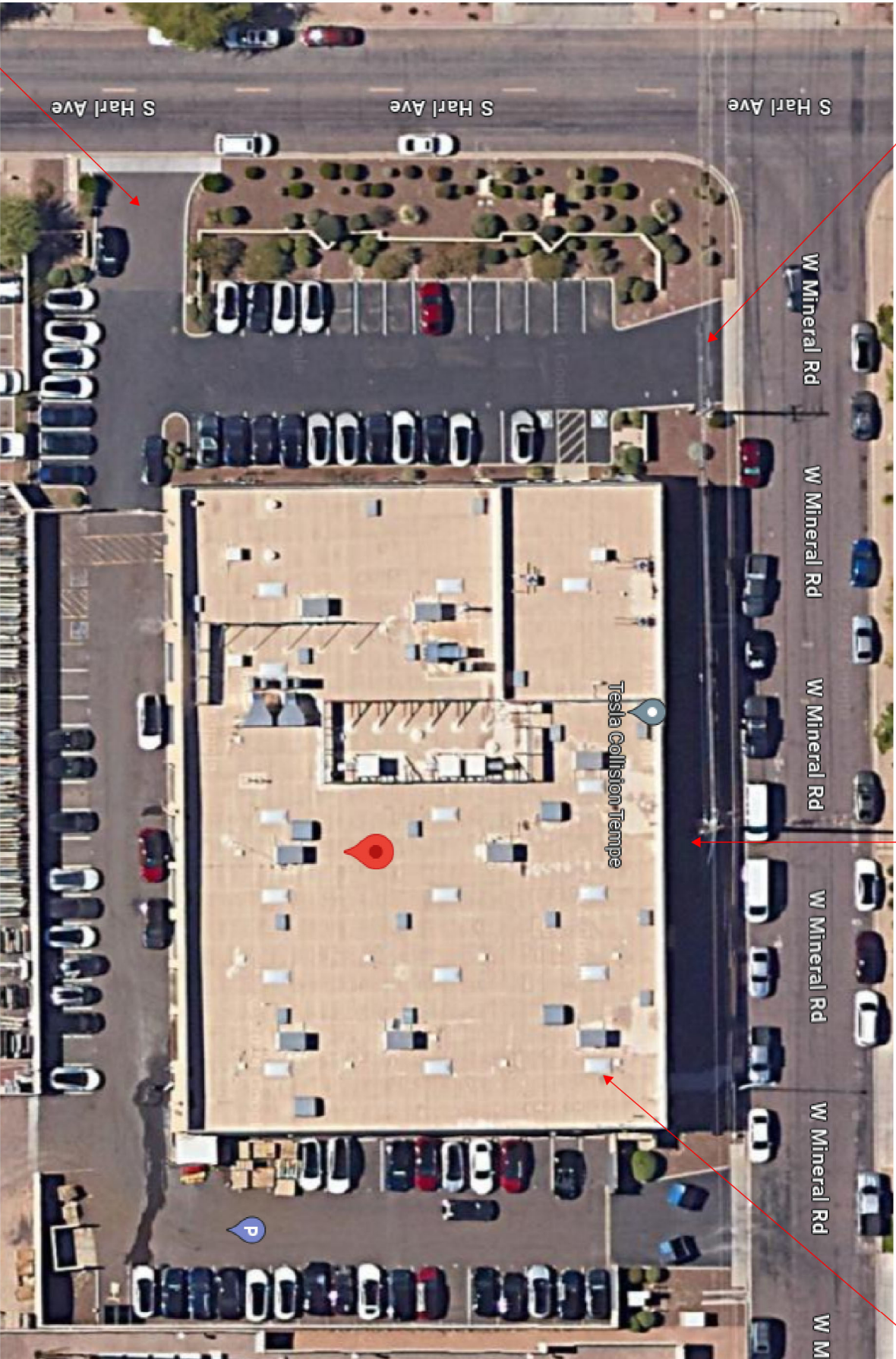


# Tesla Collision Center



## Aerial Map





2

1

4

3

1. View from NW corner:



2. View from SW corner:

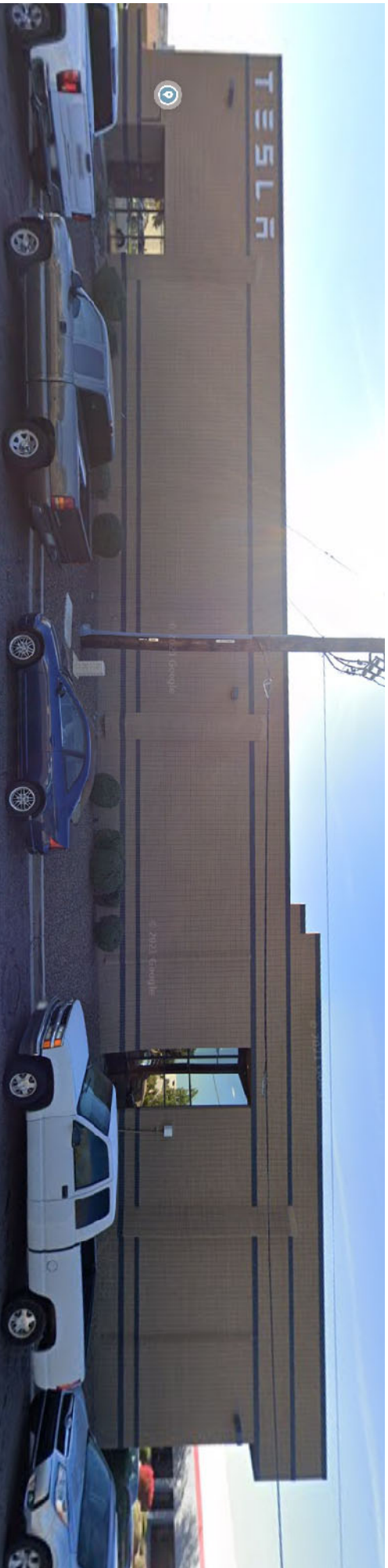




3. View from NE corner:



4. Entrance Faccade



# LETTER OF EXPLANATION

*To whomsoever it may concern-*

*Good Morning,*

*My name is Amina Taj, Architecture and Design Manager at Tesla Inc. We will be starting a new Rental car program for our clients and customers and need to apply for a use permit for our Tesla Repair Shop.*

*Please see the below proposal as it relates to the requested Accessory Use at the Tesla Body Shop located at 7015 S Harl Ave, Tempe, Arizona 85283.*

*Tesla's proposed accessory rental vehicle service shall be in support of the primary body shop and vehicle repair function of this facility.*

*The intent is to provide Tesla Body customers with access to temporary transportation while their vehicle is repaired or otherwise serviced.*

- Operation of the rental service is an accessory use to the body repair shop.*
- This service is to be provided exclusively to clients or customers of the body repair facility.*
- Tesla will park such vehicles within the Tesla site but outside the building premises.*
- No rental cars to be parked inside. The cars currently inside are for collision repair and body shop – no change to existing conditions inside the building.*
- No significant vehicular or pedestrian traffic in adjacent areas.*
- No nuisance arising from emission of odor, dust, gas, noise, vibration, smoke, heat or glare at a level exceeding that of the ambient conditions are anticipated with this request.*
- No deterioration of the neighborhood or the downgrading of property values anticipated with this request.*
- The goal is to be seamlessly compatible with current use and surrounding structures and uses. No changes anticipated.*
- The request will not contribute to disruptive behavior both inside and outside the building premises, nor create a nuisance to the surrounding area or general public.*

*Please let me know if I can provide any further information for approval. I look forward to hearing from you!*

**AREA CALCULATIONS**

UNPERMITTED OCCUPANCIES  
 5-REPAIR GARAGE EXISTING BUILDING AREA = 30,070 S.F.  
 5-REPAIR GARAGE EXISTING BUILDING AREA = 30,070 S.F.  
 5-REPAIR GARAGE EXISTING BUILDING AREA = 30,070 S.F.  
 NO CHANGE OF USE PROVIDED

ALLOWABLE AREA CALCULATION  
 2019 INTERNATIONAL BUILDING CODE, SECTION 506, TABLE 503 AND EQUATION 5-1

**ADDITIONAL SITE PLAN KEY NOTES**

**PARKING CALCULATIONS**

TEMPLE MUNICIPAL CODE, CHAPTER 12, T.M.A. 27.23  
 GROUP B (OFFICE) 1 PARKING STALL PER 100 S.F.  
 GROUP B (AUTOMOBILE SERVICE) 1 PARKING STALL PER 300 S.F.

Required	Provided
Automobile Service	103 (88 Surface + 13 indoor)
Accessible	5 (1 VAN)
Rental Cars	5
Bike	4
<b>Total</b>	<b>96 (101.5 rental cars)</b>

Allowed: 103.7 by Variance (B/S960141106/19/1995 = 96)

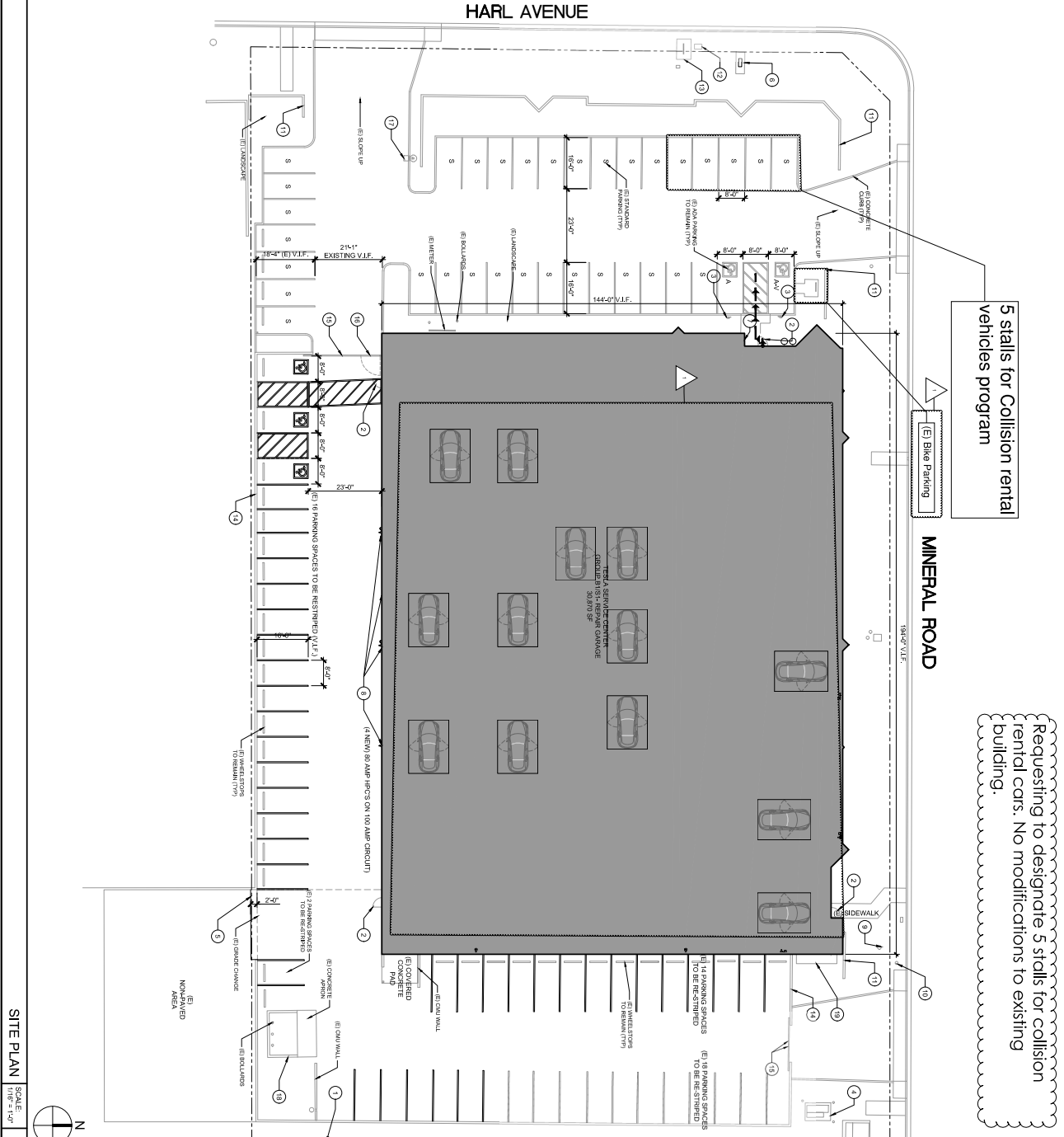
**LEGEND**

- (L) LANDSCAPE AREA
- (P) PROPERTY LINE
- (F) PROPERTY SET BACK
- (T) ACCESSIBLE PATH OF TRAVEL
- (S) 4" WHITE PAINTED STRIPING, SPACED AT 3" ON CENTER, AT 30 DEGREE ANGLE
- (B) STRIPED PARKING STALL
- (E) ELECTRIC CAR CHARGING STALL
- (A) ACCESSIBLE PARKING STALL
- (AV) ACCESSIBLE VAN PARKING STALL

**KEY NOTES**

- 1 PROPERTY LINE
- 2 EGRESS DOOR, SEE 2A.02
- 3 ACCESSIBLE PARKING SPACES, SEE DETAIL W.01.03
- 4 EGRESS SIGN
- 5 TRANSOM SIGN
- 6 SIGN TO IMPROVED AREA WITH ASPHALTIC CONCRETE, NO MORE THAN 1/2" WIDE WITH A MAXIMUM OF 8% SLOPE
- 7 INTERNALLY ILLUMINATED SIGN BY SIGN VENDOR ON E/BASE
- 8 SET-SCREWED NIGHT SHOP BOX, WALL MOUNTED, TOP EDGE OF UNIT AT 4'-0" A.F.F. (SEE LOCATION WITH ARCHITECT PRIOR TO DEMOLITION/INSTALLATION)
- 9 SEE DETAIL W.01.02 FOR WALL CONSTRUCTION WALL CONSTRUCTION, SEE ELECTRICAL DRAWINGS, INSTALL PER MANUFACTURERS RECOMMENDATIONS
- 10 SEE DETAIL W.01.07
- 11 FINE FINISH
- 12 FINE FINISH
- 13 FINE FINISH
- 14 FINE FINISH
- 15 FINE FINISH
- 16 FINE FINISH
- 17 FINE FINISH
- 18 FINE FINISH
- 19 MECHANICAL, CLOSET

**HARL AVENUE**



5 stalls for Collision rental vehicles program

Requesting to designate 5 stalls for collision rental cars. No modifications to existing building.

**MINERAL ROAD**

**SITE PLAN**  
 SCALE: 1/8" = 1'-0"  
 1

**A1.01**

SCALE: AS NOTED  
 DATE: 01/15/2019  
 SHEET NUMBER: 20142301N

**DRAWING TITLE**  
 SITE PLAN

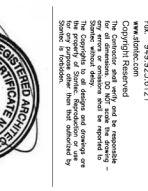
**ISSUE / REVISION**

1	1.20.19	75% ISSUE
2	1.23.19	90% ISSUE
3	2.28.19	PERMANENT ISSUE
4	3/5/21	REVISION 1

**DATE: 01/15/2019**

**TEMPER-HARL AVE. SERVICE + SALES**  
 7015 S. HARL AVE  
 TEMPE, AZ, 85283

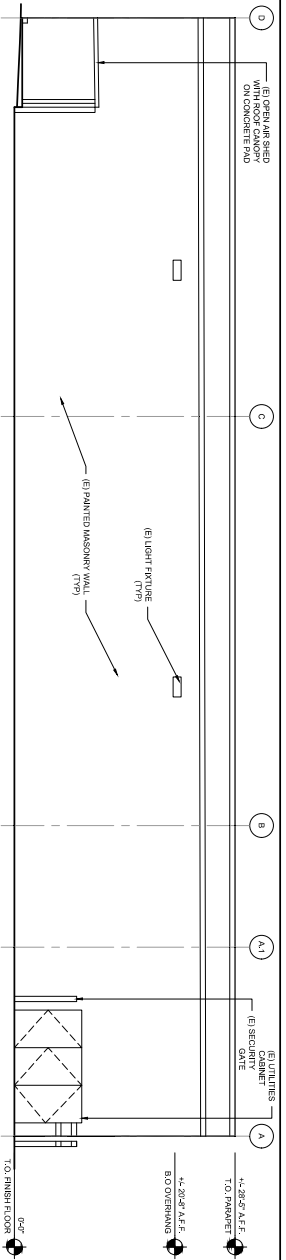
**Attachment 7**



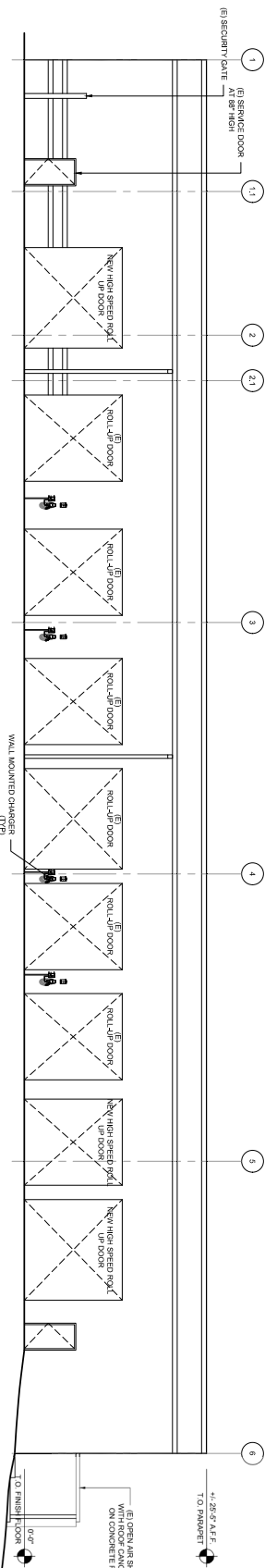
**Statatoc**  
 Statatoc Architecture, Inc.  
 30 Technology Park, Suite #100  
 Irvine, CA  
 92618-5021  
 Tel: 949.923.6700  
 Fax: 949.923.6121  
 www.statatoc.com



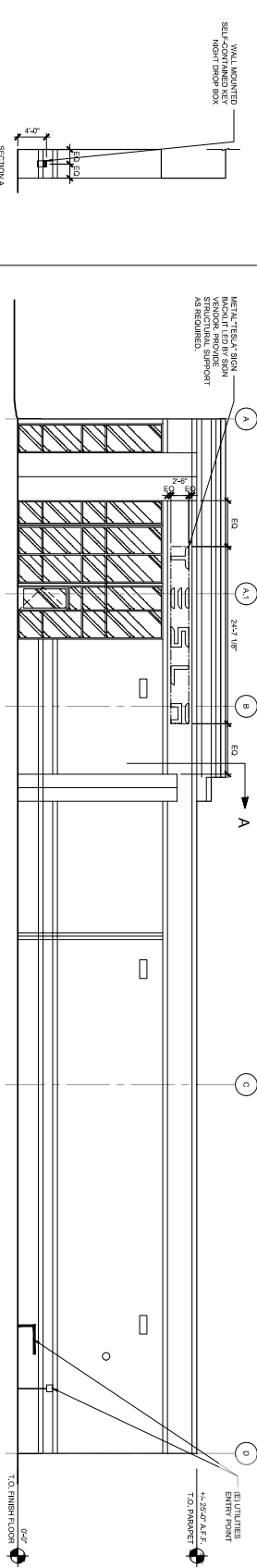
SCAFFOLD UNDER  
SECURITY GATE  
SEPARATE DRAWING



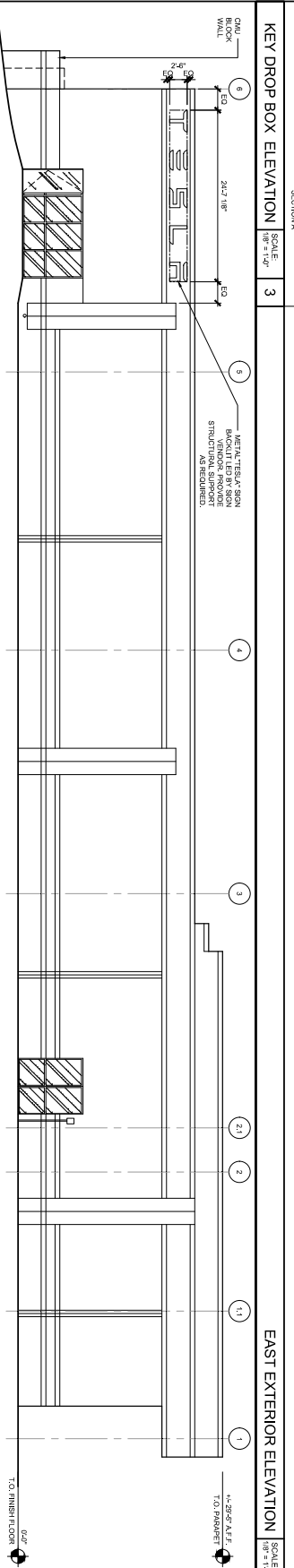
WEST EXTERIOR ELEVATION SCALE: 1/8" = 1'-0"



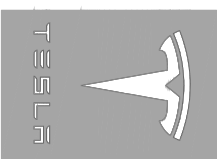
SOUTH EXTERIOR ELEVATION SCALE: 1/8" = 1'-0"



EAST EXTERIOR ELEVATION SCALE: 1/8" = 1'-0"



NORTH EXTERIOR ELEVATION SCALE: 1/8" = 1'-0"



Stantec Architecture Inc.  
35 Technology Drive, Suite #100  
Irvine, CA 92618-3921 67000  
Tel. 949.923.6121  
Fax. 949.923.6121  
www.stantec.com  
The Contractor shall verify and be responsible for the accuracy of all dimensions and elevations shown on this drawing. The Contractor shall be responsible for all design and drawing errors and omissions. The Contractor shall be responsible for all permit applications and fees. The Contractor shall be responsible for all utility relocation and protection. The Contractor shall be responsible for all site work and safety. The Contractor shall be responsible for all site work and safety. The Contractor shall be responsible for all site work and safety.

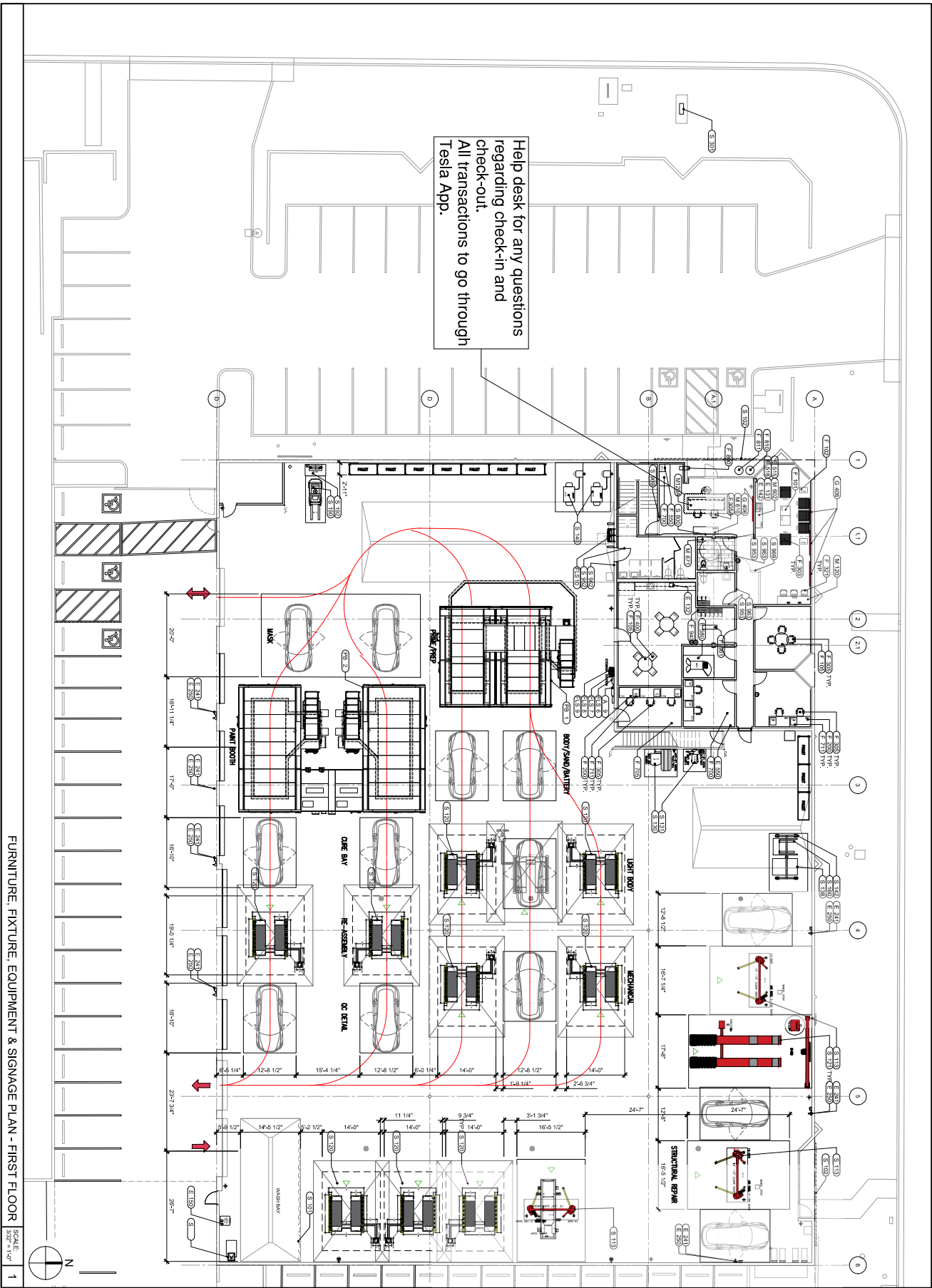


12-30-2019

Attachment 8  
TEMPE-HARL AVE.  
SERVICE + SALES  
7015 S. HARL AVE  
TEMPE, AZ, 85283

ISSUE / REVISION	DATE	BY
1. 75% ISSUE	11.20.19	RS
2. 90% ISSUE	12.13.19	RS
3. PERMIT ISSUE	12.30.19	RS

DRAWING TITLE  
EXTERIOR ELEVATIONS  
AS NOTED  
RTP PROJECT # 201428200  
SHEET NUMBER 201428200  
A4.01



Help desk for any questions regarding check-in and check-out. All transactions to go through Tesla App.

FURNITURE, FIXTURE, EQUIPMENT & SIGNAGE PLAN - FIRST FLOOR

SCALE: 1/8" = 1'-0"  
SHEET NUMBER: 1

**A2.03a**

SCALE: AS NOTED  
 RVT PROJECT # 201423241  
 SWANSON PROJECT # 201423241  
 SHEET NUMBER

FURNITURE FIXTURE  
 EQUIPMENT &  
 SIGNAGE PLAN -  
 FIRST FLOOR

DRAWING TITLE

AFTER BID AWARD

ISSUE / REVISION	79% ISSUE
1.2.30.19	90% ISSUE
2.2.30.19	PERMITS ISSUE
DEFCON BID AWARD	

TEMPE-HARL AVE.  
 SERVICE + SALES  
 7015 S. HARL AVE.  
 TEMPE, AZ, 85283

12-30-2019

REGISTERED ARCHITECT  
 STATE OF ARIZONA  
 CERTIFICATE NO. 12345  
 EXPIRES 12/31/2021

Attachment 9

**Stantec**

Stantec Architecture Inc.  
 28 Technology Park, Suite #100  
 Irvine, CA 92618-5812  
 949.815.5312  
 Fax: 949.923.6121  
 www.stantec.com

The Contractor shall verify and be responsible for the accuracy of all dimensions and quantities shown on this drawing. The Contractor shall be responsible for the accuracy of all dimensions and quantities shown on this drawing. The Contractor shall be responsible for the accuracy of all dimensions and quantities shown on this drawing.

