

**CITY OF TEMPE
DEVELOPMENT REVIEW COMMISSION**

**Meeting Date: 3/26/2024
Agenda Item: 9**

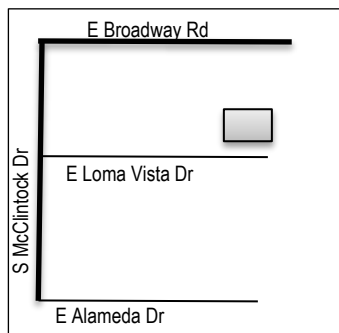
ACTION: Request a Use Permit to allow two (2) required parking spaces within the front yard building setback for the XIOA & FENG RESIDENCE, located at 1837 E Loma Vista Drive. The applicant is Rezio.

FISCAL IMPACT: There is no fiscal impact on City funds.

RECOMMENDATION: Approve, subject to conditions

BACKGROUND INFORMATION: XIAO & FENG RESIDENCE (PL240029) is located on southeast corner of Loma Vista Drive and McClintock Drive in the Alameda Meadows Subdivision. The property is located within the R1-6 zoning district and has an existing four-bedroom single-family residence. The proposed addition would convert an existing carport into 288 square feet of new livable space adding a fifth bedroom to the residence. The applicant is requesting a Use Permit to allow two (2) parking spaces in the front yard building setback. The request includes the following:

ZUP240016 Use Permit to allow two (2) parking spaces in the front yard building setback.



Property Owner	Lin Xiao/Jin
Applicant	Zach Mykytiuk, Rezio
Zoning District	R1-6
Site Area	7,266 s.f.
Building Area	2,499 s.f.
Lot Coverage	34% (40% max. allowed)
Building Height	14'11 (30 max. allowed)
Building Setbacks	20' front, 5' side, 20' rear (20', 5', 10', 15 min. required)
Vehicle Parking	2 spaces (2 min. required)

ATTACHMENTS: Development Project File

STAFF CONTACT(S): Whitney Mayfield, Planner I (480) 350-8486

Department Director: Jeff Tamulevich, Community Development Director

Legal review by: N/A

Prepared by: Whitney Mayfield, Planner I

Reviewed by: Michelle Dahlke, Principal Planner

COMMENTS

The site is located on the north side of Alameda Drive, east of Los Feliz Drive, south of Loma Vista Drive, and west of McClintock Drive in the Alameda Meadows Subdivision and in the Alameda Character Area Five. The applicant is requesting a Use Permit to allow the two (2) required spaces in the front yard building setback. The existing residence has four bedrooms and three bathrooms. The owners are converting the carport room into a fifth-bedroom. Due to the addition, the owners are seeking a Use Permit to satisfy the parking space requirements within the front yard setbacks. Currently, the Tempe Zoning and Development Code does not permit a separate dwelling from the main residence. As such, this addition is to be a part of the main residence, accessible from the interior, and not a separate dwelling.

PUBLIC INPUT

At the time of this report, staff has received three public comments in opposition to the request from neighbors, and one comment in support of the request from a Tempe resident.

USE PERMIT

The proposed use requires a Use Permit to allow the two (2) required parking spaces within the front yard setback within the R1-6 zoning district

Section 6-308(E) Approval criteria for Use Permit (*in italics*):

1. *Any significant increase in vehicular or pedestrian traffic*; The proposed modification is intended to serve the occupants of the single-family residence, therefore parking in the front yard setback is not expected to cause any significant increase in traffic.
2. *Nuisance arising from the emission of odor, dust, gas, noise, vibration, smoke, heat or glare at a level exceeding that of ambient conditions*; The proposed use is not anticipated to generate environmental nuisances in excess of existing ambient conditions.
3. *Contribution to the deterioration of the neighborhood or to the downgrading of property values, which is in conflict with the goals, objectives or policies for rehabilitation, redevelopment or conservation as set forth in the city's adopted plans or General Plan*; Parking in the front yard setback is permitted in the R1-6 zoning district, subject to a Use Permit. Similar parking conditions are present elsewhere in the neighborhood, and the proposed parking is not anticipated to cause or contribute to the deterioration of the neighborhood.
4. *Compatibility with existing surrounding structures and uses*; The addition to the residence will result in significant improvements to the physical property by improving surrounding property values. As demonstrated in photo exhibits provided by the applicant, there are numerous residences throughout the neighborhood with enclosed carports, and parking on driveways within the front setback area is common. Therefore, the use is compatible with all surrounding structures, uses, and conditions in the neighborhood.
5. *Adequate control of disruptive behavior both inside and outside the premises which may create a nuisance to the surrounding area or general public*; The use is not anticipated to generate disruptive behavior, and the expanded driveway will allow for additional parking on the subject property and outside of the right of way.

REASONS FOR APPROVAL:

Based on the information provided by the applicant, the public input received and the above analysis staff supports approval of the requested Use Permit. This request meets the required criteria and will conform to the conditions.

SHOULD AN AFFIRMATIVE ACTION BE TAKEN ON THIS REQUEST, THE FOLLOWING NUMBERED CONDITIONS OF APPROVAL SHALL APPLY, BUT MAY BE AMENDED BY THE DECISION-MAKING BODY.

CONDITION(S) OF APPROVAL: (Non-standard conditions are identified in bold)

EACH NUMBERED ITEM IS A CONDITION OF APPROVAL. THE DECISION-MAKING BODY MAY MODIFY, DELETE OR ADD TO THESE CONDITIONS.

1. The Use Permit is valid only after a Building Permit has been obtained, the required inspections have been completed and a Final Inspection has been passed. As part of the Building Permit process, on-site storm water retention may be required to be verified or accomplished on this Site.

2. The Use Permit is valid for the plans as submitted within this application. Any additions or modifications may be submitted for review during the building plan check process.

CODE/ORDINANCE REQUIREMENTS:

THE BULLETED ITEMS REFER TO EXISTING CODE OR ORDINANCES THAT PLANNING STAFF OBSERVES ARE PERTINENT TO THIS CASE. THE BULLET ITEMS ARE INCLUDED TO ALERT THE DESIGN TEAM AND ASSIST IN OBTAINING A BUILDING PERMIT AND ARE NOT AN EXHAUSTIVE LIST.

USE PERMIT:

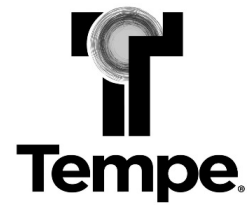
- The use permit approval shall be void if the use is not commenced or if an application for a building permit has not been submitted, whichever is applicable, within twelve (12) months after the use permit is granted or within the time stipulated by the decision-making body.
- The decision-making body, upon finding that the applicant has not taken corrective actions to resolve issues related to the permit/approval and that a continuation of the permit/approval is not in the interest of the public health, safety and general welfare, can revoke the permit/approval after providing written notice of its intentions to the holder of the permit.
- Specific requirements of the **Zoning and Development Code (ZDC)** are not listed as a condition of approval but will apply to any application. To avoid unnecessary review time and reduce the potential for multiple plan check submittals, become familiar with the ZDC. Access the ZDC through <http://www.tempe.gov/zoning> or purchase from Development Services.
- Any intensification or expansion of use shall require a new Use Permit.
- All required Federal, State, County, and Municipal permits, licenses, and clearances shall be obtained, or the Use Permit is void.

HISTORY & FACTS:

July 26, 1968 A single-family residence was built.

ZONING AND DEVELOPMENT CODE REFERENCE:

[Section 6-308, Use Permit](#)

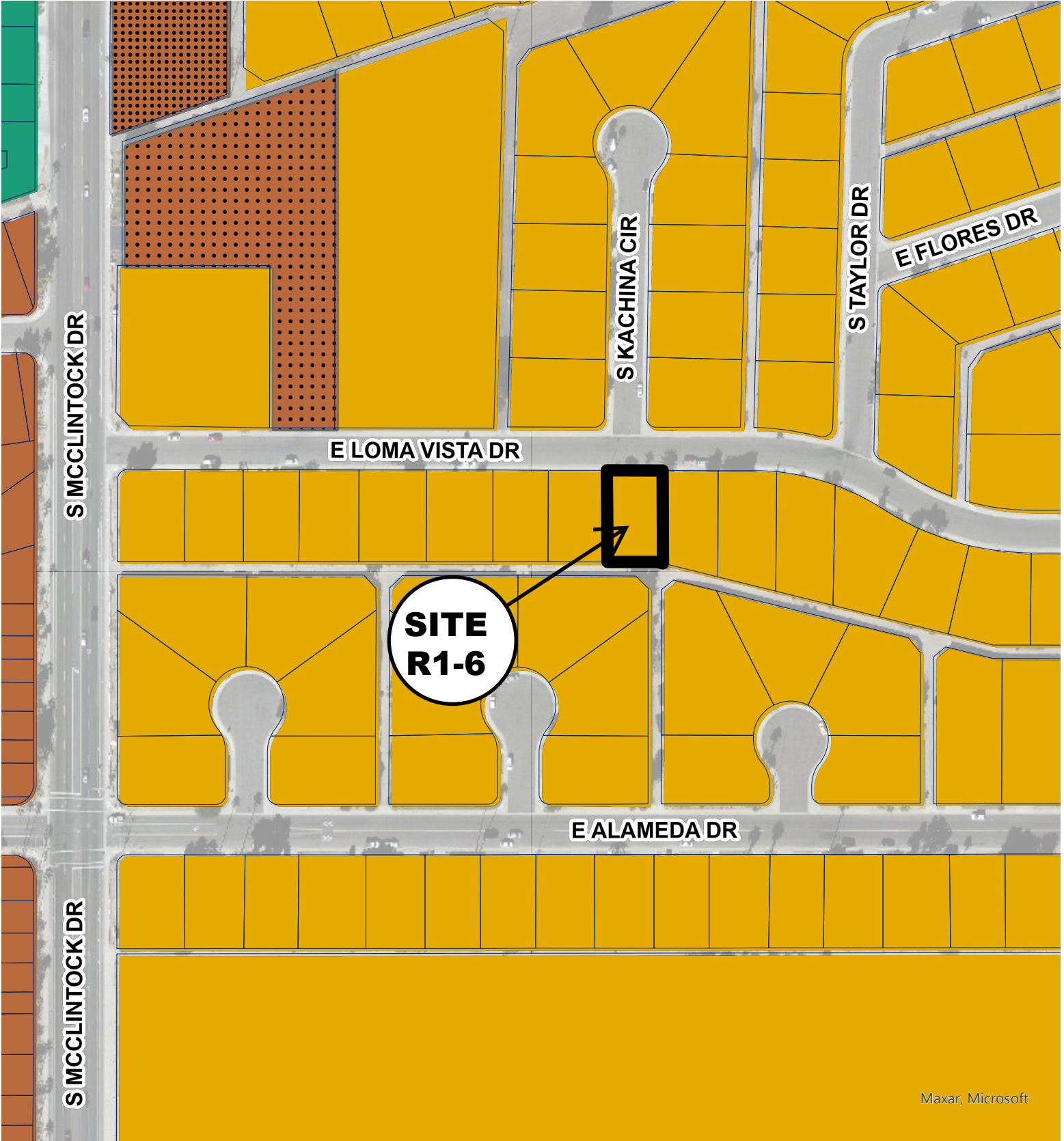


DEVELOPMENT PROJECT FILE
for
XIAO & FENG RESIDENCE
(PL240029)






ATTACHMENTS:

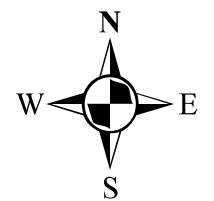
1. Zoning Map
2. Aerial Map
3. Letter of Explanation
4. Site Plan
5. Floor Plan
6. Building Elevations
- 7-12. Site Context Photos
- 13-19. Public Input

Xiao & Feng Residence

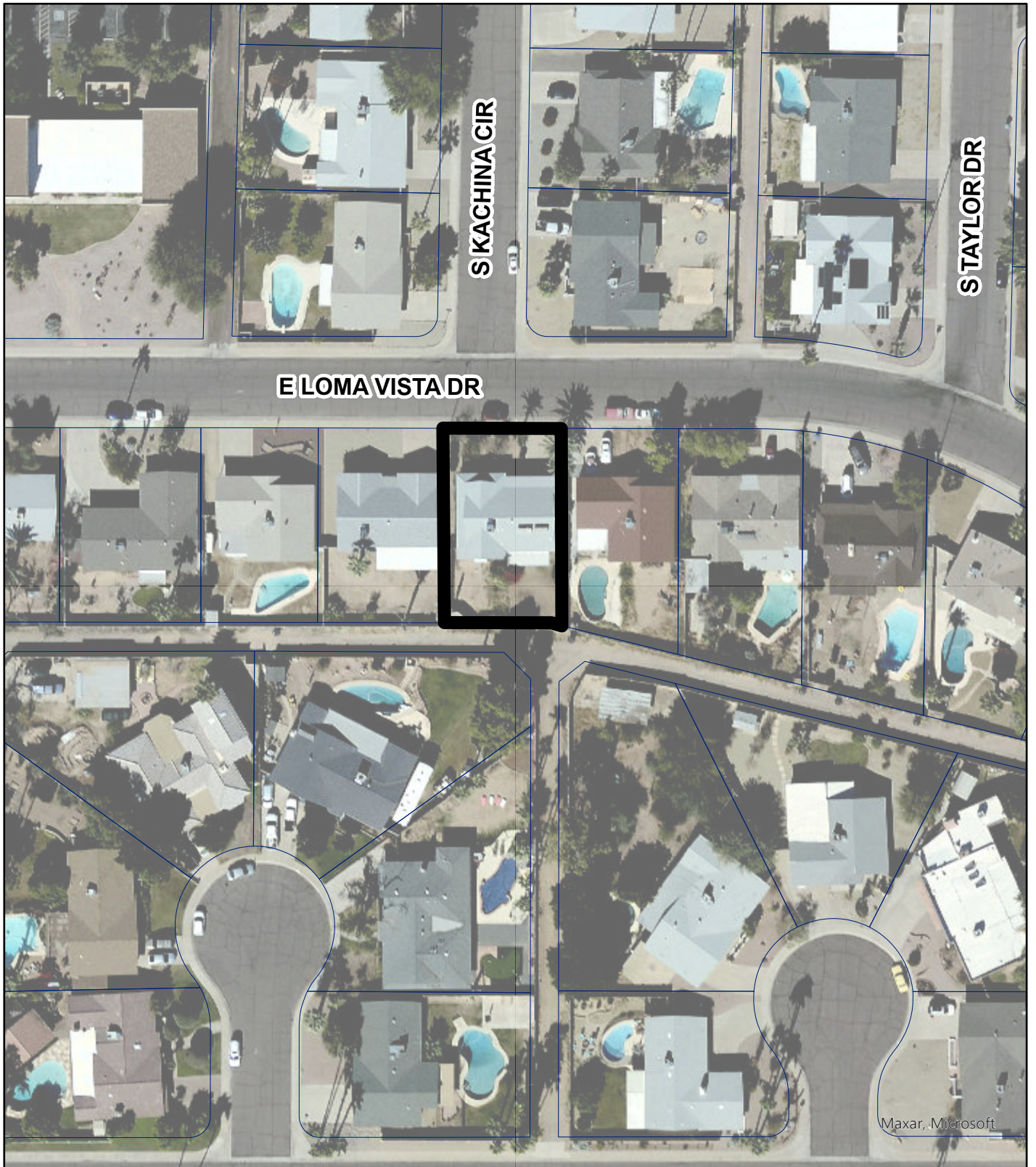


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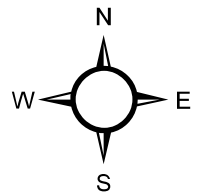
-  Residential/Office (RO)
-  Single-Family Residential (R1-6)
-  Multi-Family Residential (R-2)
-  Multi-Family Residential Restricted (R-3R)
-  Multi-Family Residential Limited (R-3)



Xiao & Feng Residence PL240029



Aerial Map





March 18, 2024

RE: Narrative Explanation for Use Permit for 1837 E Loma Vista

To whom it may concern,

The homeowners desire to enclose the carport and make the space livable and in doing so lose an allowed parking space. So they will need a use permit, to park in their front driveway that would fall inside of the front set back. The purpose of this project is twofold. One is to allow the family additional room to live comfortably. The second is to raise the property value, which in addition also raises the neighborhood property values. This is an investment into the property and the neighborhood and will allow the family to enjoy their space even more so.

There will be no detrimental impact to the adjacent properties because the parking will remain on the home owner's property and will not impact the flow of traffic on the street as no street parking is required. The only impact being, that the parking space will reside slightly inside of the front setbacks.

This is the best path forward to the homeowner and to the neighborhood as adding livable space to the home will raise the property value and does not affect the neighborhood detrimentally. Attempting to get a paving permit for the alley to provide parking in the property's backyard would cause a larger impact onto the neighborhood and also has a large financial impact on the homeowner.

This use permit does not impact vehicular or pedestrian traffic in adjacent areas. It causes no further nuisance arising from the emission of extraneous odor, dust, gas, or noise. It contributes to the upgrading of property values and is already compatible with the existing surrounding structures and uses.

This use permit seeks to provide the best possible solution to both the homeowner and the neighborhood by providing additional parking in the most logical and effective location.

Thank you for your cooperation on this project. Please contact me if you have any questions or require additional information.

Sincerely,

Zach Mykytiuk

Rezio LLC
1 N 1st Street, Ste 7375
Phoenix, AZ 85004

zach@reziopro.com

GENERAL NOTES (AS APPLICABLE):

- ALL PRODUCTS LISTED BY ICENR NUMBERS SHALL BE INSTALLED PER THE REPORT AND MANUFACTURERS WRITTEN INSTRUCTIONS. PRODUCTS SUBSTITUTIONS FOR PRODUCTS LISTED SHALL ALSO HAVE AN ICC APPROVED EVALUATION REPORT OR BE APPROVED.
- EXTERIOR WALL BOTTOM SILL PLATES SHALL BE PRESSURE TREATED OR EQUAL AND SHALL BEAR ON MINIMUM 6 INCHES ABOVE FINISH GRADE.
- MISC. SITE STRUCTURES. POOLS, SPAS, FENCES, SITE WALLS, RETAINING WALLS, AND GAS STORAGE TANKS REQUIRE SEPARATE PERMITS.
- ALL EXITS TO BE OPERABLE FROM THE INSIDE WITHOUT USE OF A KEY OR SPECIAL KNOWLEDGE.
- DOORS LEADING INTO HOUSE FROM GARAGE SHALL BE SELF-CLOSING AND TIGHT FITTING WITH GASKETS AND SWEEP.
- EXTERIOR WALL PENETRATIONS BY PIPES, DUCTS OR CONDUITS SHALL BE CALKED.
- IF BATT INSULATION IS USED IN LEIU OF SPRAYED, PROVIDE ROOF ATTIC VENTILATION.
- MINIMUM INSULATION SHALL BE: MINIMUM INSULATION OF R38 CEILINGS AND R21 WALLS.
- LUMBER SHALL BEAR AN APPROVED GRADING STAMP.
- FIRE BLOCKING SHALL COMPLY WITH CODE AND BE MAXIMUM 10 FT. O.C., HORIZONTAL AND VERTICAL.
- GYPSUM BOARD APPLIED TO A CEILING SHALL BE 1/2" WHEN FRAMING MEMBERS ARE 16" O.C. OR 5/8" WHEN FRAMING MEMBERS ARE 24" O.C. OR USE 1/2" SAG-RESISTANT GYPSUM CEILING BOARD.
- SHOWER AREA WALLS SHALL BE FINISHED WITH A SMOOTH, HARD NON-ABSORBENT SURFACE, SUCH AS CERAMIC TILE, TO A HEIGHT OF NOT LESS THAN 72 INCHES ABOVE THE DRAIN INLET.
- WATER-RESISTANT GYPSUM SHALL NOT BE USED OVER A VAPOR RETARDER. IN AREAS OF HIGH HUMIDITY OR ON CEILINGS WHERE THE FRAME SPACING EXCEEDS 12" O.C. FOR 1/2" GYPSUM AND 16" O.C. FOR 5/8" GYP.
- PLUMBING FIXTURES SHALL COMPLY WITH THE FOLLOWING CONSERVATION REQUIREMENTS: WATER CLOSERS - TANK TYPE - 1.6 GAL. FLUSH SHOWER HEADS - 2.5 GAL./MIN. FAUCETS - 2.2 GAL./MIN. PROVIDE AERATOR.
- WATER TREATMENT SYSTEMS SHALL BE EQUIPPED WITH AN AUTOMATIC SHUT-OFF TO PREVENT CONTINUOUS FLOW WHEN NOT IN USE.
- PROVIDE AN EXPANSION TANK AT THE WATER HEATER IF A BACK FLOW PREVENTOR IS OR WILL BE INSTALLED AT THE WATER LINE OR AT THE WATER HEATER.
- SHOWERS AND TUB-SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE INSTANT MIXING VALVE TYPE.
- DOMESTIC DISHWASHING MACHINES CONNECTED TO A DISPOSER SHALL HAVE THE DISCHARGE INSTALLED AS HIGH AS POSSIBLE, NOT LOWER THAN 2" ABOVE THE FLOOD RIM OF THE SINK.
- REFRIGERATORS, FREEZERS AND GRILLS SHALL BE MECHANICALLY FASTENED TO RIGID SUPPORTS OR STRUCTURAL MEMBERS ON AT LEAST TWO OPPOSITE SIDES IN ADDITION TO BEING CONNECTED TO THE DUCTWORK THEY SERVE.
- THE CLOTHES DRYER SHALL BE PROVIDED WITH A 4-INCH DIAMETER EXHAUST DUCT TO THE EXTERIOR AND SHALL NOT EXCEED A TOTAL LENGTH OF 25 FEET. UNLESS AN ENGINEERED DUCT SYSTEM IS PROVIDED, THE DUCT SHALL TERMINATE NOT LESS THAN 3 FEET FROM A PROPERTY LINE OR FROM OPENINGS INTO A BUILDING.
- PROVIDE IC-RATED RECESSED LIGHT FIXTURES INSTALLED IN INSULATED CEILING TO PREVENT CONTINUOUS FLOW WHEN NOT IN USE.
- FIXTURES LOCATED IN DAMP OR WET LOCATIONS SHALL BE "LISTED" TO BE SUITABLE FOR SUCH LOCATIONS.
- PROVIDE GFCI PROTECTION FOR RECEPTACLES WITHIN 6' OF ALL LAVATORIES, SINKS AND BASINS.
- PROVIDE GFCI PROTECTED RECEPTACLES AT ALL EXTERIOR, BATHROOM, AND GARAGE LOCATIONS.
- PROVIDE A WALL-MOUNTED GFCI PROTECTED RECEPTACLE OUTLET WITHIN 36" OF A BATHROOM OR POWDER ROOM LAVATORY.
- ALL CIRCUITS SUPPLYING RECEPTACLE OUTLETS IN BEDROOMS SHALL BE AFCI PROTECTED ALL BRANCH CIRCUITS THAT SUPPLY 120-VOLT, SINGLE-PHASE, 15- AND 20-AMPERE OUTLETS INSTALLED IN FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN'S, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS AND SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A COMBINATION TYPE ARC-FAULT CIRCUIT INTERRUPTER INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT.
- RECEPTACLE OUTLETS SHALL BE INSTALLED SO THAT NO POINT ALONG THE FLOOR LINE IN ANY WALL SPACE IS MORE THAN 6' MEASURED HORIZONTALLY FROM AN OUTLET IN THAT SPACE, INCLUDING ANY WALL SPACE TWO FEET OR MORE IN WIDTH.
- BATHROOM RECEPTACLE OUTLETS SHALL BE SUPPLIED BY AT LEAST ONE 2-AMP BRANCH CIRCUIT. SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS.
- RECEPTACLE OUTLETS FOR RANGES AND CLOTHES DRYER SHALL BE A 3-POLE WITH GROUND TYPE, FOUR-WIRE, GROUNDING TYPE FLEXIBLE CORDS WILL BE REQUIRED FOR CONNECTION OF RANGES AND CLOTHES DRYERS. THE BONDING JUMPER SHALL NOT BE CONNECTED BETWEEN THE NEUTRAL TERMINAL AND THE FRAME OF THE APPLIANCE.
- PROVIDE A SEPARATE 20-AMP CIRCUIT TO THE LAUNDRY.
- PROVIDE A CONCRETE ENCASED GROUNDING ELECTRODE OF NOT LESS THAN 20 FEET #4 BARE COPPER.
- PROVIDE BONDING TO THE WATER PIPING, GAS AND METAL BUILDING SYSTEMS.
- ALL METAL PIPING SYSTEMS, METAL PART OF ELECTRICAL EQUIPMENT, AND PUMP MOTORS ASSOCIATED WITH THE HYDRO MASSAGE TUB SHALL BE BONDED TOGETHER USING A COPPER BONDING JUMPER, INSULATED COVERED OR BARE, NOT SMALLER THAN NO. 8 SOLID, METAL PARTS OF LISTED EQUIPMENT INCORPORATING AN APPROVED SYSTEM OF DOUBLE INSULATION AND PROVIDING A MEANS FOR GROUNDING INTERVAL NON-ACCESSIBLE, NON-CURRENT-CARRYING METAL PARTS SHALL NOT BE BONDED.

SITE PLAN NOTES (AS APPLICABLE):

- DEVELOPMENT AND USE OF THIS SITE WILL CONFORM WITH ALL APPLICABLE CODES AND ORDINANCES.
- THIS PROJECT IS LOCATED IN THE CITY WATER SERVICES AREA AND HAS BEEN DESIGNATED AS HAVING AN ASSURED WATER SUPPLY.
- ALL NEW OR RELOCATED UTILITIES WILL BE PLACED UNDERGROUND.
- STRUCTURES AND LANDSCAPING WITHIN A TRIANGLE MEASURING BACK 10' FROM THE PROPERTY LINE AND 20' ALONG THE PROPERTY LINE ON EACH SIDE OF DRIVEWAYS ENTRANCES WILL BE MAINTAINED AT A MAXIMUM HEIGHT OF 7'.
- STRUCTURES AND LANDSCAPING WITHIN A TRIANGLE MEASURING 33' X 33' ALONG THE PROPERTY LINES WILL BE MAINTAINED AT A MAXIMUM HEIGHT OF 3'.
- ANY LIGHTING WILL BE PLACED SO AS TO DIRECT LIGHT AWAY FROM ADJACENT RESIDENTIAL DISTRICTS AND WILL NOT EXCEED ONE-FOOT CANDLE AT THE PROPERTY LINE. NO NOISE, ODOR, OR VIBRATION WILL BE EMITTED AT ANY LEVEL EXCEEDING THE GENERAL LEVEL OF NOISE, ODOR, OR VIBRATION EMITTED BY USES IN THE AREA OUTSIDE OF THE SITE.
- OWNERS OF PROPERTY ADJACENT TO PUBLIC RIGHTS-OF-WAY WILL HAVE THE RESPONSIBILITY FOR MAINTAINING ALL LANDSCAPING LOCATED WITHIN THE RIGHTS-OF-WAY, IN ACCORDANCE WITH APPROVED PLAN.
- THE EXISTING STRUCTURES MUST COMPLY WITH THE CHANGE OF OCCUPANCY PROVISIONS IN THE LOCAL CONSTRUCTION CODE PRIOR TO USE.
- AFTER FINAL APPROVAL THE PROJECT WILL BE INSPECTED FOR ZONING COMPLIANCE DURING CONSTRUCTION AND PRIOR TO OCCUPANCY. THE APPLICANT IS TO NOTIFY PDD PRIOR TO THE OCCUPANCY TO ARRANGE FOR INSPECTIONS. CALL 262-4981 AND REQUEST A DESIGN REVIEW INSPECTION.
- ALL ROOFTOP EQUIPMENT AND SATELLITE DISHES SHALL BE SCREENED TO THE HEIGHT OF THE TALLEST EQUIPMENT.
- ALL SERVICE AREAS SHALL BE SCREENED TO CONCEAL TRASH CONTAINERS, LOADING DOCKS, TRANSFORMERS, BACKFLOW PREVENTERS, AND OTHER MECHANICAL OR ELECTRICAL EQUIPMENT FROM EYE LEVEL ADJACENT TO ALL PUBLIC STREETS.
- BARBED, RAZOR, OR CONCERNITA WIRE (OR SIMILAR) SHALL NOT BE USED ON THIS SITE WHERE VISIBLE FROM PUBLIC STREETS OR ADJACENT RESIDENTIAL AREAS.
- ALL SIGNAGE REQUIRES A SEPARATE REVIEW AND PERMIT.
- SMOKE, GAS, AND ODOR EMISSIONS SHALL COMPLY WITH REGULATION III OF THE MARICOPA COUNTY AIR POLLUTION CONTROL RULES AND REGULATIONS.
- THE DISPOSAL OF ALL WASTE MATERIALS SHALL COMPLY WITH TITLE 9, CHAPTER 9, ARTICLES 18 AND 4 OF THE HAZARDOUS WASTE REGULATIONS AS ADOPTED BY THE ARIZONA HEALTH DEPARTMENT.
- THE AVERAGE NOISE LEVEL, MEASURED AT THE PROPERTY LINE, SHALL NOT EXCEED 44 DB (DIN) WHEN MEASURED ON "A WEIGHTED" SOUND LEVEL METER AND ACCORDING TO THE PROCEDURES OF THE ENVIRONMENTAL PROTECTION AGENCY.
- EXPLOSIVE OR HAZARDOUS PROCESSES (IF APPLICABLE); CERTIFICATION SHALL BE PROVIDED BY LOCAL FIRE DEPARTMENT PREVENTION BUREAU THAT ALL MANUFACTURING, STORAGE AND WASTE PROCESSES ON THE SITE SHALL MEET SAFETY AND ENVIRONMENTAL STANDARDS AS ADMINISTERED BY THE BUREAU.
- ALL NEW SANITARY SEWER LINES WITHIN THE SITE SHALL BE PRIVATE PLUMBING LINES SUBJECT TO THE LOCAL PLUMBING CODE OR THE ARIZONA DEPARTMENT OF ENVIRONMENTAL QUALITY (ADEQ) AQUIFER PROTECTION PROGRAM (APP) GENERAL PERMIT 4.01 IN ACCORDANCE WITH ARIZONA ADMINISTRATIVE CODE TITLE 18, CHAPTER 9, SECTION E301 (AAC R18-8-E301) WHICHEVER IS APPLICABLE.
- THE SANITARY SEWER COLLECTION SYSTEM WITHIN THIS PROJECT WILL BE A PRIVATE SYSTEM, OWNED AND MAINTAINED BY THE PROPERTY OWNER(S) OR ASSOCIATION. THE SYSTEM WILL BE REVIEWED AND INSPECTED BY THE BUILDING SAFETY SECTION OF THE PLANNING AND DEVELOPMENT SERVICES DEPARTMENT.
- ALL ON-SITE WATER LINES, SHALL BE PRIVATE PLUMBING LINES SUBJECT TO THE LOCAL PLUMBING CODE.
- SURFACE DRAINAGE SHALL BE DIVERTED TO A STORM SEWER CONVEYANCE OR OTHER APPROVED POINT OF COLLECTION THAT DOES NOT CREATE A HAZARD.
- LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 8 INCHES WITHIN THE FIRST 10 FEET. (2012 IRC R401.3)
- I CONSENT TO THE REPRODUCTION OF THIS SITE PLAN FOR THE PURPOSE OF FUTURE AMENDMENTS PROVIDED THAT IF MODIFICATIONS ARE MADE, THE ARCHITECTS WHO MAKE SUCH CHANGES ASSUME FULL RESPONSIBILITY AND LIABILITY FOR THE PLAN.

LANDSCAPE

- THE AREA BTWN FRONT BLDG LINE AND FRONT PROPERTY LINE SHOULD BE LANDSCAPED w/ THE FOLLOWING ELEMENTS:
- A MINIMUM OF ONE (1), TWO(2) INCH GALPFR OR GREATER, DROUGHT RESISTANT ACCENT TREE.
 - A MINIMUM OF FIVE (5), FIVE (5) GALLON OR GREATER, DROUGHT RESISTANT SHRUBS.
 - DUSTPROOFED W/ GROUND COVER, TURF, ROCK, DECOMPOSED GRANITE, OR EQUIVALENT MATERIAL AS APPROVED BY THE CITY PLANNING & DEVELOPMENT DEPARTMENT.
 - AN IRRIGATION SYSTEM.

DESIGN CRITERIA:

ROOF SNOW LOAD:	0
WIND SPEED:	ULTIMATE: 115 MPH ASD 80 MPH
SEISMIC DESIGN CRITERIA:	B
WINTER DESIGN TEMPERATURE:	D, 24'
FLOOD HAZARDS:	D
SUBJECT TO DAMAGE FROM:	
WEATHERING:	NEGIGIBLE
FROST LINE DEPTH:	FINAL GRADE
TERMITE:	MODERATE TO HEAVY
ASD:	NONE TO SLIGHT

SITE PLAN

SCALE: 1"=10'

[Symbol] LIVABLE	[Symbol] GRAVEL	[Symbol] ELECTRICAL METER	[Symbol] STREET/ALLEY	[Symbol] PROPERTY LINE
[Symbol] LIVABLE (2ND STORY)	[Symbol] GRASS	[Symbol] ELECTRICAL PANEL (AMPS)	[Symbol] HOUSE BOUNDARY	[Symbol] SETBACK
[Symbol] ADDITION	[Symbol] UNCOVERED PATIO	[Symbol] GAS METER	[Symbol] ROOF LINE	[Symbol] WALL/FENCE
[Symbol] GARAGE	[Symbol] CONCRETE	[Symbol] WATER METER	[Symbol] VEGETATION	[Symbol] CITY REVISIONS
[Symbol] COVERED PATIO	[Symbol] PAVERS	[Symbol] AC UNIT		

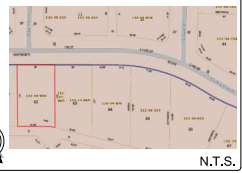
SEAL

CITY APPROVAL

Contractor must verify all dimensions at project before proceeding with work. Dimensions intended for general permit use within 1", anything requiring tighter tolerances requires field verification. These documents are instruments of professional service and the information contained within is incomplete unless used in conjunction with Rezio LLC. Use or reproduction of these documents in whole or in part without written consent of Rezio LLC is in violation of common law, copyrights, statutes and other reserved rights. These plans are on notice as copyrighted property of Rezio LLC.

It is the responsibility of the contractor to check and verify all field conditions prior to construction, handle all inspections and work related to inspector comments, and all dimensions, quantities and coordination of trades on the construction site.

SITE OVERVIEW



SITE INFORMATION

APN	133-34-068
ADDRESS	1837 E LOMA VISTA DR TEMPE
MCR	11620
LOT	62
SUBDIVISION	ALAMEDA MEADOWS UNIT 2
LOT AREA	7,266 sq.ft.
ZONING	R-4

SHEET INDEX

C1.0 COVER SHEET/SITE PLAN	E1.0 LIGHTING PLAN
C1.1 GENERAL DETAILS	E2.0 POWER PLAN
A1.0 EXISTING LAYOUT	M1.0 MECHANICAL PLAN
A1.0 DESIGN PLAN	S0.0 G.S.A.
A1.2 DOOR/WINDOW SCHEDULE	S1.0 FOUNDATION PLAN
A2.0 ELEVATIONS	S2.0 ROOF FRAMING PLAN
A3.0 SECTIONS	S3.0 SHEARWALL PLAN
A4.0 ROOF PLAN	D2 DETAILS

AREA CALCULATION

AREA	EXIST (SF)	CONVERT	ADD (SF)	REM (SF)	TOTAL (SF)
LIVABLE	1721	-	288	-	2009
STORAGE	105	-	-	-	105
ATT./GARPORT	452	452	-	-	-
COV. PATIO	248	137	-	-	385
TOTAL (SF)	2074	452	425.5	-	2499

LOT (SF)	LOT COV	MAX	ACTUAL
7266	2499	40%	34%

SCOPE

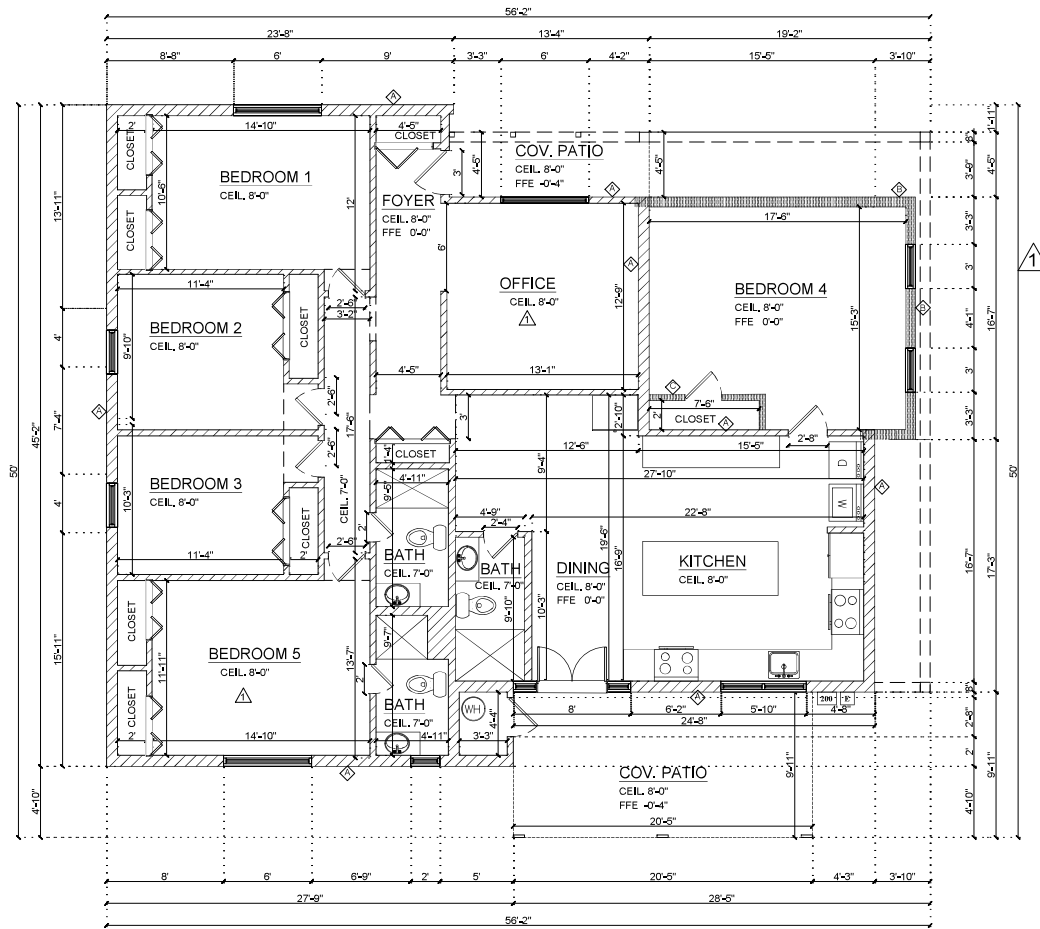
- CONVERT ATTACHED CARPORT TO LIVABLE PER DRAWINGS
- PORTION OF CARPORT CONVERTED TO PATIO, NO NEW PATIO TO BE CONSTRUCTED



SHEET TITLE	SITE PLAN	SHEET NO.	C1.0
PROJECT NAME	1837 E. Loma Vista Dr	SCALE	1"=10'
PROJECT ADDRESS	1837 E. LOMA VISTA DR TEMPE, AZ 85282		
CLIENT	LIN XIAO & JIN FENG	DATE	3.18.2024

SCOTTSDALE CODES
UNLESS STATED OTHERWISE, ADHERE TO THE BELOW CODES
2021 IBC, IRC, IPC, IMC, IFC IEBC AND IFGC
2020 NEC
2021 IECC AND THEIR AMENDMENTS BY SOLUTION R2022-03

REZIO
(844) 937-3946 • REZIOPRO.COM



WALL TYPES

- A** EXISTING WALL
- B** 3x8 STUD FRAMING @ 16" O.C.
(@ 24" O.C. IF NON LOAD-BEARING)
1/2" GWB INTERIOR FINISH (E. S.) [CC-ESR-1338]
- C** 2x4 STUD FRAMING @ 16" O.C.
(@ 24" O.C. IF NON LOAD-BEARING)
1/2" GWB INTERIOR FINISH (E. S.) [CC-ESR-1338]

DESIGN PLAN
SCALE: 1/4"=1'

CITY REVISIONS 02.20.2024
 LIVING CEIL. 13'-8" FFE. -1'-0"

LIGHT/VENTILATION		
ROOM	SF	LIGHT (8%) VENTILATION (4%)
BEDROOM	307 SF	24 SF (8%) 12 (4%)

*Meets all city requirements

	SHEET TITLE	DESIGN PLAN	SHEET NO.	A1.0	SCOTTSDALE CODES
	PROJECT NAME	1837 E. Loma Vista Dr	SCALE	1/4" = 1'	UNLESS STATED OTHERWISE, ADHERE TO THE BELOW CODES
	PROJECT ADDRESS	1837 E. LOMA VISTA DR			2021 IBC, IRC, IPC, IMC, IFC IEBC AND IFGC
	CLIENT	LIN XIAO & JIN FENG	DATE	3.2.2024	2021 IECC AND THEIR AMENDMENTS BY SOLUTION R2022-03

Contractor must verify all dimensions at project before proceeding with work. Dimensions intended for general permit use within 1", anything requiring tighter tolerances requires field verification. These documents are instruments of professional service and the information contained within is incomplete unless used in conjunction with Rezio LLC. Use or reproduction of these documents in whole or in part without written consent of Rezio LLC is in violation of common law, copyrights, statutes and other reserved rights. These plans are on notice as copyrighted property of Rezio LLC.

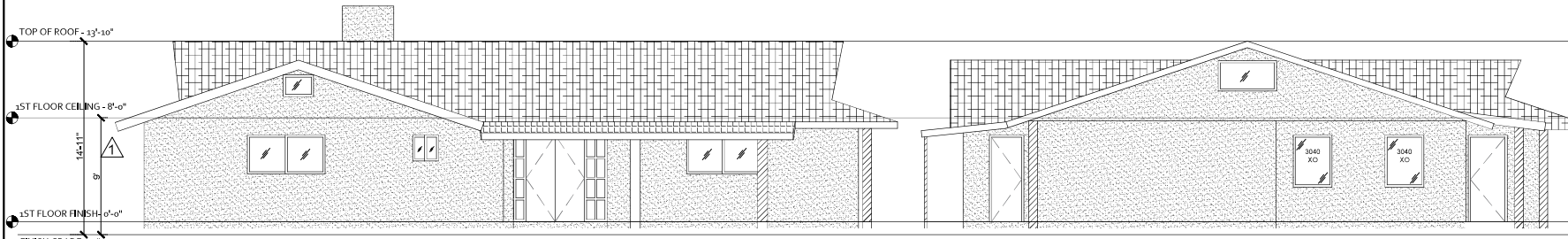
It is the responsibility of the contractor to check and verify all field conditions prior to construction, handle all inspections and work related to inspector comments, and all dimensions, quantities and coordination of trades on the construction site.

SEAL

CITY APPROVAL

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FINISH GRADE MEASUREMENT TAKEN FROM TOP OF CURB FROM THE MIDPOINT OF THE LOT. 12" BELOW FINISH FLOOR
 ▲



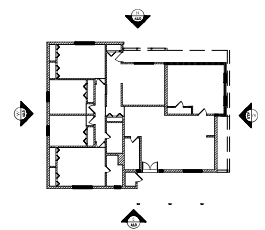
A2.0 NORTH ELEVATION
 SCALE: 1/4"=1'

A2.0 EAST ELEVATION
 SCALE: 1/4"=1'

A2.0 SOUTH ELEVATION
 SCALE: 1/4"=1'

A2.0 WEST ELEVATION
 SCALE: 1/4"=1'

FLOORPLAN TENTS



EXTERIOR FINISH	ROOFING	CALLOUTS	UTILITIES	SECTION MATERIALS
STUCCO	TILE	▲ WALL TYPE	AC AC UNIT	CONCRETE FOOTING
BRICK	ASPHALT SHINGLE	288 DOOR SIZE	E ELECTRICAL METER	ABC GRAVEL
CMUBLOCK	METAL	400 WINDOW SIZE	200 ELECTRICAL PANEL (AMPS)	CMUBLOCK WALL
EXPOSED WOOD	SLATE	XO ELEVATION LABELS	G GAS METER	WOOD
PAINTED METAL	WOOD	// GLASS	W WALL/FENCE	GRADING

CITY REVISIONS
 8/29/2024

	SHEET TITLE	ELEVATIONS	SHEET NO.	A2.0	SCOTTSDALE CODES UNLESS STATED OTHERWISE, ADHERE TO THE BELOW CODES 2021 IBC, IRC, IPC, IMC, IFC, IEBC AND IFGC 2020 NEC 2021 IECC AND THEIR AMENDMENTS BY SOLUTION R2022-03
	PROJECT NAME	1837 E. Loma Vista Dr	SCALE	1/4"=1'	
	PROJECT ADDRESS	1837 E. LOMA VISTA DR TEMPE, AZ 85282			
	CLIENT	LIN XIAO & JIN FENG	DATE	3.2.2024	

Contractor must verify all dimensions at project before proceeding with work. Dimensions intended for general permit use within ± 1", anything requiring tighter tolerances requires field verification. These documents are instruments of professional service and the information contained within is incomplete unless used in conjunction with Rezio LLC. Use or reproduction of these documents in whole or in part without the consent of Rezio LLC is in violation of common law, copyrights, statutes and other reserved rights. These plans are on notice as copyrighted property of Rezio LLC.

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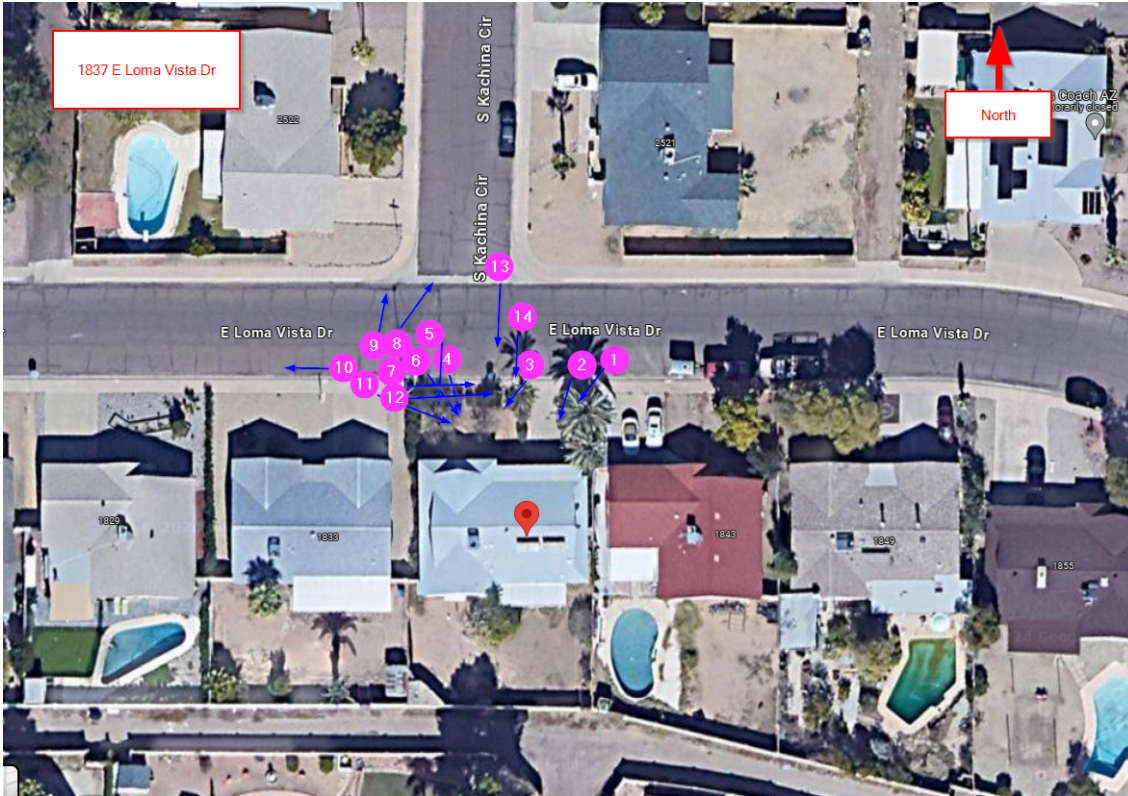
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REZIO PRO

Context photos for 1837 E Loma Vista Dr Use Permit















From: planning@tempe.gov
To: [Barry, Joanna](#)
Subject: Development Review Commission Online Meeting Comment Card
Date: Friday, March 15, 2024 7:25:15 PM

A new entry to a form/survey has been submitted.

Form Name: Development Review Commission Online Meeting Comment Card
Date & Time: 03/15/2024 7:25 PM
Response #: 268
Submitter ID: 125559
IP address: [REDACTED]
Time to complete: 1 min. , 44 sec.

Survey Details

Page 1

The City of Tempe Development Review Commission values and welcomes public input on Public Hearing items. If you wish to address a matter on the Development Review Commission Agenda, please fill out and submit the form below, no later than two hours (4 p.m.) prior to the start of the Development Review Commission meeting. You will be allowed up to three minutes to speak.

Contact Information

Full Name	Logan Tokos	Representing	Not answered
City & State of Residence	Tempe	Email	[REDACTED]
Phone Number	[REDACTED]	Meeting Date	03/26/2024

Agenda Item & PL#

PL240029
Project Name Xiao & Feng Residence
(o) Support

Reading of Comments

(o) Provide my written comments to the Commission prior to meeting for their review

To speak in the meeting, you must provide the phone number you will be calling from so that we can identify you

Not answered

Comments

Not answered

All speakers are expected to observe common standards of decorum and courtesy. Personal,

impertinent, or slanderous remarks, including profanity, are prohibited, as is any disorderly conduct that disrupts, disturbs, or otherwise impedes the Development Review Commission meeting. Becoming boisterous while addressing the Commission is prohibited. Any conduct that disrupts, disturbs, or otherwise impedes the Development Review Commission meeting will be grounds, at the discretion of the Development Review Commission Chair, for ending the speaker's time.

[x] I agree to adhere to the Conduct Guidelines when addressing the City Council

Thank you,
City of Tempe, AZ

This is an automated message generated by Granicus. Please do not reply directly to this email.

From: planning@tempe.gov
To: [Barry, Joanna](#)
Subject: Development Review Commission Online Meeting Comment Card
Date: Saturday, March 16, 2024 10:12:04 AM

A new entry to a form/survey has been submitted.

Form Name: Development Review Commission Online Meeting Comment Card
Date & Time: 03/16/2024 10:11 AM
Response #: 269
Submitter ID: 125570
IP address: [REDACTED]
Time to complete: 13 min. , 12 sec.

Survey Details

Page 1

The City of Tempe Development Review Commission values and welcomes public input on Public Hearing items. If you wish to address a matter on the Development Review Commission Agenda, please fill out and submit the form below, no later than two hours (4 p.m.) prior to the start of the Development Review Commission meeting. You will be allowed up to three minutes to speak.

Contact Information

Full Name	Jana Granillo	Representing	Self
City & State of Residence	[REDACTED]	Email	[REDACTED]
Phone Number	[REDACTED]	Meeting Date	03/26/2024

Agenda Item & PL#

240029
Project Name Xiao & Feng Residence
(o) Oppose

Reading of Comments

(o) Provide my written comments to the Commission prior to meeting for their review

To speak in the meeting, you must provide the phone number you will be calling from so that we can identify you

Not answered

Comments

At this time, home carport and driveway could accommodate 4 cars.

It looks like from street view, that adding two more spaces for parking would accommodate 6 cars total.

This would fill up front of home with cars.

Curb appeal is the character of the neighborhood, sets a precedent for other homes. In this case, adding more parking takes away curb appeal and character of the street view of homes.

Please do not support changes requested.

All speakers are expected to observe common standards of decorum and courtesy. Personal, impertinent, or slanderous remarks, including profanity, are prohibited, as is any disorderly conduct that disrupts, disturbs, or otherwise impedes the Development Review Commission meeting. Becoming boisterous while addressing the Commission is prohibited. Any conduct that disrupts, disturbs, or otherwise impedes the Development Review Commission meeting will be grounds, at the discretion of the Development Review Commission Chair, for ending the speaker's time.

I agree to adhere to the Conduct Guidelines when addressing the City Council

Thank you,
City of Tempe, AZ

This is an automated message generated by Granicus. Please do not reply directly to this email.

From: [REDACTED]
To: [Barry, Joanna](#); [Mayfield, Whitney](#)
Cc: [REDACTED]
Subject: RE: 3/26/24 DRC Public Hearing Notice - Xiao & Feng Residence
Date: Sunday, March 17, 2024 7:24:43 PM
Attachments: [image001.png](#)

Based on my observations of the property, location, and owners ... I **OPPOSE** the project at 1837 E. Loma Vista (PL240029). I will send comments after the DRC package is made available to the public on Tuesday; I don't want to make any inaccurate statements/opinions so need to look at the package.

Thanks,

Anne Till
[REDACTED]

From: Barry, Joanna <Joanna_Barry@tempe.gov>
Sent: Monday, March 11, 2024 8:47 AM
Subject: 3/26/24 DRC Public Hearing Notice - Xiao & Feng Residence

Please find attached a public hearing notice for the 3/26/24 DRC hearing. These are sent to HOA/NA contacts located within 1,320 feet of the proposed project before the Development Review Commission. You are receiving this as you are listed as the contact for your association.

Thank you,



JOANNA BARRY
Administrative Assistant II
Community Development, Planning Division
31 E. 5th St., Tempe, AZ 85281
480.858.2088 joanna_barry@tempe.gov
tempe.gov/planning

From: [REDACTED]
Sent: Monday, March 18, 2024 6:18 PM
To: Mayfield, Whitney
Subject: Item PL240029 for 3/26 Development Review Public Hearing

! This message could be suspicious

- Similar name as someone in your company.
- This is their first email to your company.
- This is a personal email address.

Dear Mr. Mayfield,

As a community member and homeowner for more than 20 years in the Shalimar west neighborhood I have enjoyed living in Tempe and feel fortunate that I have been able to live in this neighborhood for so long.

Recently, I've seen too many single family homes converted into dwellings with a large number of bedrooms and bathrooms by investors and rented out to many people. This is a neighborhood of single-family homes mainly owned by families living in them. They have a community and raise their children in them. The fact that they are requesting a permit to create additional living space and a parking lot in the front yard makes this a prime example of investors who will never live in the home. When this happens, they have no investment in the community or concern about the impact on surrounding neighbors. Their main goal is to turn a profit by renting to as many people as possible.

This is ruining the neighborhoods for those surrounding homeowners with families. Often times it is rented to college students or groups from fraternities. It is against code which is never enforced as the fraternities are coached to say they are "brothers". There are often large parties contributing to many noise complaints, litter in the streets and waste in the alleys. It puts households at risk of crime and families don't feel safe. Even with the additional parking they are requesting, street parking is always unavailable due to visitors of so many residence in one home.

I urge you to oppose this request and prioritize the quality of life for the surrounding homeowners and families instead of allowing investors to contribute to the deterioration of our community. They're only investment is money, not community or quality of life.

Thank you for your time and consideration.

Respectfully,

Gina anderson
[REDACTED]