

**CITY OF TEMPE
DEVELOPMENT REVIEW COMMISSION**

**Meeting Date: 3/26/2024
Agenda Item: 8**

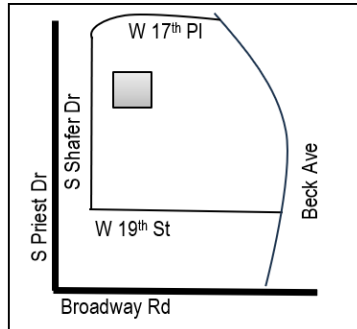
ACTION: Request a Use Permit to allow one (1) required parking space within the front yard building setback for the LIN XIAO & JIN RESIDENCE, located at 1727 South Shafer Drive. The applicant is Rezio.

FISCAL IMPACT: There is no fiscal impact on City funds.

RECOMMENDATION: Approve, subject to conditions

BACKGROUND INFORMATION: The LIN XIAO & JIN RESIDENCE (PL240028) is located on the southwest corner of 17th Place and Beck Avenue in the Parkside Manor Subdivision. The property is zoned R1-6 and has an existing four-bedroom single-family residence. The proposed project would convert an existing storage room into 437 square feet of new livable space adding a fifth bedroom to the residence. The applicant is requesting a Use Permit to allow one (1) parking space in the front yard building setback. The request includes the following:

ZUP240015 Use Permit to allow one (1) parking space in the front yard building setback.



Property Owner	Lin Xiao/Jin
Applicant	Zach Mykytiuk, Rezio
Zoning District	R1-6
Site Area	6,151 s.f.
Building Area	2,661 s.f.
Lot Coverage	37.57% (40% max. allowed)
Building Height	14'4 (30 max. allowed)
Building Setbacks	23'9 front, 5' side, 15' rear (20', 5', 10', 15' min. required)
Vehicle Parking	2 spaces (2 min. required)

ATTACHMENTS: Development Project File

STAFF CONTACT(S): Whitney Mayfield, Planner I (480) 350-8486

Department Director: Jeff Tamulevich, Community Development Director

Legal review by: N/A

Prepared by: Whitney Mayfield, Planner I

Reviewed by: Michelle Dahlke, Principal Planner

COMMENTS

The site is located on the north side of 19th Street, east of Shafer Drive, south of 17th Place, and west of Beck Avenue in the Parkside Manor Subdivision and the Downtown Tempe/Rio Salado/ASU NW Neighborhoods Character Area Three. The applicant is requesting a Use Permit to allow one (1) required parking space in the front yard building setback. The existing residence has four bedrooms and three bathrooms. The owners are converting the storage room into a fifth bedroom, adding a second living room, and an office. Due to the addition, the owners are seeking a Use Permit to satisfy one of the parking spot requirements within the front yard setbacks. Currently, the Tempe Zoning and Development Code does not permit a separate dwelling from the main residence. As such, this addition is to be a part of the main residence, accessible from the interior, and not a separate dwelling.

PUBLIC INPUT

- A neighborhood meeting was not required for this project
- Staff has not received any public comments since the publication of this report.

USE PERMIT

The proposed use requires a Use Permit to allow one (1) of the required parking spaces within the front yard setback within the R1-6 zoning district.

Section 6-308(E) Approval criteria for Use Permit (*in italics*):

1. *Any significant increase in vehicular or pedestrian traffic*; The shifting of required parking from the carport to the garage and driveway is not expected to increase vehicular or pedestrian traffic. The building addition is intended only for the single-family residence.
2. *Nuisance arising from the emission of odor, dust, gas, noise, vibration, smoke, heat or glare at a level exceeding that of ambient conditions*; The proposed addition is not expected to generate any emissions that would otherwise create a nuisance.
3. *Contribution to the deterioration of the neighborhood or to the downgrading of property values, which is in conflict with the goals, objectives or policies for rehabilitation, redevelopment or conservation as set forth in the city's adopted plans or General Plan*; Parking on the driveway is not expected to downgrade property values. Additionally, the livable space and garage is expected to increase property values and benefit the neighborhood.
4. *Compatibility with existing surrounding structures and uses*; The addition to the residence will result in significant improvements to the physical property by improving surrounding property values. The added space allows the owner to grow in place and is in line with the stated goals of the City's general plan.
5. *Adequate control of disruptive behavior both inside and outside the premises which may create a nuisance to the surrounding area or general public*; The use is not anticipated to generate disruptive behavior, and the expanded driveway will allow for additional parking on the subject property and outside of the right of way.

REASONS FOR APPROVAL:

Based on the information provided by the applicant, the public input received and the above analysis staff supports approval of the requested Use Permit. This request meets the required criteria and will conform to the conditions.

SHOULD AN AFFIRMATIVE ACTION BE TAKEN ON THIS REQUEST, THE FOLLOWING NUMBERED CONDITIONS OF APPROVAL SHALL APPLY, BUT MAY BE AMENDED BY THE DECISION-MAKING BODY.

CONDITION(S) OF APPROVAL: (Non-standard conditions are identified in bold)

EACH NUMBERED ITEM IS A CONDITION OF APPROVAL. THE DECISION-MAKING BODY MAY MODIFY, DELETE OR ADD TO THESE CONDITIONS.

1. The Use Permit is valid only after a Building Permit has been obtained, the required inspections have been completed and a Final Inspection has been passed. As part of the Building Permit process, on-site storm water retention may be required to be verified or accomplished on this Site.

2. The Use is valid for the plans as submitted within this application. Any additions or modifications may be submitted for review during the building plan check process.
3. **Prior to certificate of occupancy, a real covenant shall be recorded with the land restricting the use of the home addition from being rented or leased independently from the main residence. Such covenant shall be binding to all subsequent owners.**

CODE/ORDINANCE REQUIREMENTS:

THE BULLETED ITEMS REFER TO EXISTING CODE OR ORDINANCES THAT PLANNING STAFF OBSERVES ARE PERTINENT TO THIS CASE. THE BULLET ITEMS ARE INCLUDED TO ALERT THE DESIGN TEAM AND ASSIST IN OBTAINING A BUILDING PERMIT AND ARE NOT AN EXHAUSTIVE LIST.

USE PERMIT:

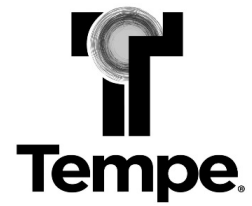
- The use permit approval shall be void if the use is not commenced or if an application for a building permit has not been submitted, whichever is applicable, within twelve (12) months after the use permit is granted or within the time stipulated by the decision-making body.
- The decision-making body, upon finding that the applicant has not taken corrective actions to resolve issues related to the permit/approval and that a continuation of the permit/approval is not in the interest of the public health, safety and general welfare, can revoke the permit/approval after providing written notice of its intentions to the holder of the permit.
- Specific requirements of the **Zoning and Development Code (ZDC)** are not listed as a condition of approval but will apply to any application. To avoid unnecessary review time and reduce the potential for multiple plan check submittals, become familiar with the ZDC. Access the ZDC through <http://www.tempe.gov/zoning> or purchase from Development Services.
- Any intensification or expansion of use shall require a new Use Permit.
- All required Federal, State, County, and Municipal permits, licenses, and clearances shall be obtained, or the Use Permit is void.

HISTORY & FACTS:

May 14, 1959 A single-family residence was built.

ZONING AND DEVELOPMENT CODE REFERENCE:

[Section 6-308, Use Permit](#)



DEVELOPMENT PROJECT FILE

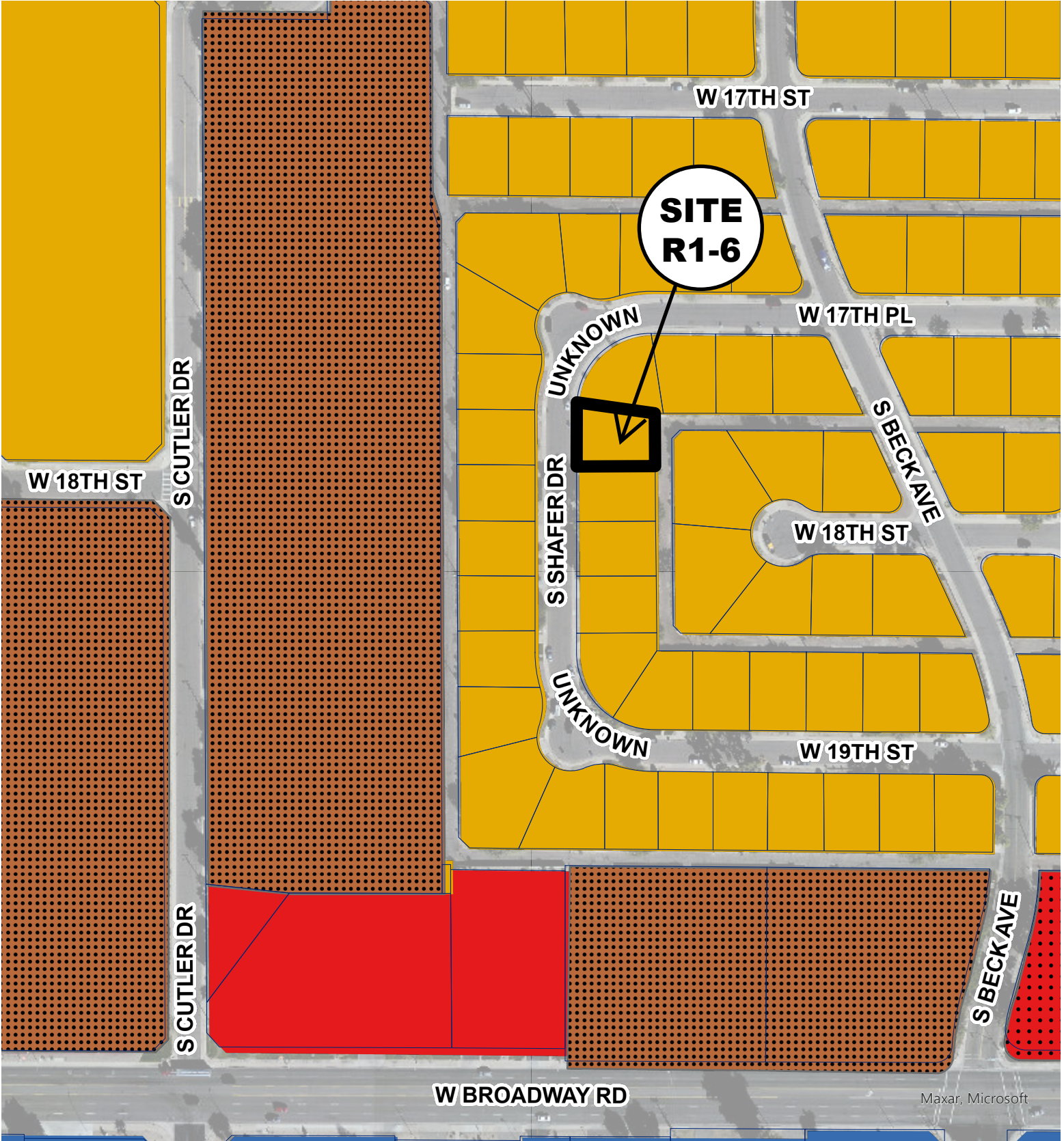
for

LIN XIAO & JIN RESIDENCE

(PL240028)

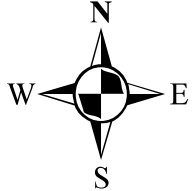
ATTACHMENTS:

1. Zoning Map
2. Aerial Map
3. Letter of Explanation
4. Site Plan
5. Floor Plan
6. Building Elevations
- 7-12. Site Context Photos



Maxar, Microsoft

- General Industrial District (GID)
- Commercial Shopping and Services (CSS)
- Planned Commercial Center Neighborhood (PCC-1)
- Single-Family Residential (R1-6)
- Multi-Family Residential Limited (R-3)

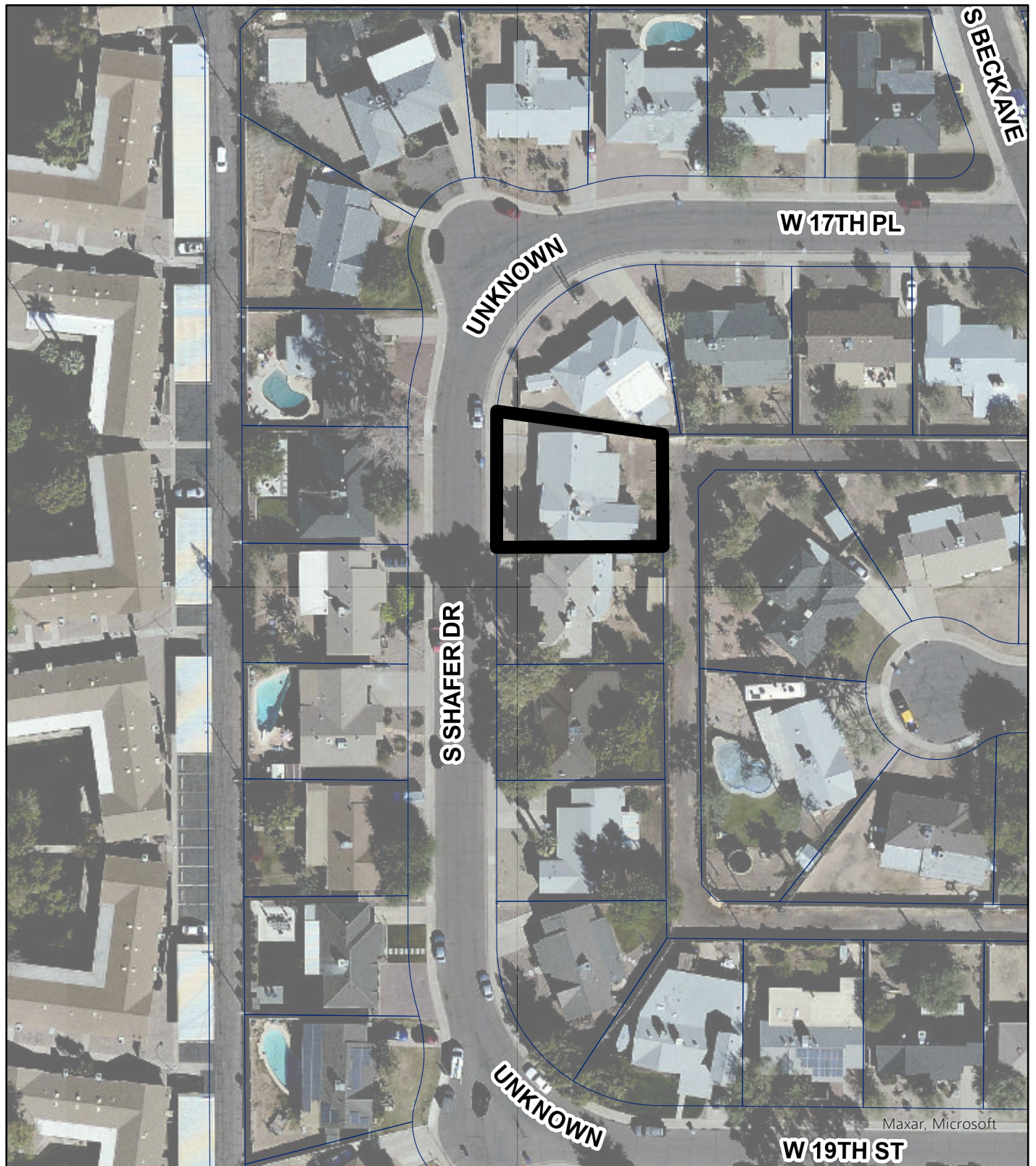




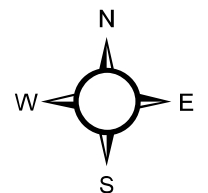
Tempe

PL240028

Lin Xiao & Jin Residence



Aerial Map





March 2, 2024

RE: Narrative Explanation for Use Permit for 1727 S Shafer Dr

To whom it may concern,

The homeowners desire to enclose the carport and make the space livable and in doing so lose an allowed parking space. So they will need a use permit, to park in their front driveway that would fall inside of the front set back.

There will be no detrimental impact to the adjacent properties because the parking will remain on the home owner's property and will not impact the flow of traffic on the street as no street parking is required. The only impact being, that the parking space will reside slightly inside of the front setbacks.

This is the best path forward to the homeowner and to the neighborhood as adding livable space to the home will raise the property value and does not affect the neighborhood detrimentally. Attempting to get a paving permit for the alley to provide parking in the property's backyard would cause a larger impact onto the neighborhood and also has a large financial impact on the homeowner.

This use permit does not impact vehicular or pedestrian traffic in adjacent areas. It causes no further nuisance arising from the emission of extraneous odor, dust, gas, or noise. It contributes to the upgrading of property values and is already compatible with the existing surrounding structures and uses.

This use permit seeks to provide the best possible solution to both the homeowner and the neighborhood by providing additional parking in the most logical and effective location.

Thank you for your cooperation on this project. Please contact me if you have any questions or require additional information.

Sincerely,

Zach Mykytiuk

Rezio LLC
1 N 1st Street, Ste 7375
Phoenix, AZ 85004

zach@reziopro.com

GENERAL NOTES (AS APPLICABLE):

1. ALL PRODUCTS LISTED BY ICENOR NUMBERS SHALL BE INSTALLED PER THE REPORT AND MANUFACTURERS WRITTEN INSTRUCTIONS. PRODUCTS SUBSTITUTIONS FOR PRODUCTS LISTED SHALL ALSO HAVE AN ICC APPROVED EVALUATION REPORT OR BE APPROVED.
2. EXTERIOR WALL BOTTLER/DISK PLATES SHALL BE PRESSURE TREATED OR EQUAL AND SHALL BEAR EXTEND MINIMUM 6 INCHES ABOVE FINISH GRADE.
3. MISC. SITE STRUCTURES. POOLS, SPAS, FENCES, SITE WALLS, RETAINING WALLS, AND GAS STORAGE TANKS REQUIRE SEPARATE PERMITS.
4. ALL EXITS TO BE OPERABLE FROM THE INSIDE WITHOUT USE OF A KEY OR SPECIAL KNOWLEDGE.
5. DOORS LEADING INTO HOUSE FROM GARAGE SHALL BE SELF-CLOSING AND TIGHT FITTING WITH GASKETS AND SWEEP.
6. EXTERIOR WALL PENETRATIONS BY PIPES, DUCTS OR CONDUITS SHALL BE CALKED.
7. IF BATT INSULATION IS USED IN LEIU OF SPRAYED, PROVIDE ROOF ATTIC VENTILATION.
8. MINIMUM INSULATION SHALL BE: MINIMUM INSULATION OF R38 CEILINGS AND R19 WALLS.
9. LUMBER SHALL BEAR AN APPROVED GRADING STAMP.
10. FIRE BLOCKING SHALL COMPLY WITH CODE AND BE MAXIMUM 10 FT. O.C., HORIZONTAL AND VERTICAL.
11. GYPSUM BOARD APPLIED TO A CEILING SHALL BE 1/2" WHEN FRAMING MEMBERS ARE 16" O.C. OR 5/8" WHEN FRAMING MEMBERS ARE 24" O.C. OR USE 1/2" SAG-RESISTANT GYPSUM CEILING BOARD.
12. SHOWER AREA WALLS SHALL BE FINISHED WITH A SMOOTH, HARD NON-ABSORBENT SURFACE, SUCH AS CERAMIC TILE, TO A HEIGHT OF NOT LESS THAN 72 INCHES ABOVE THE DRAIN INLET.
13. WATER-RESISTANT GYPSUM BOARD SHALL BE USED OVER A VAPOR RETARDER IN AREAS OF HIGH HUMIDITY OR ON CEILINGS WHERE THE FRAME SPACING EXCEEDS 12" O.C. FOR 1/2" GYPSUM, AND 16" O.C. FOR 5/8" GYP.
14. PLUMBING FIXTURES SHALL COMPLY WITH THE FOLLOWING CONSERVATION REQUIREMENTS: WATER CLOSERS - TANK TYPE = 1.6 GAL. FLUSH SHOWER HEADS - 2.5 GAL./MIN. FAUCETS - 2.2 GAL./MIN. PROVIDE AERATOR.
15. WATER TREATMENT SYSTEMS SHALL BE EQUIPPED WITH AN AUTOMATIC SHUT-OFF TO PREVENT CONTINUOUS FLOW WHEN NOT IN USE.
16. PROVIDE AN EXPANSION TANK AT THE WATER HEATER IF A BACK FLOW PREVENTOR IS OR WILL BE INSTALLED AT THE WATER LINE OR AT THE METER.
17. SHOWERS AND TUB-SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE. SHOWER AND TUB SHOWER SHALL HAVE THE DISCHARGE INSTALLED AS HIGH AS POSSIBLE, NOT LOWER THAN 2" ABOVE THE FLOOR RIM OF THE SINK.
18. DOMESTIC DISHWASHING MACHINES CONNECTED TO A DISPOSER SHALL HAVE THE DISCHARGE INSTALLED AS HIGH AS POSSIBLE, NOT LOWER THAN 2" ABOVE THE FLOOR RIM OF THE SINK.
19. REFRIGERATORS, FREEZERS AND GRILLS SHALL BE MECHANICALLY FASTENED TO RIGID SUPPORTS OR STRUCTURAL MEMBERS ON AT LEAST TWO OPPOSITE SIDES IN ADDITION TO BEING CONNECTED TO THE DUCTWORK THEY SERVE.
20. THE CLOTHES DRYER SHALL BE PROVIDED WITH A 4-INCH DIAMETER EXHAUST DUCT TO THE EXTERIOR AND SHALL NOT EXCEED A TOTAL LENGTH OF 25 FEET. UNLESS AN EXHAUST SYSTEM IS PROVIDED, THE DUCT SHALL TERMINATE NOT LESS THAN 3 FEET FROM A PROPERTY LINE OR FROM OPENINGS INTO A BUILDING.
21. PROVIDE IC-RATED RECESSED LIGHT FIXTURES INSTALLED IN INSULATED SHEDS.
22. FIXTURES LOCATED IN DAMP OR WET LOCATIONS SHALL BE "LISTED" TO BE SUITABLE FOR SUCH LOCATIONS.
23. PROVIDE GFCI PROTECTION FOR RECEPTACLES WITHIN 6' OF ALL LAVATORIES, SINKS AND BASINS.
24. PROVIDE GFCI PROTECTED RECEPTACLES AT ALL EXTERIOR, BATHROOM, AND GARAGE LOCATIONS.
25. PROVIDE A WALL-MOUNTED GFCI PROTECTED RECEPTACLE OUTLET WITHIN 36" OF A BATHROOM OR POWDER ROOM LAVATORY.
26. ALL CIRCUITS SUPPLYING RECEPTACLE OUTLETS IN BEDROOMS SHALL BE AFCI PROTECTED ALL BRANCH CIRCUITS THAT SUPPLY 120-VOLT, SINGLE-PHASE, 15- AND 20-AMPERE OUTLETS INSTALLED IN FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN'S, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS AND SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A COMBINATION TYPE ARC-FAULT CIRCUIT INTERRUPTER INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT.
27. RECEPTACLE OUTLETS SHALL BE INSTALLED SO THAT NO POINT ALONG THE FLOOR LINE IN ANY WALL SPACE IS MORE THAN 6" MEASURED HORIZONTALLY FROM AN OUTLET IN THAT SPACE, INCLUDING ANY WALL SPACE TWO FEET OR MORE IN WIDTH.
28. BATHROOM RECEPTACLE OUTLETS SHALL BE SUPPLIED BY AT LEAST ONE 2-AMP BRANCH CIRCUIT. SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS.
29. PROVIDE A SEPARATE 20-AMP CIRCUIT TO THE LAUNDRY.
30. PROVIDE A MINIMUM OF TWO 20-AMP SMALL APPLIANCE BRANCH CIRCUITS FOR THE KITCHEN/DINING/BREAKFAST.
31. THE TWO OR MORE 20-AMP SMALL APPLIANCE BRANCH CIRCUITS SHALL HAVE NO OTHER OUTLETS, EXCEPT THE RECEPTACLE INSTALLED SOLELY FOR ELECTRIC SUPPLY TO AN ELECTRICAL CLOCK IN THE KITCHEN/DINING/BREAKFAST AREAS OR RECEPTACLES FOR SUPPLEMENTAL EQUIPMENT AND LIGHTING FOR GAS-FIRED RANGES, OVENS, OR COUNTER-MOUNTED UNITS.
32. RECEPTACLE OUTLETS FOR RANGES AND CLOTHES DRYER SHALL BE A 3-POLE WITH GROUND TYPE, FOUR-WIRE, GROUNDING TYPE FLEXIBLE CORDS WILL BE REQUIRED FOR CONNECTION OF RANGES AND CLOTHES DRYERS. THE BONDING JUMPER SHALL NOT BE CONNECTED BETWEEN THE NEUTRAL TERMINAL AND THE FRAME OF THE APPLIANCE.
33. PROVIDE A CONCRETE ENCASED GROUNDING ELECTRODE OF NOT LESS THAN 20 FEET #4 BARE COPPER.
34. PROVIDE BONDING TO THE WATER PIPING, GAS AND METAL BUILDING SYSTEMS.
35. ALL METAL PIPING SYSTEMS, METAL PART OF ELECTRICAL EQUIPMENT, AND PUMP MOTORS ASSOCIATED WITH THE HYDRO MASSAGE TUB SHALL BE BONDED TOGETHER USING A COPPER BONDING JUMPER, INSULATED COVERED OR BARE, NOT SMALLER THAN NO. 8 SOLID, METAL PARTS OF LISTED EQUIPMENT INSTALLED AN APPROVED SYSTEM OF DOUBLE INSULATION AND PROVIDING A MEANS FOR GROUNDING INTERVAL, NON-ACCESSIBLE, NON-CURRENT-CARRYING METAL PARTS SHALL NOT BE BONDED.

SITE PLAN NOTES (AS APPLICABLE):

1. DEVELOPMENT AND USE OF THIS SITE WILL CONFORM WITH ALL APPLICABLE CODES AND ORDINANCES.
2. THIS PROJECT IS LOCATED IN THE CITY WATER SERVICES AREA AND HAS BEEN DESIGNATED AS HAVING AN ASSURED WATER SUPPLY.
3. ALL NEW OR RELOCATED UTILITIES WILL BE PLACED UNDERGROUND.
4. STRUCTURES AND LANDSCAPING WITHIN A TRIANGLE MEASURED BACK 10' FROM THE PROPERTY LINE AND 20' ALONG THE PROPERTY LINE ON EACH SIDE OF DRIVEWAYS ENTRANCES WILL BE MAINTAINED AT A MAXIMUM HEIGHT OF 7'.
5. STRUCTURES AND LANDSCAPING WITHIN A TRIANGLE MEASURING 33' X 33' ALONG THE PROPERTY LINES WILL BE MAINTAINED AT A MAXIMUM HEIGHT OF 3'.
6. ANY LIGHTING WILL BE PLACED SO AS TO DIRECT LIGHT AWAY FROM ADJACENT RESIDENTIAL DISTRICTS AND WILL NOT EXCEED ONE-FOOT CANDLE AT THE PROPERTY LINE. NO NOISE, ODOR, OR VIBRATION WILL BE EMITTED AT ANY LEVEL EXCEEDING THE GENERAL LEVEL OF NOISE, ODOR, OR VIBRATION EMITTED BY USES IN THE AREA OUTSIDE OF THE SITE.
7. OWNERS OF PROPERTY ADJACENT TO PUBLIC RIGHTS-OF-WAY WILL HAVE THE RESPONSIBILITY FOR MAINTAINING ALL LANDSCAPING LOCATED WITHIN THE RIGHTS-OF-WAY, IN ACCORDANCE WITH APPROVED PLAN.
8. THE EXISTING STRUCTURES MUST COMPLY WITH THE CHANGE OF OCCUPANCY PROVISIONS IN THE LOCAL CONSTRUCTION CODE PRIOR TO USE.
9. AFTER FINAL APPROVAL THE PROJECT WILL BE INSPECTED FOR ZONING COMPLIANCE DURING CONSTRUCTION AND PRIOR TO OCCUPANCY. THE APPLICANT IS TO NOTIFY PDD PRIOR TO THE OCCUPANCY TO ARRANGE FOR INSPECTIONS. CALL 262-4981 AND REQUEST A DESIGN REVIEW INSPECTION.
10. ALL ROOFTOP EQUIPMENT, TELEPHONE DISHS SHALL BE SCREENED TO THE HEIGHT OF THE TALLEST EQUIPMENT.
11. ALL SERVICE AREAS SHALL BE SCREENED TO CONCEAL TRASH CONTAINERS, LOADING DOCKS, TRANSFORMERS, BACKFLOW PREVENTERS, AND OTHER MECHANICAL OR ELECTRICAL EQUIPMENT FROM EYE LEVEL ADJACENT TO ALL PUBLIC STREETS.
12. BARBED, RAZOR, OR CONCERTINA WIRE (OR SIMILAR) SHALL NOT BE USED ON THIS SITE WHERE VISIBLE FROM PUBLIC STREETS OR ADJACENT RESIDENTIAL AREAS.
13. ALL SIGNAGE REQUIRES A SEPARATE REVIEW AND PERMIT.
14. SMOKE, GAS, AND ODOR EMISSIONS SHALL COMPLY WITH REGULATION III OF THE MARICOPA COUNTY AIR POLLUTION CONTROL RULES AND REGULATIONS.
15. THE DISPOSAL OF ALL WASTE MATERIALS SHALL COMPLY WITH TITLE 9, CHAPTER 9, ARTICLES 18 AND 4 OF THE HAZARDOUS WASTE REGULATIONS AS ADOPTED BY THE ARIZONA HEALTH DEPARTMENT.
16. THE AVERAGE NOISE LEVEL, MEASURED AT THE PROPERTY LINE, SHALL NOT EXCEED 44 DB (D) WHEN MEASURED ON "A WEIGHTED" SOUND LEVEL METER AND ACCORDING TO THE PROCEDURES OF THE ENVIRONMENTAL PROTECTION AGENCY.
17. EXPLOSIVE OR HAZARDOUS PROCESSES (IF APPLICABLE); CERTIFICATION SHALL BE PROVIDED BY LOCAL FIRE DEPARTMENT PREVENTION BUREAU THAT ALL MANUFACTURING, STORAGE AND WASTE PROCESSES ON THE SITE SHALL MEET SAFETY AND ENVIRONMENTAL STANDARDS AS ADMINISTERED BY THE BUREAU.
18. ALL NEW SANITARY SEWER LINES WITHIN THE SITE SHALL BE PRIVATE PLUMBING LINES SUBJECT TO THE LOCAL PLUMBING CODE OR THE ARIZONA DEPARTMENT OF ENVIRONMENTAL QUALITY (ADEQ) AQUIFER PROTECTION PROGRAM (APP) GENERAL PERMIT 4.01 IN ACCORDANCE WITH ARIZONA ADMINISTRATIVE CODE TITLE 18, CHAPTER 9, SECTION E301 (AAC R18-9-E301) WHICHEVER IS APPLICABLE.
19. THE SANITARY SEWER COLLECTION SYSTEM WITHIN THIS PROJECT WILL BE A PRIVATE SYSTEM, OWNED AND MAINTAINED BY THE PROPERTY OWNER(S) OR ASSOCIATION. THE SYSTEM WILL BE REVIEWED AND INSPECTED BY THE BUILDING SAFETY SECTION OF THE PLANNING AND DEVELOPMENT SERVICES DEPARTMENT.
20. ALL ON-SITE WATER LINES, SHALL BE PRIVATE PLUMBING LINES SUBJECT TO THE LOCAL PLUMBING CODE.
21. SURFACE DRAINAGE SHALL BE DIVERTED TO A STORM SEWER CONVEYANCE OR OTHER APPROVED POINT OF COLLECTION THAT DOES NOT CREATE A HAZARD.
22. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET. (2010 IRC R601.3)
23. I CONSENT TO THE REPRODUCTION OF THIS SITE PLAN FOR THE PURPOSE OF FUTURE AMENDMENTS PROVIDED THAT IF MODIFICATIONS ARE MADE, THE ARCHITECTS WHO MAKE SUCH CHANGES ASSUME FULL RESPONSIBILITY AND LIABILITY FOR THE PLAN.

LANDSCAPE

- THE AREA BTWN FRONT BLDG LINE AND FRONT PROPERTY LINE SHOULD BE LANDSCAPED W/ THE FOLLOWING ELEMENTS:
1. A MINIMUM OF ONE (1), TWO(2) INCH CALIPER OR GREATER, DROUGHT RESISTANT ACCENT TREE.
 2. A MINIMUM OF FIVE (5), FIVE (5) GALLON OR GREATER, DROUGHT RESISTANT SHRUBS.
 3. DUSTPROOFED w/ GROUNDCOVER, TURF, ROCK, DECOMPOSED GRANITE, OR EQUIVALENT MATERIAL AS APPROVED BY THE CITY PLANNING + DEVELOPMENT DEPARTMENT.
 4. AN IRRIGATION SYSTEM.

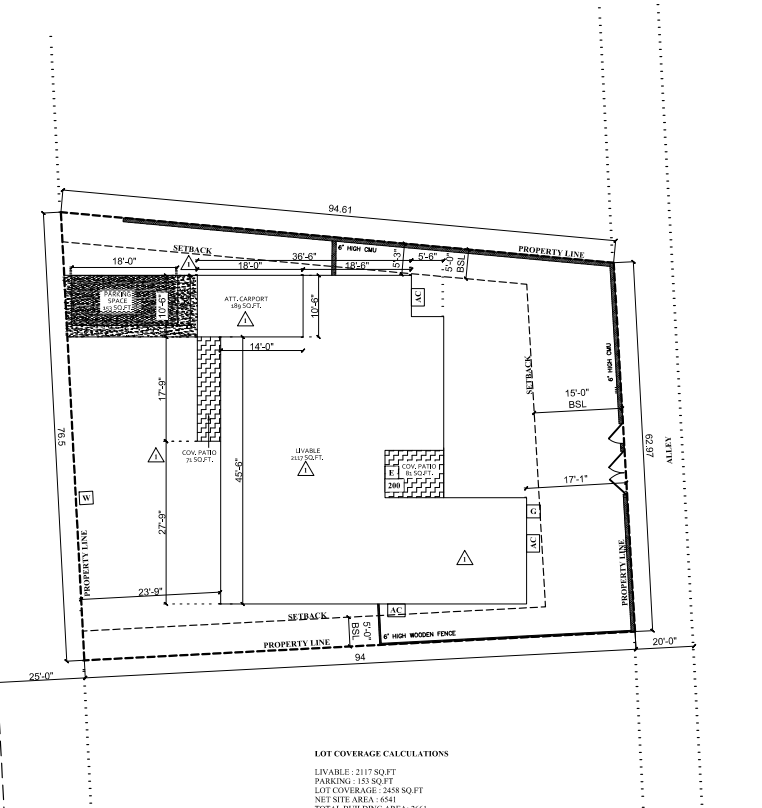
DESIGN CRITERIA:

- ROOF SNOW LOAD: 0
WIND SPEED: ULTIMATE: 115 MPH ASD: 90 MPH
SEISMIC DESIGN CRITERIA: WINTER DESIGN TEMPERATURE: 24°
FLOOD HAZARDS: D
SUBJECT TO DAMAGE FROM:
WEATHERING: NEGLIGIBLE
FROST LINE DEPTH: FINAL GRADE
TERMINITE: MODERATE TO HEAVY
ASD: NONE TO SLIGHT

ADD NET SITE AREA, THE TOTAL FRONT AREA, LOT COVERAGE, REQUIRED AND PROVIDED VERTICAL PARKING, AND EXISTING BEDROOMS AND PROPOSED BEDROOMS.

SITE PLAN
SCALE: 1"=10'

[Symbol] LIVABLE	[Symbol] GRAVEL	[Symbol] ELECTRICAL METER	[Symbol] STREET/ALLEY	[Symbol] PROPERTY LINE
[Symbol] LIVABLE (2ND STORY)	[Symbol] GRASS	[Symbol] ELECTRICAL PANEL (AMPS)	[Symbol] HOUSE BOUNDARY	[Symbol] SETBACK
[Symbol] ADDITION	[Symbol] UNCOVERED PATIO	[Symbol] GAS METER	[Symbol] WATER METER	[Symbol] WALL/FENCE
[Symbol] GARAGE	[Symbol] CONCRETE	[Symbol] WATER METER	[Symbol] VEGETATION	[Symbol] CITY REVISIONS
[Symbol] COVERED PATIO	[Symbol] PAVERS	[Symbol] AC	[Symbol] CITY REVISIONS 02.29.2024	



LOT COVERAGE CALCULATIONS

LIVABLE:	2117 SQ FT
PARKING:	153 SQ FT
LOT COVERAGE:	2488 SQ FT
NET SITE AREA:	6541
TOTAL BUILDING AREA:	2661

FRONT SETBACK: 20'
REAR SETBACK: 10'
SIDE SETBACK: 5'
REQUIRED PARKING: 2
PROVIDED PARKING: 2
EXISTING BEDROOMS: 4
PROPOSED BEDROOMS: 5

SITE OVERVIEW



SITE INFORMATION

APN	124-75-008
ADDRESS	1727 S SHAFER DR TEMPE 85281
MCR	829
LOT	103
SUBDIVISION	PARKSIDE MANOR 4
LOT AREA	6,541 sq ft.
ZONING	RS-6

SHEET INDEX

C1.0 COVER SHEET/SITE PLAN	M1.0 MECHANICAL PLAN
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A3.0 SECTIONS	
A4.0 ROOF PLAN	
E1.0 LIGHTING PLAN	
E2.0 POWER PLAN	

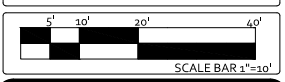
AREA CALCULATION

AREA	EXIST (SF)	CONVERT	ADD (SF)	REM (SF)	TOTAL (SF)
LIVABLE	1680	-	437	-	2117
COV. PATIO	152	-	-	-	152
ATT. GARPORT	189	-	-	-	189
TOTAL (SF)	2021				2458

LOT (SF)	LOT COV.	MAX	ACTUAL
6541	2488	40%	37.57%

SCOPE

- CONVERT PATIO TO LIVABLE AND EXPAND EXISTING STORAGE TO NEW BEDROOMS AS PER DESIGN DRAWINGS.



SHEET TITLE	SITE PLAN	SHEET NO.	C1.0
PROJECT NAME	1727 S SHAFER DR	SCALE	1"=10'
PROJECT ADDRESS	1727 S SHAFER DR	TEMPE, AZ, 85281	
CLIENT	LIN XIAO & JIN	DATE	3.19.2024

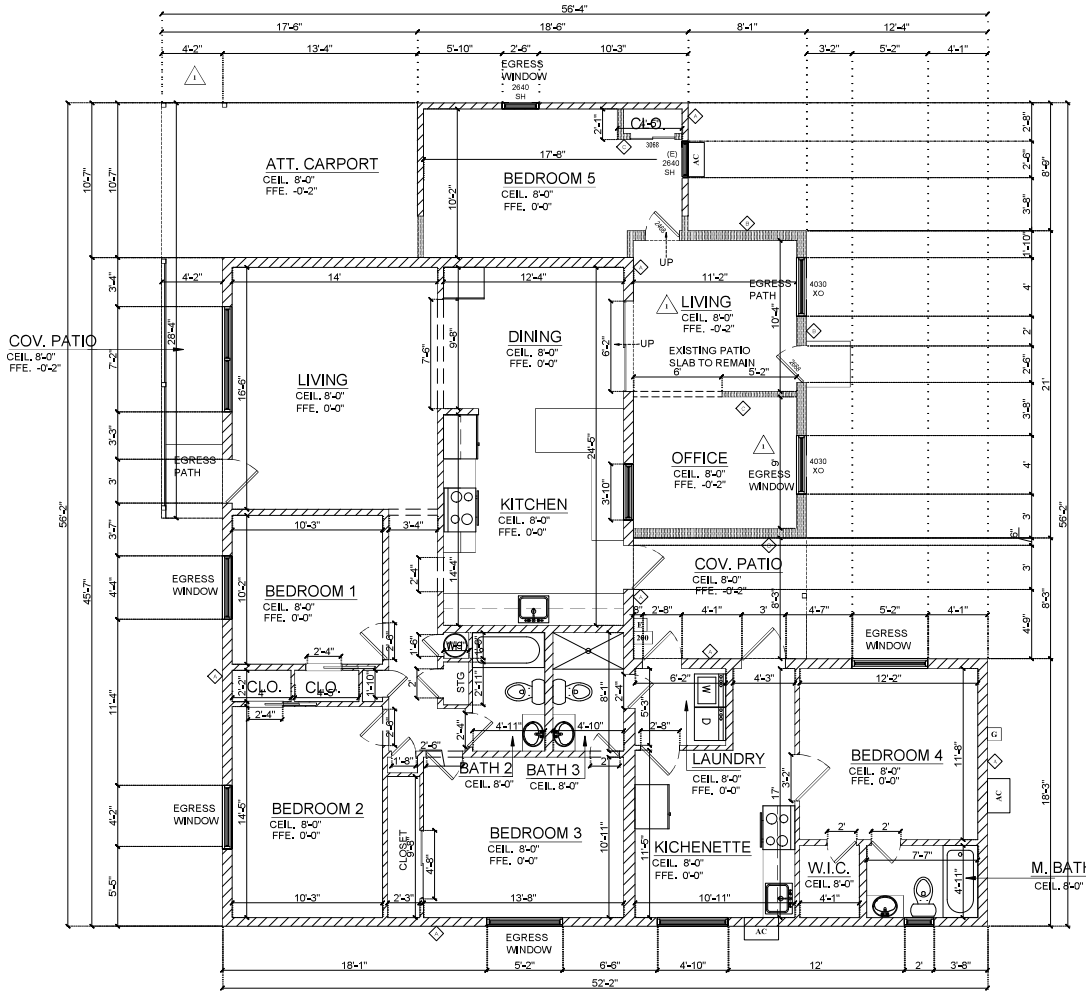
TEMPE CODES
UNLESS STATED OTHERWISE, ADHERE TO THE BELOW CODES:
2018 IBC, IEBC, IRC, IMC, IPC, UPC, IECC, IFGC, AND ISPSC
2017 NEC
2007-20016 ASME
2012 IGCC

Contractor must verify all dimensions at project before proceeding with work. Dimensions intended for general permit use within +/- 1", anything requiring tighter tolerances requires field verification. These documents are instruments of professional service and the information contained within is incomplete unless used in conjunction with Rezio LLC. Use or reproduction of these documents in whole or in part without written consent of Rezio LLC is in violation of common law, copyrights, statutes and other reserved rights. These plans are on notice as copyrighted property of Rezio LLC.
It is the responsibility of the contractor to check and verify all field conditions prior to construction, handle all inspections and work related to inspector comments, and all dimensions, quantities and coordination of trades on the construction site.

SEAL

CITY APPROVAL

REZIO
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WALL TYPES

- A** EXISTING CMU WALL
- B** 2x6 STUD FRAMING @ 16" O.C. (@ 24" O.C. IF NON LOAD-BEARING) 1/2" WOOD SHEATHING PER GL.S.N. 8" R19 WOOD OPEN-CELL SPF INSULATION R2 RIGID FOAM INSULATION DURIGUNT TYVEK STUCCO WRAP ULTRAKOTE ONE-KOTE STUCCO SYSTEM 1/2" GWS INTERIOR FINISH
- C** 2x4 STUD FRAMING @ 16" O.C. (@ 24" O.C. IF NON LOAD-BEARING) 1/2" GWS INTERIOR FINISH (E. S.) [CC-ESR-1338]

WALL LEGEND NOTES:
 1. PROVIDE 5/8" TYPE 'X' GWB @ ALL CEILING, U.N.O.
 2. PROVIDE 1HR RATED 58" TYPE 'X' GWB @ CARPORT SIDE
 3. DIMENSIONS ARE TO ROUGH FRAMING
 4. ALL ANGLES ARE 90° U.N.O.
 5. OBJECTS THAT APPEAR TO BE IN ALIGNMENT SHOULD BE ASSUMED TO BE IN ALIGNMENT U.N.O.

NOTE:
 EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A NET CLEAR OPENING OF NOT LESS THAN 5.7 SQUARE FEET (0.530 MD). THE NET CLEAR OPENING DIMENSIONS REQUIRED BY THIS SECTION SHALL BE OBTAINED BY THE NORMAL OPERATION OF THE EMERGENCY ESCAPE AND RESCUE OPENING FROM THE INSIDE. THE NET CLEAR HEIGHT OF THE OPENING SHALL BE NOT LESS THAN 24 INCHES (610 MM) AND THE NET CLEAR WIDTH SHALL BE NOT LESS THAN 20 INCHES (508 MM) (R310.2.1 2018 IRC)

HABITABLE ROOMS SHALL HAVE AN AGGREGATE GLAZING AREA OF NOT LESS THAN 8 PERCENT OF THE FLOOR AREA OF SUCH ROOMS. NATURAL VENTILATION SHALL BE THROUGH WINDOWS, SKYLIGHTS, DOORS, LOUVERS OR OTHER APPROVED OPENINGS TO THE OUTDOOR AIR. SUCH OPENINGS SHALL BE PROVIDED WITH READY ACCESS OR SHALL OTHERWISE BE READILY CONTROLLABLE BY THE BUILDING OCCUPANTS. THE OPENABLE AREA TO THE OUTDOORS SHALL BE NOT LESS THAN 4 PERCENT OF THE FLOOR AREA BEING VENTILATED. (R303.1 2018 IRC)

HABITABLE ROOMS SHALL HAVE AN AGGREGATE GLAZING AREA OF NOT LESS THAN 8 PERCENT OF THE FLOOR AREA OF SUCH ROOMS. NATURAL VENTILATION SHALL BE THROUGH WINDOWS, SKYLIGHTS, DOORS, LOUVERS OR OTHER APPROVED OPENINGS TO THE OUTDOOR AIR. SUCH OPENINGS SHALL BE PROVIDED WITH READY ACCESS OR SHALL OTHERWISE BE READILY CONTROLLABLE BY THE BUILDING OCCUPANTS. THE OPENABLE AREA TO THE OUTDOORS SHALL BE NOT LESS THAN 4 PERCENT OF THE FLOOR AREA BEING VENTILATED. (R303.1 2018 IRC)

BASEMENTS, HABITABLE ATTICS AND EVERY SLEEPING ROOM SHALL HAVE NOT LESS THAN ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING WHERE BASEMENTS CONTAIN ONE OR MORE SLEEPING ROOMS. AN EMERGENCY ESCAPE AND RESCUE OPENING SHALL BE REQUIRED IN EACH SLEEPING ROOM. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL OPEN DIRECTLY INTO A PUBLIC WAY OR TO A YARD OR COURT THAT OPENS TO A PUBLIC WAY. (R310.1 2018 IRC)

DWELLINGS SHALL BE PROVIDED WITH A MEANS OF EGRESS IN ACCORDANCE WITH THIS SECTION. THE MEANS OF EGRESS SHALL PROVIDE A CONTINUOUS AND UNOBSTRUCTED PATH OF VERTICAL AND HORIZONTAL EGRESS TRAVEL FROM ALL PORTIONS OF THE DWELLING TO THE REQUIRED EGRESS DOOR WITHOUT REQUIRING TRAVEL THROUGH A GARAGE. THE REQUIRED EGRESS DOOR SHALL OPEN DIRECTLY INTO A PUBLIC WAY OR TO A YARD OR COURT THAT OPENS TO A PUBLIC WAY. (R311.1 2018 IRC)

THERE SHALL BE A LANDING OR FLOOR ON EACH SIDE OF EACH EXTERIOR DOOR. THE WIDTH OF EACH LANDING SHALL BE NOT LESS THAN THE DOOR SERVICE LANDING SHALL HAVE A DIMENSION OF NOT LESS THAN 36 INCHES (914 MM) MEASURED IN THE DIRECTION OF TRAVEL. THE SLOPE AT EXTERIOR LANDINGS SHALL NOT EXCEED 1/4" UNIT VERTICAL IN 12 UNITS HORIZONTAL (2 PERCENT). (R311.3 2018 IRC) CARPORTS SHALL BE OPEN ON NOT LESS THAN TWO SIDES. CARPORT FLOOR SURFACES SHALL BE OF APPROVED NONCOMBUSTIBLE MATERIAL. CARPORTS NOT OPEN ON TWO OR MORE SIDES SHALL BE CONSIDERED TO BE A GARAGE AND SHALL COMPLY WITH THE PROVISIONS OF THIS SECTION FOR GARAGES. (R309.2 2018 IRC) PROVIDE STRUCTURAL ENGINEERING FOR THE REMOVAL OF A LARGE SECTION OF THE EXISTING CMU WALL. PROVIDE CONNECTION DETAILS FOR THE 2X FRAMING TO EXISTING CMU. SPECIAL INSPECTION MAY BE REQUIRED.

LIGHT/VENTILATION

ROOM	SF	LIGHT (8%) VENTILATION (4%)
BEDROOM 4	162 SF	20 SF (12%) 10 (6%)
LIVING	115 SF	12 SF (10%) 23 (19%)
OFFICE	99 SF	12 SF (12%) 6 (6%)

*Meets all city requirements

DESIGN PLAN
 SCALE: 1/4" = 1'

LEGEND:

- NEW EXTERIOR FRAME WALL
- NEW INTERIOR FRAME WALL
- NEW CMU/BLOCK WALL
- EXISTING WALL
- DEMO AREA
- SOFT-CEILING CHANGE
- STAIRS
- TOILET FIXTURE
- SINK FIXTURE
- DOOR
- WASHER/DRYER
- WATER HEATER
- WINDOW
- STOVE/OVEN
- FRIDGE
- DISHWASHER
- AC UNIT
- ROOM CALLOUTS
- ELECTRICAL METER
- ELECTRICAL PANEL (AMPS)
- GAS METER
- CITY REVISIONS 9.29.2024

SHEET TITLE	DESIGN PLAN	SHEET NO.	A1.0
PROJECT NAME	1727 S SHAFER DR	SCALE	1/4" = 1'
PROJECT ADDRESS	1727 S SHAFER DR	TEMPE CODES UNLESS STATED OTHERWISE, ADHERE TO THE BELOW CODES: 2018 IBC, IEBC, IRC, IMC, IPC, UPC, IECC, IFGC, AND ISPSC 2017 NEC 2007-20016 ASME 2012 IGCC	
CLIENT	LIN XIAO & JIN	DATE	3.2.2024

Contractor must verify all dimensions at project before proceeding with work. Dimensions intended for general permit use within 1", anything requiring tighter tolerances requires field verification. These documents are instruments of professional service and the information contained within is incomplete unless used in conjunction with Rezio LLC. Use or reproduction of these documents in whole or in part without written consent of Rezio LLC is in violation of common law, copyright, statutes and other reserved rights. These plans are not notice as copyrighted property of Rezio LLC.

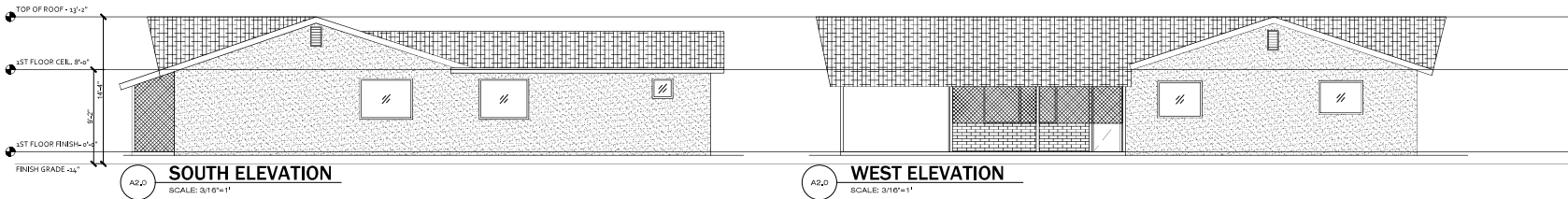
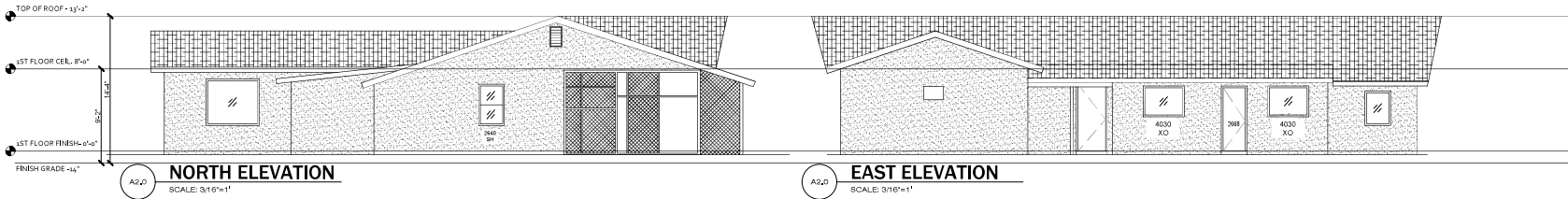
It is the responsibility of the contractor to check and verify all field conditions prior to construction, handle all inspections and work related to inspector comments, and all dimensions, quantities and coordination of trades on the construction site.

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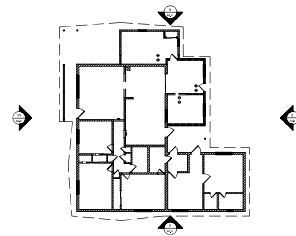
All building heights must be taken from grade, per temp ZDC. "Grade" means the top of curb, or top of crown of a street where no curb exists, as established at the midpoint of the front of the lot used for establishing building heights.



FINISH GRADE MEASUREMENT TAKEN FROM TOP OF CURB FROM THE MIDPOINT OF THE LOT, 14" BELOW FINISH FLOOR



FLOORPLAN NTS



EXTERIOR FINISH	ROOFING	CALLOUTS	UTILITIES	SECTION MATERIALS	CITY REVISIONS
STUCCO	TILE	WALL TYPE	AC UNIT	CONCRETE FOOTING	02.29.2024
BRICK	ASPHALT SHINGLE	DOOR SIZE	ELECTRICAL METER	ABC GRAVEL	
CMUBLOCK	METAL	WINDOW SIZE	ELECTRICAL PANEL (AMPS)	CMUBLOCK WALL	
EXPOSED WOOD	SLATE	ELEVATION LABELS	GAS METER	WOOD	
PAINTED METAL	WOOD	GLASS	WALL FENCE	GRADING	

SHEET TITLE	ELEVATIONS	SHEET NO.	A2.0	TEMPE CODES
PROJECT NAME	1727 S SHAFER DR	SCALE	3/16" = 1'	UNLESS STATED OTHERWISE, ADHERE TO THE BELOW CODES
PROJECT ADDRESS	1727 S SHAFER DR			2015 IBC, IEBC, IRC, IMC, IPC, UPC, IECC, IFGC, AND ISPSC
CLIENT	LIN XIAO & JIN	DATE	3.2.2024	2017 NEC 2007-20016 ASME 2012 IGCC

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Context photos for 1727 S Shafer Dr Use Permit











Apr 2022 See more dates

