

**CITY OF TEMPE
DEVELOPMENT REVIEW COMMISSION**

**Meeting Date: 05/14/2024
Agenda Item: 4**

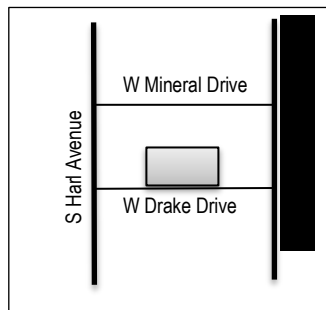
ACTION: Request for approval of a Development Plan Review consisting of a new 9,948 square foot warehouse and office building for **AME ELECTRICAL CONTRACTING OFFICE**, located at 1540 West Drake Drive. The applicant is Eric Leibsohn + Associates, Ltd.

FISCAL IMPACT: There is no fiscal impact on City funds.

RECOMMENDATION: Approve, subject to conditions

BACKGROUND INFORMATION: AME ELECTRICAL CONTRACTING OFFICE (PL240072) is proposing one new warehousing and office building on a currently vacant lot. The request includes the following:

DPR240028 Development Plan Review including site plan, building elevations, and landscape plan



Property Owner	Reinbold Development LLC
Applicant	Eric Leibsohn, Eric Leibsohn + Associates, Ltd
Zoning District	General Industrial District (GID)
Gross / Net site area	1.11 acres (48,323 s.f.) / 0.93 acres (40,513 s.f.)
Total Building Area	9,948 s.f.
Lot Coverage	24.6% (No Standard)
Building Height	30'4" (90' maximum allowed)
Building Setbacks	31'8" front, 70' west side, 78'1" east side, 33'6" rear (25, 0, 0', 0' min.)
Landscape area	23.7% (10% minimum required)
Vehicle Parking	33 spaces (29 min. required, 36 max allowed)
Bicycle Parking	4 spaces (4 min. required)

ATTACHMENTS: Development Project File

STAFF CONTACT(S): Chris Jasper, Senior Planner (480) 350-8096

Department Director: Jeff Tamulevich, Community Development Director
 Legal review by: N/A
 Prepared by: Chris Jasper, Senior Planner
 Reviewed by: Michelle Dahlke, Principal Planner

COMMENTS:

This site is located on the north side of West Drake Drive, between South Priest Drive to the east and South Harl Avenue to the west. The site is surrounded by existing industrial uses to the north, south, east, and west, and is currently vacant.

This request includes the following:

1. Development Plan Review including site plan, building elevations, and landscape plan for a new two-story building totaling 9,948 square feet story building with proposed warehousing and office uses.

The applicant is requesting the Development Review Commission take action on the item above.

Staff has already approved an administrative Lot Combination to facilitate the development of the proposed project.

SITE PLAN REVIEW

This project went through the site plan review process a total of two (2) times, which consisted of one (1) preliminary review (01/17/2024) and one formal review (03/13/2024). A majority of the comments provided by staff were requests for additional information, corrections to errors, and minor design recommendations related to screen walls, landscaping, refuse enclosure and parking facilities. Staff also requested revisions to the proposed vehicular security gates, which resulted in modifications to the design from swinging gates to rolling gates to reduce conflicts with adjoining parking stalls. The applicant has incorporated all requested design recommendations into its plans.

PUBLIC INPUT

A neighborhood meeting was not required. Staff did not receive input from the public prior to the completion of this report.

PROJECT ANALYSIS**DEVELOPMENT PLAN REVIEW****Site Plan**

The subject site is approximately 0.93 net acres and is rectangular in shape. The proposed building is two stories, or approximately 30 feet, 4 inches in height, and will be approximately 9,948 square feet in area, most of which is proposed to be made up of warehousing space, and the remaining area will be utilized as office space. The building will be centrally located on the property and will be accessed via two driveways from Drake Drive that circulate delivery vehicles to the warehouse bay doors on the building's north side. The delivery area will be secured with two (2) sliding vehicular gates located on the east and west side of the building.

Building Elevations

The proposed building is primarily made up of masonry, with split-face CMU defining the base, middle, and top, broken up with horizontal bands of center-score block and smooth grey CMU blocks. The street-facing elevation features fenestration on the ground-floor level at the primary entry points, all of which are accentuated with overhanging metal shade canopies. Windows not otherwise covered by a shade canopy shall be installed with a stainless steel fin that surrounds the window and provides shade. The proposed colors, materials, and finishes are consistent and compatible with surrounding uses and structures.

Landscape Plan

The proposed landscape coverage for this site is approximately 23.7%, which exceeds the minimum 10% required. The street frontage landscape area features "Red Push" Pistache and Sissoo trees, while Southern Live Oak and Fan West Ash trees are utilized in parking lot landscape islands and interior landscape areas. Additional shrubs and groundcovers utilized on the site include Orange Jubilee, Hopseed Bush, Dwarf Oleander, Cape Honeysuckle, Red Bird of Paradise, Whirling Butterflies, Mexican Honeysuckle, Thunder Cloud Sage, "Regal Mist" Deer Grass, Bush Morning Glory, Gold Mound Lantana, Dwarf Muhly, Ballerina Indian Hawthorn, and Dwarf Rosemary.

Section 6-306 D Approval criteria for Development Plan Review (*in italics*):

1. *Placement, form, and articulation of buildings and structures provide variety in the streetscape*; The proposed building is suitably set back from the street right of way and features a distinct form with horizontal movement along the ground-floor level and a variety of materials that break up the building façade.
2. *Building design and orientation, together with landscape, combine to mitigate heat gain/retention while providing shade for energy conservation and human comfort*; The proposed building includes numerous shade-providing structures and strategies, including shade canopies overhanging south-facing building entrances and unique steel “fins” that surround all single-pane windows and project out roughly 10 inches. Landscaping is utilized to provide substantial shade throughout the parking areas.
3. *Materials are of a superior quality, providing detail appropriate with their location and function while complementing the surroundings*; The proposed color and material palette primarily utilizes concrete with a wide variety of textures applied to break up the building façade. Concrete pop-outs along the west and east elevations serve to cast shadows and add depth to further break up the building façade. All of the proposed materials and finishes are consistent with and complementary of surrounding uses and structures.
4. *Buildings, structures, and landscape elements are appropriately scaled, relative to the site and surroundings*; The proposed building height is slightly more than 30 feet, which is appropriately scaled to the height of surrounding structures. The proposed landscaping is consistent with City requirements for street frontages and on-site landscaping, and it is also consistent with surrounding developments.
5. *Large building masses are sufficiently articulated so as to relieve monotony and create a sense of movement, resulting in a well-defined base and top, featuring an enhanced pedestrian experience at and near street level*; The proposed elevations feature several changes in plane and materials that result in the appearance of a well-defined building base and top.
6. *Building facades provide architectural detail and interest overall with visibility at street level (in particular, special treatment of windows, entries and walkways with particular attention to proportionality, scale, materials, rhythm, etc.) while responding to varying climatic and contextual conditions*; The façade features details and visual interest in a manner that is appropriate given the scale of the building and the surrounding context, and includes specific design elements to address climatic conditions.
7. *Plans take into account pleasant and convenient access to multi-modal transportation options and support the potential for transit patronage*; A pedestrian connection is provided from the public sidewalk to the primary building entrances, and bicycle parking is provided in accordance with City requirements.
8. *Vehicular circulation is designed to minimize conflicts with pedestrian access and circulation, and with surrounding residential uses*; Vehicular and pedestrian routes are separated and feature minimal on-site conflicts. Where pedestrian pathways intersect the development entry driveways, it is delineated with alternative hardscapes.
9. *Plans appropriately integrate Crime Prevention Through Environmental Design principles such as territoriality, natural surveillance, access control, activity support, and maintenance*; The project complies with all applicable CPTED principles.
10. *Landscape accents and provides delineation from parking, buildings, driveways and pathways*; All landscaping adjacent to vehicular or pedestrian pathways are appropriate for the site context.
11. *Signs have design, scale, proportion, location and color compatible with the design, colors, orientation and materials of the building or site on which they are located*; Signs have been considered in the architectural form and will be addressed by a separate permit process and

12. *Lighting is compatible with the proposed building(s) and adjoining buildings and uses, and does not create negative effects.* All lighting must comply with current code requirements to meet minimum illumination levels and be non-intrusive to adjacent properties.

REASONS FOR APPROVAL:

1. The project will meet the development standards required under the Zoning and Development Code.
2. The proposed project meets the approval criteria for a Development Plan Review.

Based on the information provided and the above analysis, staff recommends approval of the Development Plan Review. This request meets the required criteria and will conform to the conditions.

DEVELOPMENT PLAN REVIEW CONDITIONS OF APPROVAL: (Non-standard conditions are identified in bold)

EACH NUMBERED ITEM IS A CONDITION OF APPROVAL. THE DECISION-MAKING BODY MAY MODIFY, DELETE OR ADD TO THESE CONDITIONS.

General

1. Except as modified by conditions, development shall be in substantial conformance with the site plan and building elevations dated 03/31/2024 and landscape plan dated 12/30/2023. Minor modifications may be reviewed through the plan check process of construction documents; major modifications will require submittal of a Development Plan Review.
2. At the time a temporary construction fence is added to the site, a future development sign banner shall be attached to the fence and provide information for the new development, in conformance with the Zoning and Development Code, Section 4-903, Sign Type J. The sign banner shall include: project name/information and future tenant (if known). Images of the project may be included on the banner. A sign permit is required. The building permit plans shall include a note on the plans to provide this future development sign banner on site as long as the construction fencing remains.

Site Plan

3. Provide service yard and mechanical (cooling tower/generator) yard walls that are at least 8'-0" tall as measured from adjacent grade or are at least the height of the equipment being enclosed, whichever is greater. Verify height of equipment and mounting base to ensure that wall height is adequate to fully screen the equipment.
4. Provide gates of steel vertical picket, steel mesh, steel panel or similar construction. Where a gate has a screen function and is completely opaque, provide vision portals for visual surveillance. Provide gates of height that match that of the adjacent enclosure walls. Review gate hardware with Building Safety and Fire staff and design gate to resolve lock and emergency ingress/egress features that may be required.
5. Provide upgraded paving at each driveway consisting of integral colored and scored concrete as identified on the site plan. Extend this paving in the driveway from the right-of-way line to 20'-0" on site and from curb to curb at the drive edges. From sidewalk to right-of-way line, extend concrete paving to match sidewalk.
6. Utility equipment boxes for this development shall be finished in a neutral color (subject to utility provider approval) that compliments the coloring of the buildings.
7. Place exterior, freestanding reduced pressure and double check backflow assemblies in pre-manufactured, pre-finished, lockable cages (one assembly per cage). If backflow prevention or similar device is for a 3" or greater water line, delete cage and provide a masonry or concrete screen wall following the requirements of Standard Detail T-214.
8. **Relocate the bicycle parking pad outside of the required 20-foot parking setback and provide an accessible route from the proposed bicycle parking to the primary building entry.**

Floor Plans

9. Provide visual surveillance by means of fire-rated glazing assemblies from stair towers into adjacent circulation spaces.

Building Elevations

10. The materials and colors are approved as presented:
 - Roof – Solid cap CMU block plus a bond beam block – Superlite – CMU Natural Grey
 - Primary Building - Split-faced CMU – Superlite – Keystone Grey SW 7504
 - Secondary Building – Center score block – Superlite – Portico SW 7548
 - Building Accent – Smooth regular block – Superlite – CMU Natural Grey
 - Pop-outs – 8" x 12" x 16" split faced SMU – Superlite – Keystone Grey SW 7504
 - Windows - Anodized aluminum frame – stainless steel plate around windows
 - Glazing – Low-E tinted tempered glass
 - Metal Canopy – Brush satin finish – City Scape SW 7067, glossy

Provide primary building colors and materials with a light reflectance value of 75 percent or less.

11. If provided, roof access shall be from the interior of the building. Do not expose roof access to public view.
12. Conceal roof drainage system within the interior of the building.
13. Exterior vents shall be architecturally integrated with the adjacent materials and matching colors specified on each elevation.
14. Incorporate lighting, address signs, and incidental equipment attachments (alarm klaxons, security cameras, etc.) where exposed into the design of the building elevations. Exposed conduit, piping, or related materials is not permitted.
15. Locate the electrical service entrance section (S.E.S.) inside the building or inside a secure yard that is concealed from public view.

Lighting

16. This project shall follow requirements of ZDC Part 4, Chapter 8, Lighting, unless otherwise conditioned.
17. Illuminate building entrances and underside of open stair landings from dusk to dawn to assist with visual surveillance at these locations.

Landscape

18. Arterial street trees shall be a minimum of 36" box specimens and a minimum of 1 ½" caliper trunk.
19. Irrigation notes:
 - a. Provide pipe distribution system of buried rigid (polyvinylchloride), not flexible (polyethylene). Use of schedule 40 PVC mainline and class 315 PVC ½" feeder line is acceptable. Class 200 PVC feeder line may be used for sizes greater than ½". Provide details of water distribution system.
 - b. Locate valve controller in a vandal resistant housing.
 - c. Hardwire power source to controller (a receptacle connection is not allowed).
 - d. Controller valve wire conduit may be exposed if the controller remains in the mechanical yard.
20. Include requirement to de-compact soil in planting areas on site and in public right of way and remove construction debris from planting areas prior to landscape installation.
21. Top dress planting areas with a rock or decomposed granite application. Provide rock or decomposed granite of 2" uniform thickness. Provide pre-emergence weed control application and do not underlay rock or decomposed granite application with plastic.

22. Each landscape island shall be installed with a minimum of one (1) tree with a minimum caliper of one and one-half (1 ½) inches and five (5) ground covers of one (1) gallon size for each parking space length.

Building Address

23. Verify property address and submit a PDF copy of the site plan with unit floor plans for permanent addressing to permitcenter@tempe.gov prior to submittal of construction documents.
24. Provide address sign on the building elevation facing the street to which the property is identified.
 - a. Conform to the following for building address signs:
 - 1) Provide street number only, not the street name
 - 2) Compose of 12" high, individual mount, metal reverse pan channel characters.
 - 3) Self-illuminated or dedicated light source.
 - 4) On multi-story buildings, locate no higher than the second level.
 - 5) Coordinate address signs with trees, vines, or other landscaping, to avoid any potential visual obstruction.
 - 6) Do not affix numbers or letters to elevation that might be mistaken for the address.
 - b. Utility meters shall utilize a minimum 1" number height in accordance with the applicable electrical code and utility company standards.

CODE/ORDINANCE REQUIREMENTS:

THE BULLETED ITEMS REFER TO EXISTING CODE OR ORDINANCES THAT PLANNING STAFF OBSERVES ARE PERTINENT TO THIS CASE. THE BULLET ITEMS ARE INCLUDED TO ALERT THE DESIGN TEAM AND ASSIST IN OBTAINING A BUILDING PERMIT AND ARE NOT AN EXHAUSTIVE LIST.

SITE PLAN REVIEW: Verify all comments by all departments on each Preliminary Site Plan Review. If questions arise related to specific comments, they should be directed to the appropriate department, and any necessary modifications coordinated with all concerned parties, prior to application for building permit. Construction Documents submitted to the Building Safety Division will be reviewed by planning staff to ensure consistency with this Design Review approval prior to issuance of building permits.

DEADLINE: Development plan approval shall be void if the development is not commenced or if an application for a building permit has not been submitted, whichever is applicable, within twelve (12) months after the approval is granted or within the time stipulated by the decision-making body. A complete building permit application shall be made on or before two (2) years from the date of city council approval or within a time stipulated as a condition of approval, when development plan review application is processed concurrently with a PAD Overlay District. The period of approval is extended upon the time review limitations set forth for building permit applications, pursuant to Tempe Building Safety Administrative Code, Section 8-104.15. An expiration of the building permit application will result in expiration of the development plan.

STANDARD DETAILS:

- Access to Tempe Supplement to the M.A.G. Uniform Standard Details and Specifications for Public Works Construction, at this link: <https://www.tempe.gov/government/engineering-and-transportation/engineering/standards-details> or purchase book from the Public Works Engineering Division.
- Access to refuse enclosure details DS116 and DS118 and all other Development Services forms at this link: <https://www.tempe.gov/government/community-development/building-safety/applications-forms>. The enclosure details are under Civil Engineering & Right of Way.

BASIS OF BUILDING HEIGHT: Measure height of buildings from top of curb at a point adjacent to the center of the front property line.

MECHANICAL SCREENING: All roof mounted mechanical equipment shall be concealed on all sides by elements that are an integral part of the building design and are equal to or greater in height than the mechanical equipment. Ground-mounted equipment may be screened using a masonry wall or other durable material as approved through development plan review.

WATER CONSERVATION AND EFFICIENCY: (Residential and parks are exempt, commercial and mixed use are not exempt). As required in [Tempe City Code 33-140 - 142](#), all new non-residential development projects are required to submit a Water Conservation Report that details potential water use, for review and approval by the Municipal Utilities Department, prior to building permit issuance. For a report template and more information, visit the [commercial water conservation webpage](#).

HISTORIC PRESERVATION: State and federal laws apply to the discovery of features or artifacts during site excavation (typically, the discovery of ancestral (human) remains or associated funerary objects). Arizona Revised Statutes [§ 41-865](#) stipulates that “any landowner with intention to disturb human remains or having unintentionally disturbed human remains shall immediately cease any activity in the vicinity of the remains and shall notify the Arizona State Museum Repatriation Office of the encounter. Any human remains and funerary objects shall not be further disturbed without obtaining written permission from the Repatriation Office.” Additional information about requirements related to encountering and disturbing ancestral (human) remains and funerary objects on private land can be found on the Arizona State Museum [website](#). While not required, applicants are encouraged to enlist the services of a qualified archaeological firm to conduct monitoring during ground-disturbing activity on private property that is Archaeologically Sensitive (AS). Contact the Historic Preservation Officer with general questions.

POLICE DEPARTMENT SECURITY REQUIREMENTS:

- Design building entrance(s) to maximize visual surveillance of vicinity. Limit height of walls or landscape materials, and design columns or corners to discourage ambush.
- Maintain distances of 20'-0" or greater between a pedestrian path of travel and any hidden area to allow for increased reaction time and safety.
- Follow the design guidelines listed under appendix A of the Zoning and Development Code. In particular, reference the CPTED principal listed under A-II Building Design Guidelines (C) as it relates to the location of pedestrian environments and places of concealment.
- Provide method of override access for Police Department (punch pad or similar) to controlled access areas.
- Refer to Tempe City Code Section 26-70 Security Plans.
- If the development includes a use listed in [City Code Section 26-70\(c\)](#), the Owner is required to prepare a security plan with the Police Department. The architect should be involved to verify any modification that would require design revisions. To avoid revisions to permitted construction documents, initial meetings with the Police Department regarding the security plan are recommended before building permits are issued. At a minimum, the Owner shall contact the Police Department to begin security plan process approximately eight weeks prior to receipt of certificate of occupancy.
- Provide a security vision panel at service and exit doors (except to rarely accessed equipment rooms) with a 3" wide, high strength plastic or laminated glass window, located between 43" and 66" from the bottom edge of the door.

TRAFFIC ENGINEERING:

- Provide 8'-0" wide public sidewalk along arterial roadways, or as required by Traffic Engineering Design Criteria and Standard Details.
- Construct driveways in public right of way in conformance with Standard Detail T-320. Alternatively, the installation of driveways with return type curbs as indicated, similar to Standard Detail T-319, requires permission of Public Works, Traffic Engineering.
- Correctly indicate clear vision triangles at driveways on the site and landscape plans. Identify speed limits for adjacent streets at the site frontages. Begin sight triangle in driveways at point 15'-0" from face of curb. Consult Intersection Sight Distance memo, available from Traffic Engineering if needed <https://www.tempe.gov/home/showpublisheddocument/6815/635323967996830000>. Do not locate site furnishings, screen walls or other visual obstructions over 2'-0" tall (except canopy trees are allowed) within each clear vision triangle.

FIRE:

- Clearly define the fire lanes. Ensure that there is at least a 20'-0" horizontal width, and a 14'-0" vertical clearance from the fire lane surface to the underside of tree canopies or overhead structures. Layout and details of fire lanes

are subject to Fire Department approval.

- Provide a fire command room(s) on the ground floor of the building(s). Verify size and location with Fire Department.

PRIVATE DEVELOPMENT ENGINEERING:

- An Encroachment Permit or License Agreement must be obtained from the City for any approved projections into the right of way or crossing of a public utility easement, prior to submittal of construction documents.
- An Encroachment Permit is required for any approved encroachment, temporary and removable in nature, that lies within, over or across any public Right of Way. A License Agreement will be required for any approved permanent structural encroachment into the Right of Way (roadway easements and PUE's are included by Tempe City Code definition).
- Permanent overhead structures will not be allowed above public water or sewer easements unless the vertical clearance is greater than 30 ft. per Engineering Design Criteria.
- All existing overhead utilities on or adjacent to site must be placed underground, including street crossings, per City of Tempe Code, Section 25-120 thru 25-126 & Ord # 88.85 except for transmission lines (greater than 12.5 kv).
- Coordinate site layout with utility provider(s) to provide adequate access easement(s). This is a private easement between the property owner and the utility company
- Clearly indicate right-of-way dimensions and property lines with dimensions, bearings and distances.
- Verify and show location of all easements, or property restrictions, to ensure no conflict exists with the site layout or foundation design. Provide recording number of existing easements. Any easements not dedicated to the city shall be labeled as private.
- 100-year onsite retention required for this property, coordinate design with requirements of the Engineering Department.

SOLID WASTE SERVICES:

- Enclosure indicated on site plan is exclusively for refuse. Construct walls, pad and bollards in conformance with standard detail DS-116.
- Contact the Solid Waste Division to verify that vehicle maneuvering and access to the enclosure is adequate. Refuse staging and collection must be on site; no backing onto or off of streets, alleys or paths of circulation.
- Develop strategy for recycling collection and pick-up from site. Roll-outs may be allowed for recycled materials. Coordinate storage area for recycling containers with overall site and landscape layout.
- Gates for refuse enclosure(s) are not required unless visible from the street. If gates are provided, the property manager must arrange for gates to be open from 6:00 am to 4:30 pm on collection days.

PARKING SPACES:

- Verify conformance of accessible vehicle parking to the Americans with Disabilities Act and the Code of Federal Regulations Implementing the Act. Refer to Building Safety ADA Accessible Parking Spaces Marking/Signage on Private Development details.
- At parking areas, provide demarcated accessible aisle for disabled parking.
- Distribute bike parking areas nearest to main entrance(s). Provide parking loop/rack per standard detail T-578. Provide 15" by 6'-0" individual bicycle parking spaces. One loop may be used to separate two bike parking spaces. Provide clearance between bike spaces and adjacent walkway to allow bike maneuvering in and out of space without interfering with pedestrians, landscape materials or vehicles nearby.

ZONING AND DEVELOPMENT CODE:

- Specific requirements of the **Zoning and Development Code** (ZDC) are not listed as a condition of approval but will apply to any application. To avoid unnecessary review time and reduce the potential for multiple plan check submittals, become familiar with the ZDC. Access the ZDC through www.tempe.gov/zoning or purchase from Community Development.

LIGHTING:

- Plans shall include the nearest adjacent street lights to the development. Street lights shall conform to the City of Tempe Public Works Standard Details and the Engineering Design Criteria Manual contained in the Comprehensive Transportation Plan
- Design site security lighting in accordance with requirements of ZDC Part 4 Chapter 8 (Lighting) and ZDC Appendix E (Photometric Plan).
- Indicate the location of all exterior light fixtures on the site, landscape and photometric plans. Avoid conflicts between lights and trees or other site features in order to maintain illumination levels for exterior lighting.

LANDSCAPE:

- Trees shall be planted a minimum of 16'-0" from any existing or proposed public utility lines. The tree planting separation requirements may be reduced to no less than 8'-0" from utility lines upon the installation of a linear root barrier. Per Detail T-460, the root barrier shall be a continuous material, a minimum of 0.08" thick, installed to a minimum depth of 4'-0" below grade. The root barrier shall extend 6'-0" on either side of the tree parallel to the utility line for a minimum length of 12'-0". Final approval is subject to determination by the Public Works, Water Utilities Division.
- Prepare an existing plant inventory for the site and adjacent street frontages. The inventory may be prepared by the Landscape Architect or a plant salvage specialist. Note original locations and species of native and "protected" trees and other plants on site. Move, preserve in place, or demolish native or "protected" trees and plants per State of Arizona Agricultural Department standards. File Notice of Intent to Clear Land with the Agricultural Department. Notice of Intent to Clear Land form is available at <https://agriculture.az.gov/plantsproduce/native-plants>. Follow the link to "applications to move a native plant" to "notice of intent to clear land".

SIGNS: Separate plan review process is required for signs in accordance with requirements of ZDC Part 4 Chapter 9 (Signs). Refer to www.tempe.gov/signs.

DUST CONTROL: Any operation capable of generating dust, include, but not limited to, land clearing, earth moving, excavating, construction, demolition and other similar operations, that disturbs 0.10 acres (4,356 square feet) or more shall require a dust control permit from the Maricopa County Air Quality Department (MCAQD). Contact MCAQD at <http://www.maricopa.gov/aq/>.

HISTORY & FACTS:

June 2, 1980	Subject site is platted as Lots 9 and 10 of the Lincoln – Elliot / I-10 subdivision.
March 27, 2024	Staff administratively approved a Lot Combination request to combine Lots 9 and 10 of the Lincoln – Elliot / I-10 subdivision to facilitate the proposed development.
May 14, 2024	This request is scheduled to be heard by the Development Review Commission.

ZONING AND DEVELOPMENT CODE REFERENCE:

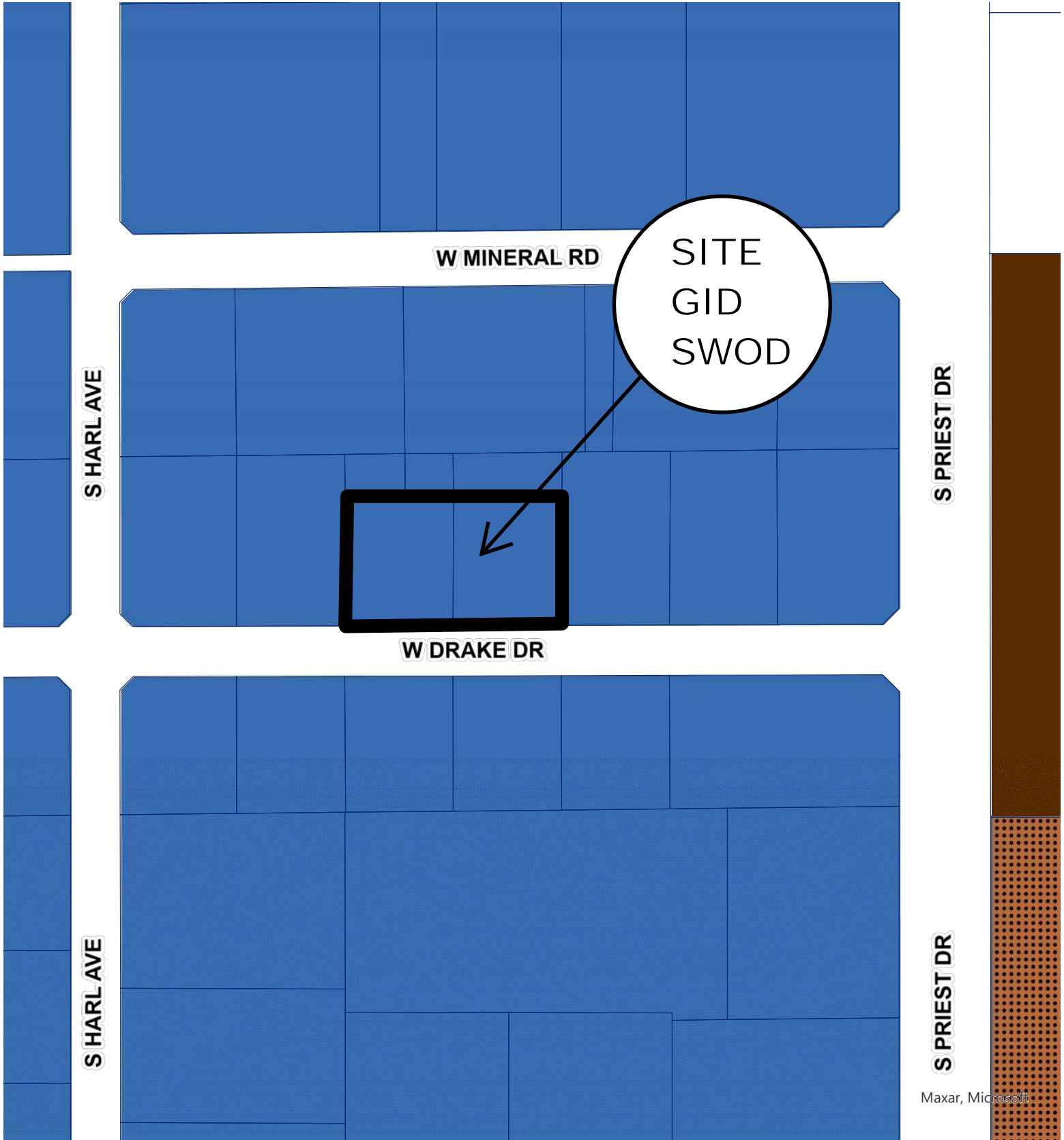
Section 6-306, Development Plan Review






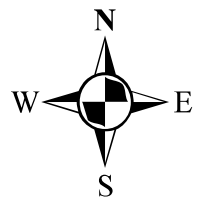
DEVELOPMENT PROJECT FILE
for
AME ELECTRICAL CONTRACTING OFFICE
(PL240072)

ATTACHMENTS:

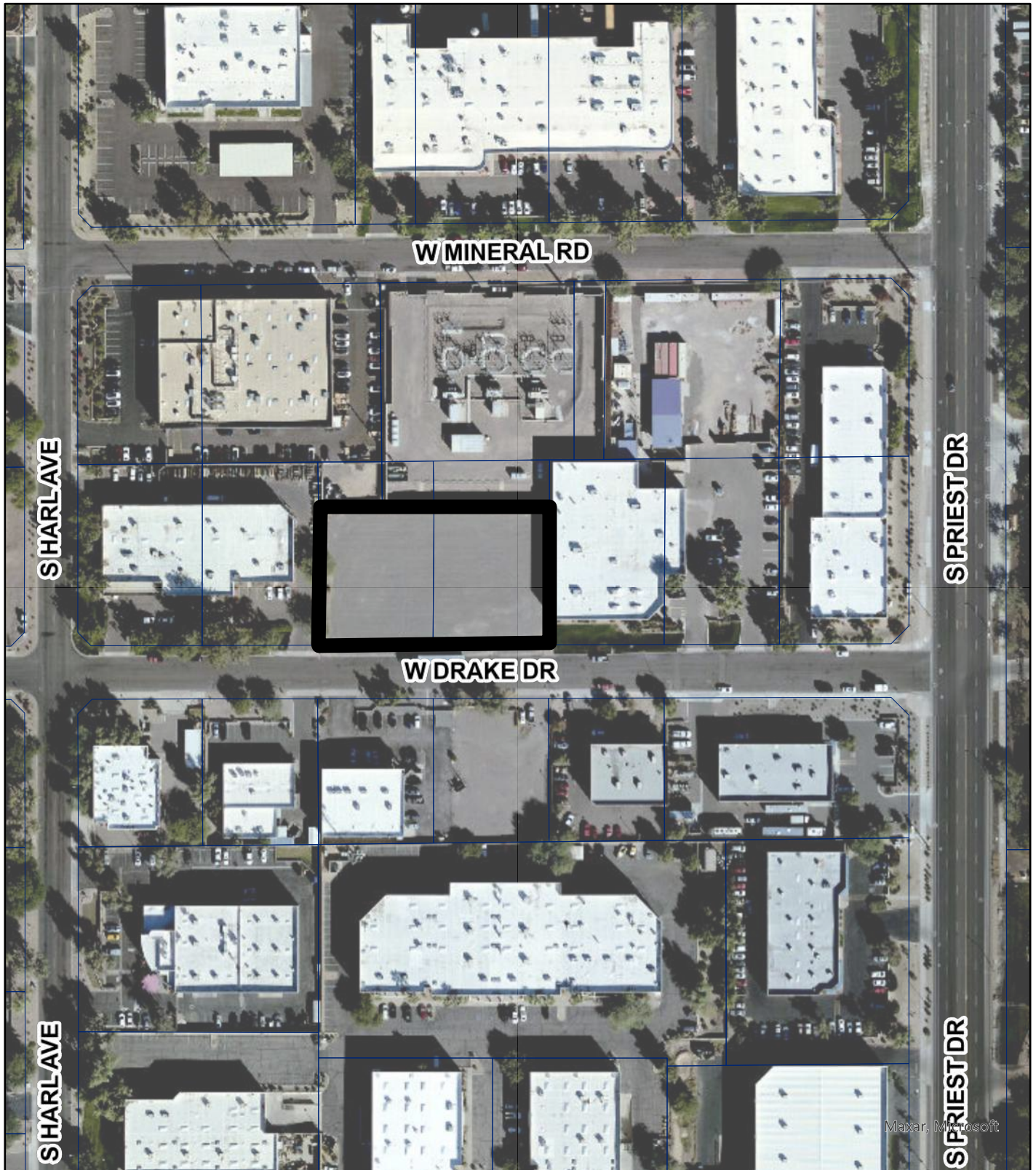
- 1-4. Site Context (Zoning Map, Aerial Map, Aerial with Site Plan Overlay, and Site Photos)
- 5-6. Applicant's Letter of Explanation
- 7-14. Site Design (Site Plan, Landscape Plan, Underground Utility and Lighting Plan, and Street Cross Sections)
- 15-31. Building Design (Blackline/Color Elevations, Sections, Renderings, Material Samples, and Floor Plans)
- 32. Supplemental Information
 - Turning Radius Exhibit



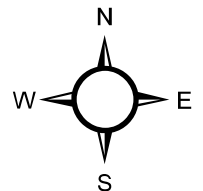
-  General Industrial District (GID)
-  Multi-Family Residential Limited (R-3)
-  Multi-Family Residential General (R-4)



AME ELECTRICAL CONTRACTING OFFICE PL240072



Aerial Map



AME ELECTRICAL NEW BUILD

1540 W. DRAKE DRIVE, TEMPE AZ 85283

The working days before any call
263-1100
CALL COLLECT

PROJECT DIRECTORY:

OWNER:
REINBOLD DEVELOPMENT, LLC
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TEMPE, AZ 85283
ANDY REINBOLD, PRESIDENT
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andy@ameelectrical.com (EMAIL)

ARCHITECT:
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ERIC LEIBSON, NARRS AZ REG
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eleibson@aol.com (EMAIL)

STRUCTURAL ENGINEER:
VERTEX CONSULTING STRUCTURAL ENGINEERS
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SCOTTSDALE, AZ 85250
CONTACT: SAM BURCHARD, P.E.
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sbn@vertexcsd.com (EMAIL)

MECHANICAL, PLUMBING & ELECTRICAL ENGINEERS:
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135 E. CAMELBACK ROAD, UNIT 215
SCOTTSDALE, AZ 85251
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dbantistevan@esdesign.com (EMAIL)

CIVIL ENGINEERS:
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CONTACT: JEFF HUNTER, P.E.
480-991-3985 (PHONE)
jeff@hunterengineeringpc.com

LANDSCAPE ARCHITECT:
BILTFORM LANDSCAPE ARCHITECT GROUP, INC
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PHOENIX, AZ 85049
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dave@biltform.com (EMAIL)

SURVEYOR:
ALLIANCE LAND SURVEYING
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GLENDALE, AZ 85303
CONTACT: RICHARD J GERMILLER, JR., RLS
623.972.2260, EXT 109 (PHONE)
richard@azsals.com (EMAIL)

RENDERING:
RENDER THIS DESIGN STUDIOS
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TEMPE, ARIZONA 85284
CONTACT: DAN MARTIN
602.908.4484 (PHONE)
dmartin@renderthis.com

REFERENCE DOCUMENTS

- (R) DEED 2023-0500941, M.C.R.
- (R) PLAT PER BOOK 223, PAGE 38, M.C.R.
- (R) R.O.B. PER BOOK 1019, PAGE 39, M.C.R.
- (R) R.O.B. PER BOOK 1503, PAGE 35, M.C.R.

LEGAL DESCRIPTION:

A REPLAT TO COMBINE LOTS 9 AND 10,
"LINCOLN-ELLIOT" / I-10, BOOK 22 OF MAPS, PAGE 38,
MARICOPA COUNTY RECORDS, LOCATED IN THE
SOUTHEAST QUARTER OF SECTION 8, TOWNSHIP 1 SOUTH,
RANGE 4 EAST OF THE GILA AND SALT RIVER BASE
AND MERIDIAN, MARICOPA COUNTY, ARIZONA

SEE SHEET A-0.1 FOR
PROJECT DATA

SHEET INDEX:

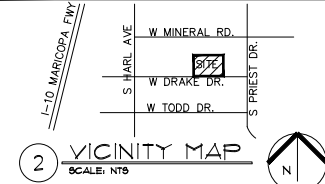
ARCHITECTURAL:	
A-0.0	COVER SHEET & CONTEXTUAL AERIAL/SITE PLAN OVERLAY
A-0.1	SITE PLAN / PROJECT DATA & DIMENSIONS
A-0.2	SITE PLAN NOTES
A-0.3	CONTEXT PLAN & SITE PHOTOS
A-0.4	SITE PLAN / VARIOUS TURNING RADII'S
A-0.5	EMERGENCY ACCESS SLIDING GATE WEST
A-0.6	EMERGENCY ACCESS SLIDING GATE EAST
A-0.7	SITE DETAILS
A-0.8	SITE DETAILS
A-1.0	OVERALL 1ST FLOOR PLAN
A-1.1	OVERALL 2ND FLOOR PLAN
A-1.2	ENLARGED 1ST FLOOR OFFICE PLAN
A-1.3	ENLARGED 1ST FLOOR OFFICE DIMENSIONED PLAN
A-2.0	ELEVATIONS (BLACKLINE)
A-2.1	ELEVATIONS (BLACKLINE)
A-2.2	ELEVATIONS (COLOR)
A-2.3	ELEVATIONS (COLOR)
A-2.4	3D RENDERING PERSPECTIVE
A-2.5	3D RENDERING PERSPECTIVE
A-3.0	DIGITAL MATERIAL FINISHES
A-4.0	SECTIONS
A-4.1	SECTIONS
A-4.2	ENLARGED WALL SECTIONS
A-4.3	ENLARGED WALL SECTIONS

ELECTRICAL:
E1.1 ELECTRICAL SITE PLAN
E1.2 ELECTRICAL PHOTOMETRY PLAN
E1.3 EXTERIOR LIGHT FIXTURES

CIVIL:
C1 CONCEPTUAL PLAN COVER SHEET
C2 CONCEPTUAL GRADING AND DRAINAGE
C3 TYPICAL SECTIONS

LANDSCAPE:
PL1.1 PRELIMINARY LANDSCAPE PLAN

SURVEYOR:
SHEET 1 OF 2 REPLAT COVER SHEET
SHEET 2 OF 2 REPLAT



CITY OF TEMPE APPROVAL:



Eric Leibson + Associates Ltd.
1908 NORTH RIDGEVIEW DRIVE • PARADISE VALLEY, AZ 85253
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AME ELECTRICAL NEW BUILDING
1540 W. DRAKE DRIVE
TEMPE, AZ 85283
COVER SHEET/SHEET INDEX AND DIRECTORY

PROJECT NO.: 1923
DATE ISSUED: 05/31/2024
REVISIONS:

DRAWN BY: TLK
CHECKED BY: EJA

SHEET NUMBER
A-0.0

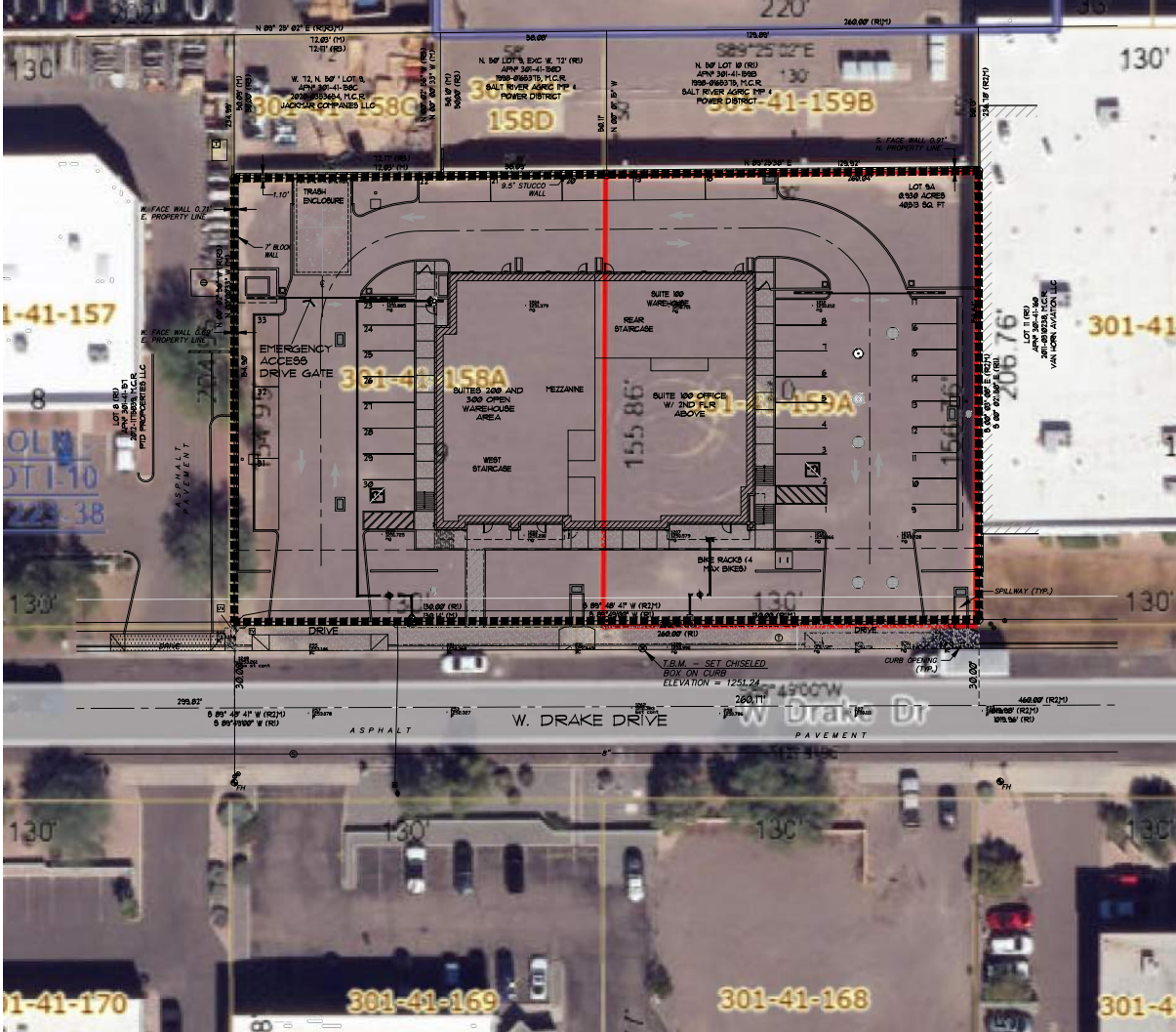
1 OF 24

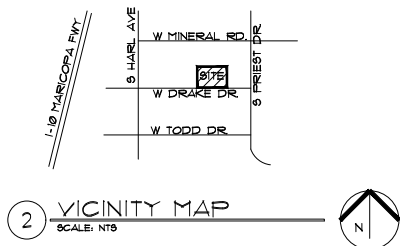
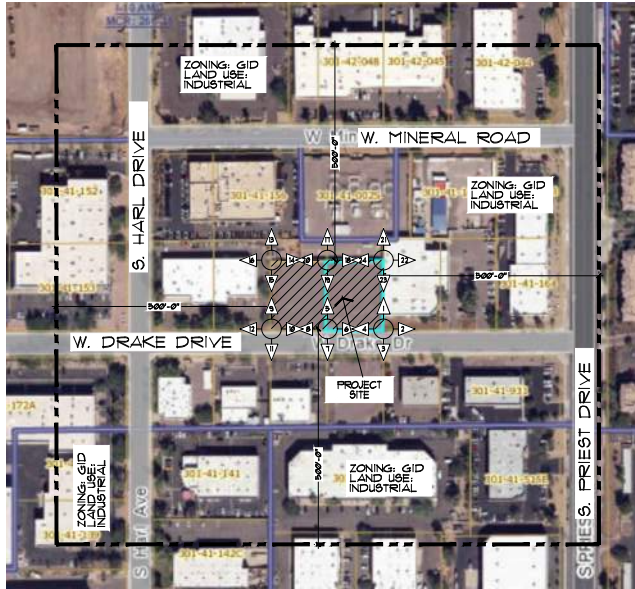
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AME ELECTRICAL NEW BUILDING
1540 W. DRAKE DRIVE
TEMPE, AZ 85283
CONTEXT PLAN / PHOTOS

PROJECT NO.: 1923
DATE ISSUED: 09/3/2024
REVISIONS:

DRAWN BY: TLK
CHECKED BY: ELA

SHEET NUMBER
A-0.3
4 OF 24

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APRIL 25, 2024

LETTER OF EXPLANATION

RE: AME ELECTRICAL CONTRACTING NEW BUILDING
1540 W. DRAKE DRIVE
SPR 24005

EXISTING VACANT PARCEL LOCATED AT 1540 W. DRAKE DRIVE (PARCEL NUMBERS 301-41-159A AND 301-41-158A). THIS PARCEL WILL BE FOR THE DEVELOPMENT OF A NEW OFFICE WAREHOUSE BUILDING WITH A FOOTPRINT OF 9948 SF. THE SECOND FLOOR WILL BE STORAGE CONSISTING OF 3429 SF.

SUITE #100 WILL BE OCCUPIED BY THE BUILDING OWNER (REINBOLD DEVELOPMENT, LLC / AME ELECTRICAL CONTRACTING) AND WILL BE BUILT OUT FOR A TI. SUITES # 200 + 300 WILL BE BUILT OUT AS OPEN TI FOR STORAGE OF PERSONAL ITEMS OF THE BUILDING OWNER ANDY REINBOLD (SEE ATTACHED BUILDING AREA MATRIX FOR MORE DETAIL INFORMATION).

THE EXISTING AND PROPOSED ZONING OF THE PROPERTY IS GID – GENERAL INDUSTRIAL DISTRICT WITH SOUTHWEST OVERLAY DISTRICT. THE DESIGN OF THE BUILDING AND SITE WILL SATISFY ALL APPLICABLE ZONING AND BUILDING CODES AS REQUIRED.

SUBMITTED BY:

Eric Leibsohn

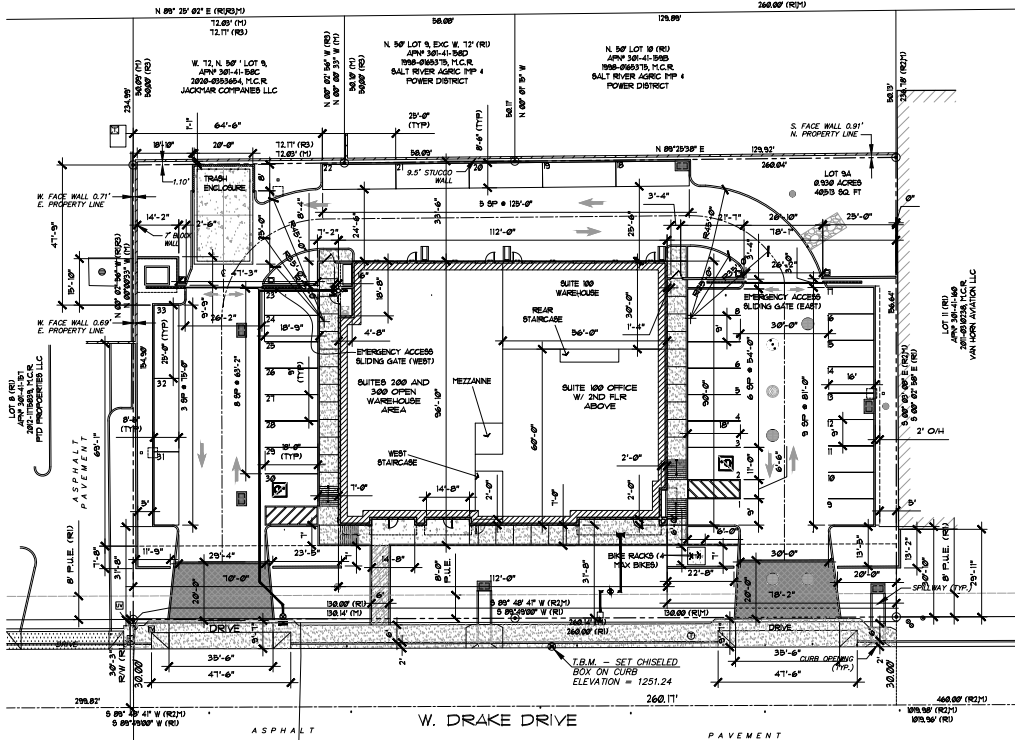
ERIC LEIBSOHN, NCARB
AZ REGISTERED ARCHITECT 15233



BUILDING AREA

OCCUP:	OFFICE		SUITE 100 2ND FLR STORAGE		1ST FLOOR WAREHOUSE STORAGE		GROSS TOTALS	NET TOTALS
	B (BUSINESS)		S (STORAGE)		S (STORAGE)			
	GROSS SF	NET SF	GROSS SF	NET SF	GROSS SF	NET SF		
SUITE 100	* 3,166 SF	3,092 SF	* 3,429 SF	3,065 SF	1,729 SF	1,644 SF	8,324 SF	7,801 SF
SUITE 200 & 300 (WHOLE)			149 SF (MEZZANINE)	138 SF (MEZZANINE)	4,727 SF	4,558 SF	4,876 SF	4,696 SF
SES/FIRE					87 SF		87 SF	
TOTALS	3,166 SF	3,092 SF	3,578 SF	3,203 SF	6,543 SF	6,202 SF	13,287 SF	12,497 SF
BUILDING FOOTPRINT							9,948 SF	

* INCLUDES 1/2 OF BOTH STAIRCASES



1 ARCHITECTURAL SITE PLAN
 SCALE: 1" = 20'-0"
 (1) MEASURED

REFERENCE DOCUMENTS
 (R) DEED 2023-0580947, M.C.R.
 (R1) PLAT PER BOOK 223, PAGE 38, M.C.R.
 (R2) R.O.S. PER BOOK 1079, PAGE 39, M.C.R.
 (R3) R.O.S. PER BOOK 1503, PAGE 35, M.C.R.

The working sheet before you is
 263-1100
 CALL FOR BLUE STAMPS
 CALL COLLECT

SEE SHEET A-0.2 FOR ATTACHMENT 7
 NOTES

PROJECT DATA

PROJECT NAME: REINBOLD DEVELOPMENT, LLC
 PROJECT ADDRESS: 1540 W. DRAKE DRIVE
 TEMPE, AZ 85283
 DESCRIPTION: SCOPE OF WORK IS TO PROVIDE SITE PLANNING SERVICES AND NEW BUILDING DESIGN FOR VACANT PARCEL APPROXIMATELY 0.93 ACRES. THIS PARCEL WILL BE FOR THE DEVELOPMENT OF A NEW OFFICE WAREHOUSE BUILDING WITH FOOT FRONT OF 112' X 30' AND ADDITIONAL STORAGE 2ND FLOOR ABOVE SUITE 1.
 EXISTING ZONING: G10 GENERAL INDUSTRIAL DISTRICT AND SOUTHWEST OVERLAY DISTRICT (SWOD)
 EXISTING GENERAL PLAN PROJECTED LAND USE: INDUSTRIAL
 PARCEL NO.: 301-41-59A & 301-41-59A (COMBINED PARCEL PENDING)
 GROSS SITE AREA: 48,323 S.F. - 1.11 ACRES (PARCEL + R/W)
 NET SITE AREA: 40,513 S.F. - 0.93 ACRES (PARCEL)
 AREA OF ENTIRE BUILDING: SEE BUILDING AREA MATRIX
 PROPOSED USES: OFFICE AND WAREHOUSE
 BUILDING HEIGHT: 30 FT. (65' ALLOWED IN G10 + 25 IN SWOD) ALLOWED FROM ADJ. T.O.C. (TOP OF CROWN + 1252,327') MAX HEIGHT ALLOWED = 90'-0" / 1342,327'
 PROPOSED BLDG HEIGHT: F.F. WILL BE PROPOSED TO BE AT 1253.00' 29'-8" ABOVE ADJ. T.O.C. (TOP OF ADJ ROAD CROWN) 1281,991'
 LOT COVERAGE: NO STANDARD
 LANDSCAPE: SEE LANDSCAPING PLAN
 PROPOSED PARCEL NET: SEE LANDSCAPING PLAN
 PROPOSED R/W NET: SEE LANDSCAPING PLAN
 TOTAL NET: SEE LANDSCAPING PLAN
 LANDSCAPING PROVIDED: SEE LANDSCAPING PLAN
 BUILDING SETBACKS: REQUIRED: SOUTH FRONT 25 FT. 31'-8" NORTH REAR 0 FT. 33'-6" EAST SIDE 0 FT. 18'-1" WEST SIDE 0 FT. 10'-0" PROVIDED:

PARKING CALCS

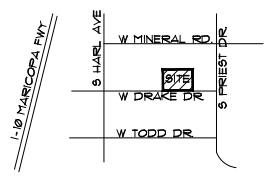
PARKING REQUIRED: (ALL PARKING CALCS ARE BASED ON "NET" S.F.)
 SUITE 100 OFFICE 3,144/3,000 = 10.48
 TOTAL = 10.48 PARKING SPACES
 SUITE 100 2ND FLOOR (STORAGE) 3,203/500 = 6.406
 SUITES 200 & 300 WAREHOUSE 4,506/500 = 9.01
 SUITE 100 WAREHOUSE 1644/500 = 3.28
 TOTAL SPACES REQ'D: 29.176 = 29 PARKING SPACES (2 ACCESSIBLE=1/25)
 PARKING PROVIDED: 33 PARKING SPACES (2 ACCESSIBLE)
 BIKE PARKING REQUIRED OFFICE (1ST & 2ND) 1/10,000 OR 2 MINIMUM: 2 WAREHOUSE 1/10,000 OR 2 MINIMUM: 2
 TOTAL BIKE SPACES REQ'D: 4 (2 BIKE PARKING PROVIDED: 4 (2 BIKE RACKS + 2 BIKE PER RACK))
 GOVERNING AGENCY: CITY OF TEMPE
 BUILDING CODES: 2018 IBC, 2018 IPC, 2018 IMC, 2017 NEC, 2018 IFC, 2018 IECC, ADA. INCLUDE ALL CITY OF TEMPE AMENDMENTS.
 CONSTRUCTION TYPE: VB
 FIRE SPRINKLER: BUILDING WILL BE EQUIPPED WITH AN AUTOMATIC EXTINGUISHING SYSTEM, PER CITY OF TEMPE, IBC. DEFERRED SUBMITTAL.
 OCCUPANCY: BUSINESS / STORAGE
 LEGAL DESCRIPTION: A REPLAT TO COMBINE LOTS 9 AND 10, "LINCOLN-ELLIOTT" 1-10, BOOK 223 OF MAPS, PAGE 38, MARICOPA COUNTY RECORDS, LOCATED IN THE SOUTHEAST QUARTER OF SECTION 8, TOWNSHIP 1 SOUTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASIN AND MERIDIAN, MARICOPA COUNTY, ARIZONA
 AREA OF ENTIRE BUILDING: 9,948 S.F. (FOOTPRINT)

BUILDING AREA

OCCUP.	OFFICE		SUITE 100 2ND FLR STORAGE		1ST FLOOR WAREHOUSE STORAGE		GROSS TOTALS	NET TOTALS
	B (BUSINESS)	S (STORAGE)	GROSS SF	NET SF	GROSS SF	NET SF		
SUITE 100	3,218 SF	3,144 SF	3,065 SF	1,644 SF	1,729 SF	1,644 SF	8,376 SF	7,853 SF
SUITE 100 + 300			149 SF	138 SF	4,675 SF	4,506 SF	4,824 SF	4,644 SF
SES.FIRE					87 SF		87 SF	
TOTALS	3,218 SF	3,144 SF	3,518 SF	3,203 SF	6,491 SF	6,150 SF	13,287 SF	12,497 SF

BUILDING FOOTPRINT: 9,948 SF
 * INCLUDES 1/2 OF BOTH STAIRCASES

2 VICINITY MAP
 SCALE: NTS



CITY OF TEMPE APPROVAL:



Eric Leibsohn + Associates Ltd.
 1905 NORTH HICKORYVIEW DRIVE • PARADISE VALLEY, AZ 85029
 480-483-1817 • 480-483-1807 • 0 ELA@architect.com

AME ELECTRICAL NEW BUILDING
 1540 W. DRAKE DRIVE
 TEMPE, AZ 85283
 SITE PLAN / PROJECT DATA / DIMENSIONS

PROJECT NO.: 1933
 DATE ISSUED: 09/21/2024
 REVISIONS:

DRAWN BY: TLK
 CHECKED BY: ELA

SHEET NUMBER

A-0.1
 2 OF 24

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EXPIRES 06/30/2021

The entire site before and after the proposed improvements shall be shown on the final plan.
 263-1100
 Eric Leibsohn
 ARCHITECTURE PLANNING

LEGAL DESCRIPTION

A REPLAT TO COMBINE LOTS 9 AND 10, LINCOLN-ELLIOTT 1-1-10, BOOK 223 OF MAPS, PAGE 38, MARICOPA COUNTY RECORDS, LOCATED IN THE SOUTHEAST QUARTER OF SECTION 8, TOWNSHIP 1 SOUTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

ADDITIONAL SITE PLAN NOTES:

- A. PAVING AT EACH DRIVEWAY CONSISTING OF INTEGRAL COLORED UNIT PAVING. EXTEND THIS PAVING IN THE DRIVEWAY FROM THE RIGHT-OF-WAY (R/W) LINE TO 2'-0" ON SITE AND FROM CURBS AT DRIVE EDGES. FROM SIDEWALK TO R/W LINE, EXTEND CONCRETE PAVING TO MATCH SIDEWALK.
- B. STRUCTURES AND FOOTINGS ARE NOT PERMITTED WITHIN PUBLIC UTILITIES EASEMENTS. HOWEVER, GATES OR REMOVABLE PANELS MAY BE USED ACROSS EASEMENTS.

SEE ALSO LANDSCAPING PLANS AND CIVIL PLANS. SEE PHOTOMETRIC PLAN FOR ALL PARCEL-BUILDING LIGHTING

REFERENCE DOCUMENTS

- (R) DEED 2023-050947, M.C.R.
- (R1) PLAT PER BOOK 223, PAGE 38, M.C.R.
- (R2) R.O.S. PER BOOK 1019, PAGE 39, M.C.R.
- (R3) R.O.S. PER BOOK 1503, PAGE 35, M.C.R.

SITE INFORMATION

ADDRESS:
 1540 & 1650 WEST DRAKE DRIVE TEMPE, ARIZONA

OWNERSHIP:
 A.P.N., 301-41-1584 & 301-41-1594
 OWNER: REINHOLD DEVELOPMENT LLC, AN ARIZONA LIMITED LIABILITY COMPANY
 DEED: 2023-050947, M.C.R.

SITE PLAN KEYNOTES (CONT.):

- 36. GAP IN EXISTING MASONRY WALL TO BE COMPLETED BLOCKED IN WITH MASONRY BLOCK. TO MATCH HEIGHT, COLOR AND FINISH MATERIAL.
- 37. NEW 7'-0" HIGH MASONRY PRIVACY WALL (MATCH EXISTING WALL HEIGHT, COLOR, AND FINISH MATERIAL)
- 38. NEW LOW WALL 3'-4" HEIGHT (FOR PARKING SCREENING). SEE DETAIL 1/A-0-8
- 39. EXISTING FIRE HYDRANT
- 40. EXISTING ELECTRICAL BOX - TO BE RELOCATED
- 41. EXISTING ADJ. PARCEL DRIVEWAY
- 42. EXISTING 24" VERTICAL CURB & GUTTER
- 42. 8'-5" PAVING SPACES W/ 2' OVERHANG (THIS PARKING ROW ONLY)
- 43. NOT USED
- 44. 6' HIGH MASONRY WALL
- 45. 3' MAN GATE. SEE DETAIL 9/A-0-1
- 46. EMERGENCY ACCESS SLIDING GATE (WEST) - (2) SINGLE 18FT SLIDING VEHICULAR GATES. SEE ELEVATIONS AND PLANS NOTES ON SHEET A-0-5
- 47. TRASH ENCLOSURE CENTERED ON GATE WIDTH
- 48. SEE GRADING AND DRAINAGE PLAN SET
- 49. FIRE RISER WATER SUPPLY LINE
- 50. WATER LINE SERVICE TO BUILDING
- 51. MASONRY WALL HEIGHT CHANGE
- 52. VEHICULAR SLIDING GATE CONTROLLER ON A 2' X 2' CONC. PAD
- 53. CONC. REBBER CURB STOPS AT SLIDING GATE TRACK
- 54. EMERGENCY ACCESS SLIDING GATE (EAST) - (2) SINGLE 18FT SLIDING VEHICULAR GATES. SEE ELEVATIONS AND PLANS NOTES ON SHEET A-0-6
- 55. BOLLARDS (QTY OF 2) - 4" DIA. SCH. 40 STEEL PIPE GROUTED SOLID 4 1/2" DIA. CONC. FIG. AT REUSE ENCLOSURE END OF WALL PROTECTION. SEE DETAIL 1/A-0-1

SITE PLAN KEYNOTES: 0

- 1. NEW DECORATIVE CONCRETE DRIVEWAY APRON TO BE INTEGRAL COLORED AND SCORED DIAGONAL W/ SALT FINISH ON CONC. (TYP. OF 2). SEE SITE PLAN NOTE (A)
- 2. EXISTING CITY STREET LIGHT TO BE RELOCATED
- 3. EXISTING 7'-0" BLOCK WALL TO REMAIN
- 4. EXISTING BUILDING AT ADJ. PARCEL ALONG PARCEL BOUNDARY
- 5. NEW CONC. SIDEWALK AND ROLLED CURB ALONG W. DRAKE DRIVE. TO CONNECT WITH EXISTING CONC. SIDE WALK AND CURB ON EAST AND WEST SIDES OF PARCEL
- 6. (2) BIKE RACKS (2 BIKE SPOTS PER RACK) ON A CONC. PAD. FOR BIKE CYCLE CALCULATIONS SEE SHEET A-0-1. SEE DETAIL 6/A-0-8
- 7. 20' X 33'-1" CONC. TRASH CONTAINER PAD. SEE ALSO KEY NOTE 8. TRASH ENCLOSURE DOES NOT HAVE GATES. SEE DETAIL 5/A-0-1
- 8. BOLLARDS (QTY OF 2) - 4" DIA. SCH. 40 STEEL PIPE GROUTED SOLID 4 1/2" DIA. CONC. FIG. AT TRASH CONTAINER PAD. SEE DETAIL 1/A-0-1
- 9. STANDARD 9' X 18' PARKING SPACE (QTY OF 23)
- 10. STANDARD 17' X 18' ADA PARKING SPACE (QTY OF 2)
- 11. STANDARD 8'-6" X 25' PARALLEL PARKING SPACE (QTY OF 8)
- 12. PAINT 4-INCH SOLID WHITE PARKING STRIPES TO MUNICIPALITY STANDARDS
- 13. NEW ACCESSIBLE PARKING SIGN. SEE DETAIL 4/A-0-1
- 14. NEW ACCESSIBLE PARKING SIGN W/ 'VAN' PLACARD. SEE DETAIL 4/A-0-1
- 15. PAINT ACCESSIBLE PARKING SYMBOLS, TEXT, AND DIAGONALS. SEE DETAIL 1/A-0-1
- 16. METAL CANOPY OVERHANG OUTLINE AT STORE FRONT. SEE ELEVATIONS
- 17. ELECTRICAL SWITCHGEAR (SES) ON A CONC. PAD AT NW CORNER OF BUILDING.
- 18. 7' WIDE CONC. SIDEWALK AT STOREFRONT W/ SALT FINISH
- 19. NEW CONC. AT STOREFRONT W/ SALT FINISH
- 20. CONC. SPLASH BLOCK ON NORTH SIDE OF BUILDING ONLY (QTY OF 3). SEE DETAIL 12/A-0-1
- 21. CONC./ASPHALT MUST SLOPE MIN. 1% AWAY FROM ADJ. BUILDING
- 22. FIRE RISER ROOM (ALSO CONTAINS ROOF ACCESS HATCH PER ROOF PLAN)
- 23. ROOF DRAINAGE LAMP TONGUE DRAINS OUT ONTO SIDEWALK
- 24. ADA CONC. PATH FROM STREET TO BUILDING W/ SALT FINISH. RAISED AND STRIPED PER ADA STANDARDS
- 25. PARKING ISLAND
- 26. 6" CONC. CURB REBBER (TYP.)
- 28. ADA IN-LINE RAMP PER ADA STANDARDS PER DETAIL 2/A-0-1
- 29. INDICATES MAN DOOR IN BUILDING - SEE ARCHITECTURAL PLAN
- 30. INDICATES INSULATED PANEL ROLL-UP WAREHOUSE DOOR - SEE ARCHITECTURAL PLANS
- 31. ASPHALT PAVING
- 32. NEW TRANSFORMER (5.5' X 1.5' ON A CONCRETE PAD. W/ 3' OFFSET CLEAR DISTANCE AROUND)
- 33. ADJ. T.O.C. (TOP OF CROWN - VACANT LAND THERE IS NO EXISTING SIDEWALK) ELEVATION @ 1532.327 (SURVEY SHOT POINT). AFFECTS BUILDING HEIGHT LIMIT
- 34. EXISTING 8'-5" BLOCK WALL W/ STUCCO TO REMAIN
- 35. ADJ. TOP OF ROAD CROWN ELEVATION (BASE FOR BUILDING HEIGHT MAX)

CITY OF TEMPE APPROVAL:



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 480-483-1000 (P) 0 480-483-1000 (F) 0 ELA@ericleibsohn.com

AME ELECTRICAL NEW BUILDING
 1540 W. DRAKE DRIVE
 TEMPE, AZ 85283
 SITE PLAN NOTES

PROJECT NO.: 1933
 DATE ISSUED: 09/19/2024
 REVISIONS:

DRAWN BY: TJK
 CHECKED BY: ELA

SHEET NUMBER

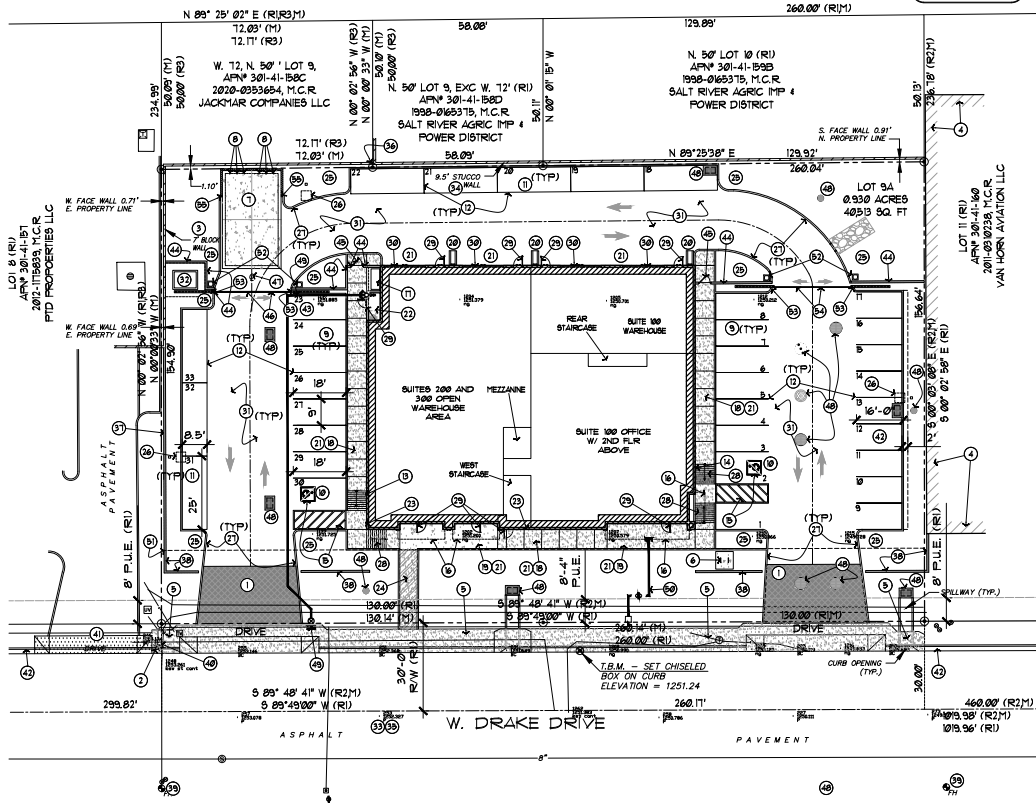
A-0.2
 3 OF 24

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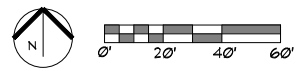
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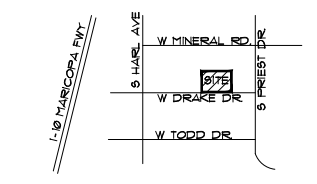
EXPIRES 06/30/2021



1 ARCHITECTURAL SITE PLAN
 SCALE: 1" = 2'-0"



SEE SHEET A-0.1 FOR SITE PLAN DIMENSIONING





















2 VICINITY MAP
 SCALE: NTS

LEGEND

Property Corner (See Monument Table)	Wall
Property Line	Blue Stake Water Line
Find Survey Monument (See Monument Table)	Underground Sewer Line
(See Monument Table)	Blue Stake Electric Line
Measured	Blue Stake Telephone Line
Schedule "B" Item	Drywell Or Catch Basin
24 inch Vertical Curb & Gutter	Electric Box
6 inch Concrete Curb	Electric Panel
Indicates Driveway (means of access)	Electric Transformer
Concrete Surface	Fire Hydrant
Fence	Light Pole
	Sewer Manhole
	Sprinkler Hook-Up (fire department)
	Telephone Manhole
	TV Junction Box
	Water Meter
	Water Valve
	Public Utility Easement

PLANT LEGEND

TREES	SIZE/ SPECIFICATION	QTY
 <i>Pistacia chinensis</i> "Red Push" Pistache	2.0' Cal, 10H x 7W Double Stake	5
 <i>Quercus virginiana</i> Southern Live Oak	2.5' Cal, 12H x 7W Double Stake	2
 <i>Fraxinus Hybrid</i> Fan West Ash	1.5' Cal, 7H x 6W Double Stake	3
 <i>Dalbergia sissoo</i> Sissoo Tree	1.5' Cal, 9H x 4W Double Stake	12
SHRUBS	SIZE	QTY
 <i>Tecoma hybrid</i> Orange Jubilee	5 Gallon	34
 <i>Dodonaea viscosa</i> Hopseed Bush	5 Gallon	7
 <i>Nerium oleander</i> Pelleo Pink Dwarf Oleander	5 Gallon	12
 <i>Tecomania capensis</i> Cape Honeysuckle	5 Gallon	3
 <i>Coussinia pulcherrima</i> Red Bit of Paradise	5 Gallon	8
3' PLANT LIST	SIZE	QTY
 <i>Guara lindheimeri</i> Whirling Butterflies	1 Gallon	6
 <i>Justicia spicigera</i> Mexican Honeysuckle	1 Gallon	6
 <i>Leucophyllum candidum</i> Thunder Cloud Sage	1 Gallon	18
 <i>Muhlenbergia capillaris</i> "Royal Mar" Deer Grass	1 Gallon	16
2' PLANT LIST	SIZE	QTY
 <i>Convolvulus cneorum</i> Bush Morning Glory	1 Gallon	22
 <i>Lantana montevidensis</i> Gold Mound Lantana	1 Gallon	33
 <i>Muhlenbergia Rigens</i> Dwarf Muhly	1 Gallon	38
 <i>Raphiolepis indica "Ballerina"</i> Ballerina Indian Hawthorn	1 Gallon	13
 <i>Rosemarinus officinalis "blue boy"</i> 1 Gallon Dwarf Rosemary		31
LANDSCAPE MATERIALS	SIZE	QTY
<i>Decomposed granite</i> "Desert Gold"	3/4" Sized 2" Depth	9,610 S.F.

LANDSCAPE CALCULATION:

GROSS SITE AREA = 48,323 S.F.
 REQUIRED LANDSCAPE AREA (10%) = 4,831 S.F.
 PROVIDED LANDSCAPE AREA = 9,590 S.F.

LANDSCAPE NOTES

PLANT MATERIAL TO BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

ALL TREE LOCATIONS TO BE STAKED BY THE LANDSCAPE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ANY HOLES BEING DUG.

ALL GRADES TO BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO THE INSTALLATION OF ANY PLANT MATERIAL.

LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING FINISHED GRADES.

THE LANDSCAPE CONTRACTOR SHALL VERIFY BERM AND RETENTION BASIN LOCATIONS SHOWN ON THESE PLANS WITH THOSE ON THE CIVIL ENGINEERING PLANS. SHOULD A DISCREPANCY EXIST BETWEEN THE PLANS, THIS OFFICE SHALL BE NOTIFIED IMMEDIATELY.

ALL PALMS AND DECIDUOUS TREES TO BE UNCONDITIONALLY GUARANTEED FOR ONE YEAR AFTER INSTALLATION.

LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR PROVIDING POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS DURING THE FINISH GRADING PROCESS.

ALL VALVE BOXES (IRRIGATION, GATE VALVE, FLUSH CAP, WATER FEATURE, ETC.) ARE TO BE PLACED IN DECOMPOSED GRANITE/SHRUB AREAS. UNDER NO CIRCUMSTANCES ARE VALVE BOXES TO BE PLACED IN A LAWN OR HARDSCAPE AREAS.

ALL TREES IN LAWN AREAS TO RECEIVE ARBOR GUARDS.

ALL SLOPES NOT TO EXCEED 4:1 IN LANDSCAPE AREAS.

UNDER NO CIRCUMSTANCES SHALL ANY TREE BE PLANTED WITHIN 6' OF ANY BUILDING WITHOUT THE EXPRESS APPROVAL OF THE LANDSCAPE ARCHITECT.

IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO INFORM THE LANDSCAPE ARCHITECT/OWNER OF ANY PLANT MATERIAL CONCERNS BASED ON PLANTING SEASON (E.G. WINTER, SUMMER). SHOULD THE LANDSCAPE CONTRACTOR HAVE ANY CONCERNS ABOUT PLANT MATERIAL DUE TO HEAT, FROST OR EXPOSURE, HE SHALL REQUEST A SUBSTITUTION OR DELAY IN PLANTING. ONCE PLANTED, ALL PLANT MATERIAL IS SUBJECT TO SPECIFIED WARRANTIES.

IRRIGATION LEGEND

EQUIPMENT

SYMBOL	DESCRIPTION	PER CODE	3/4" WATER METER
	RAINBIRD	RAINBIRD	ELECTRIC CONTROLLER (OUTDOOR 6 STATION)
	FEBCO	825Y-BV	3/4" BACKFLOW PREVENTER W/ ENCLOSURE
	RAINBIRD	33DR3C33K	QUICK COUPLER
	NIBCO	1-150	BALL VALVE

DRIP EQUIPMENT

SYMBOL	DESCRIPTION	PER CODE	3/4" WATER METER
	RAINBIRD	XCZ, 100PRE-LC	INLINE CONTROL ZONE KIT
	SPEARS	PVC 90 ST. EL. W/THREADED CAP	PVC DRIP FLUSH END CAP
	BOWSMITH	SL & ML 200 SERIES	PVC DRIP END CAP
			SINGLE & MULTI-PORT EMITTERS

PROVIDE (2) ML-220 EMITTERS PER TREE EQUALLY SPACED AND (1) SL-210 EMITTER PER SHRUB OR GROUNDCOVER OR (1) ML-210 PER 6 PLANTS WITH A MAXIMUM DISTRIBUTION LINE LENGTH OF 5'.

PIPE SCHEDULE

PIPE SIZE	G.P.M.
1/2"	8-5
3/4"	16-10
1"	11-18
1-1/4"	18-27
1-1/2"	28-36
2"	37-57
2-1/2"	56-80
3"	81-120

PIPE LEGEND

--- CLASS 200 PVC (LATERALS)
 --- SCH. 40 PVC (MAIN LINE)
 ---- SCH. 40 PVC (SLEEVES)

CONTROLLER(S)

IRRIGATION CONTROLLER(S) TO BE WALL MOUNTED WHERE INDICATED ON THE PLAN. COORDINATE POWER REQUIREMENTS WITH GENERAL CONTRACTOR

SCHEDULE

CONTROLLER: IRRITROL RAIN DIAL: 6 STATION

PROGRAM "A": (1-3) DRIP

CITY OF TEMPE NOTES

ALL SITE IMPROVEMENTS INCLUDING LANDSCAPING AND SITE CLEANUP, MUST BE COMPLETED PRIOR TO CERTIFICATE OF OCCUPANCY FOR ANY BUILDING WITHIN A PHASE.

ALL TREES WITHIN THE LINE OF SIGHT WILL MAINTAIN A CANOPY HEIGHT ABOVE 6'. ALL SHRUBS IN THIS AREA MAY NOT REACH AT MATURITY A HEIGHT OVER 24".

ALL PLANT MATERIALS ARE GUARANTEED FOR A MINIMUM PERIOD OF SIXTY (60) DAYS FROM THE DATE OF FINAL APPROVAL BY THE CITY. ANY PLANT MATERIALS, WHICH ARE NOT APPROVED BY THE CITY PRIOR TO OCTOBER 1 OF THE CALENDAR YEAR IN WHICH THEY ARE INSTALLED, SHALL BE FURTHER GUARANTEED UNTIL MAY 20 OF THE FOLLOWING CALENDAR YEAR.

TREES, SHRUBS, VINES, GROUNDCOVERS AND TURF THAT WARE TO BE REPLACED UNDER TERMS OF THE GUARANTEE, SHALL BE GUARANTEED FOR AN ADDITIONAL 60 DAYS FROM THE DATE OF REPLACEMENT.

ALL PLANT MATERIALS MUST BE MAINTAINED IN HEALTH AND VIGOR AND BE ALLOWED TO ATTAIN NATURAL SIZE AND SHAPE IN ACCORDANCE WITH THE ORIGINALLY APPROVED LANDSCAPE PLAN. SEE SECTION 1902 (6) (H).

PARKING LOT TREES MUST HAVE A MINIMUM CLEAR CANOPY DISTANCE OF 5'. SEE SECTION 1902 (6) (C) (4).

FINISH GRADE OF LANDSCAPE AREAS (TOP OF TURF OR D.G.) MUST BE GRADED TO 1 1/2" BELOW CONCRETE OR OTHER PAVED SURFACES. SEE SECTION 1903 (6) (C) ZONING CODE.

TREES MUST BE PLACED A MINIMUM OF 5' FROM SIDEWALKS, PUBLIC ACCESS WAYS, SHRUBS MUST BE, AT MATURITY, 3" FROM ALL SIDES OF A FIRE HYDRANT. SEE SECTION 1902 (6) (1), ZONING CODE.

ALL LANDSCAPING SHALL BE MAINTAINED BY THE LANDOWNER OR THE LESSOR. SEE SECTION 1903 (6) (G) ZONING CODE.

THERE SHALL BE NO OBSTRUCTION OF SITE SIGNAGE BY LANDSCAPE PLANT MATERIAL AND THAT SUCH MUST BE RELOCATED/CORRECTED BEFORE THE FIELD INSPECTION WILL ACCEPT/PASS THE SIGN IN THE FIELD OR ISSUE A CERTIFICATE OF OCCUPANCY FOR A PROJECT.

ALL TREES SHALL COMPLY WITH THE LATEST AMENDED EDITION OF THE "ARIZONA NURSERY ASSOCIATION" RECOMMENDED TREE SPECIFICATIONS" SEE SECTION 1903 (6) (A) ZONING CODE

SIGNS REQUIRE A SEPARATE PERMIT

IRRIGATION NOTES

THE IRRIGATION PLAN IS DIAGRAMMATIC AND IT SHALL BE THE IRRIGATION CONTRACTOR'S RESPONSIBILITY TO ADJUST THE LOCATION OF ANY HEAD TO PROVIDE FULL AND ADEQUATE COVERAGE OR TO ADD ADDITIONAL HEADS AS NECESSARY TO ENSURE 100% COVERAGE OF ALL PLANT MATERIALS.

THE IRRIGATION SYSTEM HAS BEEN DESIGNED FOR 60 PSI. THE IRRIGATION CONTRACTOR SHALL VERIFY THE WATER PRESSURE IN THE FIELD AND NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY SHOULD A DISCREPANCY EXIST.

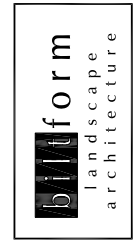
THE IRRIGATION CONTRACTOR SHALL SIZE THE PIPE ACCORDING TO THE PIPE SCHEDULE. GALLONS PER MINUTE ARE CALCULATED BY THE COMBINED EMISSION HEAD OUTPUT DOWNLINE FROM PIPE BEING SIZED.

IRRIGATION SLEEVES ARE TO BE SCHEDULE 40 PVC WITH A MINIMUM DIAMETER TWICE THE SIZE OF THE IRRIGATION LINE. IRRIGATION SLEEVES ARE TO EXTEND 12" BEYOND EDGE OF PAVEMENT, WALL OR CURB AND A MINIMUM OF 36" BEYOND EDGE OF SIDEWALKS.

CONTROLLERS ARE TO BE PROGRAMMED TO ALLOW SUFFICIENT FLOW RATES ARE MAINTAINED THROUGHOUT THE SYSTEM.

ALL VALVE BOXES (IRRIGATION, GATE VALVE, FLUSH CAP, WATER FEATURE, CONTROL WIRE, ETC.) ARE TO BE PLACED IN DECOMPOSED GRANITE/SHRUB AREAS. UNDER NO CIRCUMSTANCES ARE VALVE BOXES TO BE PLACED IN A LAWN OR HARDSCAPE AREA.

IT IS THE IRRIGATION CONTRACTOR'S RESPONSIBILITY TO PROVIDE FULL AND ADEQUATE COVERAGE TO ALL LANDSCAPE MATERIAL INDICATED ON THE CORRESPONDING LANDSCAPE PLAN.



bitform landscape
architecture group,
inc.

11460 North Cave Creek Rd, suite 111
Phoenix, Arizona 85024
Phone 602.285.9200 Fax 602.285.9229
email: dave@bitform.com



Eric Leibsohn + Associates Ltd.

7970 NORTH REDVIEW DRIVE, # PHOENIX, AZ 85023
480-483-1103 (F) 480-483-1103 (T) 480-483-1103 (M)

AME ELECTRICAL NEW BUILDING
1540 W. DRAKE DRIVE & 1650 W. DRAKE DRIVE
TEMPE, AZ 85283

PROJECT NO.: 117923
DATE ISSUED: 12/30/2023
REVISIONS:

DRAWN BY: DF
CHECKED BY: DF

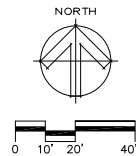
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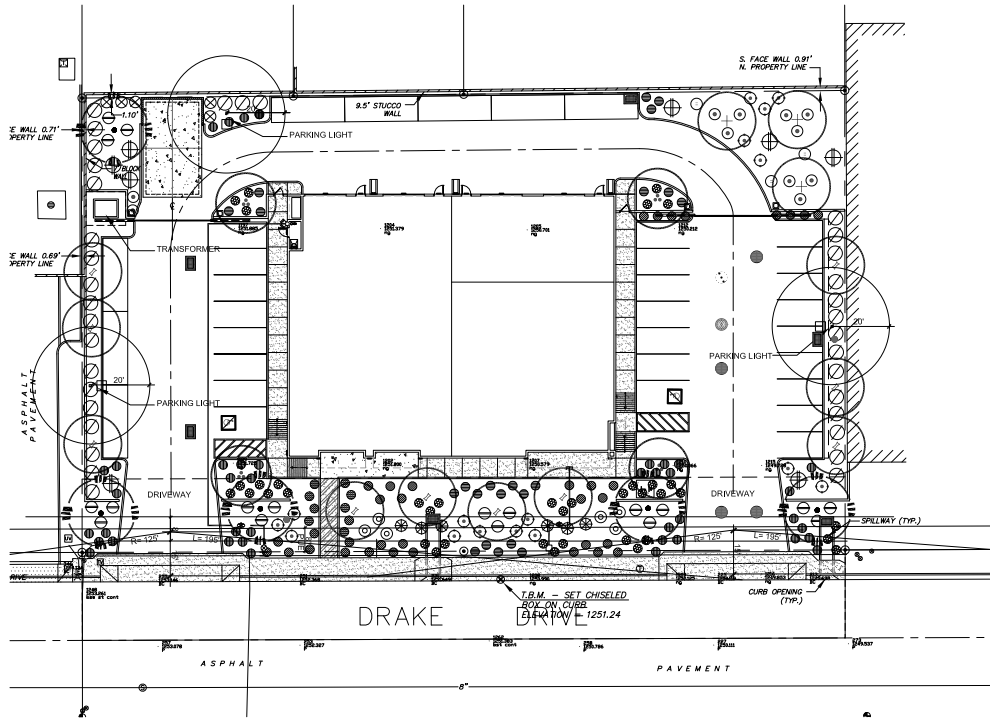
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1 OF 7

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LANDSCAPE PLAN

1" = 20' - 0"

PLANT LEGEND

TREES	SIZE / SPECIFICATION	QTY
<i>Pistacia chinensis</i> "Red Push" Platsche	2.0' Cal. 10H x 7W Double Stake	5
<i>Quercus virginiana</i> Southern Live Oak	2.5' Cal. 12H x 7W Double Stake	4
<i>Fraxinus Hybrid</i> Fan West Ash	1.5' Cal. 7H x 6W Double Stake	3
<i>Dalbergia sissoo</i> Sissoo Tree	1.5' Cal. 9H x 4W Double Stake	10
SHRUBS	SIZE	QTY
<i>Tecoma hybrid</i> Orange Jubilee	5 Gallon	35
<i>Dodonea viscosa</i> Hopseed Bush	5 Gallon	5
<i>Nerium oleander</i> Feltia Pink Dwarf Oleander	5 Gallon	11
<i>Tecoma capensis</i> Cape Honeysuckle	5 Gallon	3
<i>Caesalpinia pulcherrima</i> Red Bird of Paradise	5 Gallon	8
3' PLANT LIST	SIZE	QTY
<i>Guara lindheimeri</i> Whaling Butterflies	1 Gallon	6
<i>Justicia spicigera</i> Mexican Honeysuckle	1 Gallon	6
<i>Leucophyllum candidum</i> Thunder Cloud Sage	1 Gallon	18
<i>Muhlenbergia capillaris</i> "Regal Mist" Deer Grass	1 Gallon	16
2' PLANT LIST	SIZE	QTY
<i>Convolvulus cneorum</i> Bush Morning Glory	1 Gallon	22
<i>Lantana montevidensis</i> Gold Mound Lantana	1 Gallon	40
<i>Muhlenbergia Rigens</i> Dwarf Maltli	1 Gallon	36
<i>Raphiolepis indica</i> "Ballerina" Ballerina Indian Hawthorn	1 Gallon	13
<i>Rosemarinus officinalis</i> "blue boy" Dwarf Rosemary	1 Gallon	31
LANDSCAPE MATERIALS	SIZE	QTY
Decomposed granite "Desert Gold"	3/4" Sized 2" Depth	9,595 S.F.

LANDSCAPE CALCULATION:

GROSS SITE AREA = 48,325 S.F.
 REQUIRED LANDSCAPE AREA (10%) = 4,831 S.F.
 PROVIDED LANDSCAPE AREA = 9,595 S.F.



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AME ELECTRICAL NEW BUILDING
 1540 W. DRAKE DRIVE & 1650 W. DRAKE DRIVE
 TEMPE, AZ 85283

PROJECT NO.: 117923
 DATE ISSUED: 12/30/2023
 REVISIONS:

DRAWN BY: DF
 CHECKED BY: DF

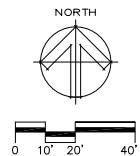
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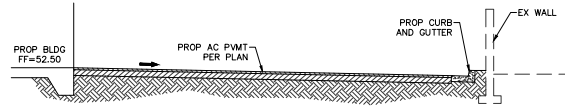
2 OF 7

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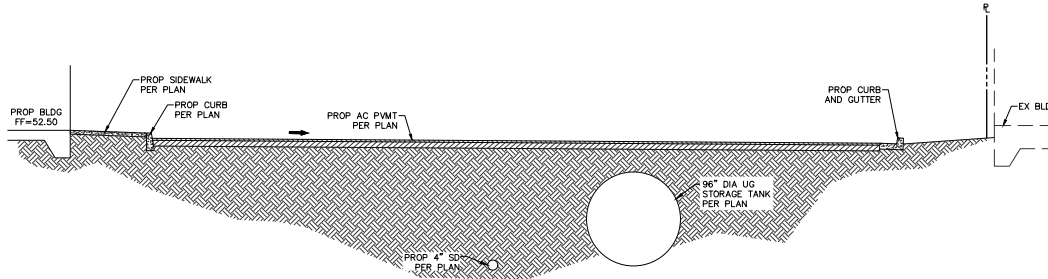


1 TYPICAL SECTION



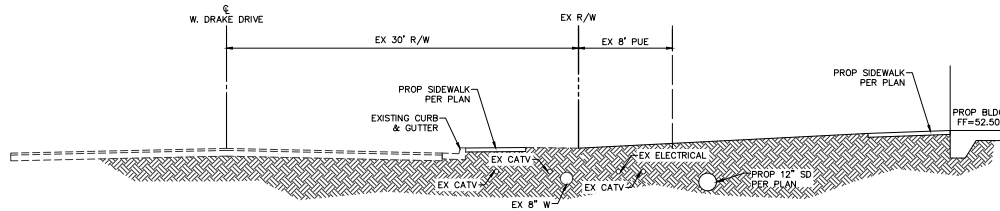
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2 TYPICAL SECTION



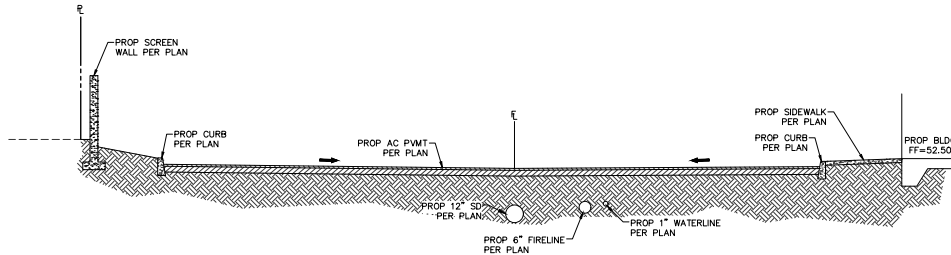
NTS

3 TYPICAL SECTION



NTS

4 TYPICAL SECTION



NTS

Attachment 14

NO.	DATE	REVISION	BY

DESIGN BY: DJL
 DRAWN BY: DMK
 CHECKED BY: DJL

HUNTER
 ENGINEERING
 CIVIL AND SURVEY
 10446 NORTH 74TH STREET
 SCOTTSDALE, AZ 85250
 P. 480.991.3985



TYPICAL SECTIONS
 FOR
 AME ELECTRICAL NEW BUILDING
 1540 W. DRAKE DR. & 1650 W. DRAKE DR.
 TEMPE, ARIZONA 85283

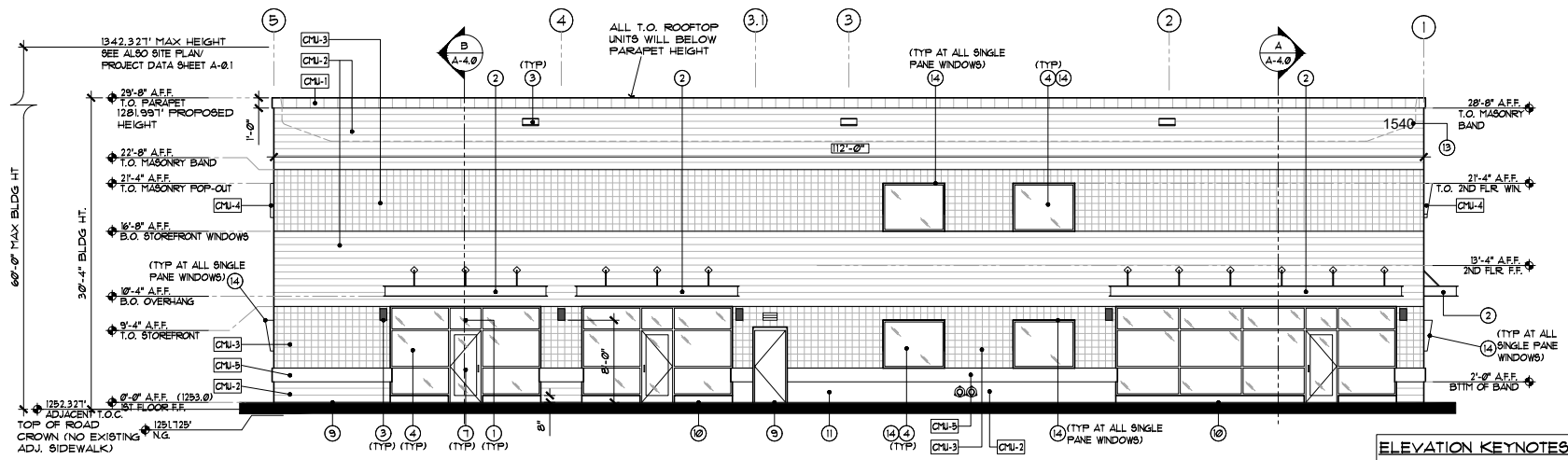


THESE PLANS ARE NOT APPROVED FOR CONSTRUCTION WITHOUT AN APPROVED SIGNATURE FROM THE GOVERNING MUNICIPALITY.

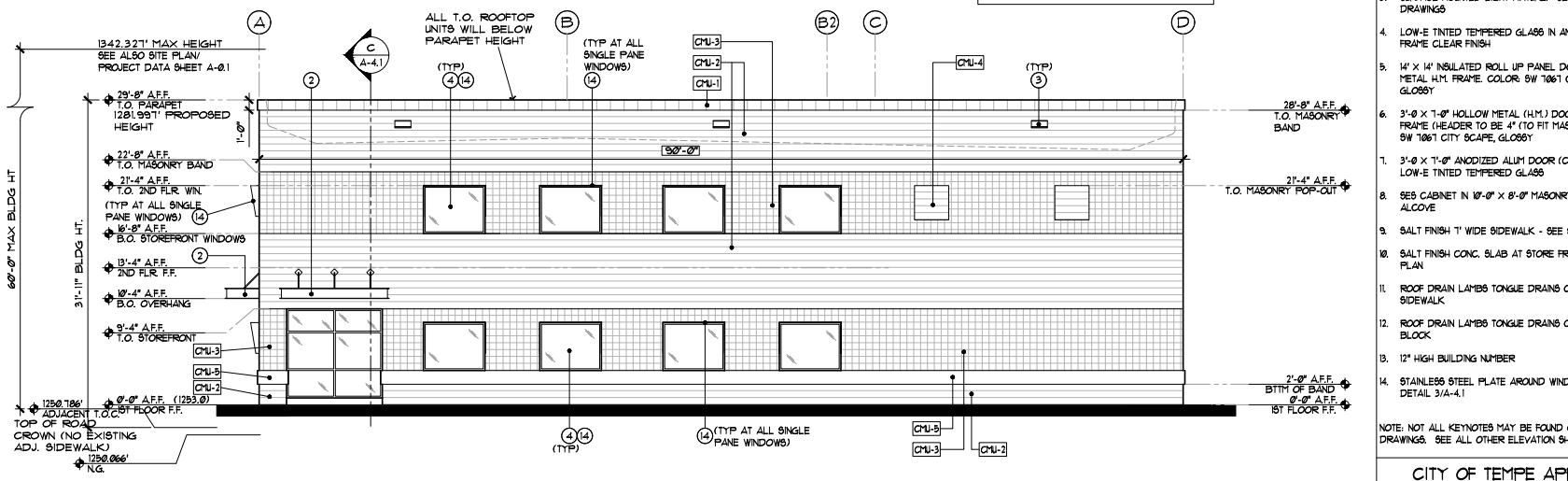
PROJECT NAME:
 AME ELECTRICAL NEW BUILDING

THE NO.: AMEE001
 SCALE: 1"=20'

SHEET:
C3



1 SOUTH ELEVATION
SCALE: 3/16" = 1'-0"

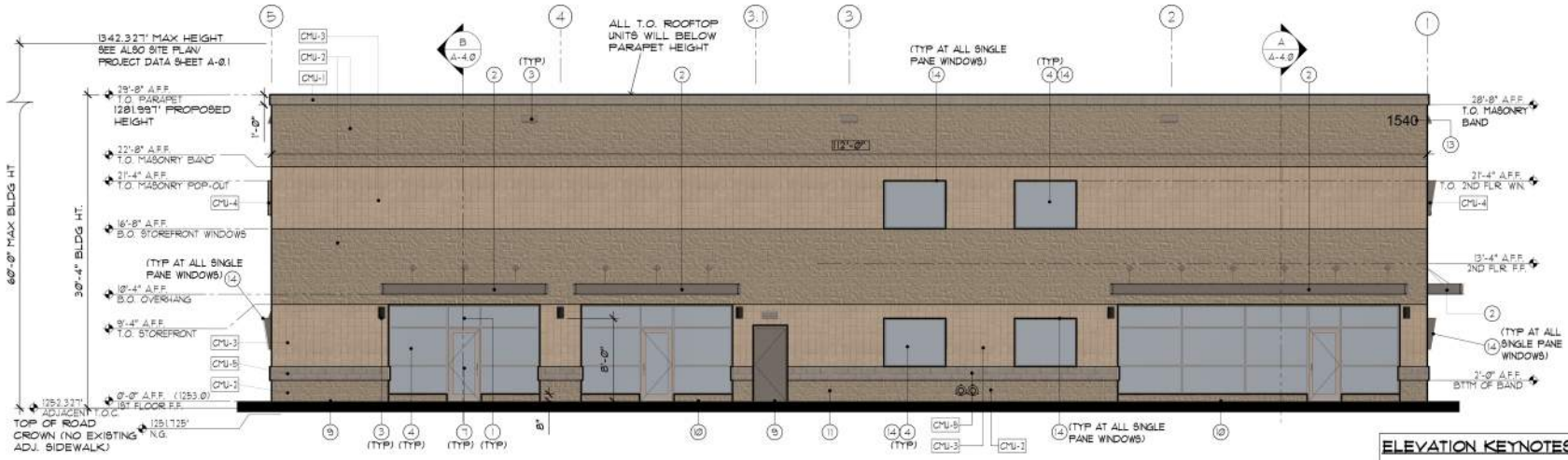


2 EAST ELEVATION
SCALE: 3/16" = 1'-0"

ELEVATION KEYNOTES:

- INSTALL 5-3/4" VINYL WHITE ON BLACK ADDRESS NUMBERS ON FRONT WINDOWS CENTER OVER BOTTOM EDGE OF NUMBER SHALL SET 4" ABOVE FRAME.
 - METAL CANOPY W/ ALUM. BRUSH SATIN FINISH. SEE STRUCTURAL PLANS. SW 1061 CITY SCAPE, GLOSSY
 - SURFACE MOUNTED LIGHT FIXTURE. SEE ELECTRICAL DRAWINGS
 - LOW-E TINTED TEMPERED GLASS IN ANODIZED ALUM. FRAME CLEAR FINISH
 - 1/2" X 1/4" INSULATED ROLL UP PANEL DOOR IN HOLLOW METAL H.M. FRAME COLOR: SW 1061 CITY SCAPE, GLOSSY
 - 3'-0" X 7'-0" HOLLOW METAL (H.M.) DOOR AND H.M. FRAME (HEADER TO BE 4" (10 FIT MASONRY MODULE). SW 1061 CITY SCAPE, GLOSSY
 - 3'-0" X 7'-0" ANODIZED ALUM DOOR (CLEAR FINISH) W/ LOW-E TINTED TEMPERED GLASS
 - SES CABINET IN 10'-0" X 8'-0" MASONRY RECESSED ALCOVE
 - SALT FINISH 1" WIDE SIDEWALK - SEE SITE PLAN
 - SALT FINISH CONC. SLAB AT STORE FRONT - SEE SITE PLAN
 - ROOF DRAIN LAMBS TONGUE DRAINS ONTO ADJ CONC. SIDEWALK
 - ROOF DRAIN LAMBS TONGUE DRAINS ONTO SPLASH BLOCK
 - 12" HIGH BUILDING NUMBER
 - STAINLESS STEEL PLATE AROUND WINDOWS - SEE DETAIL 3/A-4.1
- NOTE: NOT ALL KEYNOTES MAY BE FOUND ON THIS DRAWINGS. SEE ALL OTHER ELEVATION SHEETS

CHU-1 MANUFACTURER: SUPERLITE 4" X 10" X 16" SOLID CAP BLOCK, PLUS A 8X10X16 BOND BEAM BLOCK + 12" HEIGHT COLOR: CHU NATURAL GREY W/ CLEAR SEALED	CHU-2 MANUFACTURER: SUPERLITE 8" X 8" X 16" SPLIT FACE BLOCK COLOR: SW 1548 KEYSTONE GREY SEMI-GLOSS	CHU-3 MANUFACTURER: SUPERLITE 8" X 8" X 16" CENTER SCORE BLOCK COLOR: SW 1548 PORTICO SEMI-GLOSS	CHU-4 MANUFACTURER: SUPERLITE 8" X 8" X 16" SPLIT FACE BLOCK (POP-OUT ON EAST AND WEST) COLOR: SW 1504 KEYSTONE GREY SEMI-GLOSS	CHU-5 MANUFACTURER: SUPERLITE 8" X 10" X 16" SMOOTH REGULAR BLOCK COLOR: CHU NATURAL GREY W/ CLEAR SEALED



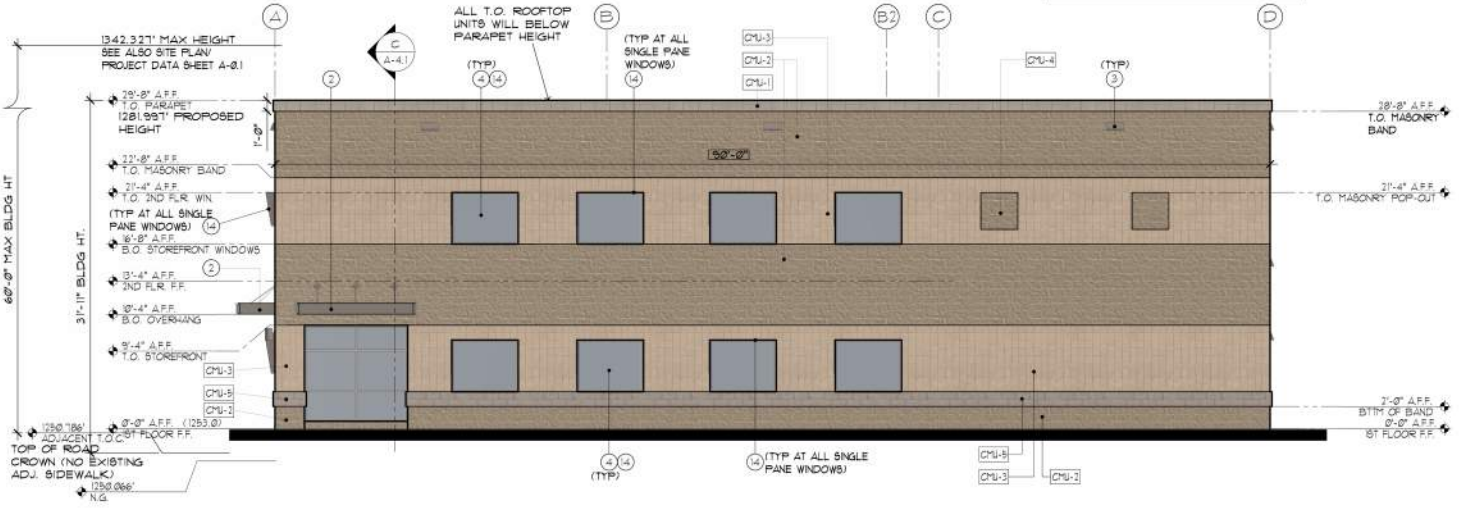
1 SOUTH ELEVATION
SCALE: 3/16" = 1'-0"

SEE SHEET A-3.0 FOR MATERIAL FINISH COLORS

ELEVATION KEYNOTES:

- INSTALL 8-3/4" VINYL WHITE ON BLACK ADDRESS NUMBERS ON FRONT WINDOWS CENTER OVER DOOR BOTTOM EDGE OF NUMBER SHALL SET 4" ABOVE FRAME
- METAL CANOPY W/ ALUM BRUSH SATIN FINISH. SEE STRUCTURAL PLANS. SW 1061 CITY SCAPE, GLOSSY
- SURFACE MOUNTED LIGHT FIXTURE. SEE ELECTRICAL DRAWINGS
- LOW-E TINTED TEMPERED GLASS IN ANODIZED ALUM. FRAME CLEAR FINISH
- 14' X 14' INSULATED ROLL UP PANEL DOOR IN HOLLOW METAL H.M. FRAME. COLOR: SW 1061 CITY SCAPE, GLOSSY
- 3'-0" X 7'-0" HOLLOW METAL (H.M.) DOOR AND H.M. FRAME (HEADER TO BE 4" TO FIT MASONRY MODULE). SW 1061 CITY SCAPE, GLOSSY
- 3'-0" X 7'-0" ANODIZED ALUM DOOR (CLEAR FINISH) W/ LOW-E TINTED TEMPERED GLASS
- 885 CABINET IN 10'-0" X 8'-0" MASONRY RECESSED ALCOVE
- SALT FINISH T' WIDE SIDEWALK - SEE SITE PLAN
- SALT FINISH CONC. SLAB AT STORE FRONT - SEE SITE PLAN
- ROOF DRAIN LAMBS TONGUE DRAINS ONTO ADJ CONC. SIDEWALK
- ROOF DRAIN LAMBS TONGUE DRAINS ONTO SPLASH BLOCK
- 12" HIGH BUILDING NUMBER
- STAINLESS STEEL PLATE AROUND WINDOWS - SEE DETAIL 3/A-4.1

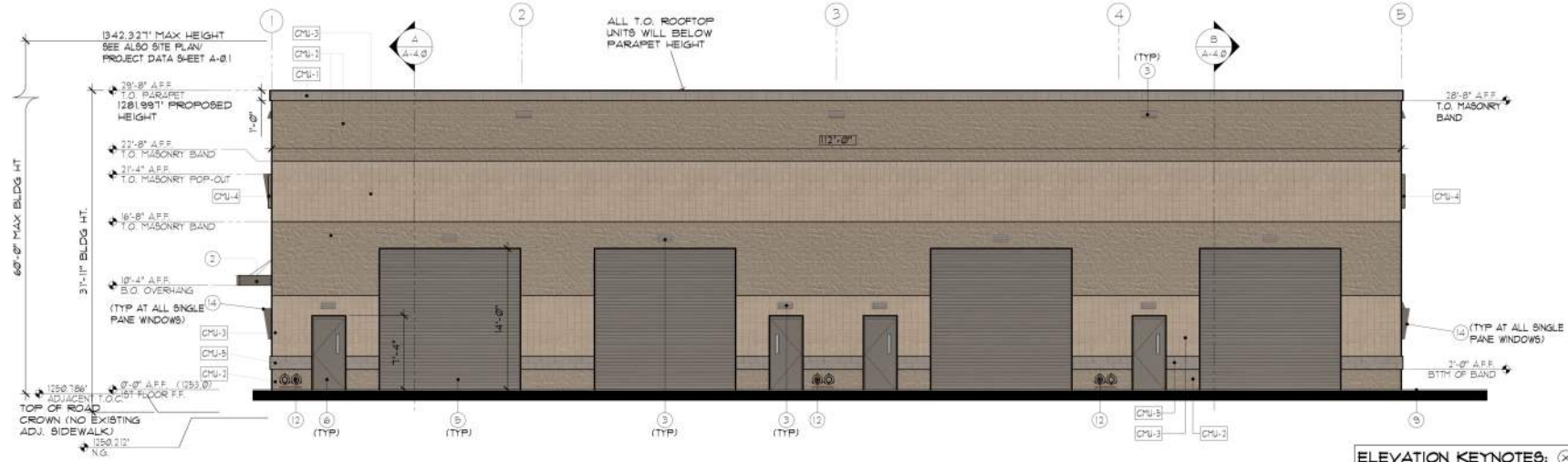
NOTE: NOT ALL KEYNOTES MAY BE FOUND ON THIS DRAWINGS. SEE ALL OTHER ELEVATION SHEETS



2 EAST ELEVATION
SCALE: 3/16" = 1'-0"

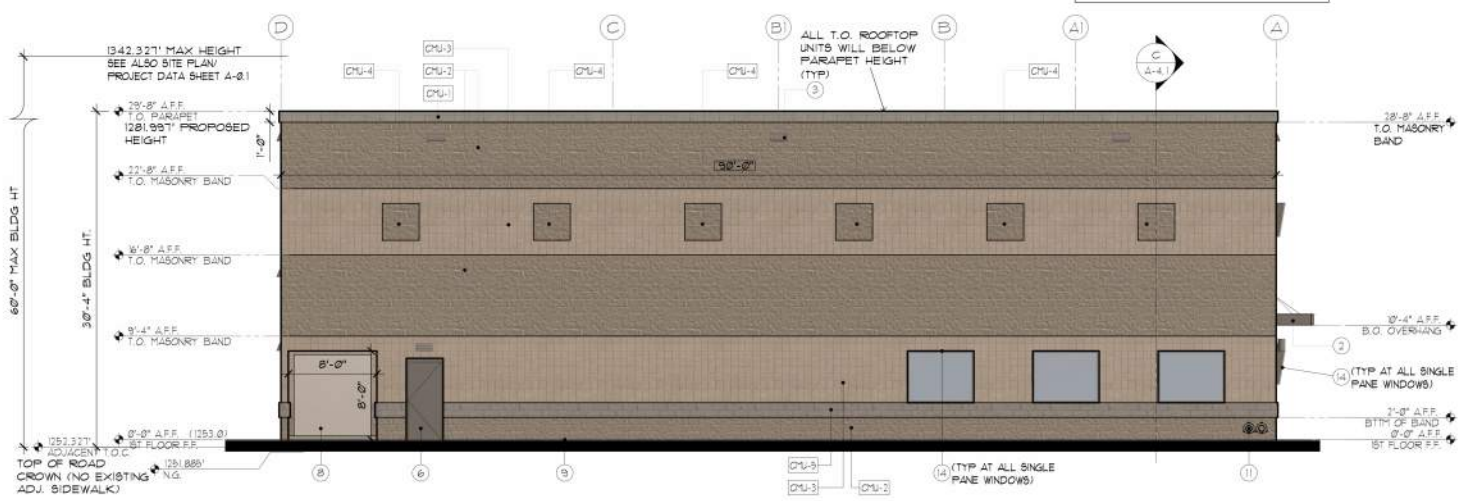
CMU-1 MANUFACTURER SUPERLITE 4" X 16" X 16" SOLID CAP BLOCK, PLUS A 8X16X16 BOND BEAM BLOCK + 12" HEIGHT COLOR: CMU NATURAL GREY W/ CLEAR SEALED	CMU-2 MANUFACTURER SUPERLITE 8" X 8" X 16" SPLIT FACE BLOCK COLOR: SW 1548 KEYSTONE GREY SEMI-GLOSS	CMU-3 MANUFACTURER SUPERLITE 8" X 8" X 16" CENTER SCORE BLOCK COLOR: SW 1548 PORTICO SEMI-GLOSS	CMU-4 MANUFACTURER SUPERLITE 8" X 10" X 16" SMOOTH REGULAR BLOCK (POP-OUT ON EAST AND WEST) COLOR: SW 1504 KEYSTONE GREY SEMI-GLOSS	CMU-5 MANUFACTURER SUPERLITE 8" X 10" X 16" SMOOTH REGULAR BLOCK COLOR: CMU NATURAL GREY W/ CLEAR SEALED

Attachment 4B



3 NORTH ELEVATION
SCALE: 3/16" = 1'-0"

SEE SHEET A-3.0 FOR MATERIAL FINISH COLORS



4 WEST ELEVATION
SCALE: 3/16" = 1'-0"

ELEVATION KEYNOTES:

- INSTALL 5-3/4" VINYL WHITE ON BLACK ADDRESS NUMBERS ON FRONT WINDOWS CENTER OVER DOOR BOTTOM EDGE OF NUMBER SHALL SET 4" ABOVE FRAME
- METAL CANOPY W/ ALUM BRUSH SATIN FINISH. SEE STRUCTURAL PLANS. SW 1061 CITY SCAPE, GLOSSY
- SURFACE MOUNTED LIGHT FIXTURE. SEE ELECTRICAL DRAWINGS
- LOW-E TINTED TEMPERED GLASS IN ANODIZED ALUM. FRAME CLEAR FINISH
- 1/2" X 1/2" INSULATED ROLL UP PANEL DOOR IN HOLLOW METAL H.M. FRAME. COLOR: SW 1061 CITY SCAPE, GLOSSY
- 3'-0" X 7'-0" HOLLOW METAL (H.M.) DOOR AND H.M. FRAME (HEADER TO BE 4" (TO FIT MASONRY MODULE). SW 1061 CITY SCAPE, GLOSSY
- 3'-0" X 7'-0" ANODIZED ALUM DOOR (CLEAR FINISH) W/ LOW-E TINTED TEMPERED GLASS
- 605 CABINET IN 10'-0" X 8'-0" MASONRY RECESSED ALCOVE
- SALT FINISH T WIDE SIDEWALK - SEE SITE PLAN
- SALT FINISH CONC. SLAB AT STORE FRONT - SEE SITE PLAN
- ROOF DRAIN LAMBS TONGUE DRAINS ONTO ADJ CONC. SIDEWALK
- ROOF DRAIN LAMBS TONGUE DRAINS ONTO SPLASH BLOCK
- 12" HIGH BUILDING NUMBER
- STAINLESS STEEL PLATE AROUND WINDOWS - SEE DETAIL 3/A-4.1

NOTE: NOT ALL KEYNOTES MAY BE FOUND ON THIS DRAWING. SEE ALL OTHER ELEVATION SHEETS

CITY OF TEMPE APPROVAL:

CMU-1 MANUFACTURER SUPERLITE 4" X 10" X 16" SOLID CAP BLOCK, PLUS A 8X16X16 BOND BEAM BLOCK = 12" HEIGHT COLOR: CMU NATURAL GREY W/ CLEAR SEALED	CMU-2 MANUFACTURER SUPERLITE 8" X 8" X 16" SPLIT FACE BLOCK COLOR: SW 1504 KEYSTONE GREY SEMI-GLOSS	CMU-3 MANUFACTURER SUPERLITE 8" X 8" X 16" CENTER SCORE BLOCK COLOR: SW 1548 PORTICO SEMI-GLOSS	CMU-4 MANUFACTURER SUPERLITE 8" X 8" X 16" SMOOTH REGULAR BLOCK (POP-OUT ON EAST AND WEST) COLOR: SW 1504 KEYSTONE GREY SEMI-GLOSS	CMU-5 MANUFACTURER SUPERLITE 8" X 10" X 16" SMOOTH REGULAR BLOCK COLOR: CMU NATURAL GREY W/ CLEAR SEALED

Attachment 48



ARCHITECTURE
PLANNING

Eric Leibsohn + Associates Ltd.

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480-483-8177 • 480-483-3207 • www.ericleibsohn.com

AME ELECTRICAL NEW BUILDING

1540 W. DRAKE DRIVE
TEMPE, AZ 85283

3D RENDERING PERSPECTIVE

PROJECT NO. 1533
DATE ISSUED: 05/31/2014
REVISIONS:

DRAWN BY: TUC
CHECKED BY: ELA

SHEET NUMBER
A-2.4
18 OF 24

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EXPIRES 06/30/2021



ARCHITECTURE
PLANNING

Eric Leibsohn + Associates Ltd.

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480-480-1817 | 480-480-3307 | E.L.A.associates.com

AME ELECTRICAL NEW BUILDING
1540 W. DRAKE DRIVE
TEMPE, AZ 85283

3D RENDERING PERSPECTIVE

PROJECT NO.: 1933
DATE ISSUED: 09/30/2024
REVISIONS:

DRAWN BY: TUC
CHECKED BY: ELA

SHEET NUMBER
A-2.5
19 OF 24

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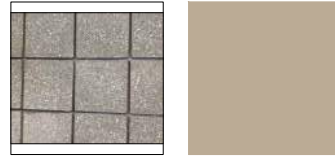
EXPIRES 06/30/2027



CMU-1
 NEW (SUPERLITE) 4"x8"x16" SOLID CAP BLOCK
 (PLACE ON TOP OF A 8"x10"x16" BOND BOND BEAM)
 CLEAR SEALED / NATURAL GREY COLOR



CMU-2
 NEW (SUPERLITE) 8"x8"x16" SPLIT FACED CMU
 SEMI GLOSS / COLOR: KEYSTONE GREY
 SHERWIN WILLIAMS TB24



CMU-3
 NEW (SUPERLITE) 8"x8"x16" CENTER SCORED CMU
 SEMI GLOSS / COLOR: PORTICO
 SHERWIN WILLIAMS TB48



CMU-4
 POP-OUT BLOCK ON EAST AND WEST SIDE OF BUILDING
 NEW (SUPERLITE) 8"x12"x16" SPLITFACE CMU
 SEMI GLOSS / COLOR: KEYSTONE GREY
 SHERWIN WILLIAMS TB24



CMU-5
 NEW (SUPERLITE) 8"x10"x16" STANDARD CMU BLOCK
 SMOOTH SURFACE
 COLOR: NATURAL CMU BLOCK GREY
 CLEAR SEALED

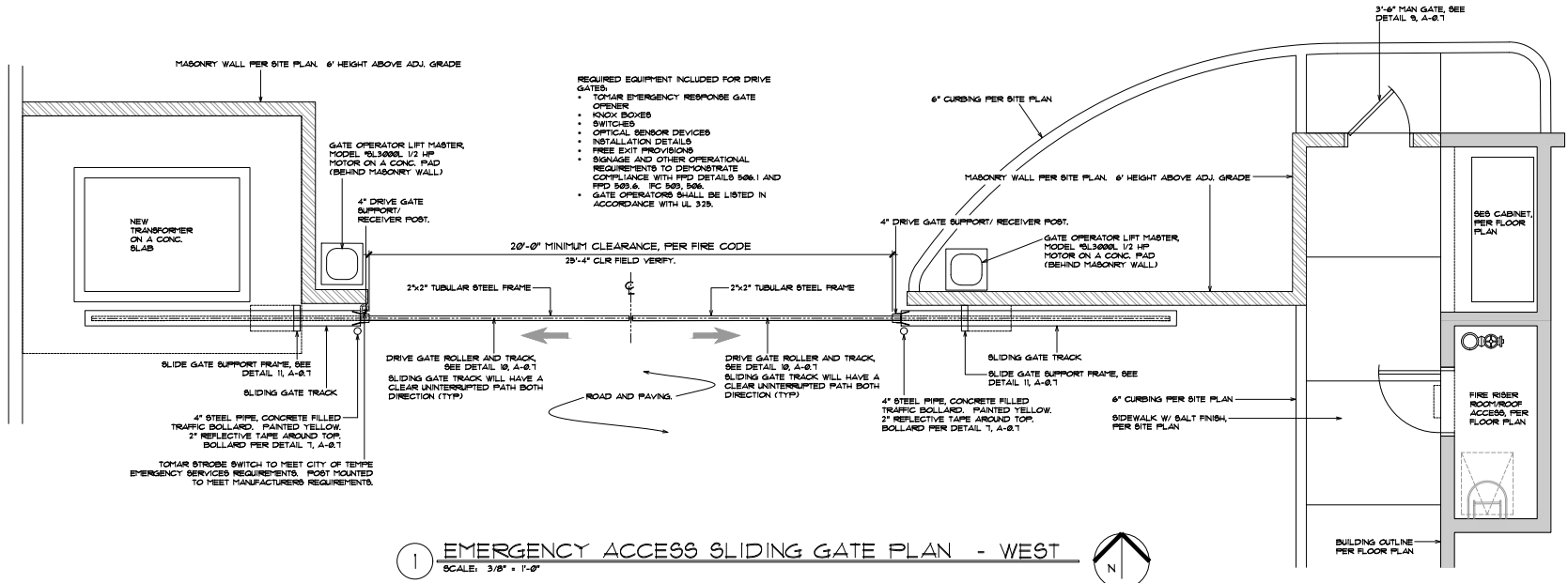


GLASS
 MANUFACTURER: GUARDIAN SUNGUARD
 COLOR: SUPERNEUTRAL 68
 TYPE: LIGHT GRAY-SOLAR TINTED IN A CLEAR ANODIZED FRAME
 VIABLE LIGHT:
 TRANSMITTANCE: 68%
 REFLECT OUT: 11%
 REFLECT IN: 12%
 U-VALUE: 0.29
 SHGC: 0.38
 LIGHT TO SG: 1.80

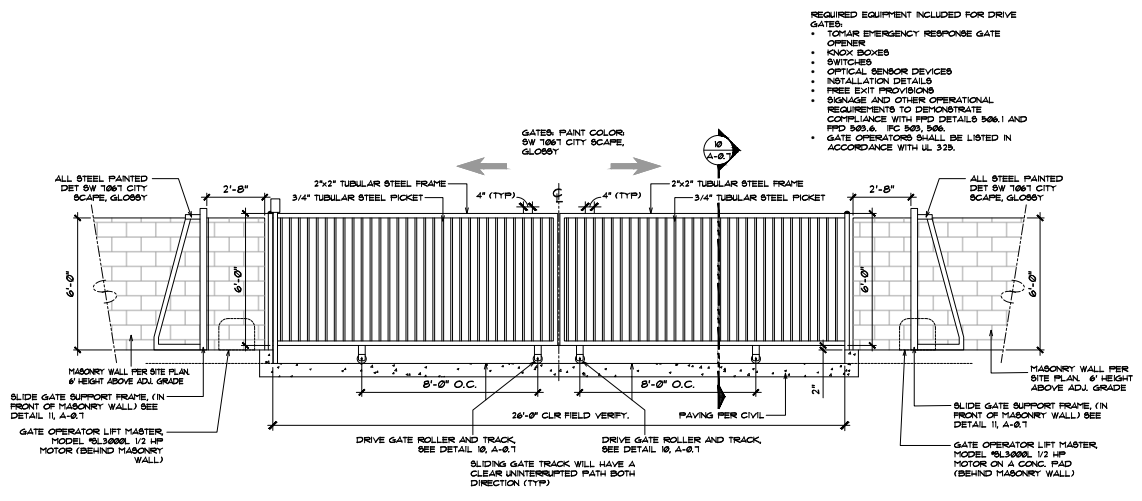


ALL MAN DOORS (DOES NOT INCLUDE STORE FRONT DOORS NOR FRAMING) 4" DOOR FRAMES, WAREHOUSE INSULATED PANEL DOORS, STEEL GATES AND REMOVABLE PANELS (PRIVACY WALLS) AND STEEL CANOPIES (ONLY) AT STORE FRONT
 GLOSSY / COLOR: CITY SCAPE
 SHERWIN WILLIAMS TB01

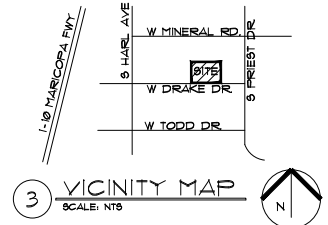
CITY OF TEMPE APPROVAL:



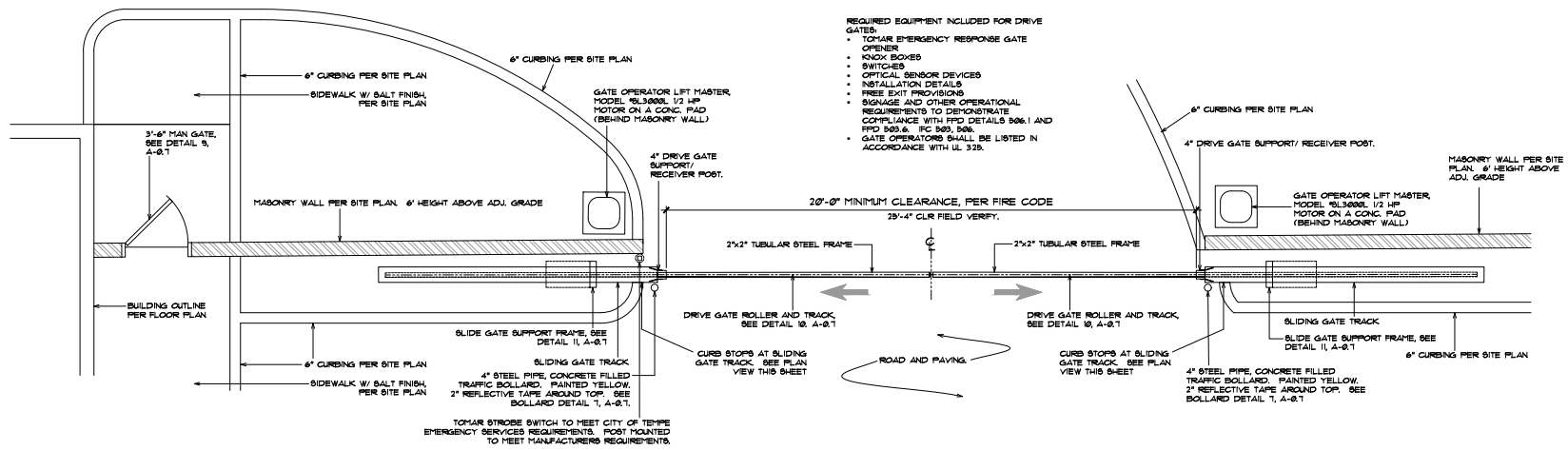
1 EMERGENCY ACCESS SLIDING GATE PLAN - WEST
SCALE: 3/8" = 1'-0"



2 EMERGENCY ACCESS SLIDING GATE ELEVATION - WEST
SCALE: 3/8" = 1'-0"

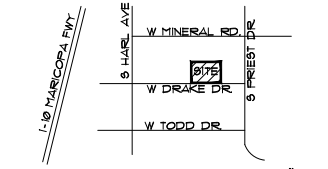


CITY OF TEMPE APPROVAL:

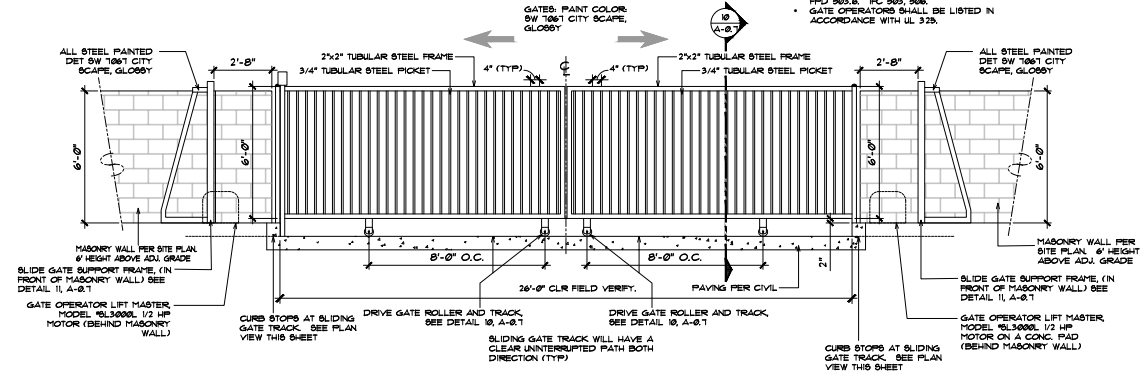


1 EMERGENCY ACCESS SLIDING GATE PLAN - EAST
SCALE: 3/8" = 1'-0"

- REQUIRED EQUIPMENT INCLUDED FOR DRIVE GATES:
- TOPKAR EMERGENCY RESPONSE GATE OPENER
 - KNOX BOXES
 - SWITCHES
 - OPTICAL SENSOR DEVICES
 - INSTALLATION DETAILS
 - FREE EXIT PROVISIONS
 - SIGNAGE AND OTHER OPERATIONAL REQUIREMENTS TO DEMONSTRATE COMPLIANCE WITH IFD DETAILS 506.1 AND IFD 503.6, IFC 503, 506
 - GATE OPERATORS SHALL BE LISTED IN ACCORDANCE WITH UL 325.

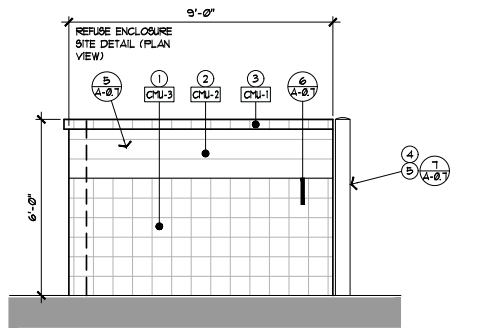


3 VICINITY MAP
SCALE: NTS

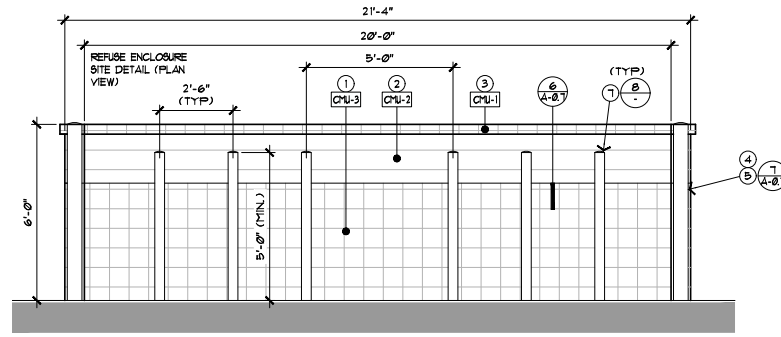


2 EMERGENCY ACCESS SLIDING GATE ELEVATION - EAST
SCALE: 3/8" = 1'-0"

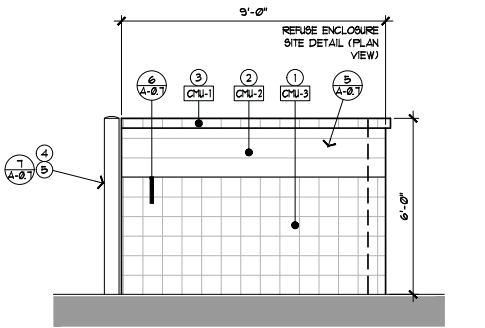
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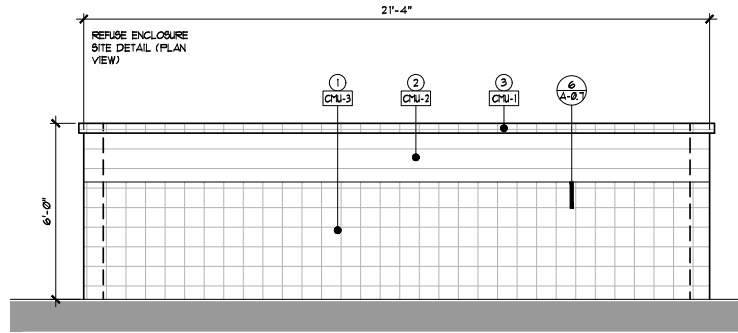
1 REFUSE ELEVATION - SIDE VIEW
SCALE: 1/2" = 1'-0" WEST SIDE



2 REFUSE ELEVATION - FRONT VIEW
SCALE: 1/2" = 1'-0" SOUTH SIDE



3 REFUSE ELEVATION - SIDE VIEW
SCALE: 1/2" = 1'-0" EAST SIDE



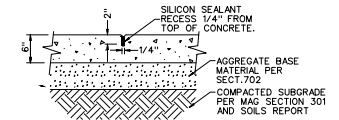
4 REFUSE ELEVATION - REAR VIEW
SCALE: 1/2" = 1'-0" NORTH SIDE

ELEVATION KEYNOTES: (X)

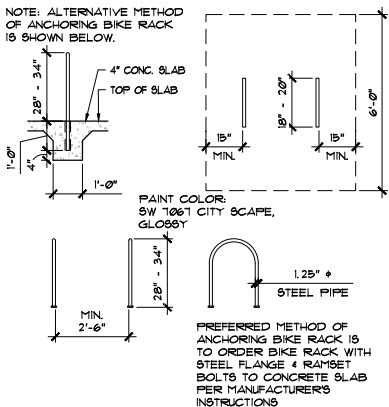
- 8"x8"x16" CENTER SCORED CONCRETE BLOCK
- 8"x8"x16" SPLITFACE CONCRETE BLOCK
- 4"x8"x16" CENTER SCORED CONCRETE BLOCK CAP
- NO REFUSE GATE WILL BE CONSTRUCTED FOR THIS PROJECT
- 6" DIA. STEEL PIPE FILLED WITH CONCRETE. SEE DETAIL 7/A-0.7.
- REFUSE ENCLOSURE - SEE ALSO DETAIL 5/A-0.7
- 4" DIA. STEEL PIPE FILLED WITH CONCRETE. SEE DETAIL 8, THIS SHEET

FINISH SCHEDULE:

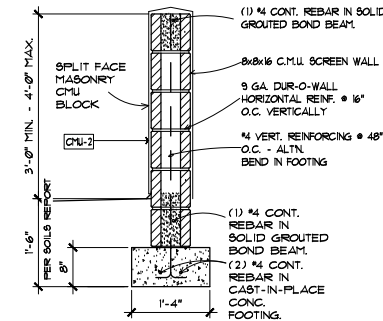
- | | |
|--|---|
| | CMU-1
MANUFACTURER: SUPERLITE
4" X 8" X 16" SOLID CAP BLOCK
COLOR: CMU NATURAL GREY W/
CLEAR SEALED |
| | CMU-2
MANUFACTURER: SUPERLITE
8" X 8" X 16" SPLIT FACE BLOCK
COLOR: SW 1564 KEYSTONE GREY
SEMI-GLOSS |
| | CMU-3
MANUFACTURER: SUPERLITE
8" X 8" X 16" CENTER SCORE BLOCK
COLOR: SW 1548 PORTICO
SEMI-GLOSS |



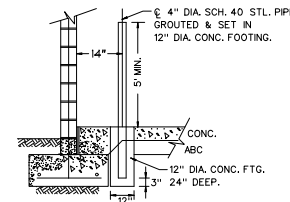
5 REFUSE CONSTRUCTION JOINT
SCALE: 1/2" = 1'-0"



6 BICYCLE RACK
SCALE: 1/2" = 1'-0" 2 BIKES PER RACK



7 LOW WALL DETAIL
SCALE: 1/2" = 1'-0"



8 REFUSE 4" DIA. BOLLARDS
SCALE: 1/2" = 1'-0"

- NOTES:**
- THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR ALL THE MAINTENANCE AND REPAIR OF ALL SURFACES, ASPHALT AND CONCRETE, ALONG THE DRIVE PATH OF COLLECTION VEHICLES.
 - THERE ARE NO REFUSE ENCLOSURE GATES FOR THIS SPECIFIC PROJECT.
 - CONSTRUCT REFUSE ENCLOSURE PER MAG SECTION 510 AND T25
 - 4" DIA. SCH. 40 STEEL PIPE GUARD POSTS SHALL RECEIVE A ZINC CHROMIATE PRIME COAT AND 2 COATS FLAT WHITE FLAT MATTE PAINT
 - ALL INTERIOR PAD DIMENSIONS ARE MINIMUMS.
 - MASONRY $f_m = 1500$ PSI
 - REINFORCING $f_y = 60,000$ PSI / $f_u = 24,000$ PSI
 - CONCRETE $f'_c = 4,000$ PSI
 - 2" KOREX STEEL FIBER 39.00 LBS/CY

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Eric Leibson + Associates Ltd.
100 NORTH WICKLIFFE DRIVE • PHOENIX VALLEY, AZ 85003
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AME ELECTRICAL NEW BUILDING
1540 W. DRAKE DRIVE
TEMPE, AZ 85283
SITE DETAILS

PROJECT NO.: 1833
DATE ISSUED: 09/21/2024
REVISIONS:

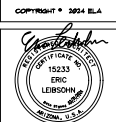
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SHEET NUMBER

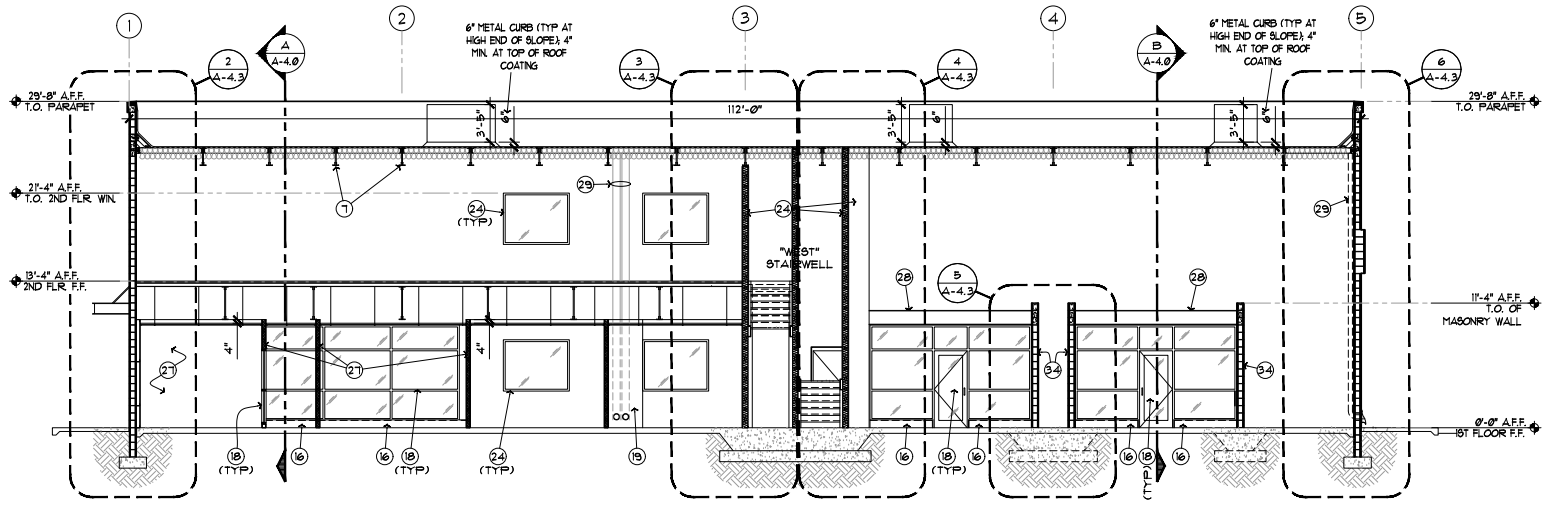
A-0.8

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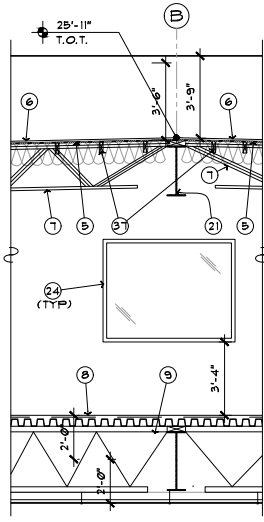


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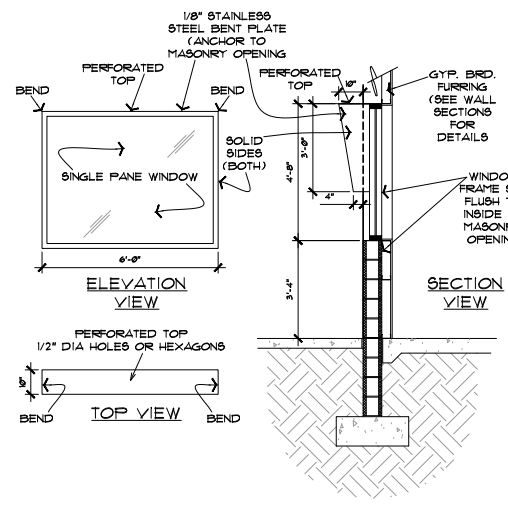


C SECTION "C"
SCALE: 3/16" = 1'-0"

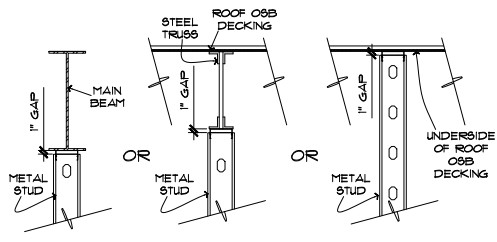
SEE SHEET A-4.2 FOR KEYED
NOTE DESCRIPTIONS



2 WALL SECTION
SCALE: 3/16" = 1'-0"



3 WINDOW FIN DETAIL
SCALE: 1/2" = 1'-0"



1 TOP OF WALL DETAIL
SCALE: 3/4" = 1'-0"

OVERALL SECTIONS ARE
SHOWN FOR REFERENCE.
REFER TO ENLARGED WALL
SECTIONS FOR DETAIL NOTES
AND ADDITIONAL INFORMATION

REFER TO STRUCTURAL
PLANS FOR ADDITIONAL
INFORMATION

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480-483-1811 (P) • 480-483-1800 (F) • ELA@ericleibsohn.com

AME ELECTRICAL NEW BUILDING
1540 W. DRAKE DRIVE
TEMPE, AZ 85283
SECTIONS

PROJECT NO.: 1933
DATE ISSUED: 09/30/2024
REVISIONS:

DRAWN BY: TJK
CHECKED BY: ELA

SHEET NUMBER

A = 4, 1

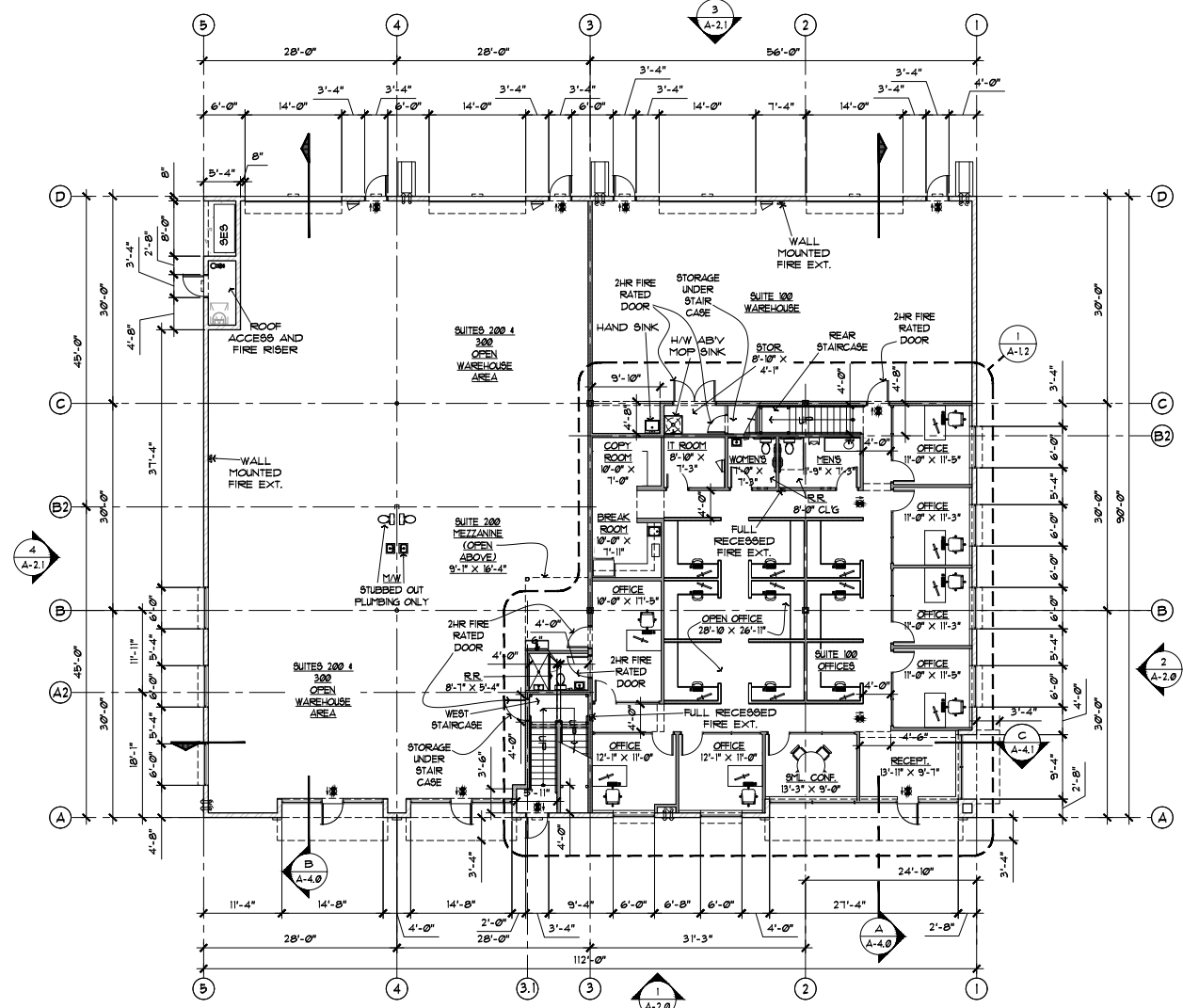
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EXPIRES 06/30/2021



1 1ST FLOOR OVERALL PLAN
SCALE: 1/8" = 1'-0"



GENERAL NOTES:

1. ALL CEILING HEIGHT ON 1ST FLOOR IS 9'-4" UNLESS OTHERWISE NOTED.
2. ALL BATHROOMS ARE 9'-0" CLG HT.
3. WAREHOUSE IS 12'-3" TO BOTTOM OF TRUSSES ABOVE.
4. ALSO SEE ELEVATIONS AND SECTIONS FOR ADDITIONAL CEILING HEIGHT DIMENSIONS.

DOOR SCHEDULE:

1. 3'-0" X 7'-0" ALUM. GLASS DOORS IN ALUM. FRAME
2. 3'-0" X 7'-0" HOLLOW METAL DOOR IN A H1 FRAME
3. 3'-0" X 7'-0" HOLLOW METAL DOOR IN A 3'-4" X 7'-4" (TO MATCH MASONRY UNITS) HOLLOW METAL FRAME - SEE ELEVATIONS FOR MATERIAL COLORS
4. PAIR 3'-0" X 7'-0" HOLLOW METAL DOOR IN A H1 FRAME
5. 14'-0" WIDE X 14'-0" HIGH ROLL-UP INSULATED DOOR IN A STEEL FRAME. MANUF. COOKSON. THERMIBER MAY INSULATED ROLL-UP DOOR MOUNTED FOR OPENING 14' W X 14' H. CHAIN OPERATED W/ PREFER TO BE FIELD PAINTED

FOR ALL INTERIOR DOORS ON 1ST AND SECOND FLOORS - SEE SHEET A-5.0 & A-5.1 FOR ALL DOOR AND WINDOW SCHEDULES

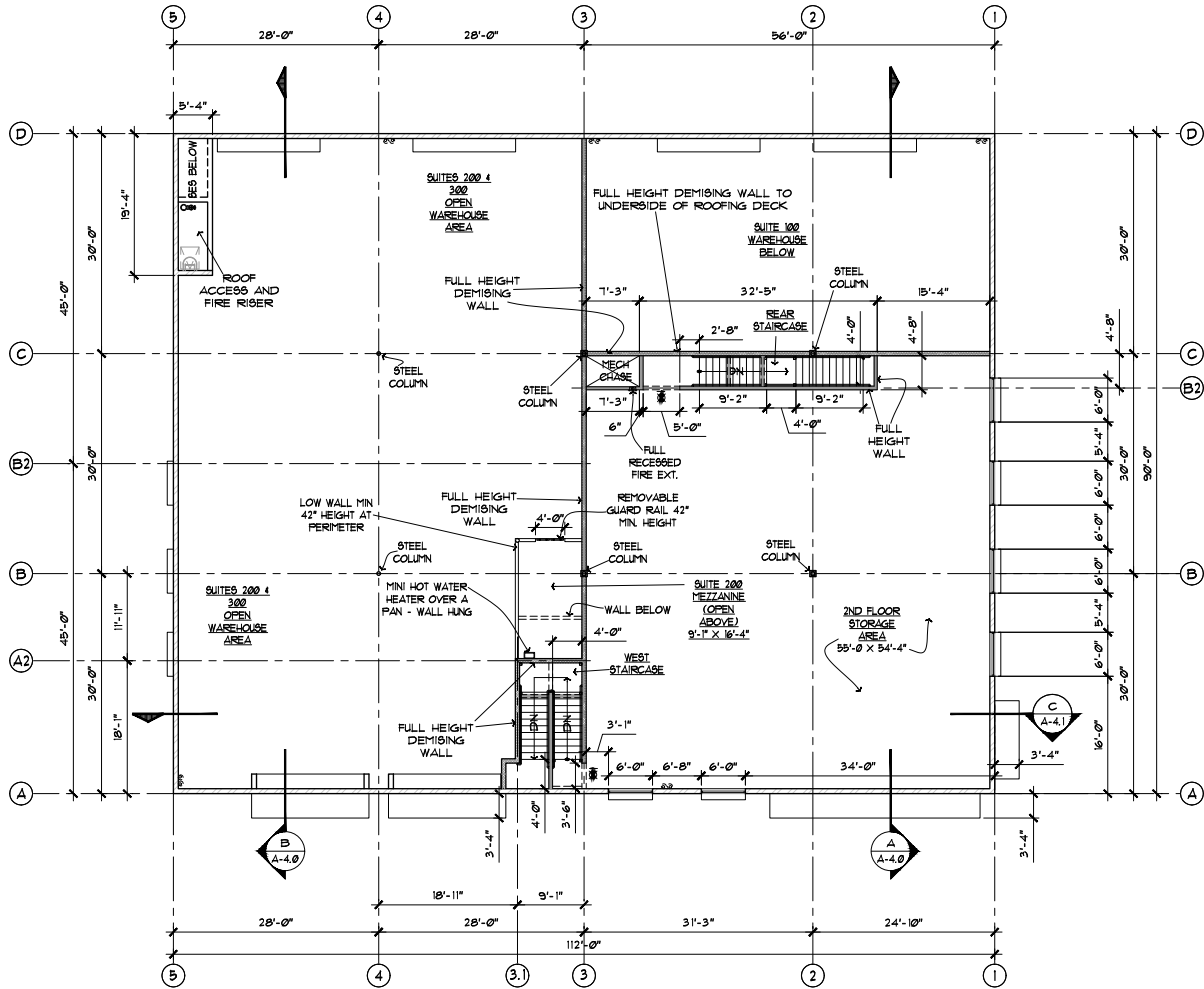
GENERAL NOTES:

1. PLACE THE FACE AND RELATED COMPONENTS IN THE FIRE RISER ROOM OR PROVIDE A SYSTEM CONTROLLING RAMP IN THE FIRE RISER ROOM W/ A RAMP OF THE FACE LOCATION.
2. PROVIDE A MINIMUM OF (1) 2A ULBC FIRE EXTINGUISHER PER 3,000 SQUARE FEET OF FLOOR AREA WITH A MAXIMUM TRAVEL DISTANCE OF 75 FEET, MOUNTED IN AN ACCESSIBLE LOCATION.
3. STORAGE BELOW STAIRS MUST MEET THE REQUIREMENTS OF IFC CHAPTER 10, SEC. 10B.1.5 & IBC CHAPTER 10, SEC. 10B.1.5.
4. PROVIDE A KNOX BOX & FIRE RISER ROOM SIGNAGE AT THE FIRE SPRINKLER RISER ROOM.
5. ALL EXIT DOORS REQUIRE ILLUMINATED EXIT SIGNS

LEGEND:

- DENOTES DOOR TYPE
- ▨ MASONRY WALL
- ▩ DEMISING WALL
- ▭ INTERIOR WALL
- ⊙ ILLUMINATED EXIT SIGN

CITY OF TEMPE APPROVAL:



1 2ND FLOOR OVERALL PLAN
SCALE: 1/8" = 1'-0"





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AME ELECTRICAL NEW BUILDING
1540 W. DRAKE DRIVE
TEMPE, AZ 85283

ENLARGED 1ST FLOOR OFFICE DIMENSIONED PLAN

PROJECT NO.: 1923
DATE ISSUED: 09/3/2024
REVISIONS:

DRAWN BY: TLK
CHECKED BY: ELA

SHEET NUMBER

A = 1.3

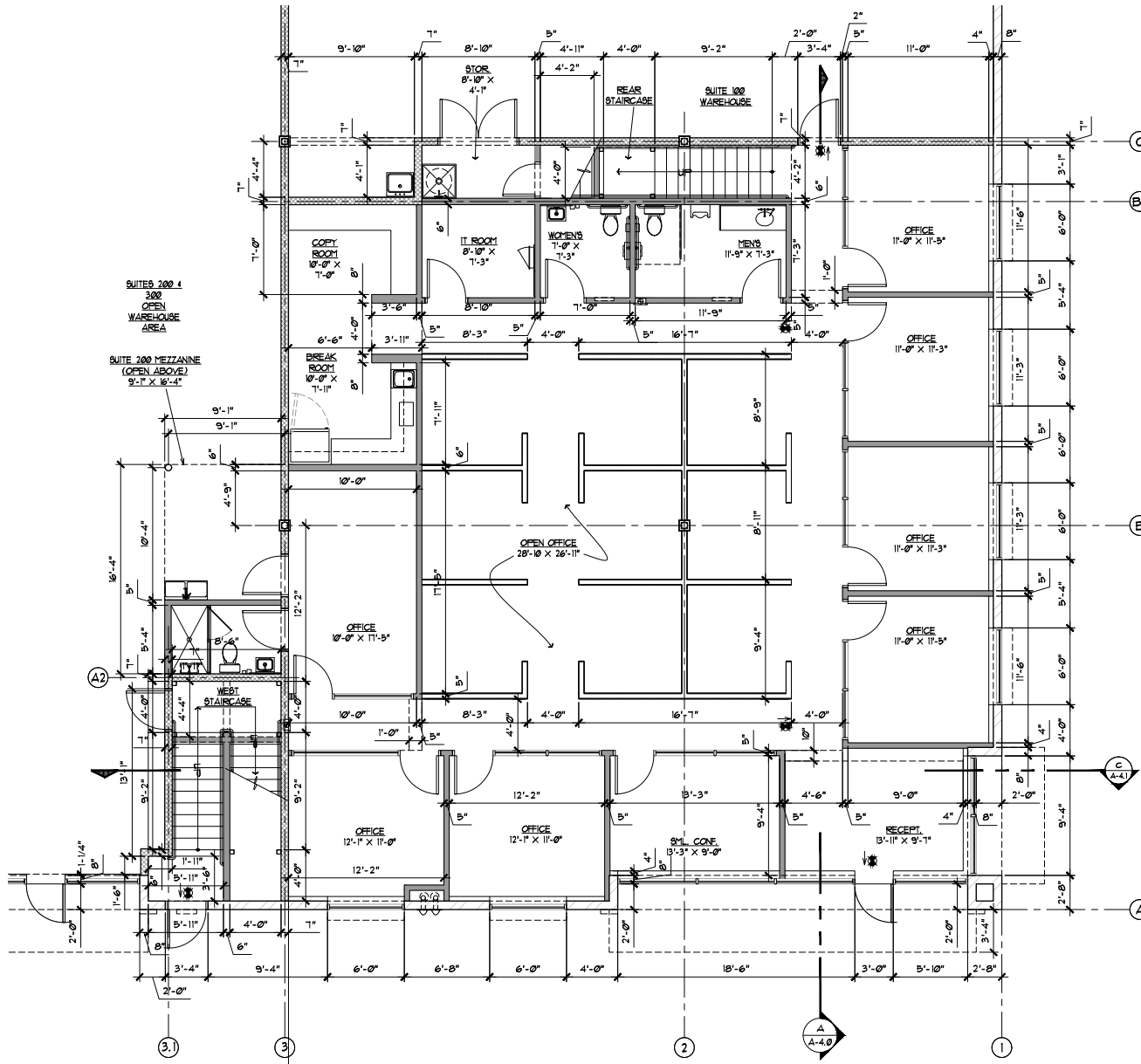
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- GENERAL NOTES:**
1. ALL CEILING HEIGHT ON 1ST FLOOR IS 9'-4" UNLESS OTHERWISE NOTED.
 2. ALL BATHROOMS ARE 8'-0" CLG HT.
 3. WAREHOUSE IS 12'-0" TO BOTTOM OF TRUSSES ABOVE.
 4. ALSO SEE ELEVATIONS AND SECTIONS FOR ADDITIONAL CEILING HEIGHT DIMENSIONS.
 5. FOR ALL INTERIOR DOORS AND WINDOW ELEVATIONS SEE SCHEDULE AND HARDWARE PLAN.
 6. SEE STAIRCASE SECTION PLANS FOR THE WEST AND REAR STAIR CASES.

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1 ENLARGED 1ST FLOOR OFFICE DIMENSIONED PLAN
SCALE: 1/4" = 1'-0"

Attachment 30





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 1910 NORTH MIDCOTEVIEW DRIVE, G. PARADISE VALLEY, AZ 85303
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AME ELECTRICAL NEW BUILDING
 1540 W. DRAKE DRIVE
 TEMPE, AZ 85283

SECTION 21
 PROJECT NO.: 1923
 DATE ISSUED: 09/3/2024
 REVISIONS:

DRAWN BY: TLK
 CHECKED BY: ELA

SHEET NUMBER
 A-4.0

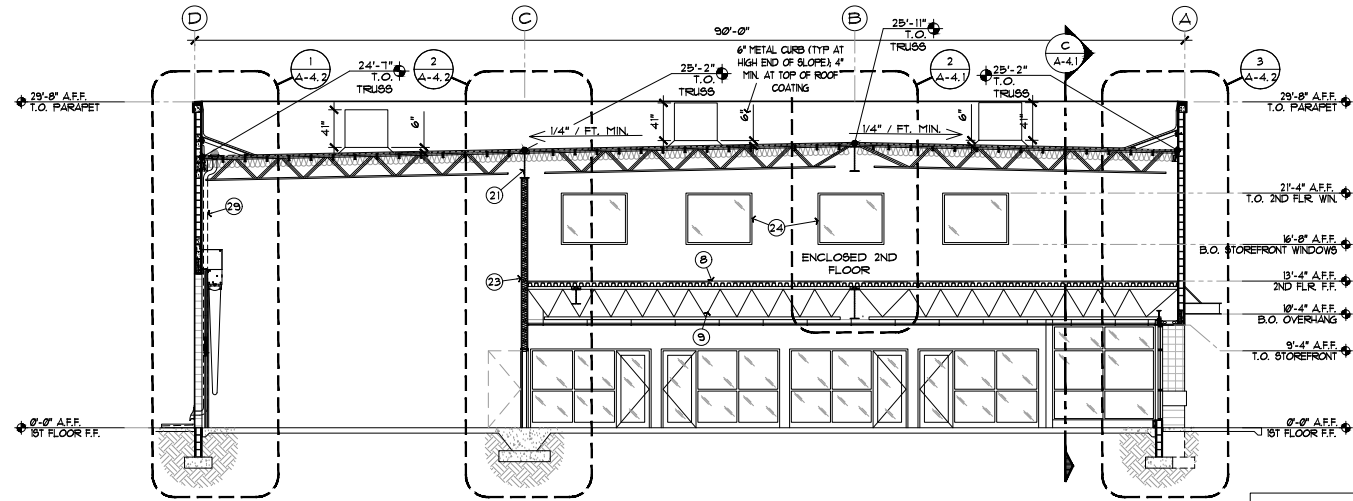
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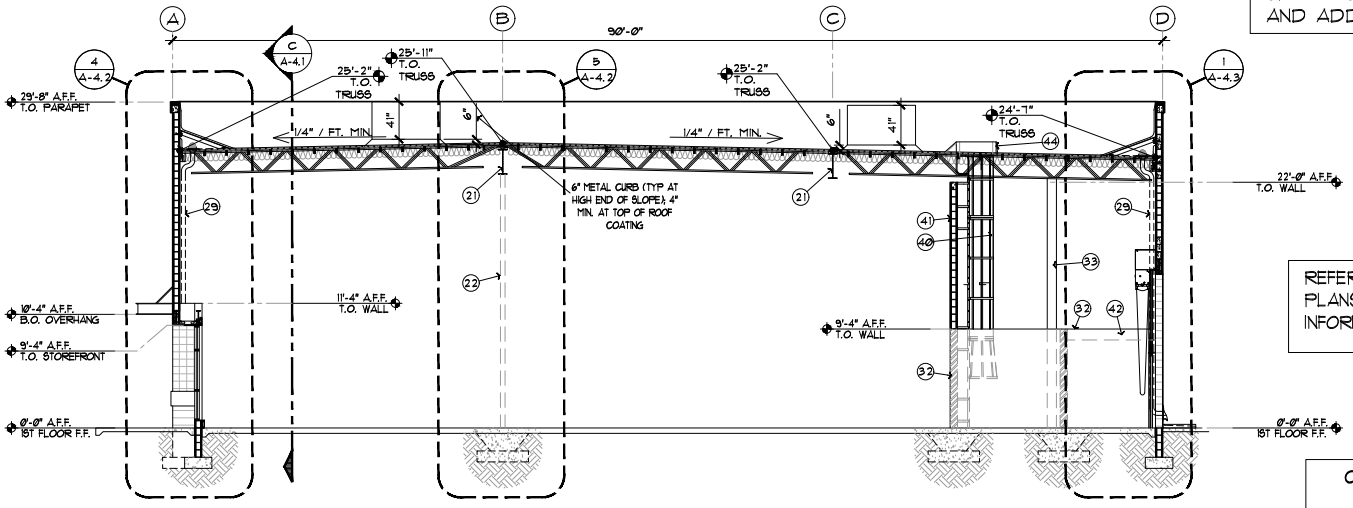
EXPIRES 06/30/2021



(A) SECTION "A"
 SCALE: 3/16" = 1'-0"

SEE SHEET A-4.2 FOR KEYED NOTE DESCRIPTIONS

OVERALL SECTIONS ARE SHOWN FOR REFERENCE. REFER TO ENLARGED WALL SECTIONS FOR DETAIL NOTES AND ADDITIONAL INFORMATION



(B) SECTION "B"
 SCALE: 3/16" = 1'-0"

REFER TO STRUCTURAL PLANS FOR ADDITIONAL INFORMATION

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AME ELECTRICAL NEW BUILDING
 1540 W. DRAKE DRIVE
 TEMPE, AZ 85283
 SITE PLAN / VARIOUS TURNING RADIUS

PROJECT NO.: 1923
 DATE ISSUED: 05/31/2024
 REVISIONS:
 DRAWN BY: TLK
 CHECKED BY: ELA

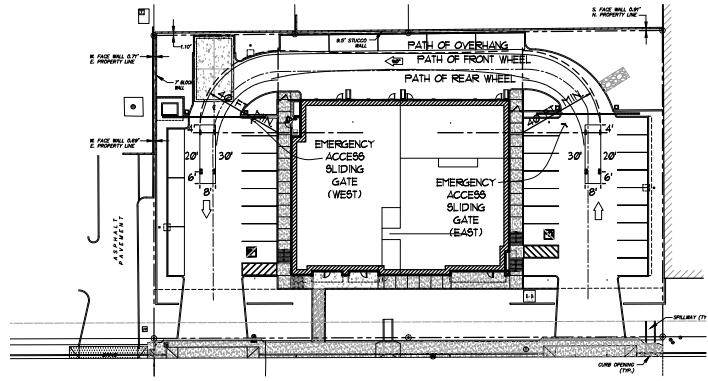
SHEET NUMBER
 A-0.4
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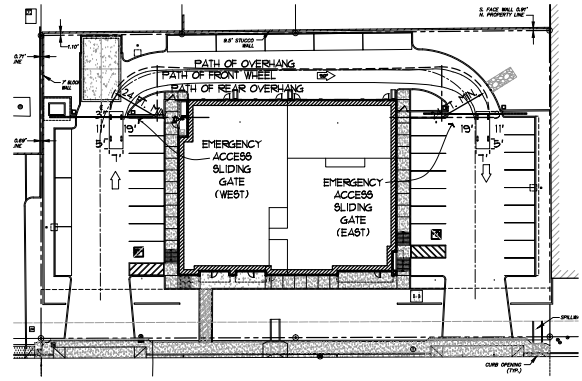
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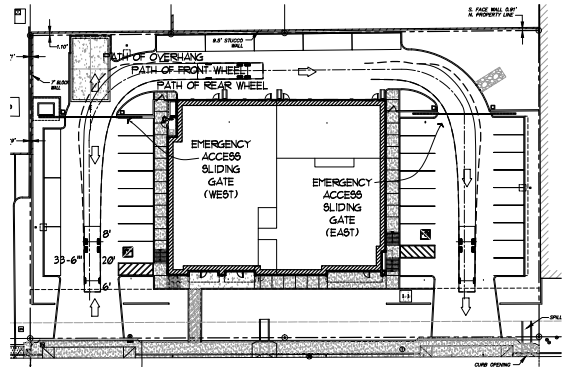
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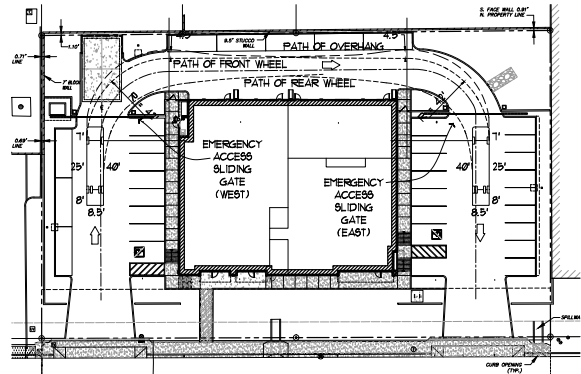
2 BOX TRUCK UP TO 30' TURNING RADIUS
 SCALE: 1" = 30'-0"
 0' 30' 60' 120'



1 CAR/TRUCK UP TO 19' TURNING RADIUS
 SCALE: 1" = 30'-0"
 0' 30' 60' 120'



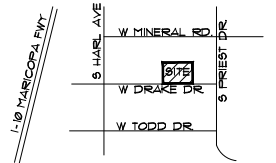
4 FRONT LOADING GARBAGE TRUCK UP TO 34' TURNING RADIUS
 SCALE: 1" = 30'-0"
 0' 30' 60' 120'



3 FIRE TRUCK UP TO 25' TURNING RADIUS
 SCALE: 1" = 30'-0"
 0' 30' 60' 120'

See existing drawings before you draw
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Attachment 32

5 VICINITY MAP
 SCALE: NTS