

**CITY OF TEMPE  
DEVELOPMENT REVIEW COMMISSION**

**Meeting Date: 01/08/2013  
Agenda Item: 5**

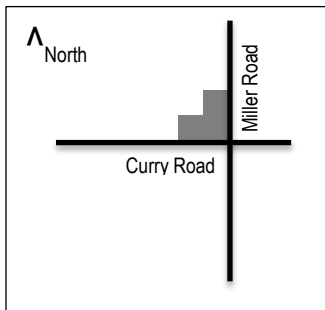
**ACTION:** Request approval for General Plan amendment to increase density, a Zoning Map amendment to R-3 Multi-family with a Planned Area Development (PAD) for development standards and a Development Plan Review for 18 new attached townhomes for BELLA VITA, located at 1004 N Miller Rd. The applicant is Hudd Hassel.

**FISCAL IMPACT:** While this ordinance change does not directly impact revenue, the development will result in collection of the standard development fees, calculated according to the approved fee structure at the time of permit issuance.

**RECOMMENDATION:** Staff – Approval, subject to conditions

**BACKGROUND INFORMATION:** BELLA VITA (PL120300) is located on the north west corner of Miller and Curry roads in north Tempe. The 1.14 acre L-shaped site is north of the Maricopa County Island, west of Indian Bend Wash, south of the Tempe border with Scottsdale, and east of Rural Road. The request includes the following:

GEP12006	General Plan Density Map Amendment from low density up to 9 dwelling units per acre, to medium-high density 16-25 dwelling units per acre.
ZON12012	Zoning Map Amendment from R-2 Multi-family and R/O Residential Office to R-3.
PAD12016	Planned Area Development Overlay for 18 three-story townhomes with modified setbacks, reduced lot coverage, increased landscape area and increased building height.
DPR12231	Development Plan Review including site plan, building elevations, and landscape plan



Property Owner / Applicant	Hudd Hassel
Acres	1.14 acres (49,950 s.f.)
Current/Proposed General Plan Land Use & Density	Residential up to 9 du/ac / Residential up to 25 du/ac
Current /Proposed Zoning District	R-2 Multi-family (10 du/ac) and R/O Residential Office (10 du/ac) to R-3 (20 du/ac).
Density / # of Units	16 du/ac / 18 units
Building Lot Coverage	28% (full development) 70% (per lot)
Landscape Percentage	35% (full development) 15% (per lot)
Bldg Area / Total Bldg Size / Unit Size	13,898 sf / 32,642 sf / 1,811 – 1,816 sf
Building Height	35'
Development North Setback	7' (set back for required step back) 10' actual building wall setback.
Development East Setback (from Miller Rd)	20'
Development West Setback (from alley)	6' (set back for required step back) 9' actual building wall setback
Development South Setback (from Curry Rd)	9'
Front Yard Setback	20' (per lot)
Side Yard Setback	0' (per lot)
Rear Yard Setback	7' (set back for required step back) 10' actual building wall setback.

**ATTACHMENTS:** Ordinance, Resolution, Supporting Attachments

**STAFF CONTACT:** Diana Kaminski, Senior Planner (480-858-2391)

Department Director: Lisa Collins, Interim Community Development Director

Legal review by: N/A

Prepared by: Diana Kaminski, Senior Planner



**COMMENTS:**

The site is located on the north west corner of Miller and Curry roads. The site has no history of development and has been vacant since annexation in the early 1960s. It is a part of the North Tempe Three Subdivision and currently contains 6 lots. The proposed development would increase density from 10 to 16 dwelling units per acre, rezone the property from R-2 Multi-family and R/O Residential Office to R-3 PAD with development standards for 18 three-story attached townhomes in four buildings.

This request includes the following:

1. General Plan Density Map Amendment from up to 9 dwelling units per acre to up to 25 dwelling units per acre.
2. Zoning Map Amendment from R-2 Multi-family and R/O Residential Office to R3-PAD Multi-Family.
3. Planned Area Development for development standards for a single-family townhome development.
4. Development Plan Review which includes: 18 three-story single-family townhomes in four attached buildings totaling 36,638 s.f. of building area on 1.14 acres.

The applicant is requesting the Development Review Commission take action on item four listed above, and provide recommendations to City Council for items one through three listed above.

For further processing, the applicant will need approval for a Use Permit for Tandem Parking and for a Subdivision Plat, to combine the six individual lots and subdivide them into eighteen individual for-sale townhome units. The request for tandem parking was unable to be advertised in time for this hearing, and has been scheduled for the January 15<sup>th</sup> Hearing Officer Agenda.

**PUBLIC INPUT**

- Neighborhood meeting is required
- Neighborhood meeting held: December 17, 2012 from 6:30 p.m. to 8:30 p.m. at the North Tempe Multi-Generational Center at 1555 N. Bridalwreath Street.
- See attached summary of meeting provided by the applicant.
- Community Development staff attended the meeting.

Staff has received two calls from residents in the neighborhood concerned about security within and around the property. The first caller wanted to make sure that lighting was provided and that high pressure sodium fixtures were used to reduce glare into the neighborhood. The resident was generally supportive of the concept, as long as they were owner-occupied homes that maintained the landscaped areas and provided crime prevention through environmental design. The second caller lives immediately to the west of the project, and is concerned with security to her own residence from the alley adjacent to this property. She is also concerned with privacy from the new 3 story units being proposed. She requested that her existing wall be improved with an additional course of masonry block at the top. Staff advised that this was a private property matter that could not be conditioned without knowing the structural condition of the wall and whether it could withstand the weight of additional blocks. The applicant was notified of this request, and at the writing of this report, was looking into the feasibility of this request. The development is not required to have a screen wall, as it is a single-family designed use. However, a 6' landscape buffer with trees has been provided along the west side. By not having an 8' screen wall and lighting the alley there is more visibility of activity in the alley; this provides crime prevention through the design of the environment.

**PROJECT ANALYSIS****GENERAL PLAN**

The applicant has provided a written justification for the proposed General Plan amendment.

**Land Use Element:**

General Plan 2030 Projected Land Use for this site is Residential. There is a church to the west, single family and multifamily properties to the north and west, industrial to the south and east of the site. The project is proposed as a residential use on a corner of two arterial streets, with an alley on the north and west side of the L-shaped site, which has never been developed.

The General Plan Projected Residential Density for this site is low to moderate density up to nine dwelling units per acre. The site was originally platted for 6 lots, and zoned a combination of R-2 multi-family and R/O residential office, which both allow up to 10 dwelling units per acre, making the existing density higher than the projected density. The existing zoning would allow 11 units. The next density category would allow up to 15 dwelling units per acre or 17 units. The applicant is proposing 15.7 dwelling units per acre to accommodate 18 townhomes on the site. This request is for a General Plan density map amendment up to Medium to High density, which would allow up to 25 dwelling units per acre. The Planned Area Development limits the density based on the proposed plan to 15.7 dwelling units per acre. The site is challenged by underground utilities that limit where buildings and retention can be located. The site also has overhead power lines on both sides of the property. If six single-family homes were built individually the power lines would not be required to be undergrounded; however, as a planned development of multiple homes, the engineering requirement for undergrounding adds to the costs for development of the site. With the utilities challenges and the site location on the corner of two collector streets adjacent to industrial uses, the site has remained vacant since annexation. Allowing an increase in density facilitates infill development in support of the General Plan goals and objectives for neighborhood preservation and revitalization. Compact residences have limited private outdoor space, but have access to commonly maintained open space, providing a more unified landscape to the street fronts of Curry and Miller roads. This level of intensity should promote a community environment within the project, adding to security for pedestrians on the street fronts, and residents adjacent to the alley.

**Accessibility Element:**

As single-family townhomes, the individual units are three-story and would not be accessible to all floors. However, the guest parking area and site circulation allows for guests to park on site and visit residents. The project will comply with all required accessibility regulations, but is not providing accessible housing for residents.

**Community Design Element:**

The proposed project will provide a focal point at the intersection of Curry and Miller. The surrounding building context is a combination of industrial buildings, a church and single family and duplex and fourplex multi-family structures, all one story. The proposed design utilizes the height allowed in all surrounding zoning districts, with an additional 5 feet of height for a pitched roof design. The units minimize windows on the west elevations and use shade trees to respond to climactic conditions and human comfort. The design integrates contemporary architecture with more traditional colors and rooflines complementary to the surrounding context, providing a diverse continuity in design that will withstand changes in style and sustain the development for owner-occupied opportunities within a built out area.

**Historic Preservation Element:**

The Indian Bend Ditch was undergrounded decades earlier along Curry and Miller Roads. There are no known historic or archeological conditions associated with this site. Due to proximity to the canal, the project will need to use precaution when excavating and follow state archeological regulations if artifacts are present.

**Housing Element:**

North Tempe has limited opportunities for new single-family housing. Most of the housing product in the area are single family, duplex and four-plex structures from the 1950s and 1960s and apartments from the 1970s through 1990's. There has been relatively little development in the area in the past decade. This site provides the opportunity to introduce a new housing product not available in the immediate area, for those seeking to own a home with smaller yards and commonly maintained open space in an attached unit product. This project will diversify the housing type available in the area and offer newer construction and amenities than what the older structures provide.

**Neighborhoods Element:**

The proposed project originally scheduled a neighborhood meeting on December 3<sup>rd</sup>, but due to advertising errors was required to reschedule the meeting. As a result, residents received additional communications about the project, and had additional opportunity to speak with the development team. Staff received one call from a resident who wished to make sure that public safety and crime prevention through environmental design was addressed in the design. Staff also attended the neighborhood meeting and heard concerns about student housing, potential noise impacts, crime prevention, lighting, and the height of the structures near houses to the west of the site. Other residents were favorable to seeing the vacant lot developed for a productive use that would aesthetically improve the area. This project encourages reinvestment and infill development at the edge of an established neighborhood. The development will help stabilize the corner of the community by

providing more activity and interaction at the street front, which helps with crime prevention. The proposed project is within scale of the surrounding area, and is an aesthetic enhancement by developing a distressed and underutilized property.

**Redevelopment Element:**

This site is not in a redevelopment area, nor has it had development previously to be redeveloped. However, it does prevent slum and blight, encourage reinvestment and revitalization and stimulate private investment. It will also underground the power lines on both the east and west sides of the property (excluding the high power lines), which will help enhance the surrounding area.

**Economic Development Element:**

The sixty years of vacant land at this corner has been a limited contributor for property tax assessments. The development of the site for housing will increase the value of the land for property taxation, and provide eighteen new residences for people wishing to live near where they work in north Tempe or south Scottsdale. The opportunity to commute by orbit or bike, and use the Indian Bend Wash greenbelt to access the Town Lake makes this site a very desirable location for an urban quality of life for potential employees in the area.

**Cost of Development Element:**

The development does not exceed planned utility infrastructure or service capacity within this area. The intensification from 10 to 15.7 dwelling units per acre is not significant enough to impact water, sewer, refuse or traffic in this area. The addition of residents to the area will provide additional revenue for services already being delivered such as the Orbit transit system, refuse and water services. The project will bear the costs to underground the power lines and will have the residential development fee required for all new residences through the building process. No additional costs of development will be borne by the City as a result of this project.

**Environment (Air, Noise, Ambient Temperature, Energy) Element:**

The proposed project will comply with air quality regulations during construction, and as a fully developed site will mitigate the current air quality liability associated with vacant dirt lots. With regard to noise, there are no swimming pools, volley ball courts or outdoor amenities that would generate large gatherings for parties. The units are individual for-sale products intended for owner-occupied housing. Residents would be required to comply with existing noise ordinance regulations. The proposed development will provide substantial landscape area turf and trees will cool the area, and the circulation on site minimizes large paved areas to reduce heat gain. The units are designed for current energy code compliance and will have the added benefit strategically placed windows, shared common walls and shade trees to further reduce energy consumption within the individual units.

**Land (Remediation, Habitat, Solid Waste) Element:**

The proposed project is not in a superfund or brown field site, but could qualify as a grey field; unlike brownfields (which have actual or perceived environmental contamination), grey fields typically do not require remediation but remain underutilized or undeveloped. Development of the lot will provide approximately 17,000 square feet of new landscape area with trees, turf, and vegetated granite areas, with shade along the public sidewalks and more habitat opportunity for birds and insects.

**Water (Water, Wastewater, Storm water) Element:**

The development will comply with all water, waste water and storm water retention requirements. The vacant lot provides no storm water retention currently, development of this lot will relieve burden from surrounding properties and rights of way that may be impacted by the run off from the vacant lot.

**Transportation (Pedestrian Network, Bikeways, Transit, Travel-ways) Elements:**

The site is located within the Orbit Earth line neighborhood circulation system and is ½ mile from 72 bus service on Rural Road to the west, and 62 bus service on McClintock Road to the east, and one mile from bus service on McKellips Road to the north and Tempe Marketplace to the south. Sidewalks will be provided along Miller and Curry for this development, and will connect to the Indian Bend Wash multi-modal pathway system, which links to Tempe Town Lake to the south, and Scottsdale to the north. The site is ideally located for bicycle commuting, or recreational biking in Papago Park to the west.



**Aviation Element:**

The proposed development is within the flight path of Phoenix Sky Harbor International Airport. The height of the proposed buildings is not significant to warrant FAA review. This area falls just outside the Noise Contour Planning Boundary for the airport, but will experience aircraft over flight. The project will benefit from energy efficient design, as the wall, roof and window insulation will provide interior buffer from aircraft noise. Having attached units provides additional noise mitigation to the residents of the new development.

**Open Space Element:**

The existing zoning would require 30% landscape area, the proposed project provides 35% landscape area, with a combination of private 10' deep backyards, streetscape, retention and common areas. Although six individual residences could offer the opportunity for more open space per yard, the open space within the common areas of this development provide visual access for enjoyment of the general public walking or driving by, as opposed to walled individual yards. The common maintenance required by CC&Rs will assure that the street front appearance will be upheld. No public open space is being proposed with this request. The addition of residents will mean more people utilizing nearby public park facilities, however the north Tempe area has a relatively low density compared to the amount of public open space available with Papago Park, Indian Bend Wash and Tempe Town Lake. The increase in density is not significant enough to impose undue strain on existing nearby public parks.

**Recreational Amenities Element:**

The proposed project does not provide specific recreational amenities for residents, and will most likely benefit from the nearby park, golf course, tennis courts and playground facilities within walking and biking distance of the community. The site is not being designed for outdoor recreation that might create noise to adjacent residents.

**Public Art & Cultural Amenities Element:**

The project is a small townhome development that is not required to provide public art.

**Public Buildings and Services Elements:**

The proposed townhome project does not have any foreseen impacts on existing public buildings or services. Residents at the neighborhood meeting indicated a concern about generation of calls for service from new residents, particularly if they were students renting the units. Just as single family homes and condominiums may be rented out, and owner-occupied units may cause noise from parties, the existing noise ordinance is the mechanism for addressing these concerns. The size and configuration of the units may limit large gatherings and provide community-regulated control because the units are attached and there are CC&Rs, unlike single family homes with yards, and no HOA regulations to control behavior. The size of this project may provide more internal accountability between neighbors than what a larger community might achieve.

**Public Safety Element:**

If the project were designed as individual single family lots, there would be no review of the design and no control over crime prevention aspects of the homes. As a townhome project, a Development Plan Review is required, and therefore Crime Prevention Through Environmental Design is included. The project is required to provide lighting for the doors, walkways, parking areas and driveways that meet code standards. Special consideration will be given that lighting does not impact adjacent residents but provides an enhanced security for the street front and alleyway.

**Section 6-303 D. Approval criteria for General Plan amendment (*italics*):**

1. *Appropriate short and long term public benefits:* The proposed project will provide 18 new attached single-family townhomes to north Tempe, on a site that has remained vacant since annexation.
2. *Mitigates impacts on land use, water infrastructure or transportation:* The proposed project complies with the goals and objectives of these elements and meets the land use designation. There are no anticipated impacts to water infrastructure or transportation resulting from the proposed density increase from 10 to 15.7 dwelling units per acre.
3. *Helps the city attain applicable objectives of the General Plan:* Specific objectives were outlined in the analysis above.
4. *Provides rights-of-way, transit facilities, open space, recreational amenities or public art:* The project is a private residential development with no requirements for these elements.
5. *Potentially negative influences are mitigated and deemed acceptable by the City Council:* The project will meet

required conditions of approval and there are no anticipated negative influences from the proposed project.

6. *Judgment of the appropriateness of the amendment with regard to market demands, and impacts on surrounding area, service, fiscal, traffic, historic properties, utilities and public facilities.* The project is designed to accommodate infrastructure requirements and investments to underground power lines, address all zoning and building code requirements and mitigate heat island impacts and storm water retention. The proposed amendment will facilitate development of a vacant underutilized site with a development that is appropriate in use, scale and design for the surrounding context.

## **ZONING**

The six existing lots have two zoning classifications, R-2 Multi-family Residential and R/O Residential Office, which both allow up to 10 dwelling units per acre. The R/O portion is the only Residential Office zoned property in this area. To the east is GID General Industrial, and to the south is industrial within a Maricopa County Island. Zoning to the north and west of the site is R-2 Multi-family, with a combination of church, single-family, and smaller scale multi-family duplex and four-plex uses. The existing General Plan Residential Density allows up to nine dwelling units per acre, however the current zoning allows up to 10 dwelling units per acre, making the existing density higher than the projected density. The existing subdivision of six lots facing the collector streets across from industrial uses are unlikely to develop as single-family homes in a traditional form. The proposed project would zone the property R-3 Multi-family for the purpose of increasing the density. Since this classification would allow a higher density than proposed, the applicant is restricting the density through the PAD, to limit the increase from 10 to 16 dwelling units per acre, to accommodate the design of 18 single-family town homes on individual lots with private backyards and shared common open space. The units would have an internal orientation to create a sense of community, while still providing visual access along the street.

### Section 6-304 C.2. Approval criteria for Zoning amendment (*in italics*):

1. *The proposed zoning amendment is in the public interest.* The lot has been vacant since annexation into the City, it is challenged by being a corner lot along two collector streets with power lines required to be undergrounded on two sides. These power lines would not be undergrounded if the lots were developed as six individual homes. The site also has an underground water utility easement restricting development on a portion of the site, limiting location of structures. The property has industrial uses across both streets, and acts as a buffer to the R-2 multi-family zoned properties being used as single-family residences to the north and west. The introduction of a for-sale product with an HOA controlling maintenance of common areas will provide more pride of ownership to the area. The design and development of the site will activate the area and provide a safer environment for residents using the alley and pedestrian/bicyclists along the street frontages. The alley will be paved and improved with landscape for the length of the site. Property valuation of the lot will increase beyond the vacant condition it has had for fifty-plus years; providing more financial support of services in the area.
2. *The proposed zoning amendment conforms with and facilitates implementation of the General Plan.* By modifying the General Plan Density Map to allow up to 20 dwelling units per acre, the proposed R-3 project with a Planned Area Development limiting density to 16 dwelling units per acre, would bring the site into conformance. At this time, the lots are not in conformance with the General Plan and appear to be undevelopable with the existing density designation due to the location.

**PLANNED AREA DEVELOPMENT**

The proposed R-3 Planned Area Development includes development standards unique to the development (project) as a whole, as well as to each individual townhome (lot). The applicant is proposing a step back for the additional five feet of height requested, and has identified a setback to determine where the step back is measured from, and where the actual building wall is set back. Below is a chart provided by the applicant for comparison to the existing zoning development standards and what is allowed under the R-3 zoning, and what is proposed through the PAD.

<b>COMPARISON CHART FOR ZONING STANDARDS</b>				
<b>STANDARD</b>	<b>EXISTING</b>		<b>PROPOSED</b>	
	<b>R-2</b>	<b>R/O</b>	<b>R-3</b>	<b>R-3/PAD</b>
<b>Density</b>	10	10	20	15.7
<b>Minimum Lot Area per Dwelling Unit</b>	3,600 sf	NA	2,180 sf	2,722 sf
<b>Building Height</b>				
Building Height	30 ft	30 ft	30 ft	35 ft
Maximum Building Height Step-Back	No	No	No	Yes
Required Adjacent to SF or MF Districts				
<b>Maximum Lot Coverage</b>	45%	35%	50%	70%
<b>Maximum Project Coverage</b>	45%	35%	50%	28.44%
<b>Minimum Landscape Area</b>	30%	30%	25%	15%
<b>Minimum Project Landscape Area</b>	30%	30%	25%	35%
<b>Setbacks (LOT)</b>				
<b>Front</b>				
Building	20 ft	15 ft	20 ft	20 ft
Open Structure	15 ft	15 ft	15 ft	NA
Parking	20 ft	20 ft	20 ft	0
<b>Side</b>				
Building Walls	10 ft	10 ft	10 ft	0
Porch, Balcony, Patio	5 ft	5 ft	5 ft	0
Wall, Common Walls	0	10 ft	0	0
<b>Rear</b>				
Building Wall, Porch, Balcony, Patio Wall	15 ft	10 ft	15 ft	10 ft / 7 ft (*)
Common Walls	0	NA	0	0
<b>Street Side</b>				
Building Walls	10 ft	10 ft	10 ft	10 ft
Parking	20 ft	20 ft	20 ft	20 ft
<b>Setbacks (PROJECT)</b>				
<b>Front</b> (Curry Road)				9 ft
<b>West Side</b>				10 ft / 7 ft (*)
<b>West Side</b> (Alley)				9 ft / 6 ft (*)
<b>Rear</b>				10 ft / 7 ft (*)
<b>East Side</b> (Miller Road)				20 ft

(\*) Shorter dimension indicates location of 30 Feet Building Height Step-Back Line.  
 Longer Dimension indicates Building Set Back Line.

The proposed project requires five feet of additional height to allow three-story townhomes with private back yards and more

open space surrounding the units. This height also allows a pitched roof design that is more in context with the surrounding residences, but proposed with cement roof tiles. A flat roof design, like that found on the industrial properties to the east, would appear more as a multi-family apartment development rather than a townhome community. The height is justified to accommodate and encourage a unique development with higher design standards. The proposed building orientation allows a community within the development from the shared drives, and common open space. The site is challenged with utility easements that require special consideration for placement of the buildings. The front, rear and side yard setbacks change direction through the subdivision plat. What was a front and rear yard for each individual single family lot, become side yards in the new development, with the new project front yard facing Curry and street side yard facing Miller. The project setback reduces the street frontage from 15 feet in the R/O and 20 feet in the R-2, to 9 feet along Curry. The project setback increases the street frontage from 10 feet to 20 feet along Miller, with an additional 10 feet of landscape area from the back of the sidewalk. The project has right-of-way on both Miller and Curry, providing additional landscape area maintained by the HOA within the ROW. The setback on the west side is being reduced from 10 feet to 9 feet, which would be allowed by a Use Permit Standard reduction in either the R-2 or R/O zoning districts. The proposed setbacks allow the orientation of the units to face internally to each other, with more open space between buildings. This provides more 5% more open space than required in the R-2 or R/O zoning. The open space is not privatized entirely within backyards; the design provides more visual open space to the public along Miller, as well as a more open environment on the alley side, with a landscape buffer to residents to the west and north. The proposed modifications to the R-3 standards produce a unique and attractive small-scale development which requires flexibility due to unique site conditions and its transitional nature between dissimilar land uses. The site has remained vacant since it was annexed as raw desert land; traditional development standards have not facilitated development of the site. The flexibility of the PAD will encourage the property to be creatively designed as an infill to the established neighborhood.

Section 6-305 D. Approval criteria for P.A.D (*italics*):

1. *The proposed residential land use is allowable in Part 3 of the Zoning and Development Code.*
2. *The development standards listed above, as established as part of the PAD Overlay District, as well as the standards allowed by use permit in Part 4 will be conformed to for development of this site.*
3. *The proposed PAD is in conformance with provisions in Part 5 for Planned Area Developments.*
4. *The conditions of approval are reasonable to ensure conformance with the provisions of the Zoning and Development Code.*

## **DEVELOPMENT PLAN REVIEW**

### **Site Plan**

The L-shaped site is located on the north-west corner of Curry and Miller roads, with an alley along the west side of the northern portion and on the north side of the southern portion. The lot is comprised of 6 single-family platted properties that would be platted for 18 single-family attached townhomes with common space around four buildings. The alley is incorporated into the circulation, but is not required for ingress and egress; traffic for the lots would enter or exit from either Curry or Miller. The alley is required to be paved the full length from property line to property line, but not required to connect to the nearest street north or west, because it is not intended for a primary path of travel. Access to the alley was necessary for fire access, and provides improved refuse access within the existing alley, which is only 16 feet wide, instead of the typical 20 foot width: the required turning radius is incorporated into the new development. The northern half of the site is oriented with two buildings facing north and south, with the narrow side ends facing Miller Road to the east and the alley to the west. The southern half of the site has buildings oriented east and west, with the narrow side facing Curry Road to the south and the alley to the north. Private ten-foot deep patio yards adjoin each unit. Accessible parking and an accessible sidewalk connect to the public sidewalk on Miller Road. As single-family designed units, there is no requirement for connecting sidewalks between units: the private drives function like courtyards for pedestrian connectivity between units and Curry Road. The units are narrow, only 19' wide and 45' deep, with a single-car garage. The applicant has designed the driveways to function for a second vehicle, similar to many single-family homes in the area with one-car carports and driveway parking for second vehicles. However, the R-3 zoning requires a use permit for tandem parking as the primary parking. Due to the location of the property on two collector streets, there is no on-street parking or parking in the alley or private drives. Although single-family homes do not require guest parking, but typically have on-street parking, additional guest parking has been added on site to accommodate visitors. The site will be controlled by CC&Rs through the HOA responsible for maintenance of the common areas.

## Building Elevations

The project is a unique combination of single family requirements for townhomes, and multi-family standards for safety and design. For instance, the project incorporates a step back in height from 35 feet to 30 feet, and incorporates a landscape buffer. Each lot has a private drive and garage and rear yard, but the units have a uniform appearance in design and color. Lighting is not typically required by single family residences, but is provided for the townhomes. The proposed design blends residential elements such as the garage doors and pitched roof with commercial and industrial elements such as the boxed massing, metal railings and shade canopy details. The colors are a neutral blend of warm and cool tones, highlighted with one dark rust brown color as an accent. The roof material is concrete tile in a warm grey tone that blends with the color of asphalt shingle roofs in the area, but provides a higher quality architectural product. The elevations vary from two building types, but all include patios, balconies, slot windows for interior light and privacy, larger picture windows where appropriate to the interior floor-plan and exterior site configuration. The roofline varies to create slight changes in height. The HVAC units are tucked in on patios off the roof both for aesthetics and energy efficiency. Low-emission glass windows are used for energy efficiency. The primary material is stucco over wood frame, with painted sand finished surfaces. The elevations include pop-outs, patio and screen walls, shade fins over windows, deep roof overhangs, and varied window placement for visual interest. Materials proposed are durable, appropriate to the area, and aesthetically enhance the corner.

## Landscape Plan

The proposed landscape plan provides 35% of the site with landscape materials. It combines traditional residential turf and shade trees with xeriscape ground cover, accents and shrubs. Trees such as *Acacia aneura* (grey narrow-leafed, small thornless moderate growth evergreen), Cascalote Smoothie (green leaflet, small, fast growing thornless yellow flowering evergreen) and Desert Willow (green narrow leafed, medium height, rapid growth, thornless deciduous) are carefully placed to address high power overhead lines on Miller Road, underground water and sewer lines running through the site and a narrow planting areas in back yards and along the alley where refuse trucks drive. Tipu trees (green large pinnate leaves, thornless, large fast growing semi-evergreen) provide shade to the buildings and driveways. *Acacia aneura* trees along the north and west edges adjacent to the alley are spaced 20 feet on center, and will reach 18-20 feet in height to screen the view of the properties to the north and west for privacy. The retention areas are limited by the underground utility easement in alignment with the east/west portion of alley. A pedestrian path from the parking to Miller Road crosses on top of the easement. The landscape along Miller Road includes 20 feet of on-site turf and trees, and 10 additional feet of maintained right of way with xeriscape plants, including lantana and convovulous for year round color. The site has a small pocket park of retention adjacent to the alley on the north-west side. The proposed project is not gated, and provides a welcoming appearance from both streets and alleys. The addition of landscape along the alley is a unique feature to this project, creating a side yard condition for the new development and a more open view of the area, increasing security. Staff has conditioned for more screening in front of the parking area, to screen views of the cars and refuse containers in the alley.

Section 6-306 D Approval criteria for Development Plan Review (*italics*):

1. *Placement, form, and articulation of buildings and structures provide variety in the streetscape*; the building orientation has a 35' structure placed 9' from the property line at the closest point along Curry, and staggers back to open the site up with visibility into the private drive. The building has architectural pop-outs and yard walls that break up the massing. Along Miller, the units are set back 20' with an additional 10' of landscape area maintained within the right of way, creating a 30' "front yard" similar to that found in many of the single family homes within the neighborhood to the north. The buildings are 10' back from the north property line, and 9' back from the west side adjacent to the alley. There is additional landscape along the alley side, creating an enhanced corner to the alley that will be paved and curbed.
2. *Building design and orientation, together with landscape, combine to mitigate heat gain/retention while providing shade for energy conservation and human comfort*; the proposed project provides extensive landscape on all four sides of the buildings, adjacent to the structures and along paved path and drive ways. Street trees will be located to not interfere with high power overhead lines, and the structures themselves will provide shade to the sidewalks along the street front. The buildings will comply with current energy code requirements, and the materials are designed to mitigate energy consumption and heat gain within the units. The attached unit concept with narrow windows provide greater energy efficiency. The light colored roof will reduce heat gain. The use of turf will help cool the site.

3. *Materials are of a superior quality, providing detail appropriate with their location and function while complementing the surroundings;* the product is wood frame construction, with painted stucco finish, the roof is concrete tile, which is a more sustainable product than the asphalt shingles found in nearby residences. The proposed roof overhangs, pitched roof and accompanying balconies, patios and details provide a contemporary product with detail appropriate to the function and context.
4. *Buildings, structures, and landscape elements are appropriately scaled, relative to the site and surroundings;* the proposed design has four separate buildings containing the 18 units. The units are narrow, providing an approximate building length of 95' facing east/west on the south portion and north/south on the northern portion of the L-shaped site. The street and alley facing building width is 45', similar to that of a single family house facing the street. The current and surrounding zoning allows for a height of 30 feet, the project proposes a 35 foot height to accommodate a pitched roof, which is more in keeping with the surrounding residential context. The landscape is designed to maximize shade and screening of the units along the north, west and south facades, and opens up on the east for views of the units which are set back from the sidewalk 30 feet. The proposed design is appropriately scaled for the area.
5. *Large building masses are sufficiently articulated so as to relieve monotony and create a sense of movement, resulting in a well-defined base and top, featuring an enhanced pedestrian experience at and near street level;* the angle of Curry Road and the L-shaped configuration provide a unique design challenge that was met with varied orientation of the units on the site. The massing is broken up by architectural pop-outs and changes in color to accentuate the details. The project transitions from a residential context on the north and west, to an industrial context on the south and east. The use of metal accents and boxed massing ties in to the more contemporary structures along Miller and Curry. The tones are warm and relatively neutral.
6. *Building facades provide architectural detail and interest overall with visibility at street level (in particular, special treatment of windows, entries and walkways with particular attention to proportionality, scale, materials, rhythm, etc.) while responding to varying climatic and contextual conditions;* The street view varies with the building type and orientation, pop-out shade awnings, slot windows, and roof overhangs provide architectural detail unique to this project.
7. *Plans take into account pleasant and convenient access to multi-modal transportation options and support the potential for transit patronage;* the site is designed as a single family product, without specific requirements for internal sidewalks between units. An accessible pathway connects to Miller Road and the private drive may be used to access Curry Road, where the Orbit connects to Tempe Marketplace and Downtown Tempe.
8. *Vehicular circulation is designed to minimize conflicts with pedestrian access and circulation, and with surrounding residential uses;* the proposed circulation route provides a safer paved environment in the alley, with the driveways accessed from private drives, minimizing traffic in the alley. The project provides a necessary turning radius at the corner that is currently not available at the alley intersection. Circulation of the refuse truck to serve the existing residences has traditionally encroached on the vacant lot; this improvement will mitigate storm water drainage in the alley and provide a safer circulation path for refuse and fire serving the larger community.
9. *Plans appropriately integrate Crime Prevention Through Environmental Design principles such as territoriality, natural surveillance, access control, activity support, and maintenance;* the design orientation of the buildings provides an open natural surveillance of the alley with activity support from the units as well as maintenance of the common areas.
10. *Landscape accents and provides delineation from parking, buildings, driveways and pathways;* plantings provide a variety of color, size and texture on site with a combination of larger and patio sized trees, shrubs, xeriscape accents and both turf and xeriscape flowering ground covers. Individual units have trees by the tandem parked driveways. The overall affect will be a park like setting surrounding the four buildings.
11. *Lighting is compatible with the proposed building(s) and adjoining buildings and uses, and does not create negative effects;* the project will be conditioned to use high pressure sodium lights at the request of the neighborhood, to mitigate

glare. The site is designed in compliance with lighting levels for driveways, pedestrian walkways and doors to assure visual surveillance is maintained in evening hours, a condition of approval will be to maintain minimum light levels, rather than over-lighting the site, to maintain a single-family appearance compatible with the neighborhood.

### **Conclusion**

Based on the information provided and the above analysis, staff recommends approval of the requested General Plan Amendment, Zoning Amendment, Planned Area Development and Development Plan Review. This request meets the required criteria and will conform to the conditions.

### **REASONS FOR APPROVAL:**

1. Contingent upon approval of the General Plan density map amendment, the project will meet the General Plan Projected Land Use and Projected Residential Density for this site.
2. Contingent upon approval of the Zoning district amendment, the project will meet the development standards required under the Zoning and Development Code.
3. Contingent upon approval of the PAD, the PAD overlay process was specifically created to allow for greater flexibility to accommodate uniquely designed developments.
4. The proposed project meets the approval criteria for a General Plan Amendment, Zoning Amendment, Planned Area Development and Development Plan Review.

### **CONDITIONS OF APPROVAL:**

EACH NUMBERED ITEM IS A CONDITION OF APPROVAL. THE DECISION-MAKING BODY MAY MODIFY, DELETE OR ADD TO THESE CONDITIONS.

#### **General**

1. A building permit application shall be made on or before February 7, 2015, or the zoning of the property may revert to that in place at the time of application. Any reversion is subject to a public hearing process as a zoning map amendment.
2. The property owner shall sign a waiver of rights and remedies form. By signing the form, the Owner(s) voluntarily waive(s) any right to claim compensation for diminution of Property value under A.R.S. §12-1134 that may now or in the future exist, as a result of the City's approval of this Application, including any conditions, stipulations and/or modifications imposed as a condition of approval. The signed form shall be submitted to the Community Development Department no later than March 7, 2013, or the General Plan and Zoning map amendments and PAD approval shall be null and void.
3. The Planned Area Development for BELLA VITA TOWNHOMES shall be put into proper engineered format with appropriate signature blanks and kept on file with the City of Tempe's Community Development Department prior to issuance of building permits.
4. An amended Subdivision Plat is required for this development and shall be recorded prior to issuance of building permits.
5. A Use Permit for tandem parking shall be obtained prior to issuance of building permit.
6. The Subdivision Plat shall be put into proper engineered format with appropriate signature blanks and recorded with the Maricopa County Recorder's Office through the City of Tempe's Community Development Department on or before February 7, 2014. Failure to record the plat on or before February 7, 2014, within one year of City Council approval, shall make the plat null and void.
7. All property corners shall be set and verified with staff upon final recordation of the subdivision plat, no later than three (3) months from the date of County recordation or as determined by staff.

#### **Site Plan**

8. Provide screen walls that are at least the height of the HVAC equipment. Verify height of equipment and mounting base to ensure that wall height is adequate to fully screen the equipment.
9. Provide gates of steel vertical picket, steel mesh, steel panel or similar construction. Provide gates of height that match that of the adjacent enclosure walls. Review gate hardware with Building Safety and Fire staff and design gate to resolve lock and emergency ingress/egress features that may be required.
10. Provide upgraded paving at each driveway consisting of unit paving. Extend this paving in the driveway from the right-of-way line to 20'-0" on site and from curb to curb at the drive edges. From sidewalk to right-of-way line, extend concrete paving to match sidewalk.
11. Utility equipment boxes for this development shall be finished in a neutral color (subject to utility provider approval) that compliments the coloring of the buildings.
12. Place exterior, freestanding reduced pressure and double check backflow assemblies in pre-manufactured, pre-finished, lockable cages (one assembly per cage). If backflow prevention or similar device is for a 3" or greater water line, delete cage and provide a masonry or concrete screen wall following the requirements of Standard Detail T-214.

### **Building Elevations**

13. The materials and colors are approved as presented:
  - Concrete Tile – Eagle Cement Co. – Eagle#4687 (medium warm grey)
  - Building Primary Body – Stucco, Sand Finished – Painted Dunn Edwards DE6212 Crisp Muslin (beige)
  - Exterior Accent Walls (Stucco, Sand Finished), Garage and Entry Doors – Painted Dunn Edwards DE6214 Pigeon Gray (light brown)
  - Exterior Accent Walls – Stucco, Sand Finished – Painted Dunn Edwards DEC706 Rosewood (rust)
  - Handrails, Metal Columns - Painted Dunn Edwards DE6359 Silver Setting (light grey/off white)
  - Sunscreen Fins – Nucor Industries Metal Sunscreens Polar White SPD0132 (light grey/off white)

Provide main colors and materials with a light reflectance value of 75 percent or less. Specific colors and materials exhibited on the materials sample board are approved by planning staff. Additions or modifications may be submitted for review during building plan check process.
14. Provide secure roof access from the interior of the building. Do not expose roof access to public view.
15. Conceal roof drainage system within the interior of the building. Minimize visible, external features, such as overflows, and where needed design these to enhance the architecture of the building.
16. Incorporate lighting, address signs, and incidental equipment attachments (alarm klaxons, security cameras, etc.) where exposed into the design of the building elevations. Exposed conduit, piping, or related materials is not permitted.
17. Electrical service entrance section (S.E.S.) are located on the alley side and shall either be located vertically on the wall at a height lower than the height of walls on adjacent properties, (out of view from neighboring properties), or provide a screen material in front of these units.

### **Lighting**

18. This project shall follow requirements of ZDC Part 4, Chapter 8, Lighting, unless otherwise conditioned:
  - a) Illuminate building entrances with 4 foot candles with photo cell controlled fixtures from dusk to dawn.
  - b) Private drives and alley to be illuminated to 1 foot candle.
  - c) Photometrics on west side of alley to be 0 foot candles.
  - d) Sidewalk to be illuminated to .5 foot candles.
  - e) High Pressure Sodium lights to be used for alley, private drive, and any exterior lighting facing other residences.

### **Landscape**

19. Provide vehicle screen wall to the east of the parking spaces aligned with the alley.



20. Provide additional shrub vegetation in this area to screen the view of the refuse containers in the alley from view on Miller Road.
21. The plant palette is approved as proposed and specified on the landscape plan, with the following exceptions:
  - a) Trees along perimeter of the site shall be a minimum of 1 1/2 " caliper trunk.
  - b) Shrubs within 12 feet of the public sidewalk shall be no taller than 3' in height.
  - c) Species used as a visual screen along the north and west perimeter shall be evergreen species that will be a minimum of 11 feet tall when installed, and have sufficient spread and vegetative density to screen views.
  - d) Any additions or modifications may be submitted for review during building plan check process.
22. Irrigation notes:
  - a. Provide dedicated landscape water meter.
  - b. Provide pipe distribution system of buried rigid (polyvinylchloride), not flexible (polyethylene). Use of schedule 40 PVC mainline and class 315 PVC 1/2" feeder line is acceptable. Class 200 PVC feeder line may be used for sizes greater than 1/2". Provide details of water distribution system.
  - c. Locate valve controller in a vandal resistant housing.
  - d. Hardwire power source to controller (a receptacle connection is not allowed).
  - e. Controller valve wire conduit may be exposed if the controller remains in the mechanical yard.
23. Include requirement to de-compact soil in planting areas on site and in public right of way and remove construction debris from planting areas prior to landscape installation.
24. Top dress planting areas with a rock or decomposed granite application. Provide rock or decomposed granite of 2" uniform thickness. Provide pre-emergence weed control application and do not underlay rock or decomposed granite application with plastic.
25. Trees shall be planted a minimum of 12'-0" from any existing or proposed public water or sewer lines located on-site. Trees near the main water or sewer lines located within the right of way shall be planted at least 20'-0" away. Final approval subject to determination by the Public Works, Water Utilities Division.
26. The tree planting separation requirements may be reduced from the waterline upon the installation of a linear root barrier, a minimum of 6'-0" parallel from the waterline, or around the tree. The root barrier shall be a continuous material, a minimum of 0.08" thick, installed 0'-2" above finish grade to a depth of 8'-0" below grade. Final approval subject to determination by the Public Works, Water Utilities Division.

### **Signage**

27. Alley and private drives shall be signed for no parking at any time.
28. Private drive shall be signed as private drive.
29. Provide address sign(s) on the building elevation facing the street to which the property is identified.
  - a. Conform to the following for building address signs:
    - 1) Provide street number only, not the street name
    - 2) Compose of 6" high, individual mount address numerals on each unit with a dedicated light source.
    - 3) Coordinate address signs with trees, vines, or other landscaping, to avoid any potential visual obstruction.
    - 4) Do not affix numbers or letters to elevations that might be mistaken for the address.
  - b. Utility meters shall utilize a minimum 1" number height in accordance with the applicable electrical code and utility company standards.

### **CODE/ORDINANCE REQUIREMENTS:**

THE BULLETED ITEMS REFER TO EXISTING CODE OR ORDINANCES THAT PLANNING STAFF OBSERVES ARE PERTINENT TO THIS CASE.

THE BULLET ITEMS ARE INCLUDED TO ALERT THE DESIGN TEAM AND ASSIST IN OBTAINING A BUILDING PERMIT AND ARE NOT AN EXHAUSTIVE LIST.

- The owner(s) shall provide a continuing care condition, covenant and restriction for all of the project's landscaping, required by Ordinance or located in any common area on site. The CC&R's shall be reviewed and placed in a form satisfactory to the Community Development Manager and City Attorney.
- Specific requirements of the **Zoning and Development Code (ZDC)** are not listed as a condition of approval, but will apply to any application. To avoid unnecessary review time and reduce the potential for multiple plan check submittals, become familiar with the ZDC. Access the ZDC through [www.tempe.gov/zoning](http://www.tempe.gov/zoning) or purchase from Community Development.
- **SITE PLAN REVIEW:** Verify all comments by the Public Works Department, Community Development Department, and Fire Department given on the Preliminary Site Plan Review. If questions arise related to specific comments, they should be directed to the appropriate department, and any necessary modifications coordinated with all concerned parties, prior to application for building permit. Construction Documents submitted to the Building Safety Division will be reviewed by planning staff to ensure consistency with this Design Review approval prior to issuance of building permits.
- **STANDARD DETAILS:**
  - Access to Tempe Supplement to the M.A.G. Uniform Standard Details and Specifications for Public Works Construction, at this link: [www.tempe.gov/index.aspx?page=2147](http://www.tempe.gov/index.aspx?page=2147) or purchase book from the Public Works Engineering Division.
- **BASIS OF BUILDING HEIGHT:** Measure height of buildings from top of curb at a point adjacent to the center of the front property line.
- **HISTORIC PRESERVATION:** Although this site is not identified as part of an archeological area, its proximity to the Indian Bend Pump Ditch (underground), and condition as undisturbed desert land should warrant caution. State and federal laws apply to the discovery of features or artifacts during site excavation (typically, the discovery of human or associated funerary remains). Contact the Historic Preservation Officer with general questions. Where a discovery is made, contact the Arizona State Historical Museum for removal and repatriation of the items.
- **SECURITY REQUIREMENTS:**
  - Design building entrance(s) to maximize visual surveillance of vicinity. Limit height of walls or landscape materials, and design columns or corners to discourage to opportunity for ambush opportunity. Maintain distances of 20'-0" or greater between a pedestrian path of travel and any hidden area to allow for increased reaction time and safety.
  - Follow the design guidelines listed under appendix A of the Zoning and Development Code. In particular, reference the CPTED principal listed under A-II Building Design Guidelines (C) as it relates to the location of pedestrian environments and places of concealment.
  - The Owner is required to prepare a security plan for the townhouses. The architect should be involved to verify any modification that would require design revisions. To avoid revisions to permitted construction documents, initial meetings with the Police Department regarding the security plan are recommended before building permits are issued. At a minimum, the Owner shall contact the Police Department to begin security plan process approximately eight weeks prior to receipt of certificate of occupancy.
- **FIRE:** Clearly define the fire lanes. Ensure that there is at least a 20'-0" horizontal width, and a 14'-0" vertical clearance from the fire lane surface to the underside of tree canopies or overhead structures. Layout and details of fire lanes are subject to Fire Department approval.
- **ENGINEERING:**
  - Underground utilities except high-voltage transmission line unless project inserts a structure under the transmission

line.

- Coordinate site layout with Utility provider(s) to provide adequate access easement(s).
- Clearly indicate property lines, the dimensional relation of the buildings to the property lines and the separation of the buildings from each other.
- Verify location of any easements, or property restrictions, to ensure no conflict exists with the site layout or foundation design.
- 100 year onsite retention required for this property, coordinate design with requirements of the Engineering Department.
  
- REFUSE:
  - Alley containers for refuse is acceptable, cans must be located on the west side and north side of the respective alleys.
  - Contact Public Works Sanitation Division to verify that vehicle maneuvering and access is adequate.
  - Develop strategy for recycling collection and pick-up from site with Sanitation. Roll-outs may be allowed for recycled materials. Coordinate storage area for recycling containers with overall site and landscape layout.
  
- DRIVEWAYS:
  - Construct driveways in public right of way in conformance with Standard Detail T-320.
  - Correctly indicate clear vision triangles at both driveways on the site and landscape plans. Identify speed limits for adjacent streets at the site frontages. Begin sight triangle in driveways at point 15'-0" in back of face of curb. Consult Intersection Sight Distance memo, available from Traffic Engineering if needed [www.tempe.gov/index.aspx?page=801](http://www.tempe.gov/index.aspx?page=801) . Do not locate site furnishings, screen walls or other visual obstructions over 2'-0" tall (except canopy trees are allowed) within each clear vision triangle.
  
- PARKING SPACES:
  - Verify conformance of accessible vehicle parking to the Americans with Disabilities Act of 1990 (42 U.S.C.A. §12101 ET SEQ.) and the Code of Federal Regulations Implementing the Act (28 C.F.R., Part 36, Appendix A, Sections 4.1 and 4.6). Refer to Standard Detail T-360 for parking layout and accessible parking signs.
  - At parking areas, provide demarcated accessible aisle for disabled parking.
  - Distribute bike parking areas nearest to main entrance(s). Provide parking loop/rack per standard detail T-578. Provide 2'-0" by 6'-0" individual bicycle parking spaces. One loop may be used to separate two bike parking spaces. Provide clearance between bike spaces and adjacent walkway to allow bike maneuvering in and out of space without interfering with pedestrians, landscape materials or vehicles nearby.
  
- LIGHTING:
  - Indicate the location of all exterior light fixtures on the site, landscape and photometric plans. Avoid conflicts between lights and trees or other site features in order to maintain illumination levels for exterior lighting.

#### **HISTORY & FACTS:**

1930-1957      The land was desert.

April 11, 1957      The Maricopa County Board of Supervisors approved North Tempe Three, a Subdivision Plat. Princess Drive (now Curry Road) ran parallel to the Indian Bend Irrigation Ditch, which turned north and followed parallel to Miller Road. The area was then graded and the road infrastructure of Curry and Miller started.

1962              Based on aerial records of the Flood Control District of Maricopa County, residences were developed to the north and west of these corner lots.

January 24, 2964 Tempe City Council approved a Zoning Ordinance map including annexation of portions of north Tempe which were formerly within the jurisdiction of Maricopa County. All existing development would be grandfathered in, and no records of development available in Tempe.

- 1969            The county island to the south began to develop.
- 1979            The property to the east of Miller began to develop and the northwest corner was surrounded by residential development on the north and west sides. While properties around these lots developed, this corner has remained vacant since annexation.

**ZONING AND  
DEVELOPMENT  
CODE REFERENCE:**

- Section 6-303, General Plan Map Amendment  
Section 6-304, Zoning Map Amendment  
Section 6-305, Planned Area Development (PAD) Overlay Districts  
Section 6-306, Development Plan Review



# DEVELOPMENT PROJECT FILE

for

## BELLA VITA

### ATTACHMENTS:

- 1-3. Waiver of Rights and Remedies form
4. Location Map
5. Aerial Photo
- 6-10. Letter of Explanation for General Plan, Zoning Amendment & PAD
11. General Plan Existing/Projected Density Maps
12. General Plan Proposed Density Map Amendment
13. Zoning Map
- 14-15. Letter of Explanation for Development Plan Review
16. PAD Cover Sheet CS
17. Site Plan A100
18. Site Data A100b (enlarged)
19. Site Data A100c (enlarged)
- 20-34. Floor Plans A200 (enlarged series)
- 35-38. Elevations for Townhouses A300 (series)
39. Sections A304
- 40-44. Color Elevations
- 45-46. Preliminary Grading & Drainage
- 47-48. Landscape Plan & Legend (enlarged)
49. Color Board (color copy, original available at hearing)
- 50-51. Neighborhood Meeting Summary

**WHEN RECORDED RETURN TO:**  
City of Tempe  
Community Development Department  
31 E. 5<sup>th</sup> Street  
Tempe, AZ. 85281

**WAIVER OF RIGHTS AND REMEDIES  
UNDER A.R.S. §12-1134**

This Waiver of Rights and Remedies under A.R.S. § 12-1134 (Waiver) is made in favor of the City of Tempe (City) by Trio LLC (Owner), an Arizona Limited Liability Company.

Owner acknowledges that A.R.S. § 12-1134 provides that in some cases a city must pay just compensation to a land owner if the city approves a land use law that reduces the fair market value of the owner's property (Private Property Rights Protection Act).

Owner further acknowledges that the Private Property Rights Protection Act authorizes a private property owner to enter an agreement waiving any claim for diminution in value of the property in connection with any action requested by the property owner.

Owner has submitted Application No. **PL110300** to the City requesting that the City approve the following:

- GENERAL PLAN AMENDMENT
- ZONING MAP AMENDMENT
- PAD OVERLAY
- HISTORIC PRESERVATION DESIGNATION/OVERLAY
- USE PERMIT
- VARIANCE
- DEVELOPMENT PLAN REVIEW
- SUBDIVISION PLAT/CONDOMINIUM PLAT
- OTHER \_\_\_\_\_  
*(Identify Action Requested)*

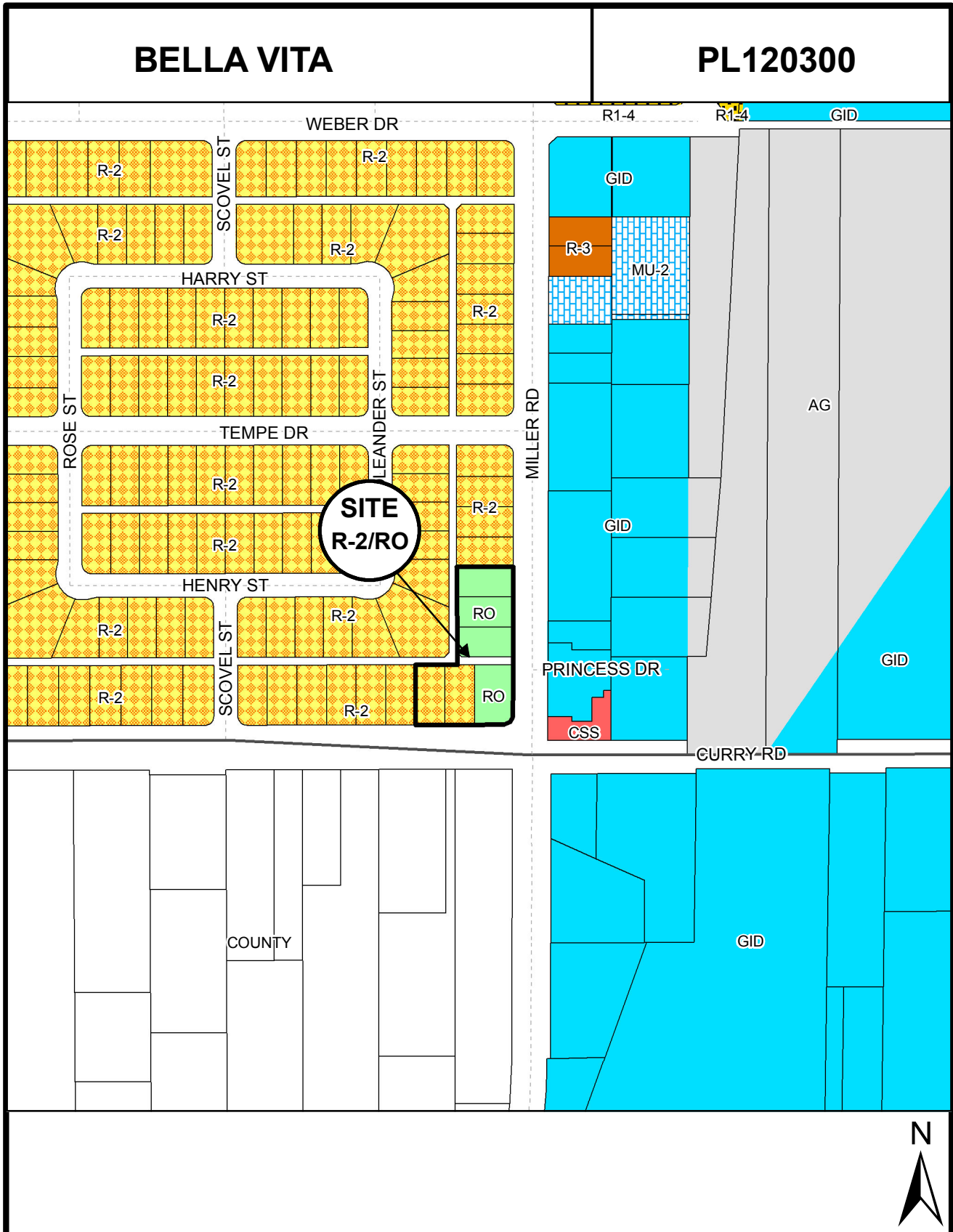
for development of the following real property (Property):

Lots 249 through 254, inclusive; and that part of the east-west and north-south abandoned alley bounded on the west by the northerly prolongation of the west line of Lot 249, bounded on the east by the southerly prolongation of the easterly line of Lots 252 through 254, and bounded on the north by the westerly prolongation of the north line of Lot 254, all









**Location Map**



**BELLA VITA (PL120300)**





**e project**

Architecture - Renewable Energy Developments

December 27, 2012

Development Plan Review Commission  
City of Tempe  
31 East Fifth Street  
Tempe, AZ 85281

RE: **Bella Vita** - Case Number SPR 12140

***Letter of Intent***

Dear City Council Members:

E Project and TRIO, LLC are pleased to present “Bella Vita” 18 townhomes development.

Our new multi-family development, **Bella Vita**, located at NWC of Curry Road and Miller Road, is an urban style infill project using six lots that have sat vacant and undeveloped for nearly 50 years. These 18 townhomes, constructed as three story wood frame structures with urban and modern style, will attract young professionals, students and families.

We are requesting your approval for following:

- General Plan Amendment
- Zoning Map Amendment
- Planned Area Development Overlay

***General Plan Amendment Request:***

We are proposing to amend the 2030 General Plan from projected Low to Moderate density of 9.0 du/ac to Medium to High density of 20.0 du/ac.

This proposed amendment supports the Land Use Principles in General Plan 2030 by providing additional housing for the nearly 200,000 project residents Tempe hopes to accommodate in the coming decades. An amendment to the General Plan addresses one of the General Plan's top priorities - the use of vacant land. The property in question will soon be unoccupied and unused. Turning the soon to be vacant land into a residential development will contribute to the "Neighborhood" element. The proposed change meets the following objectives of the Land Use element: encourage housing initiatives, encourage redevelopment, promote neighborhood preservation and enhancement. Two important strategies the General Plan outlines in achieving

these goals is to allow flexibility in housing location, type and density and encouraging development of housing in close proximity to employment and services. The proposed “Bella Vita” multi-family residential project at this location would help meet objectives and strategies for fulfilling the given objectives.

The Bella Vita will serve young professionals moving to an area due to changed family conditions or new employment in the immediate area. Additionally, the proposed project is compatible with the ASU campus needs and it is located only one mile to the south of our project.

This particular land was always vacant and its particular surroundings made it really difficult for real estate developers to make some sense of it. Surrounded with high voltage lines along Curry and Miller and high traffic density and noise, it would be unlikely developed in single family homes development with density projected by General Plan 2030. On East side and South side of our project, we have light industrial and commercial use properties. Higher density residential project was the only solution. Townhomes project that we are proposing is bringing together ideas of preserving home ownership and reinvesting in local economy. The proposed residential project is well-aligned with contributing to this Growth Area by providing appropriately dense housing in conjunction with the Projected Density of the General Plan. It is for these reasons that we believe the proposed amendment to the General Plan is in conformance with the spirit and objectives of the General Plan. As such, we seek your approval of the modification to the Residential Density of this property.

***Zoning Map Amendment:***

We are requesting to change zoning district designations from existing R-2 and R/O to R-3(PAD). Existing zoning designation and its density of 10.0 du/ac is already above projected residential density regulated by General Plan 2030.

Proposed zoning district R-3 density will allow us to have up to 20.0 du/ac, but under PAD Overlay we will limit our project to 16.0 du/ac and that would be in general conformance with requested Amendment to the 2030 General Plan.

***Planned Area Development Overlay Request:***

The requested PAD Overlay will be in proposed Multi-Family R-3 district for 4 townhouse buildings with total of 18 new townhome units. Proposed PAD will modify individual lot standards per table below. We are also working with Fire Department to allow us to use our driveways from Miller Road and Curry Road as a access points for fire tracks, without a need for thru traffic for Fire Department vehicles.

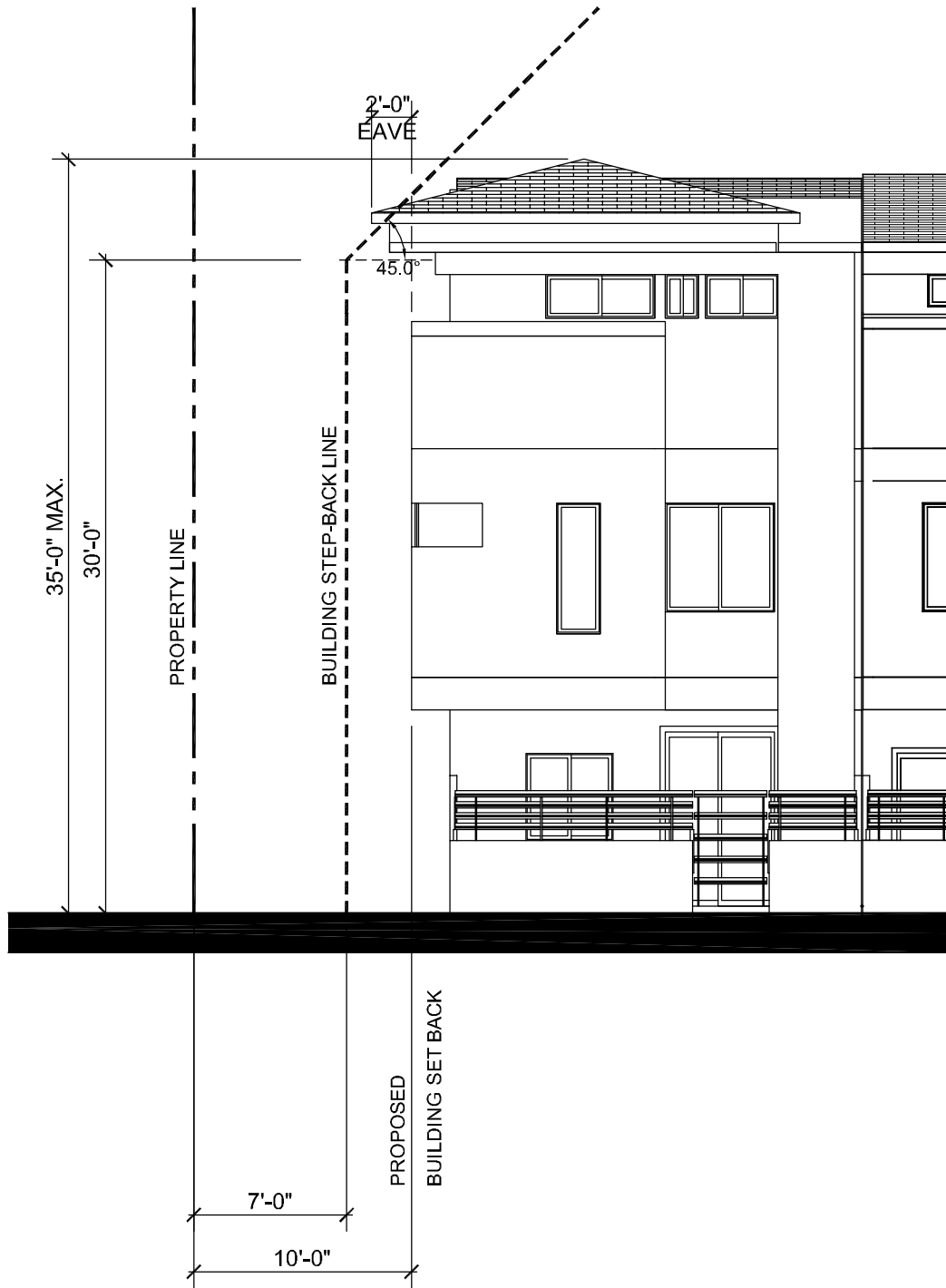
COMPARISON CHART FOR ZONING STANDARDS				
STANDARD	EXISTING		PROPOSED	
	R-2	R/O	R-3	R-3/PAD
<b>Density</b>	10	10	20	16
<b>Building Height</b>				
Building Height	30 ft	30 ft	30 ft	<b>35 ft</b>
Maximum Building Height	No	No	No	Yes
Step-Back Required				
Adjacent to SF or MF Districts				
<b>Maximum LOT Coverage</b>	45%	35%	50%	<b>70 %</b>
<b>Maximum PROJECT Coverage</b>	45%	35%	50%	<b>28.44%</b>
<b>Maximum LOT Landscape Area</b>	30%	30%	25%	<b>15%</b>
<b>Maximum Project Landscape Area</b>	30%	30%	25%	<b>35%</b>
<b>Setbacks ( LOT )</b>				
<b>Front</b>				
Building	20 ft	15 ft	20 ft	20 ft
Open Structure	15 ft	15 ft	15 ft	NA
Parking	20 ft	20 ft	20 ft	<b>0</b>
<b>Side</b>				
Building Walls	10 ft	10 ft	10 ft	<b>0</b>
Porch, Balcony,	5 ft	5 ft	5 ft	<b>0</b>
Patio Wall,	0	10 ft	0	<b>0</b>
Common Walls				
<b>Rear</b>				
Building Wall,	15 ft	10 ft	15 ft	<b>10 ft / 7 ft (*)</b>
Porch, Balcony,				
<b>Setbacks ( PROJECT )</b>				
<b>Front (Curry Road)</b>	20 ft	15 ft	20 ft	<b>9 ft</b>
<b>West Side</b>	10 ft	10 ft	10 ft	<b>10 ft / 7 ft (*)</b>
<b>West Side (Alley)</b>	10 ft	10 ft	10 ft	<b>9 ft / 6 ft (*)</b>
<b>Rear</b>	15 ft	10 ft	15 ft	<b>10 ft / 7 ft (*)</b>
<b>East Side (Miller Rd)</b>	10 ft	10 ft	10 ft	20 ft

Remarks:

(\*) Shorter dimension indicates location of 30 Feet Building Height Step-Back Line.

Longer Dimension indicates Building Set Back Line.

For 30 feet Building Step-Back Line and its relationship to Building Set Back Line, refer to following section.



## SECTION AT PROPERTY LINE

**e project**

917 W. Kathleen Rd. Phoenix, AZ 85023  
 phone: 602/481-9282 fax: 480/359-4407  
 e-mail: e-project@cox.net

*Bella Vita*  
**18 Townhomes**  
 1004 N. Miller Rd Tempe AZ

DATE:	<b>12/21/12</b>
SCALE:	<b>nts</b>
SHEET:	<b>A100s</b>

Reason why we are requesting building height increase from 30 feet to 35 feet is to create a building design with more residential character and sloped roofs that would better fit in existing neighborhood and at the same time bring fresh and modern influence to entire area. We were trying to stay away from flat roofs design and roof top mechanical units for several reasons. One is esthetics. Another one is maintenance and longer life time of sloped roofs that contributes to sustainable aspect of our project. And the most important is energy efficiency. Sloped roofs can be better isolated and our mechanical units compressors will be placed actually on terraces over garages on 2<sup>nd</sup> level. We have intentionally placed these units on middle level so refrigeration lines are short and that would make this project more air conditioning system more efficient than one with roof top units.

Before starting design process we unofficially met with neighbors to see what kind of development would they like or oppose. After their input we have decided not to pursue higher density project for apartment complex. Idea of having townhomes project with simple fee ownership seemed to be concept to move forward with.

10 feet building set back at north side will allow new home owners to have small rear yard and will not affect much our northern neighbor since our rear yards will be looking mostly at his side yard. West facing rear yards from townhouse building no.1 are facing vacant lot owned by church that we are planning to acquire in the future. As far as west setback at alley side, our townhouse buildings no.3 and no.4 are rotated in such way that we don't have any living or sleeping room openings facing west side. In that way we have solved our major concern of privacy to the neighbor to the West.

If PAD option was not available to development team, we would never consider this project.

(PAD) will allow development team to make this project feasible, invest and reinvest in local economy and real estate market. We are so thrilled to be part of redevelopment of this area. This project will definitely open eyes to other developers who are seeking infill projects opportunities in the area and with that completely reach main goals of General Plan 2030.

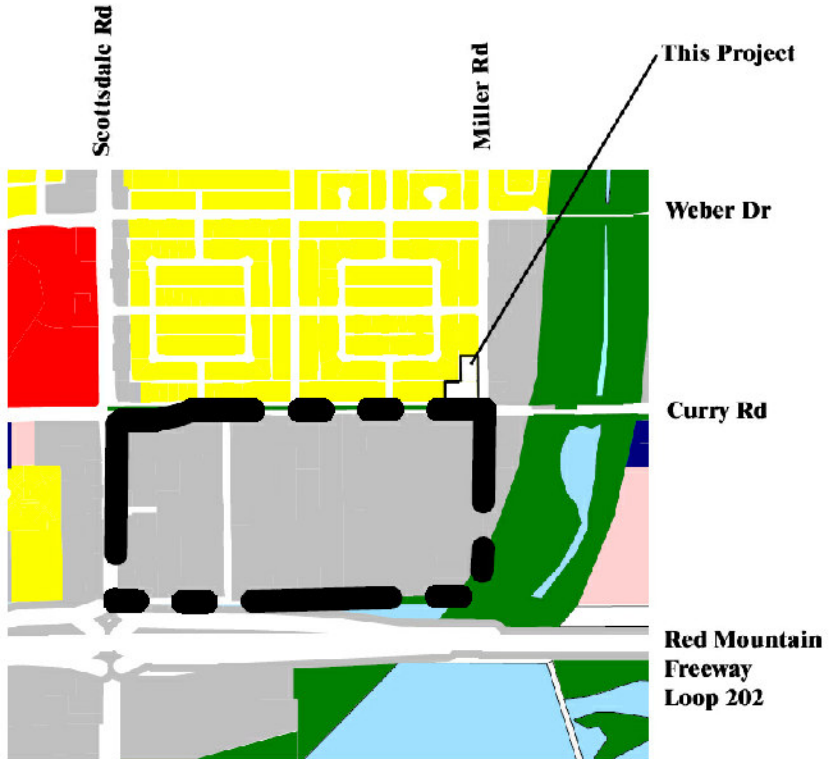
Sincerely,



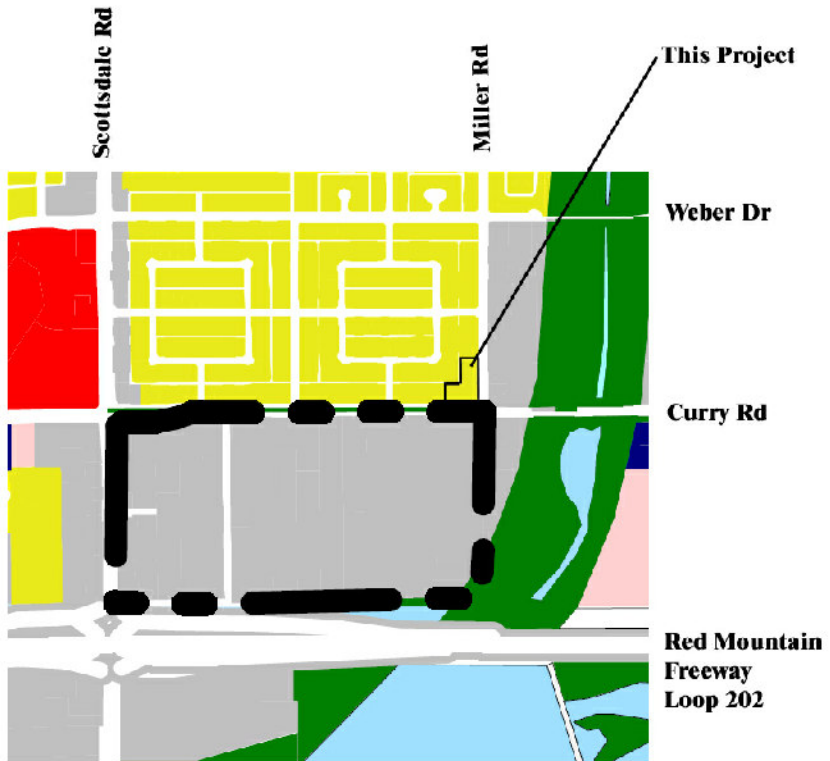
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Edmir Dzudza, AIA

p.p. Hudd Hassel



Existing Residential Density / General Plan 2030 Vacant



Projected Residential Density / General Plan 2030 Low to Moderate Density ( up to 9 du/ac )

This Project

This Project

**e project**

917 W. Kathleen Rd. Phoenix, AZ 85023  
 phone: 602/481-9282 fax: 480/359-4407  
 e-mail: e-project@cox.net

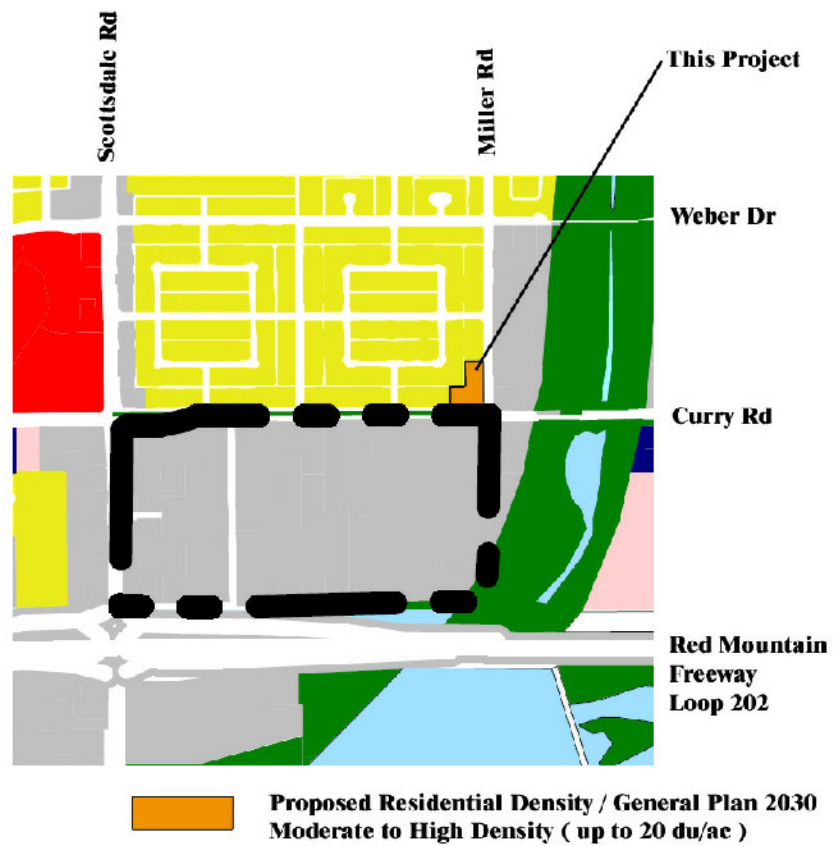
*Bella Vita*

**18 Townhomes**

1004 N. Miller Rd Tempe AZ

date:  
11/19/12





**e project**

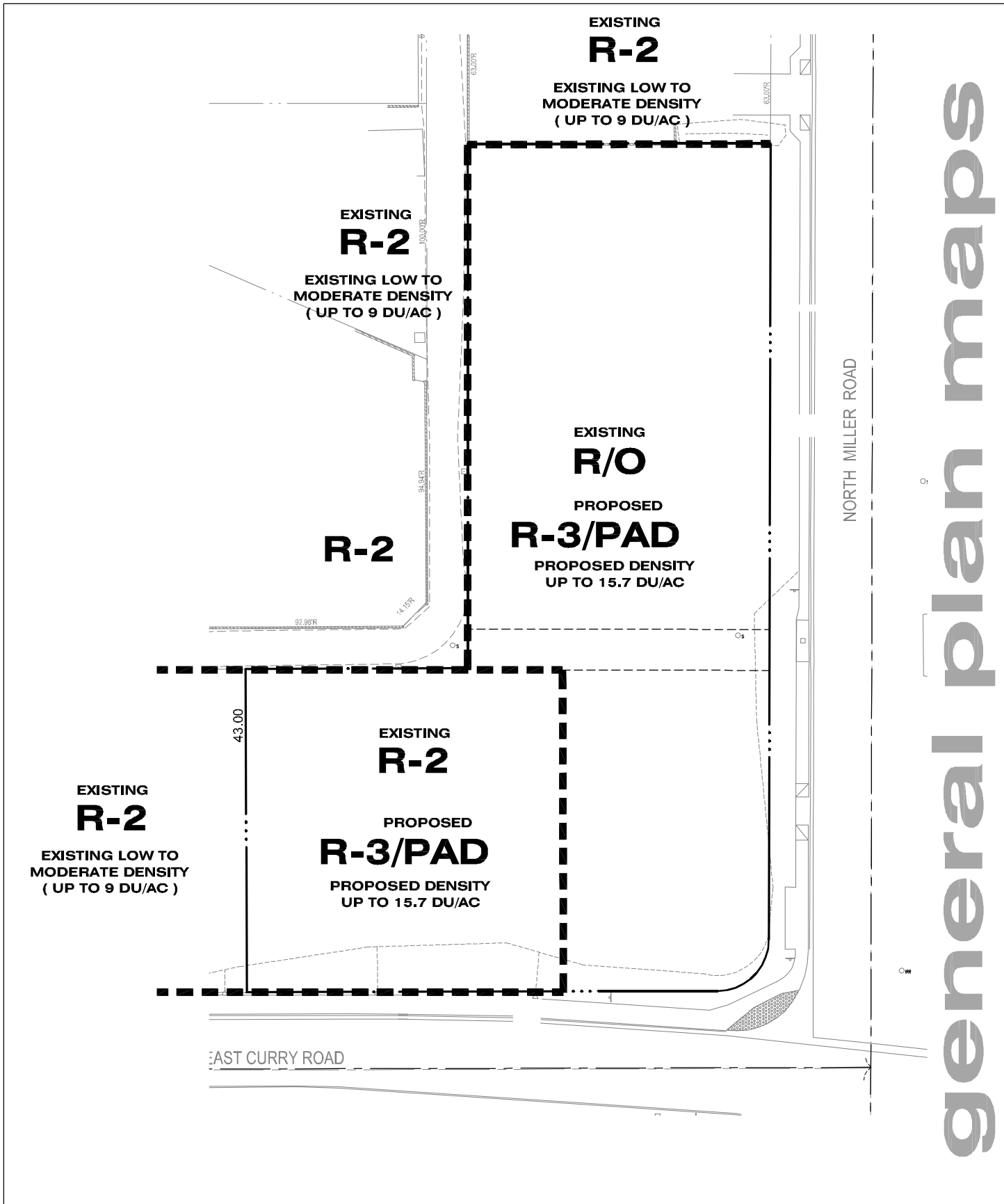
917 W. Kathleen Rd. Phoenix, AZ 85023  
phone: 602/481-9282 fax: 480/359-4407  
e-mail: e-project@cox.net

*Bella Vita*

**18 Townhomes**

1004 N. Miller Rd Tempe AZ

DATE:	<b>12/27/12</b>
SCALE:	<b>NTS</b>
SHEET:	



general plan maps

**e project**  
 917 W. Kathleen Rd. Phoenix, AZ 85023  
 phone: 602/481-9282 fax: 480/359-4407  
 e-mail: e-project@cox.net

*Bella Vita*  
**18 Townhomes**  
 1004 N. Miller Rd Tempe AZ

DATE:	<b>12/27/12</b>
SCALE:	<b>NTS</b>
SHEET:	



**e project**

Architecture - Renewable Energy Developments

December 27, 2012

Development Plan Review Commission  
City of Tempe  
31 East Fifth Street  
Tempe, AZ 85281

RE: **Bella Vita** - Case Number SPR 12140

***Letter of Explanation***

Dear Development Plan Review Members:

Our new multi-family development, **Bella Vita**, located at NWC of Curry Road and Miller Road, is an urban style infill project using six lots that have sat vacant and undeveloped for nearly 50 years. These 18 townhomes, constructed as three story wood frame structures with urban and modern massing, will attract young professionals, students and families. We paid a special attention to privacy concerns from our neighbors to the West and to the North. Townhouse buildings are positioned on site in such manner to create a sense of neighborhood and to protect existing homeowners on West and North side from traffic noise from Miller Road and Curry Road. We also paid a special attention to privacy concerns. Third level openings facing West and North are clerestory openings from master bathrooms and master closets with sill height of minimum 5 feet.

One of reasons for choosing three story structures is to maximize the landscape area and to reduce the heat island effect. The air conditioning systems will be placed on top of the garage decks and screened for visual and noise attenuation. Short refrigeration lines will make A/C systems more energy efficient. We are also planning to provide window shade in the form of deep roof overhangs on portions of the buildings. Finish materials will be locally sourced and the stucco system will have an earthy colors palette.

The building design incorporates a variety of architectural elements as masses, pop-outs, openings, terraces and railings that makes this a quality development, elevating the surrounding neighborhood. The building design incorporates a vertical step back concept that makes this project more human scale even though the units are three stories. The base is set with single car garages projecting out of main building mass at the front and with rear patio fencing at the back. Portions of the roof have deep, butterfly overhangs in the middle supported by metal columns. Windows are

shaped as a long and skinny, oriented vertically or horizontally, to provide more security and also privacy and interior comfort.

All on-site utilities will be placed underground. Building entrances and sidewalks will be well illuminated. This site will be designed to meet ADA requirements. This project site is well connected with public transportation and bicycle lanes are in close proximity. We have included four bicycle racks as required by the Zoning Ordinance and have separated pedestrian access from Miller Rd from vehicular access on both Curry Rd and Miller Rd. This 18-unit townhome project will not present any major impact to city transportation policies and design criteria.

This development will be huge improvement in this neighborhood. Development is open in nature and, combined with street lighting, provides a good surveillance vision lines to law enforcement. Project will be maintained by an HOA which will help keep this community and the looking great. On-site parking will be partially tandem parking and separated by landscaped islands.

We believe that our development will improve the neighborhood and may also stimulate real estate development in this area and look forward to your comments and ultimate approval.

Sincerely,



---

Edmir Dzudza, AIA

p.p. Hudd Hassel

# PLANNED AREA DEVELOPMENT OVERLAY FOR BELLA VITA

A PORTION OF THE NORTH HALF OF THE SOUTH EAST QUARTER OF SECTION 11, TOWNSHIP 1, RANGE 4 EAST OF THE  
GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY ARIZONA

**ACKNOWLEDGMENT**  
ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2012, BEFORE ME,  
THE UNDERSIGNED, PERSONALLY APPEARED HUDD HASSEL,  
WHO ACKNOWLEDGED HIMSELF TO BE THE PERSON WHOSE NAME IS  
SUBSCRIBED TO THE INSTRUMENT WITHIN, AND WHO EXECUTED  
THE FOREGOING INSTRUMENT FOR THE PURPOSES THEREIN CONTAINED.

IN WITNESS WHEREOF, I HEREBY SET MY HAND AND OFFICIAL SEAL

BY: \_\_\_\_\_ MY COMMISSION EXPIRES \_\_\_\_\_  
NOTARY PUBLIC \_\_\_\_\_ MY COMMISSION EXPIRES \_\_\_\_\_  
TRIO, L.L.C., AND ARIZONA LIMITED LIABILITY  
COMPANY:

BY: HUDD HASSEL \_\_\_\_\_ DATE: \_\_\_\_\_  
ITS: MANAGER \_\_\_\_\_

## LEGAL DESCRIPTION

LOTS 249 THROUGH 254, INCLUSIVE; AND THAT PART OF THE EAST-WEST AND NORTH SOUTH ABANDONED ALLEY BOUNDED ON THE WEST BY THE NORTHERLY PROLONGATION OF THE WEST LINE OF LOT 249; BOUNDED ON THE EAST BY THE SOUTHERLY PROLONGATION OF THE EASTERLY LINE OF LOTS 252 THROUGH 254; AND BOUNDED ON THE NORTH BY THE WESTERLY PROLONGATION OF THE NORTH LINE OF LOT 254. ALL REFERENCED LOTS ARE A PART OF NORTH TEMPE THREE, AS RECORDED IN BOOK 71 OF MAPS, PAGE 40, MARICOPA COUNTY RECORDS, ARIZONA.

## APPROVAL

APPROVED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF TEMPE ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 201\_\_\_\_.

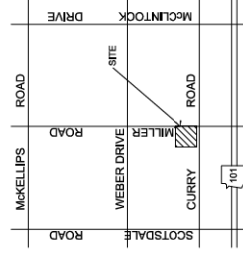
## OWNER/DEVELOPER

OWNER : TRIO, LLC  
2043 S. CONSTELLATION CT  
GILBERT, AZ  
ADDRESS : 1104 N. MILLER RD  
TEMPE, AZ 85281  
APPLICANT / HUDD HASSEL  
PROJECT MANAGER  
PHONE : 602-525-0000

## PROJECT DATA

ZONING DISTRICT: R-2 / R-O  
EXISTING: R-3 (PAD)  
PROPOSED: 18 UNITS  
DWELLING QUANTITY: 18 UNITS  
DENSITY: 10.0 DU/AC  
PROPOSED: 15.7 DU/AC.  
MINIMUM LOT AREA: 3,600 SF  
EXISTING: 1,250 SF  
PROPOSED: 30 FEET  
BUILDING HEIGHT: 38 FEET  
PROPOSED: 35%  
MAXIMUM PROJECT LOT COVERAGE: 28.44 %  
EXISTING: 35%  
PROPOSED: 70.00 %  
MAXIMUM PROJECT LANDSCAPE AREA: 30%  
EXISTING: 35%  
PROPOSED: 30%  
MINIMUM LOT LANDSCAPE AREA: 30%  
EXISTING: 15%  
PROPOSED:

LOT SETBACKS:	FRONT	EXISTING	REQUIRED	PROVIDED
BUILDING	20/15	20	20	20
OPEN STRUCTURE	15/15	15	N/A	0
PARKING	20/20	20	20	0
SIDE	10/10	10	0	0
BUILDING WALLS	5/5	5	0	0
PORCH, BALCONY, PATIO	0/10	0	0	0
WALL, COMMON WALLS	15/10	10	10	10
REAR	0/N/A	0	0	0
BUILDING WALL, PORCH, BALCONY, PATIO WALL	0/N/A	0	0	0
COMMON WALLS	20/15	20	20	20
FRONT (CURRY ROAD)	10/10	10	10	10
WEST SIDE (ALLEY)	10/10	10	10	10
REAR	15/10	15	10	10
EAST SIDE (MILLER ROAD)	10/10	10	10	20
VEHICLE PARKING QUANTITY:	2 BD	3 BD	GUEST	TOTAL
REQUIRED:	16	25	3.6	45
PROVIDED:	16	25	4	45
BICYCLE PARKING QUANTITY:	4	4		
REQUIRED:	4	4		
PROVIDED:	4	4		



LOCATION MAP

CONDITIONS OF APPROVAL: PAD12016

DS120912

PAD12016

REC12055

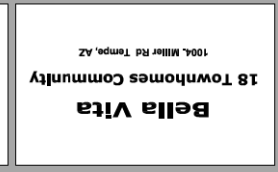


Rev.	Date	Submitted
1	11-15-12	Development Review
2	12-07-12	Final Review



EXPIRATION DATE: 09/30/2014  
ENGINEER: JAMES R. HUDD  
LICENSE NO.: 43778

18 UNITS  
1004 MILLER RD TEMPE, AZ  
Bella Vita  
18 Townhomes Community



Date:	12/7/2012
Project No.	3812
Drawn By:	ED
Checked By:	ED
Approved By:	ED

Scale:	N/A
CS	

PR 12140 DS 120912 PAD 12016 REC 12055

<b>PROJECT INFORMATION</b>	OWNER: JAMES CONSTRUCTION CT ADDRESS: 1004 MILLER RD TEMPE, AZ 85281
	APPLICANT: HUDO HASSEL PROJECT MANAGER: 602-935-6000
	ARCHITECT: E-PROJECT, LLC PHOENIX, AZ 85003 602-444-0202
	CONTRACTOR: S&M, VA PROJECT NAME: 18 TOWNHOMES
	PROJECT ADDRESS: 1004 MILLER RD
	PROJECT DESCRIPTION: 18 TOWNHOMES

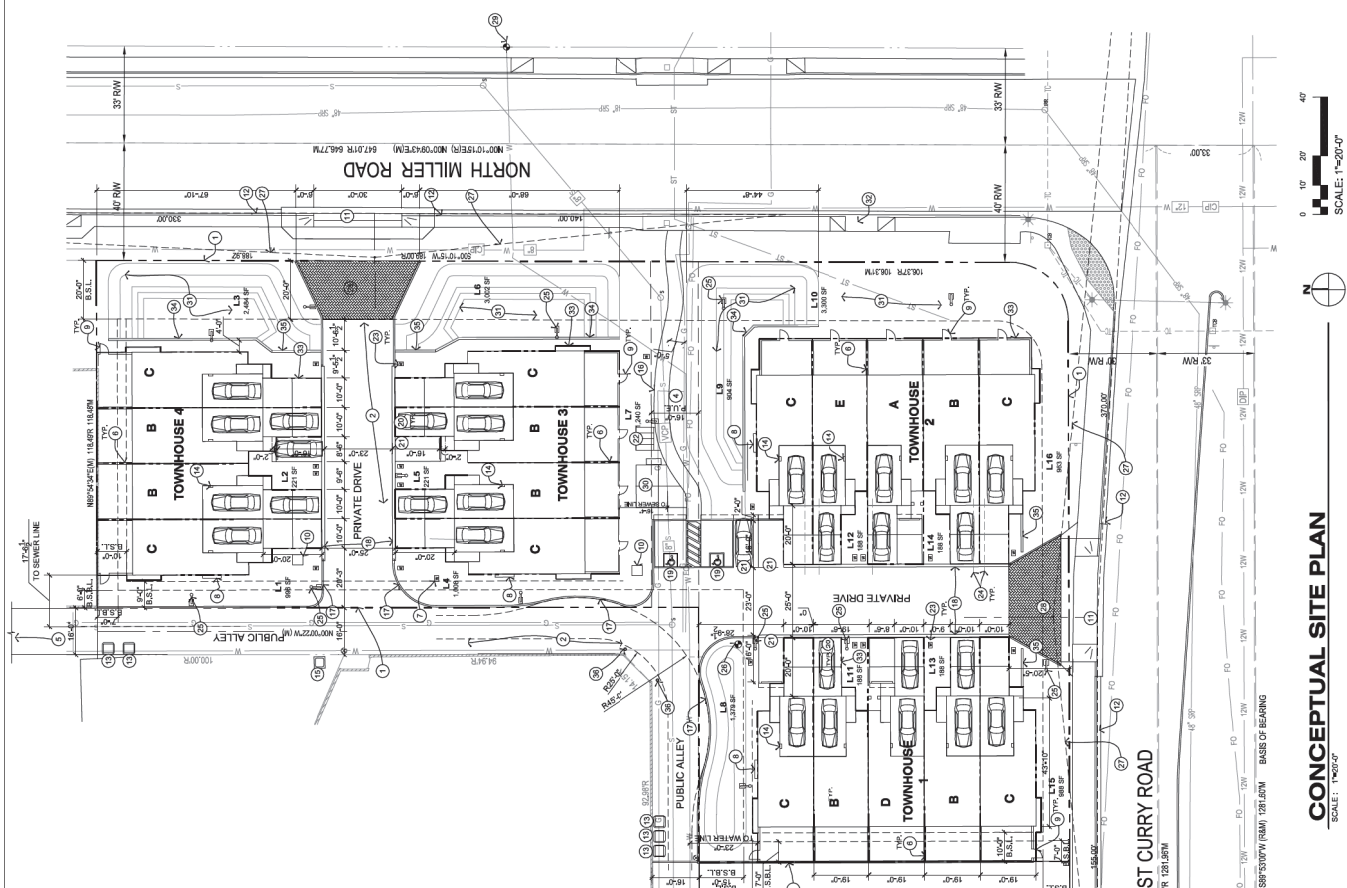
<b>SITE INFORMATION</b>	PARCEL # 133-15081 LOT 240 7,623 SF 133-15088 LOT 280 7,823 SF 133-15011 LOT 281 7,745 SF 133-15010 LOT 283 7,446 SF 133-15010 LOT 285 7,446 SF ALLEY 141,418 SF 1,890 SF
	SUBDIVISION: NORTH TEMPE 3
	OVERALL LOT NET GROSS AREA: 49,960 SF 15.71 DU / AC
<b>GENERAL PLAN</b>	PROPOSED ZONING: R3 / PD PROPOSED ZONING: R3 / PD
<b>LEGAL DESCRIPTION</b>	LOT 240, LOT 280 AND LOT 281 OF THE WEST 1/4 OF THE NORTH 1/4 OF SECTION 16, T4N, R3E, S12E, SHERWOOD LAND ACQUISITION, A SUBDIVISION OF THE NORTH LINE OF LOT 24, ALL REFERENCED LOTS ARE A PART OF MAPS PHASE 4B, JAVACORP COUNTY RECORD, ARIZONA.
<b>KEYNOTES</b>	1. PROPERTY LINE 2. NEW ASPHALT PAVING 3. NEW PUBLIC UTILITY EASEMENT 4. EXISTING ASPHALT PAVING AT THE ENTIRE LENGTH OF THE ALLEY 5. PROPOSED MASONRY FENCE 6' HIGH 6. 100 AMP ELECTRICAL SERVICE ENTRANCE SECTION 7. 4" WIDE GATE 8. TRANSFORMER 9. EXISTING FIRE HYDRANT 10. TRANSFORMER 11. 200 AMP SUPPLY AND DISCONNECT, TYP. AT EACH RESIDENCE. 12. 200 AMP SUPPLY AND DISCONNECT, TYP. AT EACH RESIDENCE. 13. 200 AMP SUPPLY AND DISCONNECT, TYP. AT EACH RESIDENCE. 14. CONCRETE VERTICAL CURB 15. EXISTING FIRE HYDRANT 16. EXISTING CONCRETE PAVEMENT 17. EXISTING CONCRETE PAVEMENT 18. EXISTING CONCRETE PAVEMENT 19. ADA PARKING SPACE 20. ADA PARKING SPACE 21. ADA PARKING SPACE 22. BIKE RACK 23. TYP. TO EACH INDIVIDUAL UNIT 24. 4" SEWER CONNECTION, TYP. TO EACH INDIVIDUAL UNIT. 25. 4" NEW FIRE HYDRANT 26. 4" NEW FIRE HYDRANT 27. VERTICAL CONCRETE PAVEMENT 28. EXISTING FIRE HYDRANT 29. EXISTING FIRE HYDRANT 30. RETENTION BASIN, REFER TO DWG 31. RETENTION BASIN, REFER TO DWG 32. RETENTION CURB AND GUTTER TO MATCH EXISTING, REF TO DWG. 33. LOT PROPERTY LINE WALL MAX 30" DEEP 34. LOT PROPERTY LINE WALL MAX 30" DEEP 35. MASONRY SCREEN WALL, 3" HIGH, PAINTED 36. EXISTING FENCE TO REMAIN, REPLACE TOP ROW OF MASONRY BLOCK WITH SOLID BLOCK.
<b>CODE INFORMATION</b>	APPLICABLE LOCAL ORDINANCES: 2000 IRC INTERNATIONAL RESIDENTIAL CODE (IRC 2000, SEC R301.2) TYPE OF CONSTRUCTION: TYPE N/A OCCUPANCY: R3 / U FIRE SUPPLY SYSTEM: INSTALLED IN ACCORDANCE WITH NFPA 101
<b>BUILDING SAFETY NOTE</b>	1. NEW FLOOR JOISTS AT TOWNHOUSES 1 AND 2. TOWNHOUSES 1 AND 2 REAR VARD THAT IS OPEN TO PUBLIC WAY AS A EMERGENCY ESCAPE ROUTE. JOISTS IN THE MIDDLE WILL HAVE ALL ISERVING ROOMS FACING NORTH EAST. THERE SHOULD BE AT LEAST TWO EGRESS DOORS PER UNIT.
<b>FIRE DEPARTMENT NOTE</b>	1. 170 LF TRAVEL DISTANCE IS NEEDED FOR TOWNHOUSE 1 AND TOWNHOUSE 2 AND WILL FILE A REQUEST FOR TRAVEL DISTANCE INSURANCE. CONSTRUCTION TO BE WELL BE INSTALLED IN ACCORDANCE TO NFPA 101.

1004 Miller Rd Tempe, AZ  
**Bella Vita**  
18 Townhomes Community

**Conceptual Site Plan**

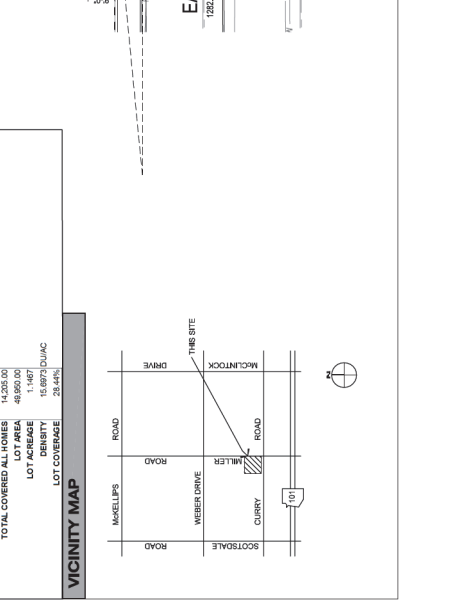
Date:	12-27-2012
Project No:	3512
Drawn By:	ED
Checked By:	ED
Approved By:	ED
Scale:	1"=20'-0"

**A100**



<b>PARKING CALCULATIONS</b>	<b>COMPARISON CHART FOR ZONING STANDARDS</b>																																																																														
<b>REQUIRED</b> 8 in private garages 8 in private driveway - tandem parking 10 in private garages 10 in private driveway - tandem parking 5 on site assigned parking spaces <b>PROVIDED</b> 8 in private garages 8 in private driveway - tandem parking 10 in private garages 10 in private driveway - tandem parking 4 guest parking spaces Total Vehicle Parking Spaces: 45 <b>BICYCLE PARKING</b> Provides 4 bicycle racks	<table border="1"> <tr> <th>STANDARD</th> <th>R3</th> <th>R2</th> <th>R2.5</th> <th>R2.5 (P)</th> <th>R3 (P)</th> </tr> <tr> <td>Maximum Lot Area per Building Footprint</td> <td>9,000 SF</td> <td>10,000 SF</td> <td>2,000 SF</td> <td>1,875 SF</td> <td>1,875 SF</td> </tr> <tr> <td>Maximum Height</td> <td>10'</td> <td>10'</td> <td>10'</td> <td>10'</td> <td>10'</td> </tr> <tr> <td>Minimum Lot Area</td> <td>500 SF</td> <td>500 SF</td> <td>500 SF</td> <td>500 SF</td> <td>500 SF</td> </tr> <tr> <td>Minimum Lot Area per Building Footprint</td> <td>40%</td> <td>30%</td> <td>25%</td> <td>26.66%</td> <td>26.66%</td> </tr> <tr> <td>Minimum Lot Area per Building Footprint</td> <td>30%</td> <td>25%</td> <td>20%</td> <td>20%</td> <td>20%</td> </tr> <tr> <td>Minimum Lot Area per Building Footprint</td> <td>20%</td> <td>15%</td> <td>10%</td> <td>10%</td> <td>10%</td> </tr> <tr> <td>Minimum Lot Area per Building Footprint</td> <td>15%</td> <td>10%</td> <td>10%</td> <td>10%</td> <td>10%</td> </tr> <tr> <td>Minimum Lot Area per Building Footprint</td> <td>10%</td> <td>10%</td> <td>10%</td> <td>10%</td> <td>10%</td> </tr> <tr> <td>Minimum Lot Area per Building Footprint</td> <td>10%</td> <td>10%</td> <td>10%</td> <td>10%</td> <td>10%</td> </tr> <tr> <td>Minimum Lot Area per Building Footprint</td> <td>10%</td> <td>10%</td> <td>10%</td> <td>10%</td> <td>10%</td> </tr> <tr> <td>Minimum Lot Area per Building Footprint</td> <td>10%</td> <td>10%</td> <td>10%</td> <td>10%</td> <td>10%</td> </tr> <tr> <td>Minimum Lot Area per Building Footprint</td> <td>10%</td> <td>10%</td> <td>10%</td> <td>10%</td> <td>10%</td> </tr> </table>	STANDARD	R3	R2	R2.5	R2.5 (P)	R3 (P)	Maximum Lot Area per Building Footprint	9,000 SF	10,000 SF	2,000 SF	1,875 SF	1,875 SF	Maximum Height	10'	10'	10'	10'	10'	Minimum Lot Area	500 SF	500 SF	500 SF	500 SF	500 SF	Minimum Lot Area per Building Footprint	40%	30%	25%	26.66%	26.66%	Minimum Lot Area per Building Footprint	30%	25%	20%	20%	20%	Minimum Lot Area per Building Footprint	20%	15%	10%	10%	10%	Minimum Lot Area per Building Footprint	15%	10%	10%	10%	10%	Minimum Lot Area per Building Footprint	10%	10%	10%	10%	10%	Minimum Lot Area per Building Footprint	10%	10%	10%	10%	10%	Minimum Lot Area per Building Footprint	10%	10%	10%	10%	10%	Minimum Lot Area per Building Footprint	10%	10%	10%	10%	10%	Minimum Lot Area per Building Footprint	10%	10%	10%	10%	10%
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<b>LANDSCAPE AREA CALCULATIONS</b>	<b>LANDSCAPE RETENTION CALCULATION</b>																																																																														
LOT NET AREA: 49,950 SF TOTAL LANDSCAPED AREA: 17,468 SF 17,881 49,950 = 34.95%	MILLER ROAD FRONTAGE: 331.09 LF DRIVEWAY: 42 LF LANDSCAPE FRONTAGE: 289.08 LF ALLOWABLE RETENTION FRONTAGE: 289.08 X 67% = 193.08 LF PROVIDED RETENTION FRONTAGE: 67.93 LF + 48.06 LF + 44.75 LF = 160.74 LF = 193.08 LF																																																																														
<b>LANDSCAPE AREA STANDARDS (OPTIONAL)</b>																																																																															
L1 = 2,400 L2 = 2,400 L3 = 2,400 L4 = 1,000 L5 = 2,200 L6 = 3,000 L7 = 1,200 L8 = 1,379 L9 = 994 L10 = 3,300 L11 = 1,080 L12 = 1,080 L13 = 1,080 L14 = 5,880 L15 = 960 L16 = 960 TOTAL: 17,468 SF																																																																															

DWELLING UNIT SCHEDULE					
TOWNHOUSE TYPE	TOTALS				
	A	B	C	D	E
1ST FLOOR LIVABLE	575.00	558.00	575.00	575.00	575.00
2ND FLOOR LIVABLE	680.00	680.00	710.00	680.00	680.00
3RD FLOOR LIVABLE	595.00	595.00	595.00	595.00	595.00
OVERALL LIVABLE AREA BY MODEL TYPE	1,850.00	1,833.00	1,880.00	1,850.00	1,850.00
TERMINALS	230.00	230.00	230.00	230.00	230.00
REAR PATIO	211.00	211.00	211.00	211.00	211.00
TOTAL NUMBER OF BATHROOMS	2,5	2,5	2,5	2,5	2,5
TOTAL GROSS CONSTRUCTION AREA	2,065.00	2,045.00	2,045.00	2,065.00	2,065.00
OVERALL GROSS CONSTRUCTION AREA	2,065.00	14,343.00	18,432.00	2,065.00	32,855.00
TOTAL COVERED AREA	805.00	795.00	805.00	805.00	805.00
TOTAL COVERED ALL HOMES	14,200.00	14,200.00	14,200.00	14,200.00	14,200.00
LOT AREA	49,950.00	49,950.00	49,950.00	49,950.00	49,950.00
LOT COVERAGE	1.607	1.591	1.607	1.607	1.607
LOT COVERAGE	28.94%				



PARKING CALCULATIONS		COMPARISON CHART FOR ZONING STANDARDS			
REQUIRED	PROVIDED	STANDARD	EXISTING		PROPOSED
<b>VEHICLE PARKING</b> 2 Bedroom Unit 8 units x 2.0 pkngs = 16  3 Bedroom Units 10 units x 2.5 pkngs = 25  Guest Parking 18 units x 0.2 pkngs = 4  Total Vehicle Parking Spaces Required= 45	<b>VEHICLE PARKING</b> 8 in private garages 8 in private driveway - tandem parking  10 in private garages 10 in private driveway -tandem parking 5 on site assigned parking space  4 guest parking spaces  Total Vehicle Parking Spaces Provided= 45	<b>Density</b> R-2 10	R/O 10	R-3 20	R-3/PAD 15.7
<b>BICYCLE PARKING</b>  Bicycle Racks for residents are provided in private garages  Guest Bicycle Racks 18 units x 0.2 = 4 racks	<b>BICYCLE PARKING</b>  Provide 4 bicycle racks	<b>Minimum Lot Area per Dwelling Unit</b> 3,600 sf	NA	2,180 sf	1,250 sf
<b>LANDSCAPE AREA CALCULATIONS</b>		<b>Building Height</b> Building Height Maximum Building Height Step-Back Required Adjacent to SF or MF Districts	30 ft No	30 ft No	30 ft No 35 ft Yes
L1 = 996	LOT NET AREA: 49,950 SF	<b>Maximum Lot Coverage</b>	45%	35%	50%
L2 = 221	TOTAL LANDSCAPED AREA: 17,458 SF	<b>Maximum Project Coverage</b>	45%	35%	50%
L3 = 2,484	17,458 / 49,950 = 34.95%	<b>Minimum Lot Landscape Area</b>	30%	30%	25%
L4 = 1,008	<b>PARKING LOT LANDSCAPE STANDARDS ( OPTION 1 )</b>	<b>Minimum Project Landscape Area</b>	30%	30%	25%
L5 = 221	NORTH PARKING AREA: 4,371 SF	<b>Setbacks ( LOT )</b>			
L6 = 3,002	SOUTH PARKING AREA: 6,311 SF	<b>Front</b>			
L7 = 1,240	TOTAL PARKING AREA: 10,682 SF	Building	20 ft	15 ft	20 ft
L8 = 1,379	PARKING LOT LANDSCAPE AREA:	Open Structure	15 ft	15 ft	15 ft
L9 = 904	L1+L2+L5+L11+L12+L13+L14 = 2,190 SF	Parking	20 ft	20 ft	20 ft
L10 = 3,300	2,190 / 10,682 = 20.50% > 10%	<b>Side</b>			
L11 = 188		Building Walls	10 ft	10 ft	10 ft
L12 = 188		Porch, Balcony, Patio	5 ft	5 ft	5 ft
L13 = 188		Wall, Common Walls	0	10 ft	0
L14 = 188		<b>Rear</b>			
L15 = 988		Building Wall, Porch, Balcony, Patio Wall	15 ft	10 ft	15 ft
L16 = 963		Common Walls	0	NA	0
<b>TOTAL: 17,458 SF</b>		<b>Street Side</b>			
		Building Walls	10 ft	10 ft	10 ft
		Parking	20 ft	20 ft	20 ft
		<b>Setbacks ( PROJECT )</b>			
		Front (Curry Road)	20 ft	15 ft	20 ft
		West Side	10 ft	10 ft	10 ft
		West Side (Alley)	10 ft	10 ft	10 ft
		Rear	15 ft	10 ft	15 ft
		East Side (Miller Road)	10 ft	10 ft	10 ft
		Remarks:			
		(*) Shorter dimension indicates location of 30 Feet Building Height Step-Back Line. Longer Dimension indicates Building Set Back Line.			
		<b>LOT COVERAGE CALCULATION</b>			
		MINIMUM LOT NET AREA: 1,250 SF			
		MAXIMUM TOWNHOUSE COVERED AREA: 805 SF			
		<b>LOT COVERAGE: 805 / 1,250 = 64.44% &lt; 70.00%</b>			
		PROJECT SITE NET AREA: 49,950 SF			
		TOTAL BUILDINGS COVERED AREA: 14,205 SF			
		<b>LOT COVERAGE: 14,205 / 49,950 = 28.44% &lt; 50%</b>			
		<b>LANDSCAPE RETENTION CALCULATION</b>			
		MILLER ROAD FRONTAGE: 331.08 LF			
		DRIVEWAY: 42 LF			
		LANDSCAPE FRONTAGE: 289.08 LF			
		ALLOWABLE RETENTION FRONTAGE: 289.08 X 67% = 193.68 LF			
		PROVIDED RETENTION FRONTAGE:			
		67.83 LF + 68.08 LF + 44.75 LF = 180.66			

DWELLING UNIT SCHEDULE						
<i>Bella Vita</i>						
	TOWNHOUSE TYPE					TOTALS
	A	B	C	D	E	
1ST FLOOR LIVABLE	575.00	556.00	556.00	575.00	575.00	575.00
2ND FLOOR LIVABLE	688.00	688.00	710.00	688.00	688.00	688.00
3RD FLOOR LIVABLE	558.00	575.00	558.00	558.00	558.00	558.00
TOTAL LIVABLE AREA	1,821.00	1,819.00	1,824.00	1,821.00	1,821.00	
OVERALL LIVABLE AREA BY MODEL TYPE	1,821.00	12,733.00	14,592.00	1,821.00	1,821.00	29,146.00
GARAGE	230.00	230.00	230.00	230.00	230.00	230.00
TERRACES	241.00	203.00	203.00	241.00	241.00	
REAR PATIO	193.00	211.00	211.00	193.00	193.00	
TOTAL NUMBER OF BEDROOMS	3	2	3	3	3	
TOTAL NUMBER OF BATHROOMS	2.5	2.5	2.5	2.5	2.5	
TOTAL GROSS CONSTRUCTION AREA	2,051.00	2,049.00	2,054.00	2,051.00	2,051.00	
OVERALL GROSS CONSTRUCTION AREA	2,051.00	14,343.00	16,432.00	2,051.00	2,051.00	32,826.00
TOTAL HOME COVERED AREA	805.00	786.00	786.00	805.00	805.00	
TOTAL NUMBER OF HOMES	1	7	8	1	1	18
TOTAL COVERED AREA	805.00	5,502.00	6,288.00	805.00	805.00	14,205
TOTAL COVERED ALL HOMES	14,205.00					
LOT AREA	49,950.00					
LOT ACREAGE	1.1467					
DENSITY	15.6973	DU/AC				
LOT COVERAGE	28.44%					

# Site Data



917 W. Kathleen Rd. Phoenix, AZ 85023  
phone: 602/481-9282 fax: 480/359-4407  
e-mail: e-project@cox.net

*Bella Vita*  
**18 Townhomes**  
1004 N. Miller Rd Tempe AZ

DATE:	<b>12/27/12</b>
SCALE:	<b>nts</b>
SHEET:	<b>A100b</b>

## KEYNOTES

1. PROPERTY LINE
2. NEW ASPHALT PAVING
3. CONCRETE DRIVEWAY
4. NEW PUBLIC UTILITY EASEMENT
5. EXTEND ASPHALT PAVING AT THE ENTIRE LENGTH OF THE ALLEY TO THE NORTH.
6. PROPOSED MASONRY FENCE 60" HIGH
7. IRRIGATION WATER METER 1" DIAM
8. 600 Amps, ELECTRICAL SERVICE ENTRANCE SECTION WITH DISCONNECT
9. 48" WIDE GATE
10. TRANSFORMER
11. NEW DRIVEWAY ENTRY, PER MAG T-320, 30 FEET WIDE
12. EXISTING CURB AND SIDEWALK TO REMAIN
13. NEW TRASH CANS, 300 gal.
14. 200 Amps SUBPANEL AND DISCONNECT. TYP. AT EACH RESIDENCE.
15. TRASH CANS AT EXISTING RESIDENCES
16. CONCRETE WALKWAY 60" WIDE
17. 6" CONCRETE VERTICAL CURB
18. 12" WIDE CONCRETE RIBBON CURB
19. ADA PARKING SPACE
20. ASSIGNED TANDEM PARKING SPACE
21. NON ASSIGNED PARKING SPACE
22. BICYCLE RACK
23.  $\frac{3}{4}$ " WATER METER, TYP. TO EACH INDIVIDUAL UNIT
24. 4" SEWER CONNECTION, TYP. TO EACH INDIVIDUAL UNIT.
25. SITE LIGHTING, REFER TO ELECTRICAL PLANS
26. NEW FIRE HYDRANT
27. VISIBILITY TRIANGLE
28. DECORATIVE CONCRETE PAVERS
29. EXISTING FIRE HYDRANT
30. BBQ AREA
31. RETENTION BASIN, REFER TO CIVIL
32. REMOVE EXISTING DRIVEWAY ENTRY AND NEW CONCRETE SIDEWALK, CURB AND GATTER TO MATCH EXISTING, REF TO CIVIL.
33. LOT PROPERTY LINES
34. MASONRY RETAINING WALL, MAX 30" DEEP.
35. MASONRY SCREEN WALL, 36" HIGH
36. 48" HIGH, 12". DIAM STEEL BOLLARD, PAINTED
37. EXISTING FENCE TO REMAIN, REPLACE TOP ROW OF MASONRY BLOCK WITH SOLID BLOCK.

## CODE INFORMATION

APPLICABLE BUILDING CODE:  
2009 IRC INTERNATIONAL RESIDENTIAL CODE ( IRC 2009, SEC R101.2 )

TYPE OF CONSTRUCTION: TYPE V-B  
OCCUPANCY: R-2 / U  
FIRE SPRINKLER SYSTEM: INSTALLED IN ACCORDANCE WITH NFPA 13D

## BUILDING SAFETY NOTE

1. ONLY END UNITS IN TOWNHOUSE 1 AND TOWNHOUSE 4 WILL USE REAR YARD THAT IS OPEN TO PUBLIC WAY AS A EMERGENCY ESCAPE ROUTE. UNITS IN THE MIDDLE WILL HAVE ALL SLEEPING ROOMS FACING FRONT SO THERE WILL BE NO NEED TO USE REAR YARD AS AN EXIT.

## FIRE DEPARTMENT NOTE

1. 170 LF TRAVEL DISTANCE IS NEEDED FOR TOWNHOUSE 1 AND TOWNHOUSE 2 AND WE WILL FILE A REQUEST FOR TRAVEL DISTANCE VARIANCE TO FIRE DEPARTMENT. FIRE PROTECTION SYSTEM WILL BE INSTALLED IN ACCORDANCE TO NFPA 13D.

## PROJECT INFORMATION

OWNER : TRIO, LLC  
2043 S. CONSTELLATION CT  
GILBERT, AZ

ADDRESS : 1104 N. MILLER RD  
TEMPE, AZ 85281

APPLICANT / PROJECT MANAGER : HUDD HASSEL  
PHONE : 602-525-0000

ARCHITECT: E-PROJECT, LLC  
917 W. KATHLEEN RD  
PHOENIX, AZ 85023  
EDMIR DZUDZA  
PHONE: 602-481-9282

CONTACT: EDMIR DZUDZA  
PHONE: 602-481-9282

PROJECT NAME: *Bella Vita*

PROJECT ADDRESS: 1004 N. MILLER RD  
TEMPE AZ

PROJECT DESCRIPTION: 18 TOWNHOMES

## SITE INFORMATION

PARCEL #	132-13-098 LOT 249	7,832 SF
	132-13-099 LOT 250	7,832 SF
	132-13-100 LOT 251	10,127 SF
	132-13-101 LOT 252	7,393 SF
	132-13-102 LOT 253	7,444 SF
	132-13-103 LOT 254	7,462 SF
	ALLEY	1,890 SF

SUBDIVISION : NORTH TEMPE 3

OVERALL LOT NET/GROSS AREA: 49,950 SF  
1.147 AC

PROPOSED DENSITY: 15.70 DU / AC

## GENERAL PLAN

PROJECTED LAND USE: RESIDENTIAL  
PROJECTED DENSITY: 9 DU/AC

PROPOSED LAND USE: RESIDENTIAL  
PROPOSED DENSITY: 15.7 DU/AC

## ZONING

EXISTING ZONING: R/O R-2

PROPOSED ZONING R-3 / PAD

## LEGAL DESCRIPTION

LOTS 249 THROUGH 254, INCLUSIVE; AND THAT PART OF THE EAST-WEST AND NORTH SOUTH ABANDONED ALLEY BOUNDED ON THE WEST BY THE NORTHERLY PROLONGATION OF THE WEST LINE OF LOT 249, BOUNDED ON THE EAST BY THE SOUTHERLY PROLONGATION OF THE EASTERLY LINE OF LOTS 252 THROUGH 254, AND BOUNDED ON THE NORTH BY THE WESTERLY PROLONGATION OF THE NORTH LINE OF LOT 254, ALL REFERENCED LOTS ARE A PART OF NORTH TEMPE THREE, AS RECORDED IN BOOK 71 OF MAPS, PAGE 40, MARICOPA COUNTY RECORDS, ARIZONA.

## Site Data



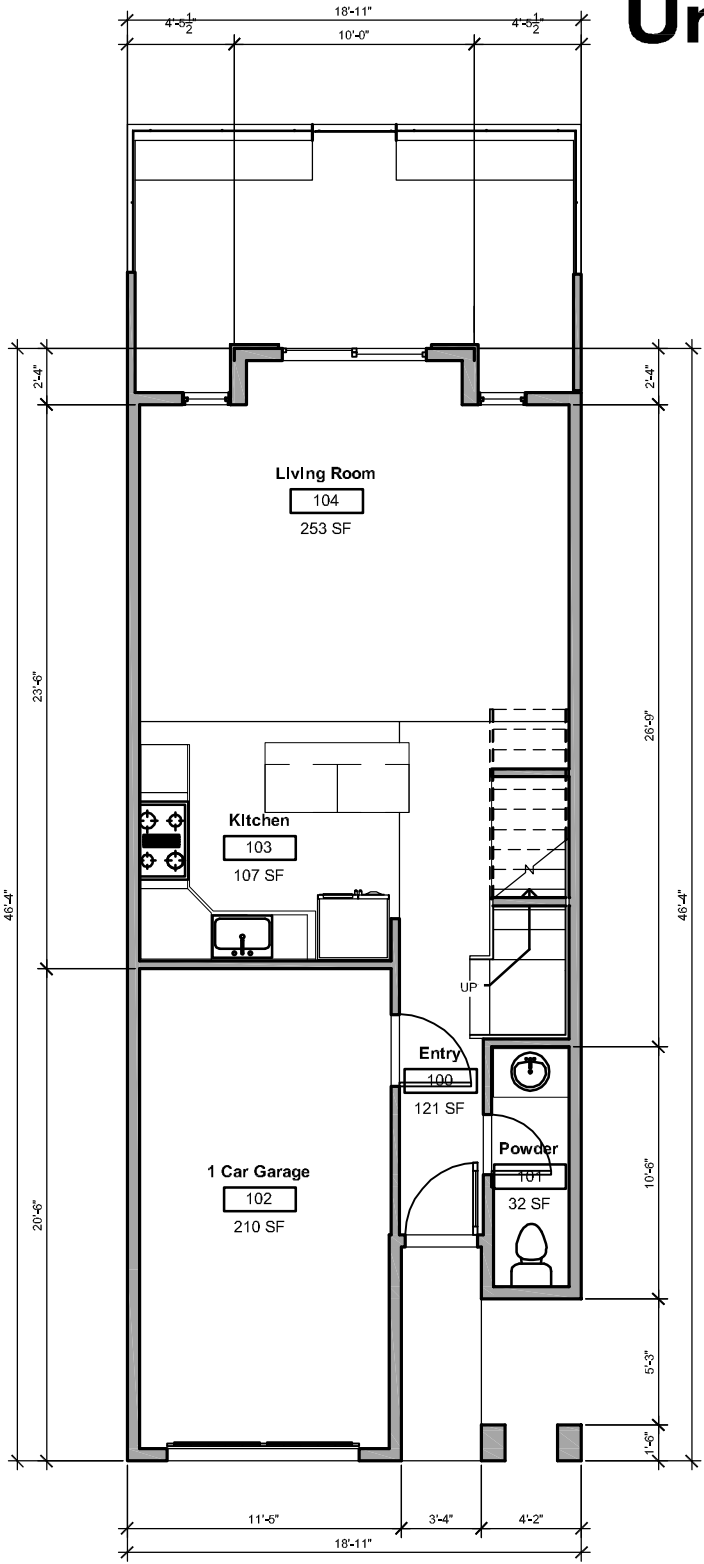
917 W. Kathleen Rd. Phoenix, AZ 85023  
phone: 602/481-9282 fax: 480/359-4407  
e-mail: e-project@cox.net

*Bella Vita*  
**18 Townhomes**  
1004 N. Miller Rd Tempe AZ

DATE:	<b>12/27/12</b>
SCALE:	<b>nts</b>
SHEET:	<b>A100c</b>



# Unit Type "A"



575 SF LIVABLE AREA  
 230 SF GARAGE  
 193 SF REAR PATIO

## 1st Floor Plan

SCALE : 1/8" = 1'-0"

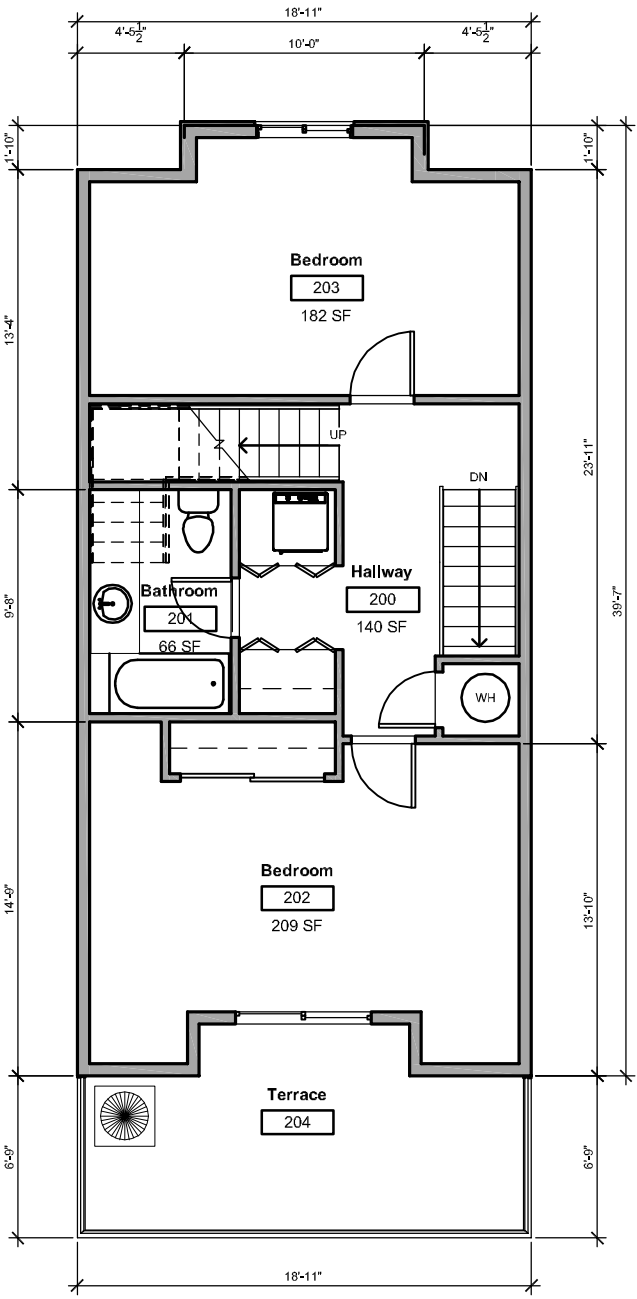


917 W. Kathleen Rd. Phoenix, AZ 85023  
 phone: 602/481-9282 fax: 480/359-4407  
 e-mail: e-project@cox.net

*Bella Vita*  
**18 Townhomes**  
 1004 N. Miller Rd Tempe AZ

DATE:	<b>12/27/12</b>
SCALE:	<b>as noted</b>
SHEET:	<b>A210-A</b>

# Unit Type "A"



688 SF LIVABLE AREA  
134 SF TERRACE

## 2nd Floor Plan

SCALE : 1/8" = 1'-0"

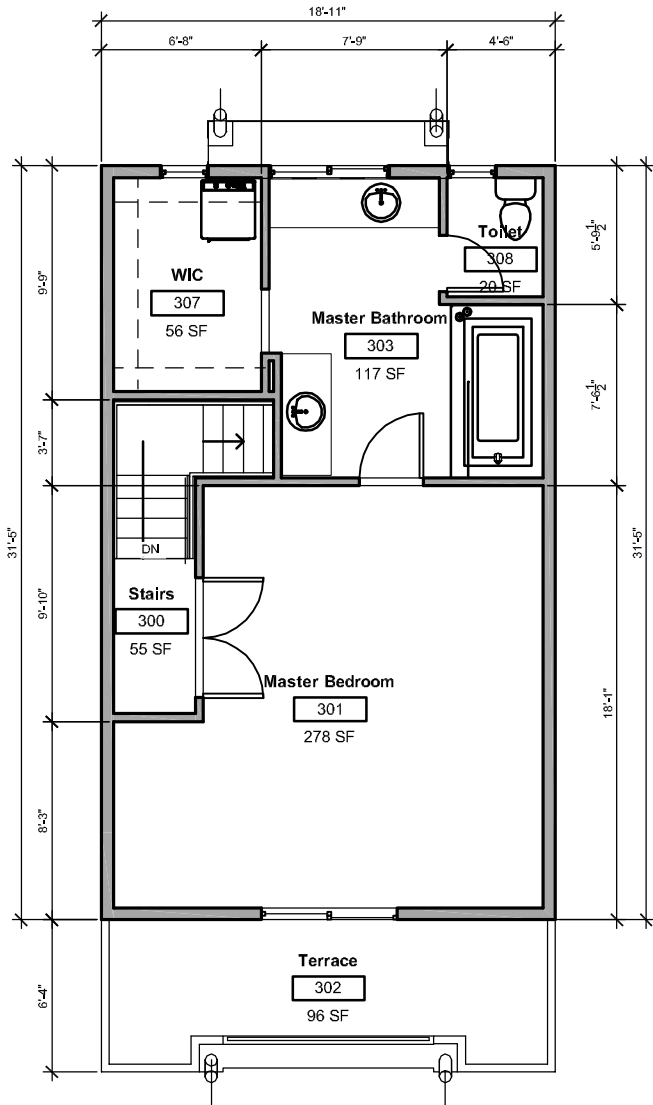


917 W. Kathleen Rd. Phoenix, AZ 85023  
phone: 602/481-9282 fax: 480/359-4407  
e-mail: e-project@cox.net

*Bella Vita*  
**18 Townhomes**  
1004 N. Miller Rd Tempe AZ

DATE:	<b>12/27/12</b>
SCALE:	<b>as noted</b>
SHEET:	<b>A211-A</b>

# Unit Type "A"



558 SF LIVABLE AREA  
107 SF TERRACE

## 3rd Floor Plan

SCALE : 1/8" = 1'-0"

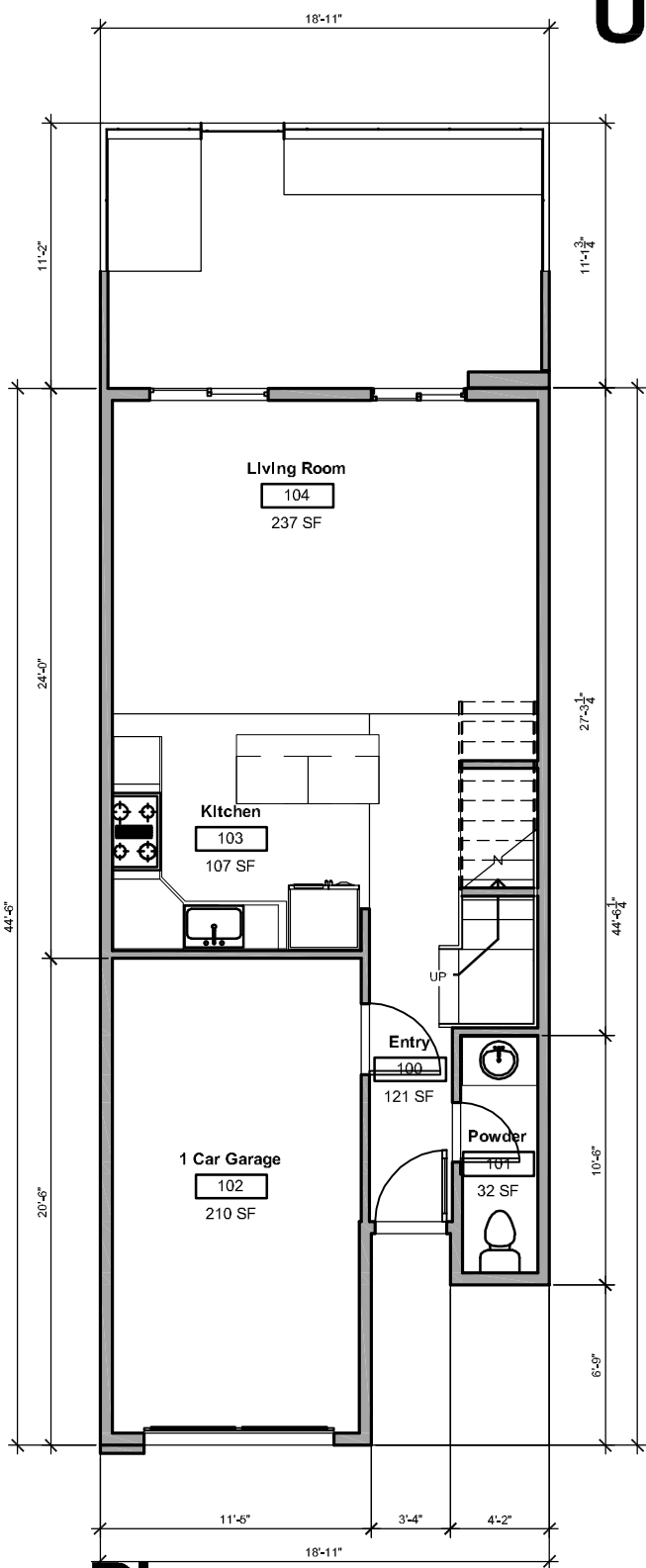


917 W. Kathleen Rd. Phoenix, AZ 85023  
phone: 602/481-9282 fax: 480/359-4407  
e-mail: e-project@cox.net

*Bella Vita*  
**18 Townhomes**  
1004 N. Miller Rd Tempe AZ

DATE:	12/27/12
SCALE:	as noted
SHEET:	A212-A

# Unit Type "B"



556 SF LIVABLE AREA  
 230 SF GARAGE  
 211 SF REAR PATIO

## 1st Floor Plan

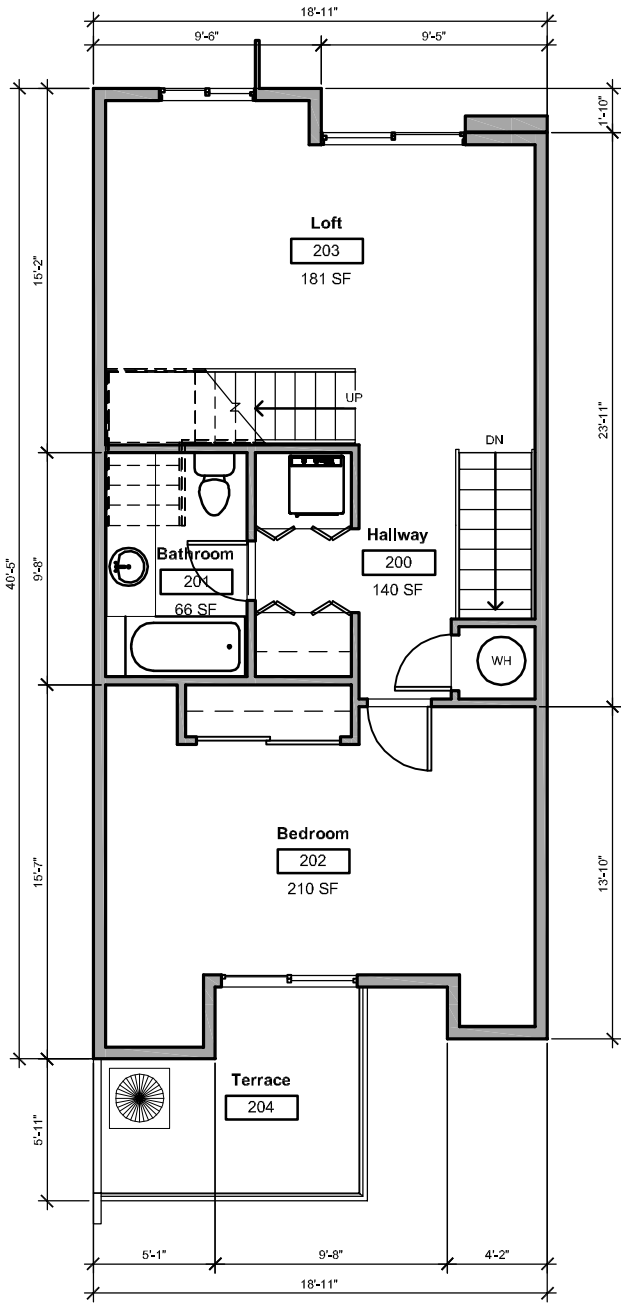
SCALE : 1/8" = 1'-0"

**e project**  
 917 W. Kathleen Rd. Phoenix, AZ 85023  
 phone: 602/481-9282 fax: 480/359-4407  
 e-mail: e-project@cox.net

*Bella Vita*  
**18 Townhomes**  
 1004 N. Miller Rd Tempe AZ

DATE:	<b>12/27/12</b>
SCALE:	<b>as noted</b>
SHEET:	<b>A220-B</b>

# Unit Type "B"



688 SF LIVABLE AREA  
79 SF TERRACE

## 2nd Floor Plan

SCALE : 1/8" = 1'-0"

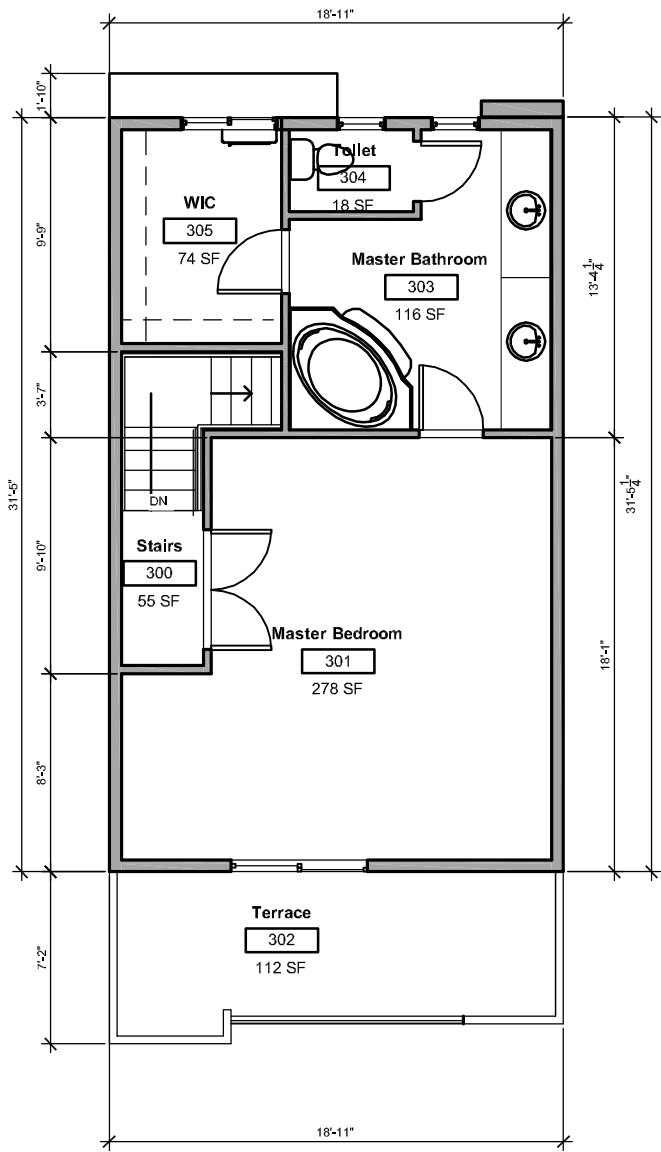


917 W. Kathleen Rd. Phoenix, AZ 85023  
phone: 602/481-9282 fax: 480/359-4407  
e-mail: e-project@cox.net

*Bella Vita*  
**18 Townhomes**  
1004 N. Miller Rd Tempe AZ

DATE:	<b>12/27/12</b>
SCALE:	<b>as noted</b>
SHEET:	<b>A221-B</b>

# Unit Type "B"



575 SF LIVABLE AREA  
124 SF TERRACE

## 3rd Floor Plan

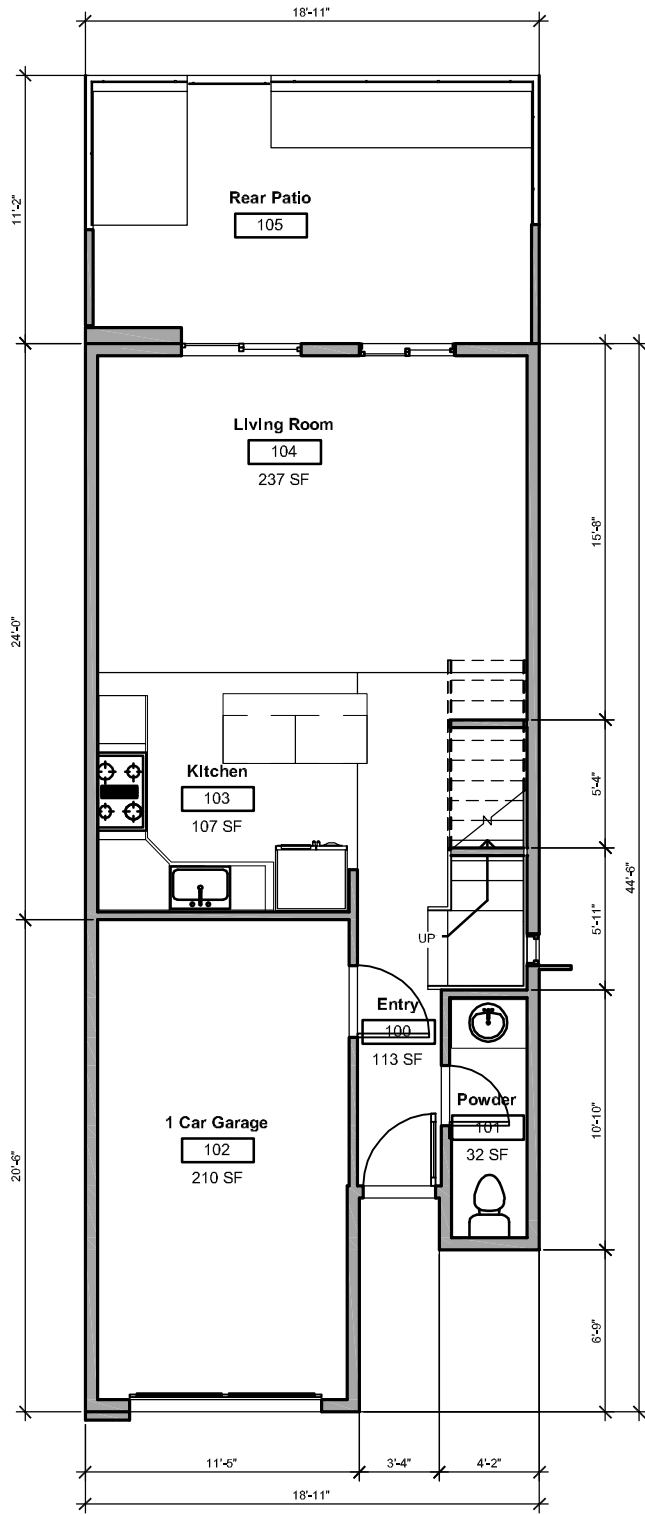
SCALE : 1/8" = 1'-0"

**e project**  
 917 W. Kathleen Rd. Phoenix, AZ 85023  
 phone: 602/481-9282 fax: 480/359-4407  
 e-mail: e-project@cox.net

*Bella Vita*  
**18 Townhomes**  
 1004 N. Miller Rd Tempe AZ

DATE:	<b>12/27/12</b>
SCALE:	<b>as noted</b>
SHEET:	<b>A222-B</b>

# Unit Type "C"



548 SF LIVABLE AREA  
230 SF GARAGE  
211 SF REAR PATIO

## 1st Floor Plan

SCALE : 1/8" = 1'-0"

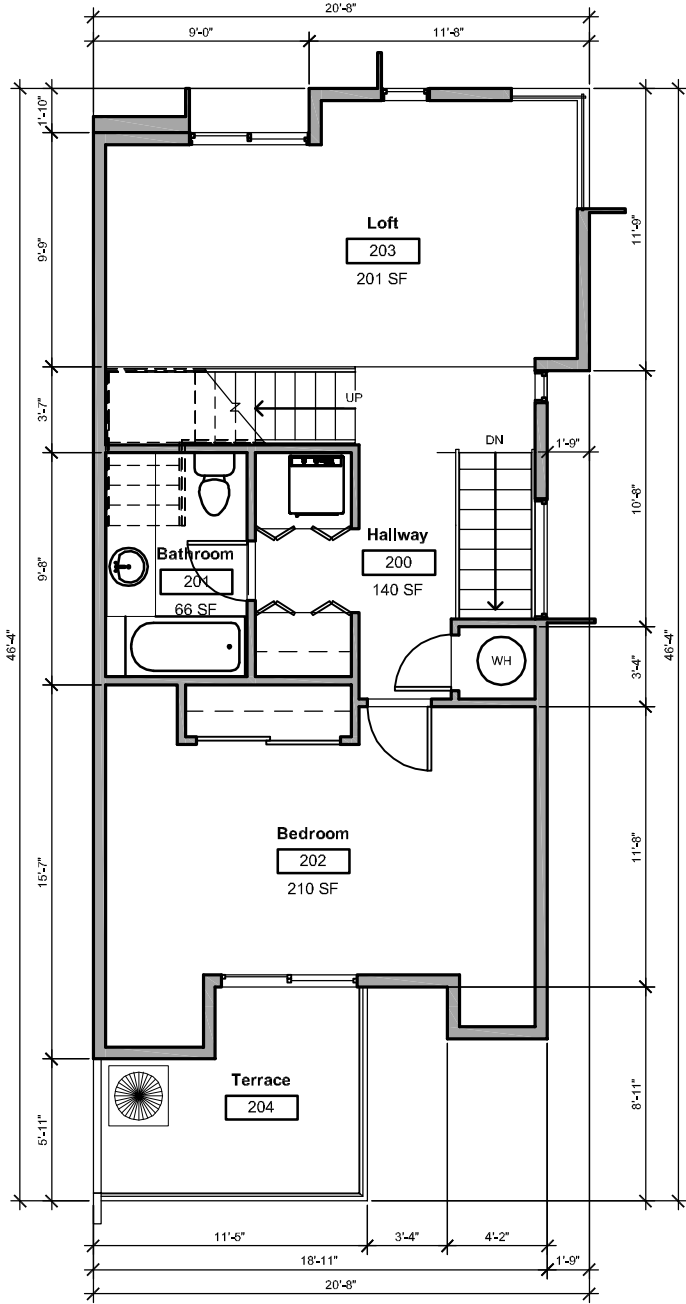
**e project**

917 W. Kathleen Rd. Phoenix, AZ 85023  
phone: 602/481-9282 fax: 480/359-4407  
e-mail: e-project@cox.net

*Bella Vita*  
**18 Townhomes**  
1004 N. Miller Rd Tempe AZ

DATE:	<b>12/27/12</b>
SCALE:	<b>as noted</b>
SHEET:	<b>A230-C</b>

# Unit Type "C"



710 SF LIVABLE AREA  
79 SF TERRACE

## 2nd Floor Plan

SCALE : 1/8" = 1'-0"



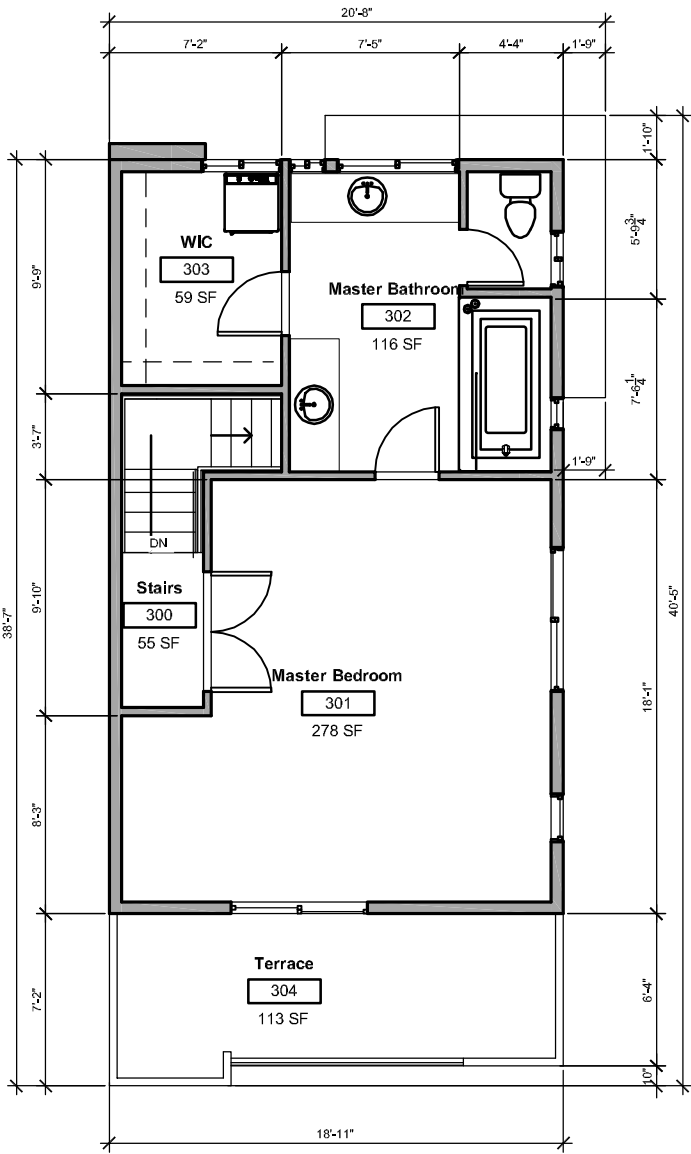
917 W. Kathleen Rd. Phoenix, AZ 85023  
phone: 602/481-9282 fax: 480/359-4407  
e-mail: e-project@cox.net

*Bella Vita*  
**18 Townhomes**  
1004 N. Miller Rd Tempe AZ

DATE:	<b>11/27/12</b>
SCALE:	<b>as noted</b>
SHEET:	<b>A231-C</b>



# Unit Type "C"



558 SF LIVABLE AREA  
124 SF TERRACE

## 3rd Floor Plan

SCALE : 1/8" = 1'-0"

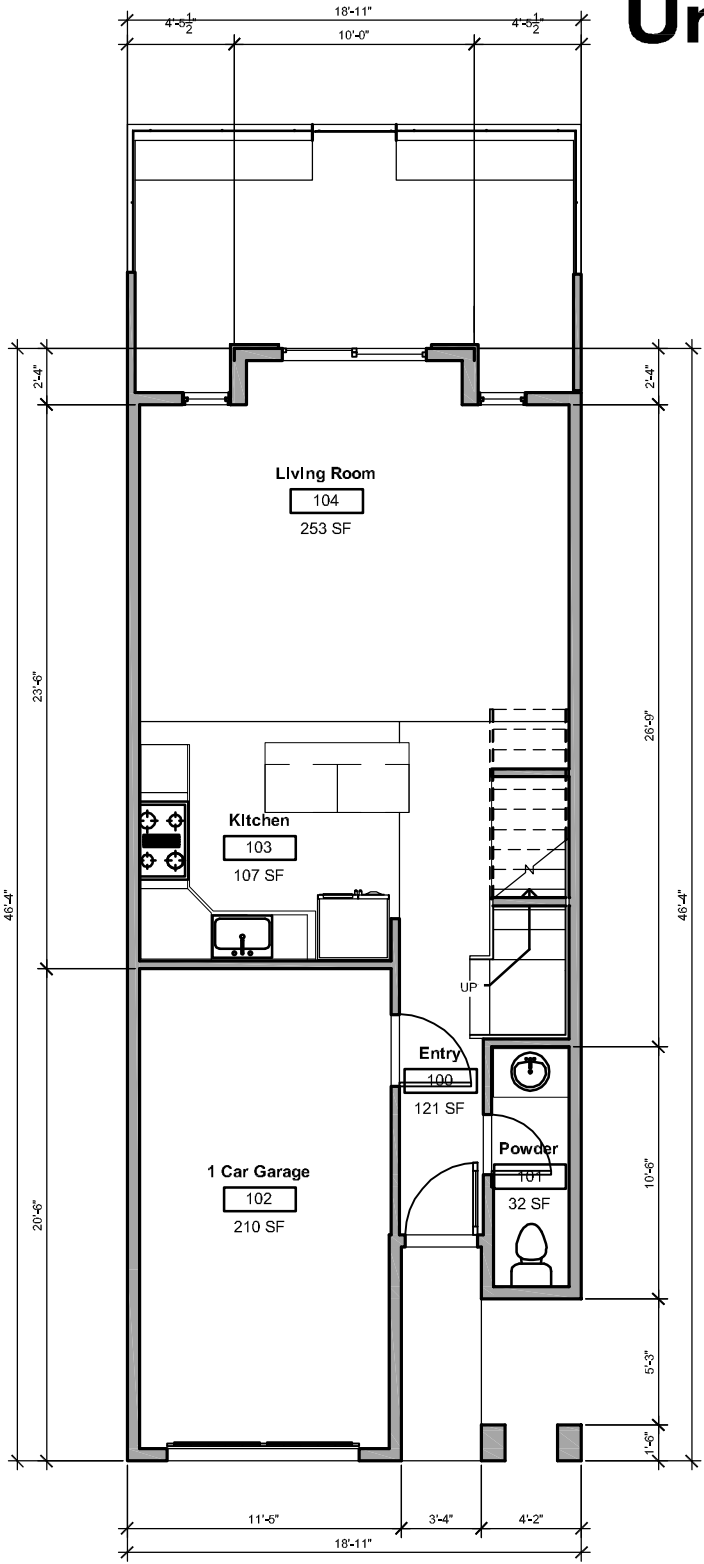


917 W. Kathleen Rd. Phoenix, AZ 85023  
phone: 602/481-9282 fax: 480/359-4407  
e-mail: e-project@cox.net

*Bella Vita*  
**18 Townhomes**  
1004 N. Miller Rd Tempe AZ

DATE:	12/27/12
SCALE:	as noted
SHEET:	A232-C

# Unit Type "D"



575 SF LIVABLE AREA  
 230 SF GARAGE  
 193 SF REAR PATIO

## 1st Floor Plan

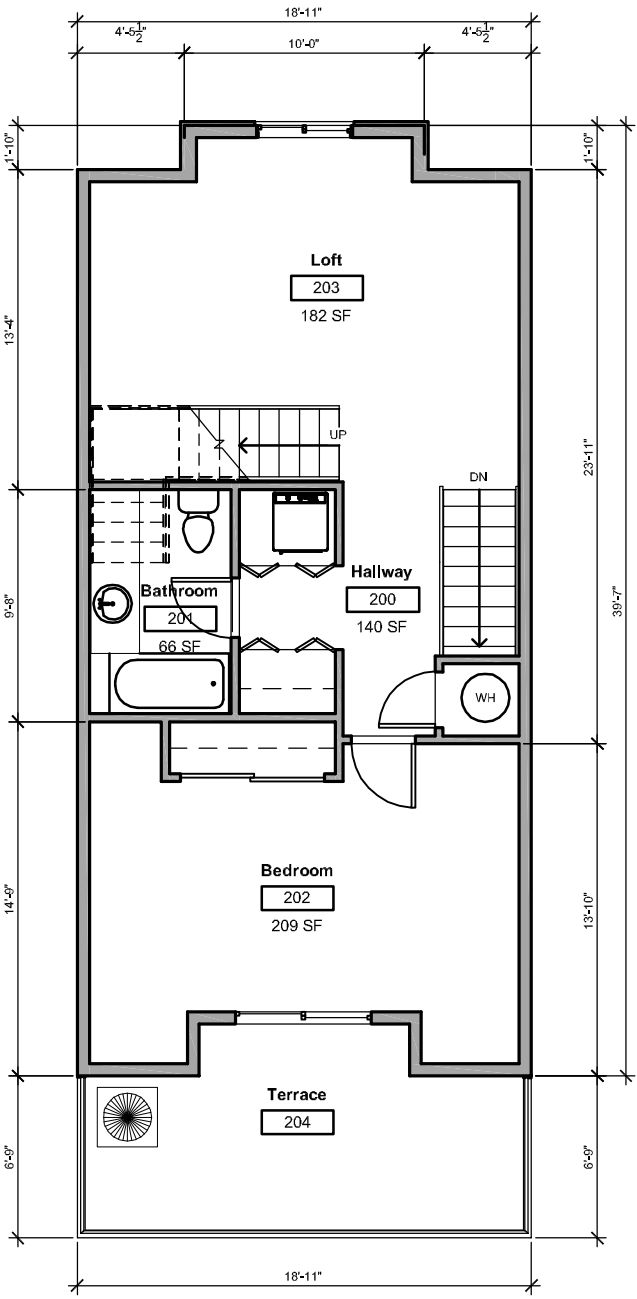
SCALE : 1/8" = 1'-0"

**e project**  
 917 W. Kathleen Rd. Phoenix, AZ 85023  
 phone: 602/481-9282 fax: 480/359-4407  
 e-mail: e-project@cox.net

*Bella Vita*  
**18 Townhomes**  
 1004 N. Miller Rd Tempe AZ

DATE:	<b>12/27/12</b>
SCALE:	<b>as noted</b>
SHEET:	<b>A240-D</b>

# Unit Type "D"



688 SF LIVABLE AREA  
134 SF TERRACE

## 2nd Floor Plan

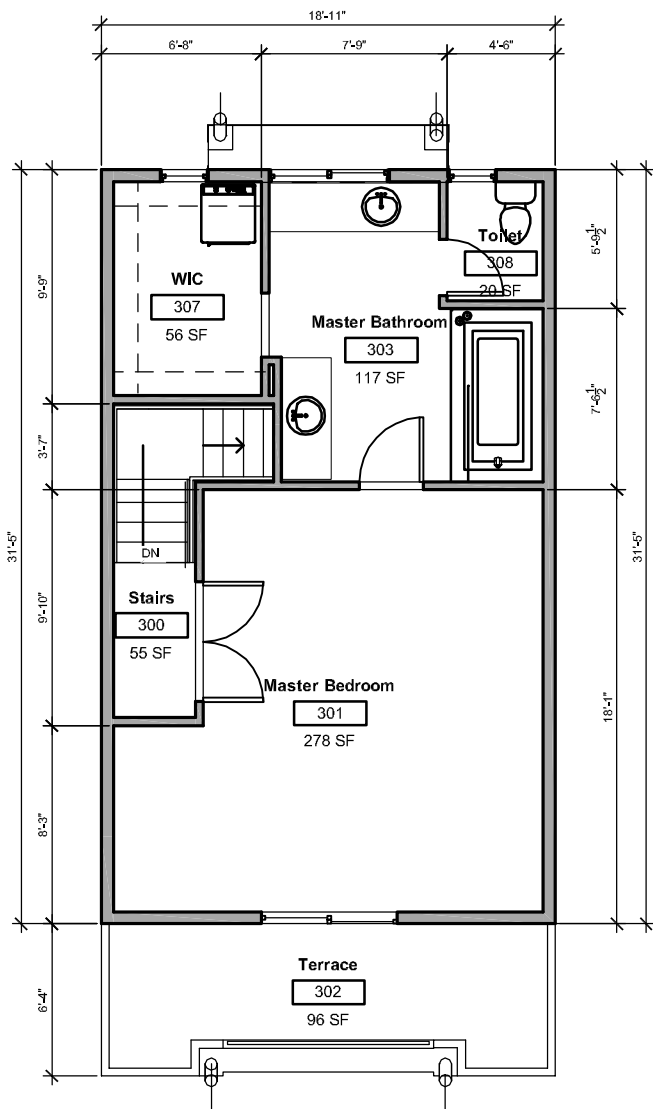
SCALE : 1/8" = 1'-0"

**e project**  
 917 W. Kathleen Rd. Phoenix, AZ 85023  
 phone: 602/481-9282 fax: 480/359-4407  
 e-mail: e-project@cox.net

*Bella Vita*  
**18 Townhomes**  
 1004 N. Miller Rd Tempe AZ

DATE:	<b>12/27/12</b>
SCALE:	<b>as noted</b>
SHEET:	<b>A241-D</b>

# Unit Type "D"



558 SF LIVABLE AREA  
107 SF TERRACE

## 3rd Floor Plan

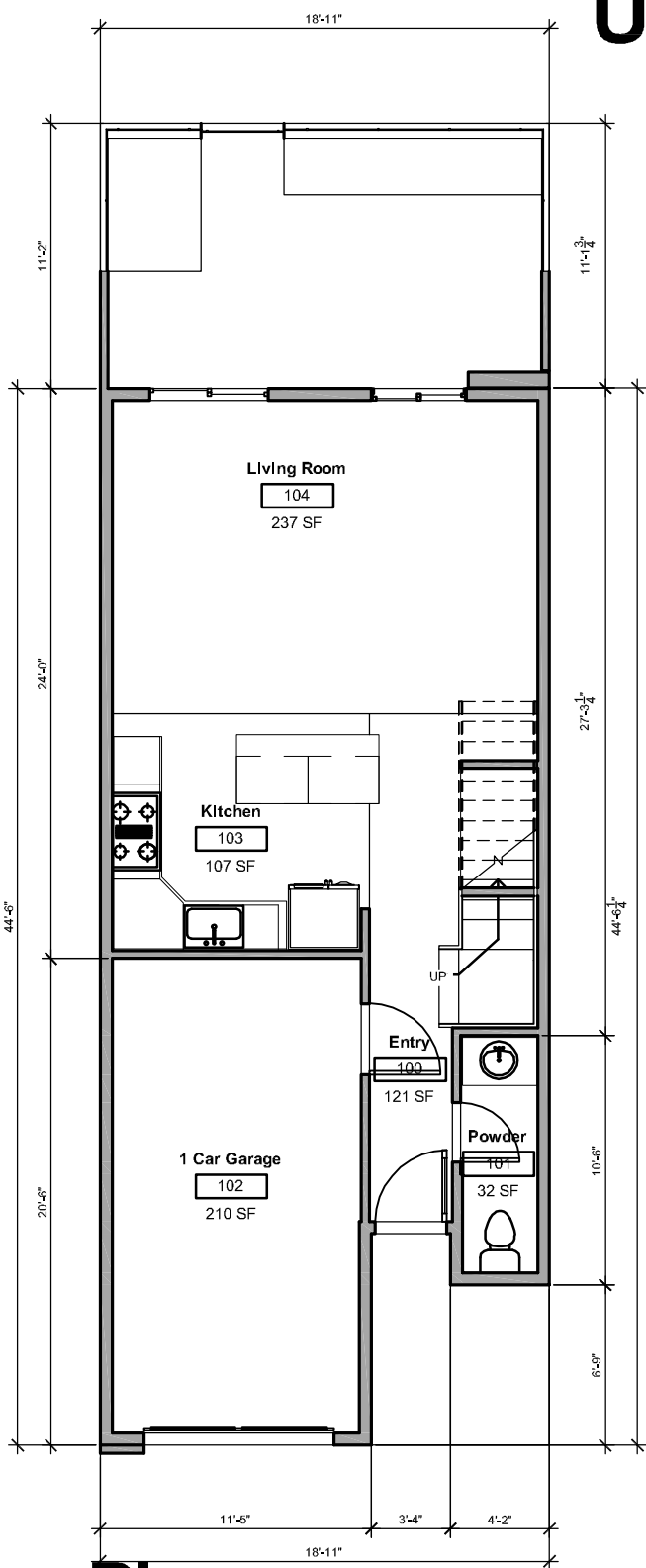
SCALE : 1/8" = 1'-0"

**e project**  
 917 W. Kathleen Rd. Phoenix, AZ 85023  
 phone: 602/481-9282 fax: 480/359-4407  
 e-mail: e-project@cox.net

*Bella Vita*  
**18 Townhomes**  
 1004 N. Miller Rd Tempe AZ

DATE:	<b>12/27/12</b>
SCALE:	<b>as noted</b>
SHEET:	<b>A242-D</b>

# Unit Type "E"



556 SF LIVABLE AREA  
230 SF GARAGE  
211 SF REAR PATIO

## 1st Floor Plan

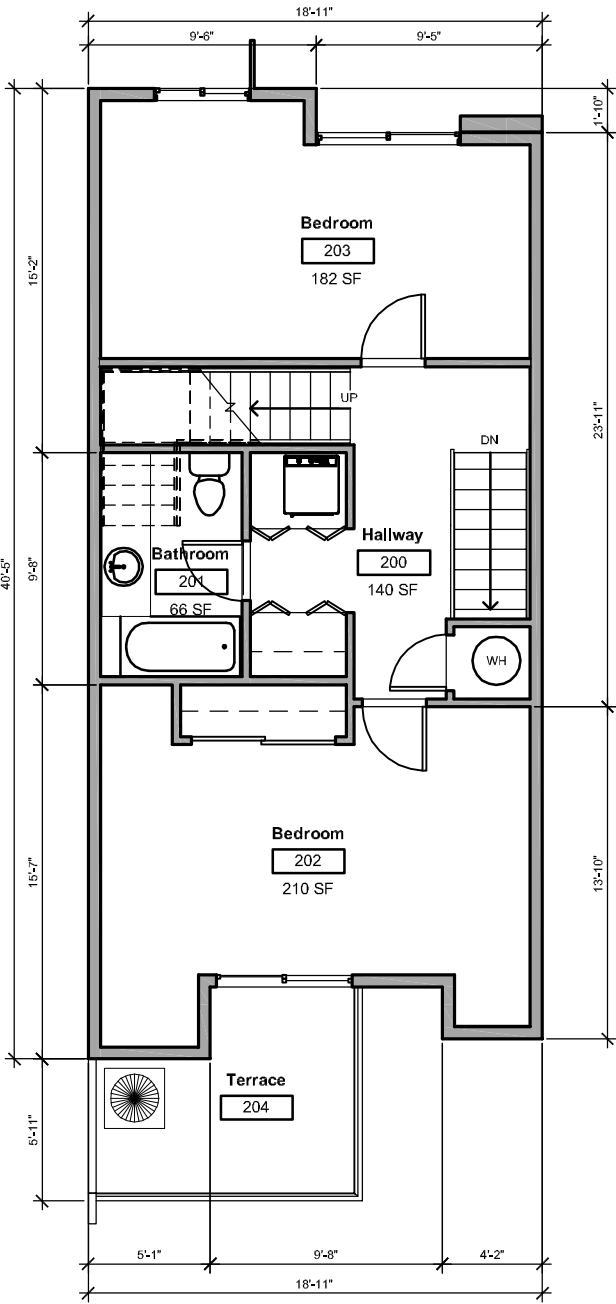
SCALE : 1/8" = 1'-0"

**e project**  
917 W. Kathleen Rd. Phoenix, AZ 85023  
phone: 602/481-9282 fax: 480/359-4407  
e-mail: e-project@cox.net

*Bella Vita*  
**18 Townhomes**  
1004 N. Miller Rd Tempe AZ

DATE:	<b>12/27/12</b>
SCALE:	<b>as noted</b>
SHEET:	<b>A250-E</b>

# Unit Type "E"



688 SF LIVABLE AREA  
79 SF TERRACE

## 2nd Floor Plan

SCALE : 1/8" = 1'-0"

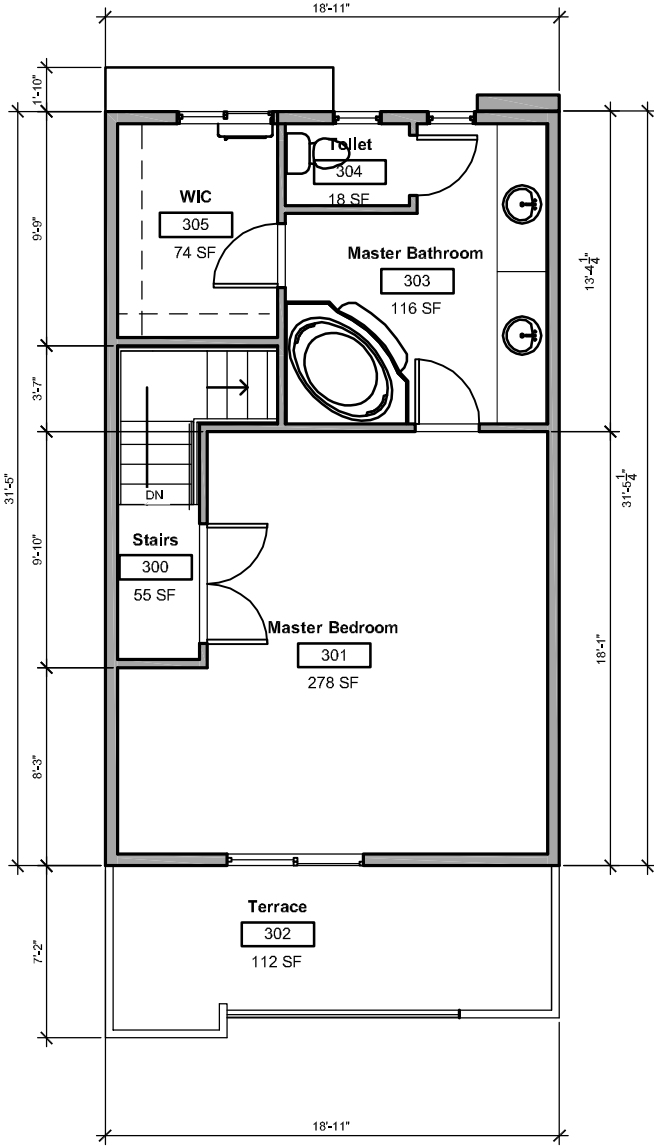


917 W. Kathleen Rd. Phoenix, AZ 85023  
phone: 602/481-9282 fax: 480/359-4407  
e-mail: e-project@cox.net

*Bella Vita*  
**18 Townhomes**  
1004 N. Miller Rd Tempe AZ

DATE:	<b>12/27/12</b>
SCALE:	<b>as noted</b>
SHEET:	<b>A251-E</b>

# Unit Type "E"



575 SF LIVABLE AREA  
124 SF TERRACE

## 3rd Floor Plan

SCALE : 1/8" = 1'-0"



917 W. Kathleen Rd. Phoenix, AZ 85023  
phone: 602/481-9282 fax: 480/359-4407  
e-mail: e-project@cox.net

*Bella Vita*

**18 Townhomes**

1004 N. Miller Rd Tempe AZ

DATE:	<b>12/27/12</b>
SCALE:	<b>as noted</b>
SHEET:	<b>A252-E</b>

Rev.	Date	Submitted
1-1	11-18-12	Development Plan Review
1-2	12-11-12	DPR Revision No. 1



EXPIRATION DATE: 09/30/2014  
 SOUND AND SEALED  
 ELECTRICAL 12/29/2012  
 David J. Edwards  
 1004 Miller Rd Tempe, AZ

**Bella Vita**  
 18 Townhomes Community  
 1004 Miller Rd Tempe, AZ

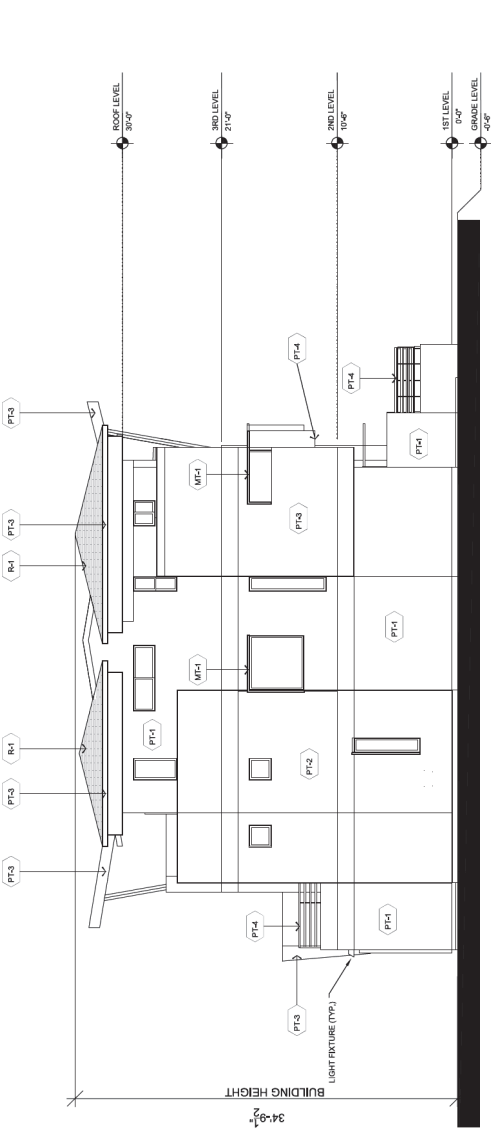
**Townhouse Elevations**  
 Townhouse 1 and  
 Townhouse 2

Date:	12-21-2012
Project No.:	3312
Drawn By:	ED
Checked By:	ED
Approved By:	ED

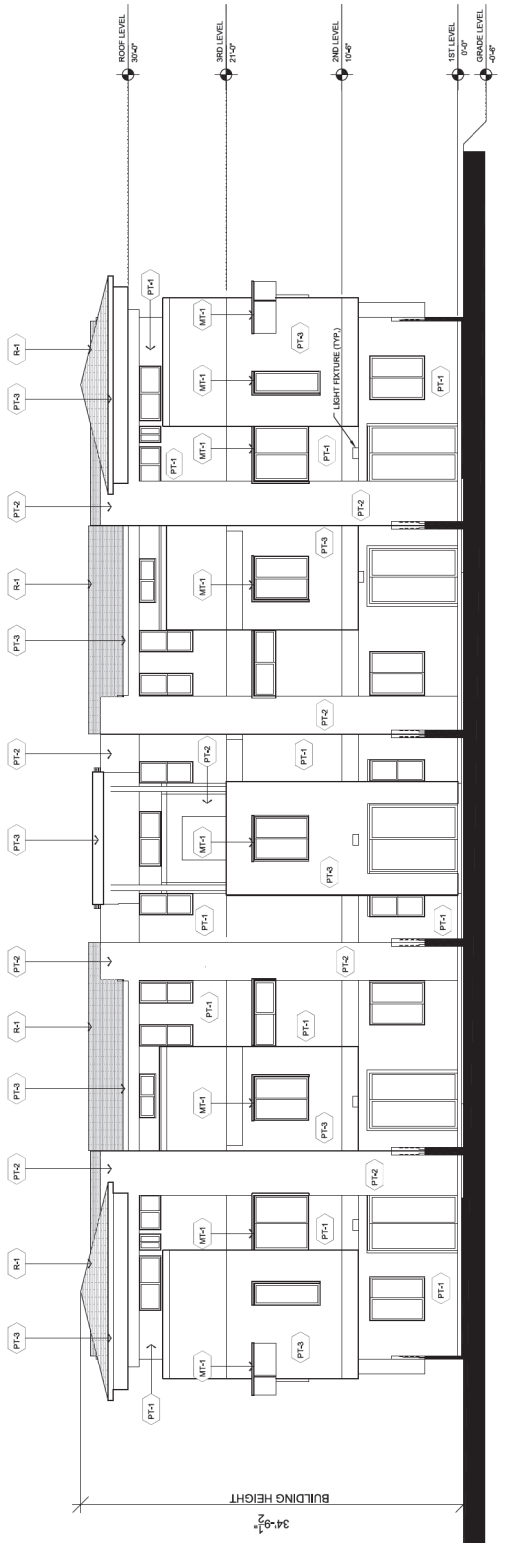
Scale: 1/4" = 1'-0"  
**A300**

**FINISH MATERIALS LEGEND**

PF-1	EXTERIOR WALLS DE 8212 CRISP MUSLIN LVY 11
PF-2	EXTERIOR ACCENT WALLS, GARAGE DOORS, ENTRY DOORS DE 8214 FREEM GRAY LVY 43
PF-3	EXTERIOR ACCENT WALLS, ROOF FASCIA DUNN EDWARDS DE 8358 SILVER SETTING LVY 17
PF-4	HANDRAILS, METAL COLUMNS DUNN EDWARDS DE 8358 SILVER SETTING LVY 17
MF-1	SUNSCREEN FINS MILOR INDUSTRIES POLAR WHITE SPD 0132
RF-1	EAGLE ROOFING PRODUCTS FAN CONCRETE ROOF TILE GRADE #4007



**1 Right Elevation**  
 3/8" = 1'-0"



**2 Rear Elevation**  
 3/8" = 1'-0"



Rev.	Date	Submitted
1-1-15-12	Development Plan Review	
1-27-11-12	DPR Revision No. 1	



EXPIRATION DATE: 09/20/14  
 SIGNATURE: DAVID EDWARDS  
 REGISTERED PROFESSIONAL ENGINEER  
 LICENSE NO. 4378  
 MECHANICAL  
 STATE OF TEXAS

**Bella Vita**  
 18 Townhomes Community  
 1004 Miller Rd Tempe, AZ

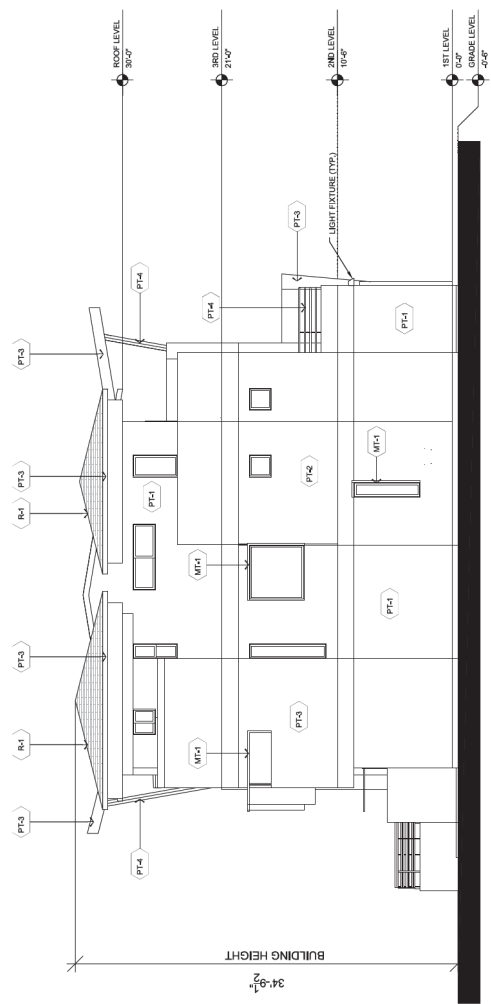
**Townhouse 1 and  
 Townhouse 2**

Date:	12-21-2012
Project No.:	3312
Drawn By:	ED
Checked By:	ED
Approved By:	ED

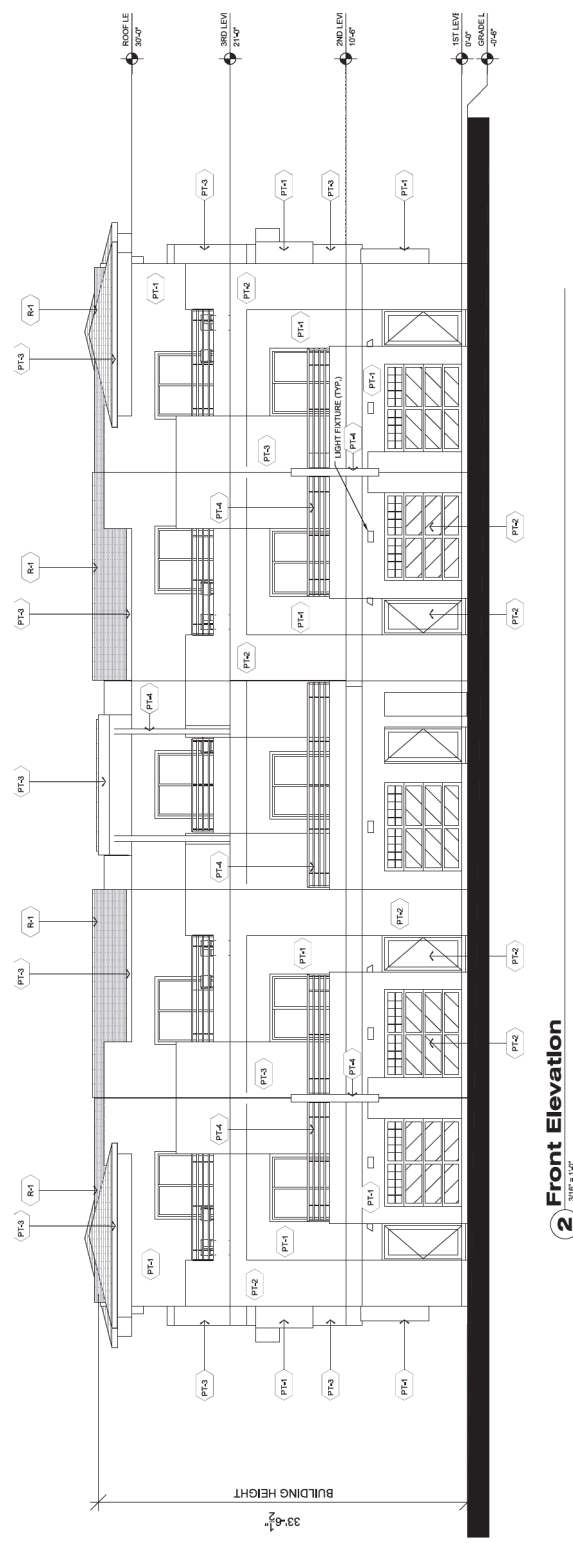
Scale: 1/8"=1'-0"  
**A301**

**FINISH MATERIALS LEGEND**

PT-1	EXTERIOR WALLS DE 8212 CRISP MUSLIN LVY 71
PT-2	EXTERIOR ACCENT WALLS, GARAGE DOORS, ENTRY DOORS DE 8214 PIGEON GRAY LVY 43
PT-3	EXTERIOR ACCENT WALLS, ROOF FASCIA DANN EDWARDS LVY 17
PT-4	HANDRAILS, METAL COLUMNS DANN EDWARDS DE 8338 SILVER SETTING LVY 69
MT-1	SUNSCREEN FINS MICO INDUSTRIES POLAR WHITE SPD 0132
R-1	CONCRETE ROOF TILE EAGLE ROOFING PRODUCTS FLAT CONCRETE ROOF TILE GRADE FINISH



**1** Left Elevation  
 3/16" = 1'-0"



**2** Front Elevation  
 3/16" = 1'-0"

**project**  
 P17 Ar. Architecture, Inc. Phoenix AZ 85003  
 1000 N. Central Expressway, Suite 400  
 Phoenix, AZ 85004  
 Email: info@project.com

Rev.	Date	Quantity	Description
1	12-11-12	1	DPR Revision No. 1



EXPIRATION DATE: 06/30/2014  
 BOARD AND SEALED  
 ELECTRONICALLY: 12/21/2012

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**Bella Vita**  
 18 Townhomes Community  
 1004 Miller Rd Tempa, AZ

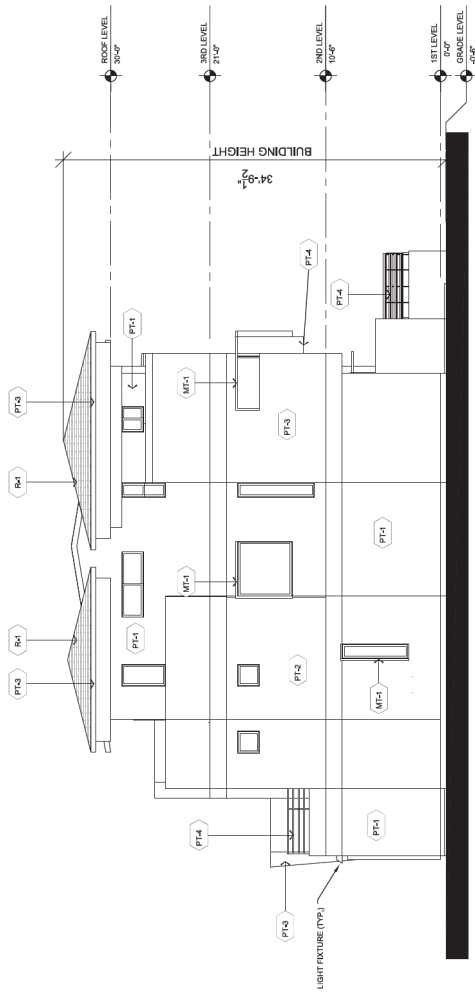
**Townhouse Elevations**  
**Townhouse 3 and**  
**Townhouse 4**

Date:	12-21-2012
Project No.:	3312
Drawn By:	ED
Checked By:	ED
Approved By:	ED

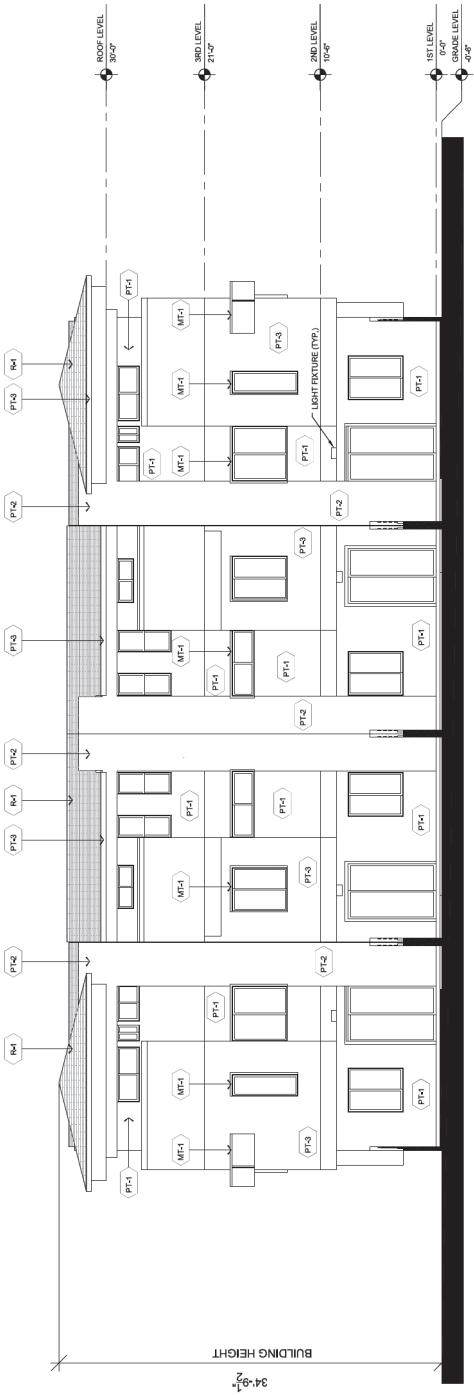
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**A302**

**FINISH MATERIALS LEGEND**

(PF-1)	EXTERIOR WALLS DE 512 CONSP MUSLIN LRY 71
(PF-2)	EXTERIOR ACCENT WALLS, GARAGE DOORS, ENTRY DOORS DE 512 CONSP MUSLIN LRY 43
(PF-3)	EXTERIOR ACCENT WALLS, ROOF FASCIA DANN EDWARDS LRY 77
(PF-4)	HANDRAILS, METAL COLUMNS DANN EDWARDS LRY 77
(MF-1)	SUNSCREEN FINS MAJOR INDUSTRIES POLAR WHITE 800 032
(MF-2)	CONCRETE ROOF TILE EAGLE ROOFING PRODUCTS EAGLE 84687



**1 Right Elevation**  
 3/16" = 1'-0"



**2 Rear Elevation**  
 3/16" = 1'-0"

Rev.	Date	Submitted
1-1	11-18-12	Development Plan Review
1-2	12-11-12	DPR Revision No. 1



ISSUED AND SEALED  
 EXPIRATION DATE: 09/30/2014  
 REGISTERED PROFESSIONAL ENGINEER  
 LICENSE NO. 4378  
 MECHANICAL  
 STATE OF ARIZONA

PROJECT NO: 12-0021  
 1004 Miller Rd Tempe, AZ

**Bella Vita**  
 18 Townhomes Community

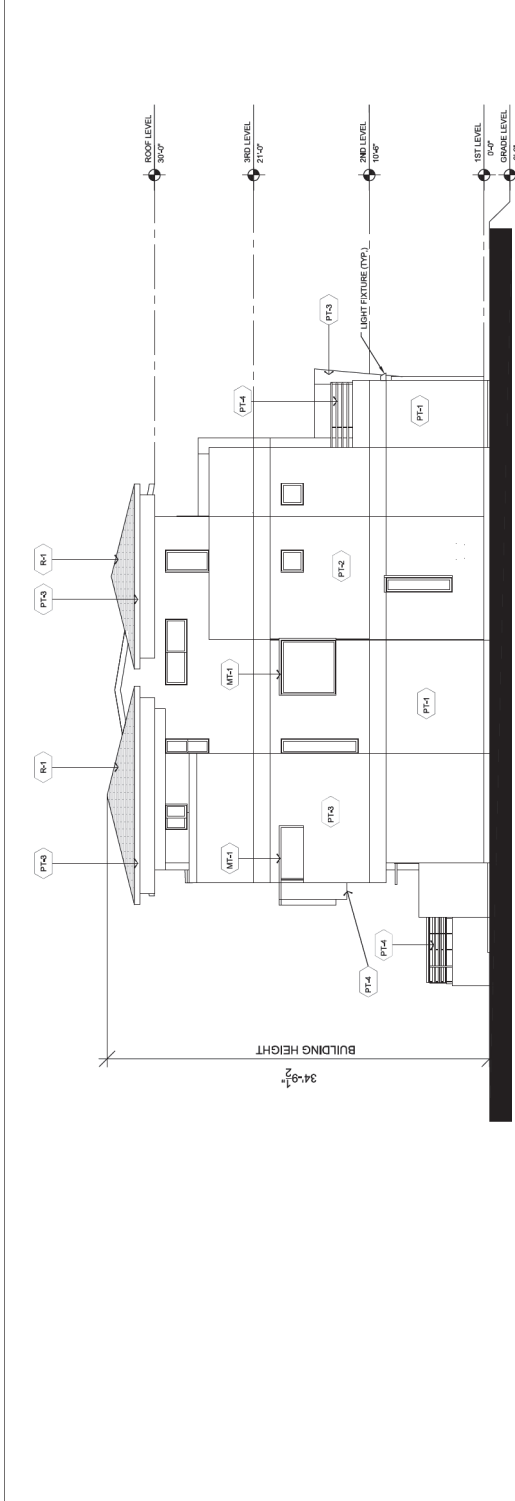
**Townhouse 3 and  
 Townhouse 4**

Date:	12-21-2012
Project No.:	3312
Drawn By:	ED
Checked By:	ED
Approved By:	ED

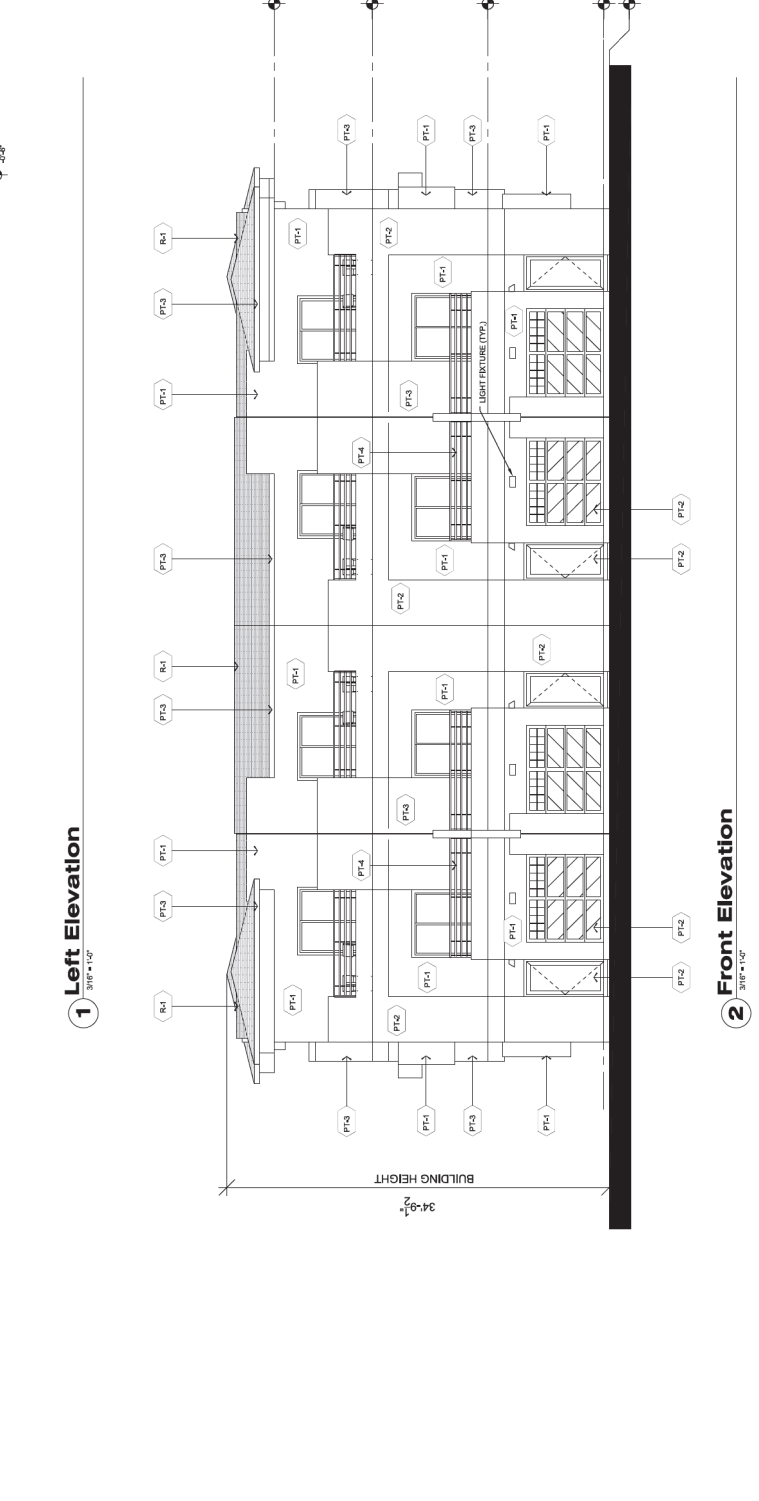
Scale: 1/4" = 1'-0"  
**A303**

**FINISH MATERIALS LEGEND**

PF-1	EXTERIOR WALLS DE 8212 CRISP MUSLIN LVY 11
PF-2	EXTERIOR ACCENT WALLS, GARAGE DOORS, ENTRY DOORS DE 8214 PRISON GRAY LVY 43
PF-3	EXTERIOR ACCENT WALLS, ROOF FASCIA DUNN EDWARDS LVY 17
PF-4	HANDRAILS, METAL COLUMNS DUNN EDWARDS DE 8388 SILVER SETTING LVY 69
MF-1	SUNSCREEN FINS MICO INDUSTRIES POLAR WHITE SPD 0132
R-1	EAGLE ROOFING PRODUCTS FLY CONCRETE ROOF TILE GRADE 440P



**1** Left Elevation  
 3/16" = 1'-0"



**2** Front Elevation  
 3/16" = 1'-0"

**e project**  
 PROJECT NO. 2020-0102 FOR 48700-0007  
 ESTATE DEVELOPMENT

Rev.	Date	Submittal
1	11-18-12	Development Plan Review
	12-7-12	DPR revision no. 1



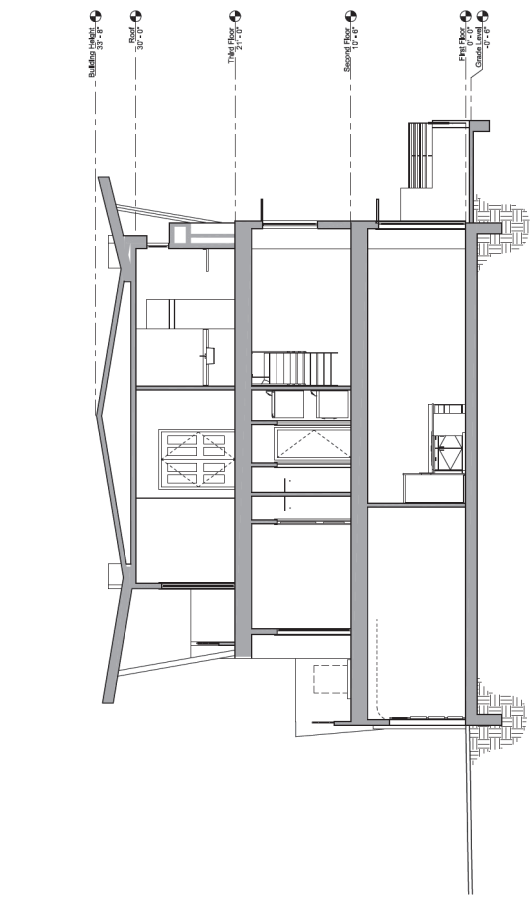
SEAL AND SIGNED  
 REGISTERED PROFESSIONAL ENGINEER  
 EXPIRATION DATE: 09/30/2014  
 REGISTERED NO. 43778  
 STATE OF ARIZONA  
 Robert J. Miller  
 1004, Miller Rd Tempe, AZ  
 85288-2912

**Bella Vita**  
 18 Townhomes Community  
 1004, Miller Rd Tempe, AZ

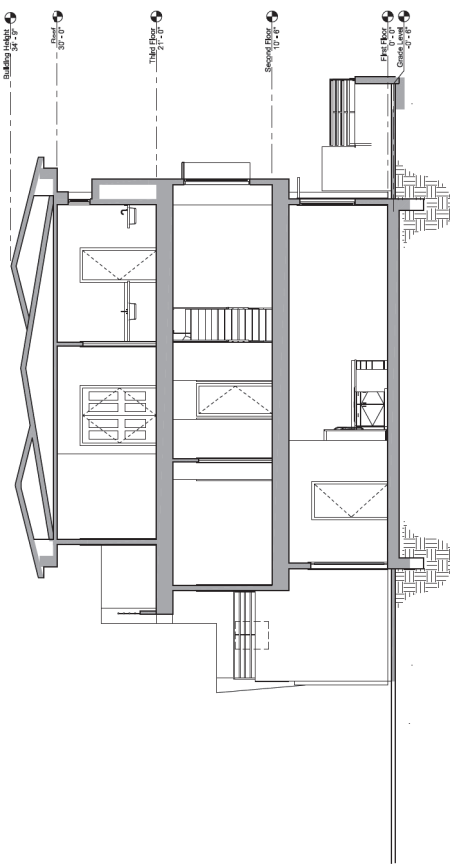
**Sections**

Date:	12-21-2012
Project No.:	3312
Drawn By:	ED
Checked By:	ED
Approved By:	ED

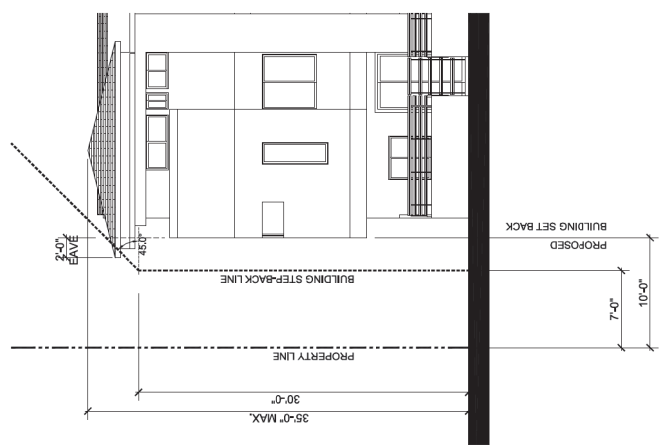
Scale: 3/16"=1'-0"  
**A304**



**1** Section at Unit "A" and "E"  
 3/16" = 1'-0"



**2** Section at Unit "C"  
 3/16" = 1'-0"



**3** Section at Property Line  
 3/16" = 1'-0"



1 Right Elevation  
3/16" = 1'-0"



2 Rear Elevation  
3/16" = 1'-0"

**FINISH MATERIALS LEGEND**

PT-1	EXTERIOR WALLS DE GRAY CRISP PAULSEN LEV. 71
PT-2	EXTERIOR ACCENT WALLS GARAGE DOORS, ENTRY DOORS DUNKIN EDWARDS LEV. 43
PT-3	EXTERIOR ACCENT WALLS, ROOF FASCIA DUNKIN EDWARDS LEV. 71 & ROSEWOOD
PT-4	HANDRAILS, METAL COLUMNS DE GRAY SILVER SETTING LEV. 65
MT-1	BIRNCREEN FINIS NUCOR INDUSTRIES LEV. 71 & ROSEWOOD POLAR WHITE BRD 0132 DUNKIN
R-1	CONCRETE ROOF TILE EAGLE #4687 FLAT CONCRETE ROOF TILE

**e project**  
 1100 N. McDowell Blvd., Suite 100  
 Phoenix, AZ 85007-1002 Fax: 602.955.6697  
 e-mail: eproject@epr.com

Rev	Date	Submitted	Description
1	11-15-12	Development Plan Review	
2	12-21-12	DPR Revision No. 1	



EXPIRATION DATE: 06/30/2014  
 SEAL NO.: 0000000000  
 REGISTERED ARCHITECT  
 JAMES M. HARRIS  
 4578  
 DUMAS  
 PHOENIX, AZ 85018

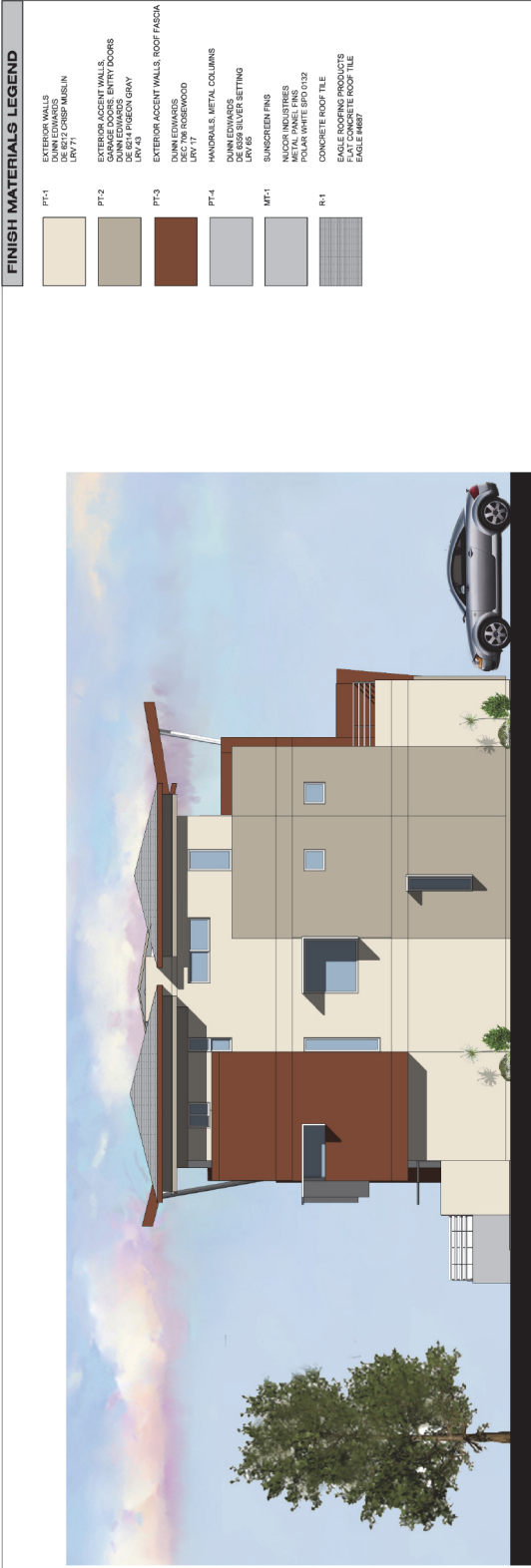
EXPIRATION DATE: 06/30/2014  
 SEAL NO.: 0000000000  
 REGISTERED ARCHITECT  
 JAMES M. HARRIS  
 4578  
 DUMAS  
 PHOENIX, AZ 85018

**Bella Vita**  
 18 Townhomes Community  
 1004 Miller Rd Tempo, AZ

**Townhouse Elevations**  
 Townhouse 1 and  
 Townhouse 2

Date:	12-21-2012
Project No.:	3312
Drawn By:	ED
Checked By:	ED
Approved By:	ED

Scale: 1/16" = 1'-0"  
**A300**



**1** Left Elevation  
3/16" = 1'-0"



**2** Front Elevation  
3/16" = 1'-0"

**FINISH MATERIALS LEGEND**

PT-1	EXTERIOR WALLS DE 8422 CRISP MUSHIN LRV 71
PT-2	EXTERIOR ACCENT WALLS GARAGE DOORS ENTRY DOORS DE 8424 PIGEON GRAY LRV 43
PT-3	EXTERIOR ACCENT WALLS, ROOF FASCIA DUKA EDWARDS DE 8178 ROSEWOOD LRV 77
PT-4	HANDRAILS, METAL COLUMNS DUNA SERVICES DE 8059 SILVER SETTING LRV 65
MT-1	SUNSCREEN FINIS NUCOR INDUSTRIES POLAR WHITE SPD 0132
R-1	CONCRETE ROOF TILE EAGLE FLOORING PRODUCTS FLAT CONCRETE ROOF TILE EAGLE IM897

<p><b>e project</b></p> <p>18174 Avenida B-1 Phoenix, AZ 85024 Phone: 602.947.4032 Fax: 602.934.4627 email: eproject@gsa.com</p>		
Rev.	Desc	Submitted
1	11-19-12	Development Plan Review
1.2	12-11-12	DPR modification 1



EXPIRATION DATE: 09/30/2014  
ELECTRONICALLY SIGNED  
BY: **PROJECT**  
DATE: 11/19/12

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**Bella Vita**  
**18 Townhomes Community**  
 1004 Miller Rd Tempe, AZ

**Townhouse Elevations**  
**Townhouse 1 and**  
**Townhouse 2**

Date: 12-21-2012  
 Project No: 3972  
 Drawn By: ED  
 Checked By: ED  
 Approved By: ED  
 Scale: 1/4" = 1'-0"

**A301**



Rev	Date	Description
11-19-12	11-19-12	Development Plan Review
12-21-12	12-21-12	CDR revision no. 1



EXPIRATION DATE: 06/30/2014  
 BOUND AND SEALED  
 ELECTRICAL 12/21/2012

CDR No. 12-12-0027  
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**Bella Vita**  
 18 Townhomes Community  
 1004 Miller Rd Tempe, AZ

**Townhouse Elevations**  
 Townhouse 3 and  
 Townhouse 4

Date:	12-21-2012
Project No.:	3312
Drawn By:	ED
Checked By:	ED
Approved By:	ED

Scale: 1/4" = 1'-0"  
**A302**

**FINISH MATERIALS LEGEND**

- PT-1 EXTERIOR WALLS  
DEVELOPMENT PLAN REVIEW  
REV. 71
- PT-2 EXTERIOR ACCENT WALLS  
GARAGE DOORS ENTRY DOORS  
DUANE EDWARDS  
REV. 48
- PT-3 EXTERIOR ACCENT WALLS, ROOF FASCIA  
DUANE EDWARDS  
REV. 70B ROSEWOOD
- PT-4 HANDRAILS, METAL COLUMNS  
DUANE EDWARDS  
REV. 85
- MT-1 SUNSCREEN FINIS  
NUCOR INDUSTRIES  
POLAR WHITE 9032
- R-1 CONCRETE ROOF TILE  
CONCRETE ROOF TILE  
EAGLE 4887



**1 Right Elevation**  
 3/16" = 1'-0"



**2 Rear Elevation**  
 3/16" = 1'-0"

Rev.	Date	Submitted
1.1-19-12	11/19/12	Development Plan Review
1.2-11-12	12/11/12	DPR Revision 106.1



EXPIRATION DATE: 09/22/2014  
 BOUND AND SEALED  
 ELECTRICAL, 12/21/2012

es project 2012-0812  
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**Bella Vita**  
 18 Townhomes Community  
 1004 Miller Rd Tempe, AZ

**Townhouse Elevations**  
 Townhouse 3 and  
 Townhouse 4

Date:	12-21-2012
Project No.	3312
Drawn By:	ED
Checked By:	ED
Approved By:	ED

Scale: 1/4"=1'-0"  
**A303**

**FINISH MATERIALS LEGEND**

PT-1	EXTERIOR WALLS DE 612 CREST WALSH LRV 71
PT-2	EXTERIOR ACCENT WALLS GARAGE DOORS, ENTRY DOORS DE 614 TANGON GRAY LRV 43
PT-3	EXTERIOR ACCENT WALLS, ROOF FASCIA DUAN EDWARDS LRV 79 ROSEWOOD
PT-4	HANGERS, METAL COLUMNS DE 639 SILVER SETTING LRV 66
MT-1	BUNGLEE FINIS NUCOR INDUSTRIES POLAR WHITE 802 P132 DUANA
RT-1	CONCRETE ROOF TILE EAGLE ROOFING PRODUCTS FLAT CONCRETE ROOF TILE EAGLE #4897



**1 Left Elevation**  
 3/16" = 1'-0"

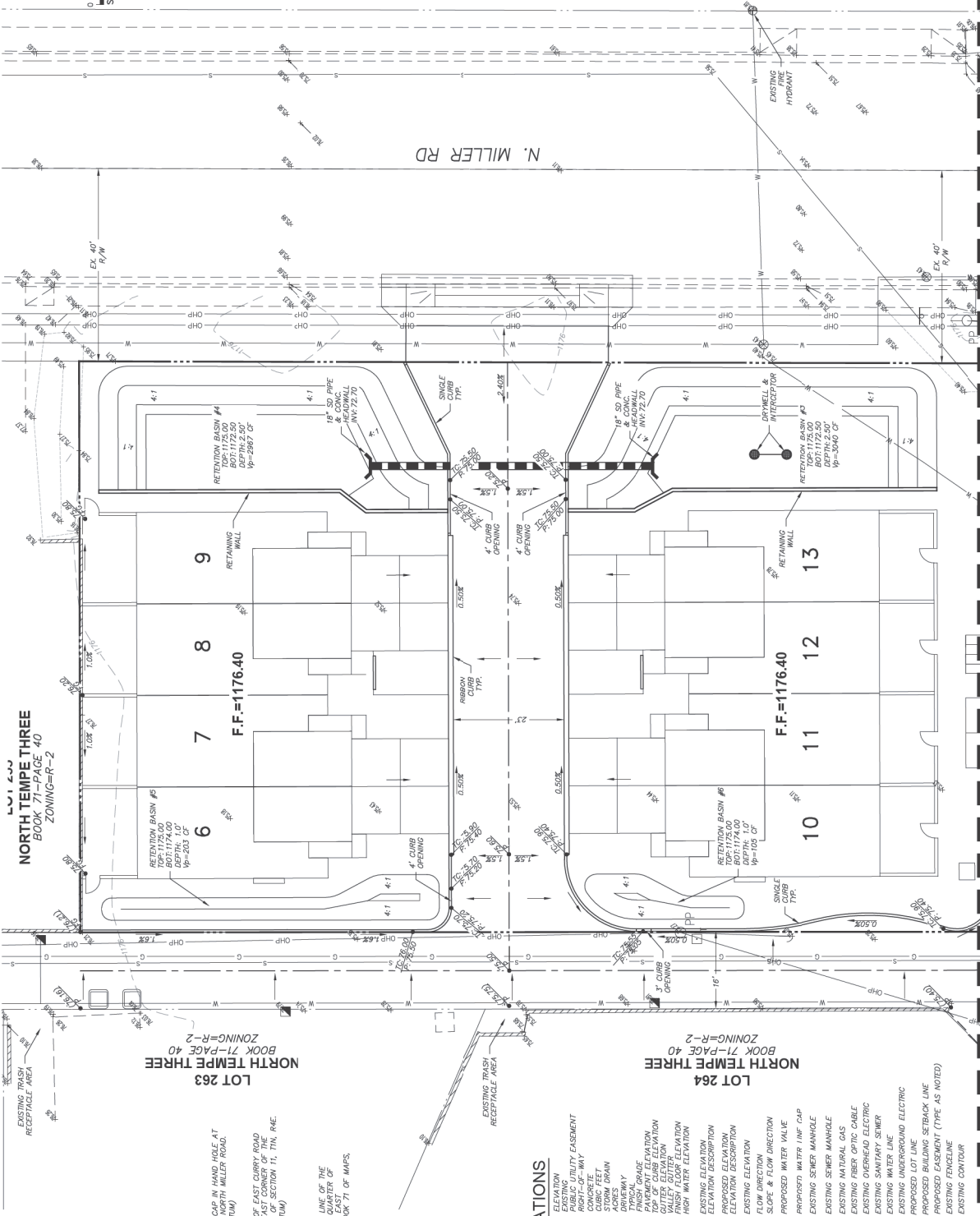


**2 Front Elevation**  
 3/16" = 1'-0"





# PRELIMINARY GRADING & DRAINAGE PLAN BELLA VITA TOWNHOMES



REVISIONS


SHEET TITLE: **PRELIMINARY GRADING & DRAINAGE**  
**BELLA VITA TOWNHOMES**  
 TEMPE, ARIZONA

O'NEILL ENGINEERING, L.L.C.  
 2001 West Camelback Road  
 Suite 200  
 Phoenix, AZ 85015  
 (602) 242-0020 FAX: (602) 242-5722  
 www.onelleng.com



DATE: 12/27/12  
 JOB NO.: 2012.371  
 DRAWN BY: M.J.L.  
 DESIGNED BY: M.J.L.  
 CHECKED BY: DSG  
 SCALE: 1"=10'  
 SHEET NUMBER: 1  
 OF: 2

**BENCHMARK**  
 CENTER OF SECTION 11, TIN, RAE, BRASS CAP IN HAND HOLE AT THE INTERSECTION OF WEBER STREET AND NORTH MILLER ROAD. SEE BENCHMARK PLANS (CITY OF TEMPE DATA)

**BASIS OF BEARING**  
 SOUTH 89.3300° WEST ALONG THE SOUTH LINE OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 11, T1N, R4E, ACCORDING TO THE RECORDED PLAT IN BOOK 71 OF MAPS, PAGE 40, MARICOPA COUNTY RECORDS.

**LEGEND & ABBREVIATIONS**

ELEVATION	FO
FINISH	FIN
RIGHT-OF-WAY	R/W
CURB FEET	CF
STORM DRAIN	SD
ARROWWAY	A/W
TRUCK GRADE	T/G
PAVEMENT ELEVATION	P/E
PAVEMENT FINISH ELEVATION	P/F
CUTTER ELEVATION	C/E
VALLEY CURB ELEVATION	V/C
HIGH WATER ELEVATION	H/W
N.H.W.E.	N.H.W.E.
EXISTING ELEVATION	EXISTING
ELEVATION DESCRIPTION	DESCRIPTION
PROPOSED ELEVATION	PROPOSED
ELEVATION DESCRIPTION	DESCRIPTION
EXISTING ELEVATION	EXISTING
SLOPE & FLOW DIRECTION	SLOPE & FLOW
PROPOSED WATER VALVE	PROPOSED VALVE
PROPOSED WATER INF. CAP	PROPOSED CAP
EXISTING SEWER MANHOLE	EXISTING MH
EXISTING NATURAL GAS	EXISTING NG
EXISTING FIBER OPTIC CABLE	EXISTING FO
EXISTING OVERHEAD ELECTRIC	EXISTING OE
EXISTING WATER LINE	EXISTING WL
EXISTING UNDERGROUND ELECTRIC	EXISTING UE
PROPOSED LOT LINE	PROPOSED LOT
PROPOSED BUILDING SETBACK LINE	PROPOSED SB
PROPOSED EASEMENT (TYPE AS NOTED)	PROPOSED EA
EXISTING EASEMENT	EXISTING EA
EXISTING CONTOUR	EXISTING CT

SEE SHEET 2

SEE SHEET 2

NO.	DATE	DESCRIPTION

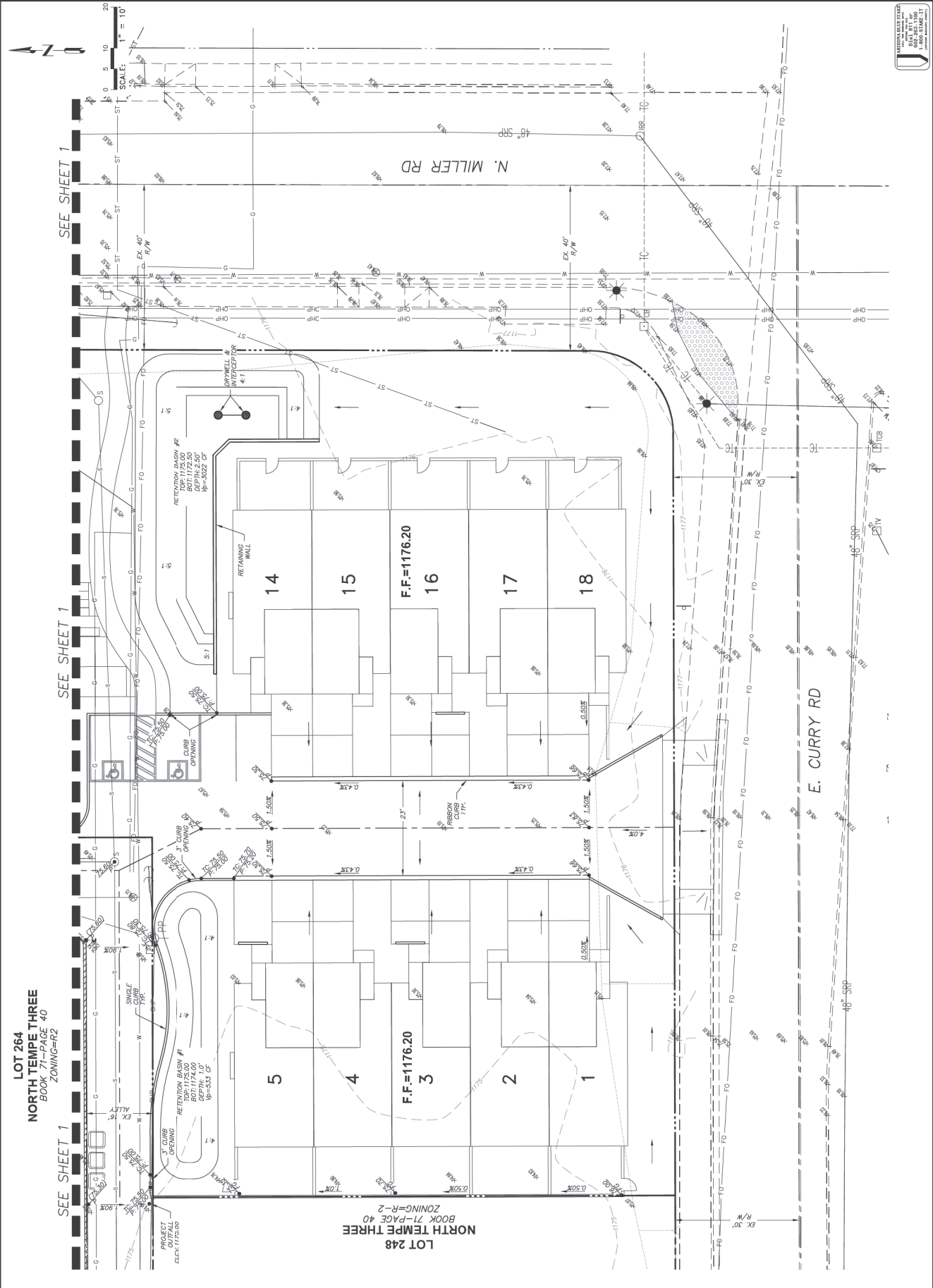
**PRELIMINARY GRADING & DRAINAGE**

**BELLA VITA TOWNHOMES**  
TEMPE, ARIZONA

**O'NEILL ENGINEERING, L.L.C.**  
2001 West Camelback Road  
Suite 200  
Phoenix, AZ 85015  
FAX: (602) 242-5722  
www.oengineering.com



DATE: 12/27/12  
JOB NO.: 2012.371  
DRAWN BY: MJL  
DESIGNED BY: MJL  
CHECKED BY: DSG  
SCALE: 1"=10'  
SHEET NUMBER: 2  
OF: 2



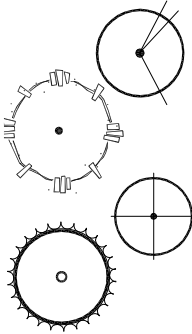
**LOT 264**  
**NORTH TEMPE THREE**  
BOOK 71-PAGE 40  
ZONING=R2

**LOT 248**  
**NORTH TEMPE THREE**  
BOOK 71-PAGE 40  
ZONING=R-2

# LANDSCAPE LEGEND

SYM. BOTANICAL/ COMMON NAME SIZE QUANTITY

trees



Acacia aneura/ Mulga Acacia	24" box	23
Tipuana Tipu/ Tipu Tree	24" box	15
Chilopsis linearis 'Desert Amethyst'/ Purple Desert Willow	24" box	7
Caesalpinia cacolaco 'Smoothie'/ Thornless Cascalote	24" box	18

shrubs



Leucophyllum zygophyllum 'Cimarron'  
Blue Ranger Sage 5 gallon 39



Tecoma hybrid 'Sparky'/  
Sparky Tecoma 5 gallon 29



Hamelia patens 'Sierra Red'/  
Firecracker Bush Bush 5 gallon 57

accents



Hesperaloe parviflora "Brakelights"/  
Brakelights Red Yucca 5 gallon 75



Muhlenbergia capillaris/  
Regal Mist Deer Grass 5 gallon 21



Hesperaloe funifera/  
Giant Hesperaloe 5 gallon 32



Nolina nelsonii/  
Blue Nolina 5 gallon 18

groundcovers



Convolvulus cneorum/  
Bush Morning Glory 5 gallon 98



Lantana camara "Gold Mound"/  
Gold Mound Lantana 5 gallon 75

rock

Decomposed Granite: 1/2" 12,587 s.f.  
Color-Table Mesa Brown Screened

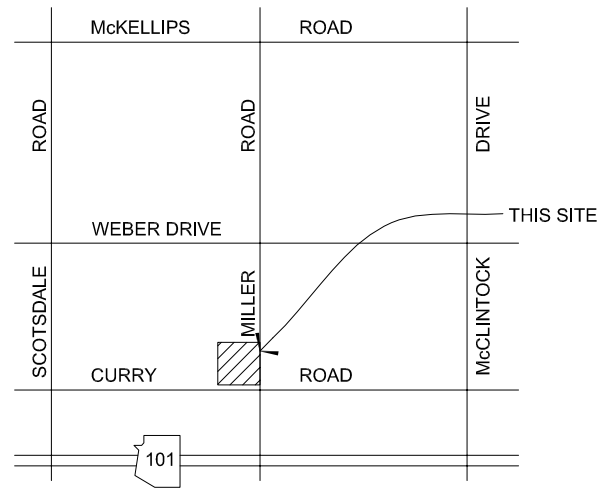
turf



Cynodon dactylon "Midiron" Sod 7,865 s.f.  
Midiron Bermuda Grass

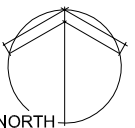
## LANDSCAPE NOTES

1. ALL PLANTS SHALL BE QUALITY MATERIAL HAVING A GROWTH HABIT WHICH IS NORMAL FOR THE SPECIES AND BE SOUND, VIGOROUS, HEALTHY AND FREE FROM INSECTS, DISEASE AND INJURY.
2. FINISH GRADE IN GROUNDCOVER, GRANITE AND LAWN AREAS SHALL BE 1" BELOW ADJACENT HEADER, PAVING OR CURB.
3. DECOMPOSED GRANITE SHALL BE PLACED IN ALL LANDSCAPE AREAS AND EXTEND UNDER ALL SHRUBS AND GROUNDCOVERS .
4. EXISTING LANDSCAPE DISTURBED BY NEW CONSTRUCTION SHALL BE REPAIRED WITH MATCHING MATERIALS. DISTURBED AREAS SHALL TRANSITION SMOOTHLY INTO NEW CONSTRUCTION.
5. LANDSCAPE INSTALLATION SHALL CONFORM TO APPLICABLE CITY OF TEMPE DESIGN STANDARDS.



## VICINITY MAP

NOT TO SCALE



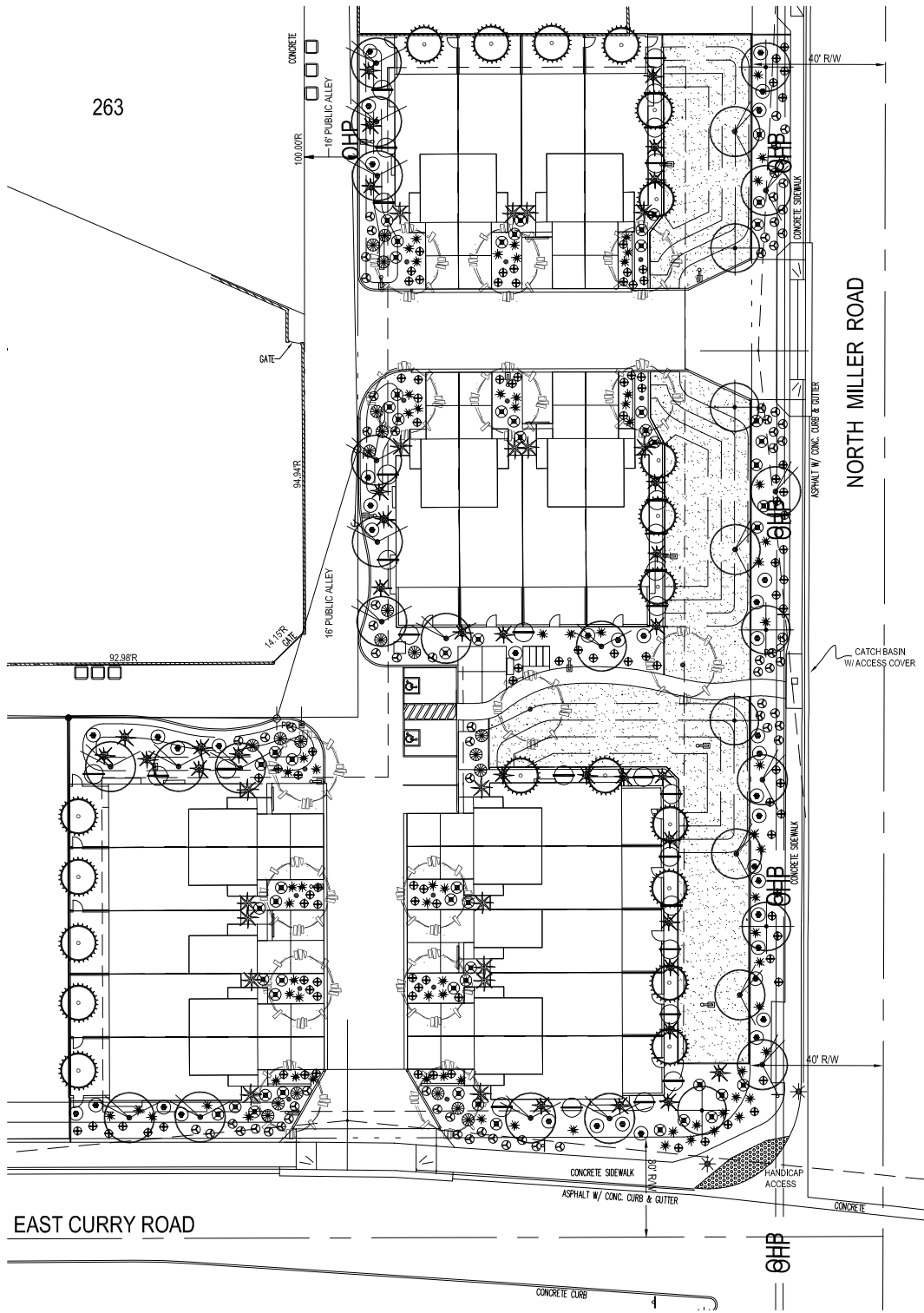
# TERRANO

landscape architecture urban design p. 480-329-9852 618 e solana drive tempe, az. 85281

**BELLA VITA TOWNHOMES**  
1004 N. MILLER ROAD  
TEMPE, ARIZONA

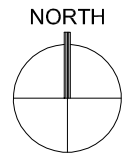
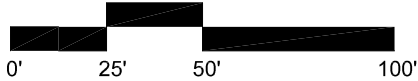
Drawn RLV  
Proj. # 12015  
Date 12-28-12

# L100b



**PRELIMINARY LANDSCAPE PLAN**

SCALE: 1" = 50'



**TERRANO**

landscape architecture urban design

p. 480-329-9852 618 e solana drive  
tempe, az. 85281

**BELLA VITA TOWNHOMES**  
1004 N. MILLER ROAD  
TEMPE, ARIZONA

Drawn RLV  
Proj. # 12015  
Date 12-28-12

**L100a**



*Bella Vita*

18 townhomes  
1004 N. Miller Rd Tempe, AZ

**Architect:**  
E-Project, LLC  
Edmir Dzudza AIA  
917 W. Kathleen Rd Phoenix, AZ  
p. 602-481-9282

**architecture**  
residential  
commercial  
industrial



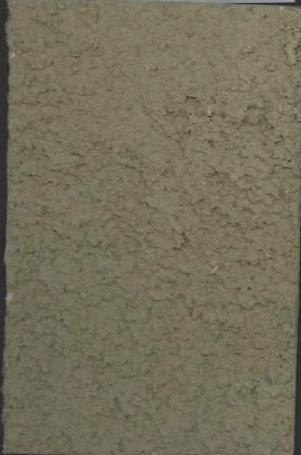
917 W. Kathleen Rd  
Phoenix, AZ 85023

**PT-1** Exterior Walls  
Dunn Edwards  
DE 6212 Crisp Muslin  
LRV 71

**PT-2** Exterior Accent Walls  
Garage and Entry Doors  
Dunn Edwards  
DE 6214 Pigeon Gray  
LRV 43

**Stucco Texture**  
1-Kote Stucco System  
Western Stucco products

Sand Pebble Texture



**PT-3** Exterior Accent Walls  
Dunn Edwards  
DEC 706 Rosewood  
LRV 17

**PT-4** Handrails, Metal Columns  
Dunn Edwards  
DE 6359 Silver Setting  
LRV 65

**R-1** Concrete Roof Tile  
Eagle Roofing Products  
  
Eagle # 4687



**MT-1** Sunscreen Fins  
Nucor Industries  
Metal Sunscreens  
Polar White SPD0132

**Neighborhood  
Meeting  
Summary Sheet**

**Bella Vita**

Monday, December 17, 2012 at

6:00 PM

North Tempe - Multi-  
Generational Center  
Joshua Room

1555 N. Bridalwreath St.  
Tempe, AZ 85281

**PROJECT NAME:** BELLA VITA  
**ADDRESS:** 1004 N MILLER RD  
**CASE NUMBER:** SPR12140  
**SECTION:** 11N  
**ZONING:** RO/R-2

General Concerns	Explanation
General Noise coming from occupants of future development	<p>We have addressed both traffic noise and internal noise that would be coming from future residents and outdoor activities.</p> <p>Traffic noise coming from Miller Rd and Curry Road will be significantly reduced, because new buildings and proposed landscaping will be great buffer to existing homes.</p> <p>Internal noise is regulated by City Ordinances and in addition, proposed homes have such small outdoor patios and terraces that would prohibit large gatherings. Common area is also sized to accommodate small group of people around BBQ.</p>
Rental Properties Concern	Our development will be composed of 18 for sale townhomes. We cannot control who will be buying these homes and whether or not they will be rented after purchase.
Privacy to Hoy Residence (West neighbor)	During design process we paid extra attention to the privacy of homes on the west and on north side of the project. We are proposing a landscape buffer, along the west side of buildings 3 and 4 and along the north side of building 1, that will help screen the property. In addition, our interior layout has been revised so there

	<p>are no sleeping rooms facing west and north and our 3<sup>rd</sup> level windows are Clear Story windows with a sill height of min. 5'-0".</p> <p>After our explanation of proposed design, it seemed that the most affected neighbors appreciated the consideration given to their privacy.</p>
Refuse Collection Track and its turning radius at the alley.	We will be complying with City of Tempe guidelines for turning radiuses. Bollards are currently installed at the rear of Mrs. Hoy's lot.
Smell from new 300 gallons bins	There will be 5 new 300-gallon bins placed along alley for refuse collection. 2 bins will be at north portion and another 3 will be at west. Bins will be placed along existing fence wall. We will comply with all City ordinances related to trash collection.
Security Concern	<p>In our opinion, with a new development in this location, security will be increased when compared to the vacant lots that once existed. View corridors, lighting, additional residents coming and going will enhance the security in the area.</p> <p>We will comply with the City of Tempe outdoor lighting requirements. There was suggestion to use high-pressure sodium fixtures because of the soft illumination and color. We are open to that.</p>
CC&R's	This project will be governed by an HOA and CC&R's.

END OF MEETING SUMMARY

Prepared by:



Edmir Dzudza, AIA

date: 12-21-2012