

**CITY OF TEMPE  
DEVELOPMENT REVIEW COMMISSION**

**Meeting Date: 02/12/2013  
Agenda Item: 3**

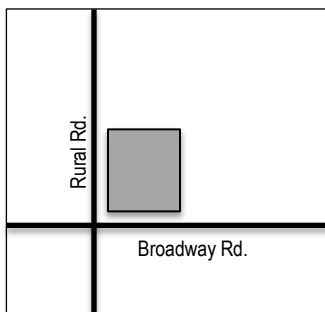
**ACTION:** Request for an Amended Planned Area Development Overlay, a Use Permit, a Development Plan Review and a Preliminary Subdivision Plat for a proposed commercial development for PANDA EXPRESS RESTAURANT (PL120263) located at 908 East Broadway Road. The applicant is Hengst Streff Bajko Architects + Engineers.

**FISCAL IMPACT:** While this ordinance change does not directly impact revenue, the planned development will result in collection of the standard development fees, calculated according to the approved fee structure at the time of permit issuance.

**RECOMMENDATION:** Staff – Approval, subject to conditions

**BACKGROUND INFORMATION:** PANDA EXPRESS RESTAURANT (PL120263) consists of a proposed commercial development on +/-0.461 net acres including a +/-2,546 gross sf. restaurant building with drive through, outdoor patio and including 26 on-site and 4 off-site parking spaces. The site is located at 908 East Broadway Road in the CSS (PAD), Commercial Shopping and Service District and Planned Area Development Overlay. The request includes the following:

- PAD13001 Amended Planned Area Development Overlay to increase rear yard setback from 0 feet to 10 feet, increase landscape lot coverage from 7 percent to 23 percent, reduce parking--landscape setback from 10 feet to 6 feet on Rural Road and increase parking--landscape setback from 0 feet to 6 feet on Broadway Road.
- ZUP12132 Use Permit to allow a food service drive-through in the Commercial Shopping and Service District.
- DPR12241 Development Plan Review including site plan, building elevations, and landscape plan.
- SBD13001 Preliminary Subdivision Plat to consolidate two parcels into one lot and dedicate public right of way.



Current Property Owner	Safeway, Inc.
Prospective Owner	CFT Developments, LLC
Applicant	Justen Cassidy, HSB Architects + Engineers
Current Zoning District	CSS (PAD)
Gross & Net site area	+/-0.474 gross ac. & +/-0.461 net ac. (after dedication)
Overall & Net Building area	+/-2,546 gross sf. & +/-2,248 net sf. (minus ext. walls)
Building Lot Coverage	13 %; maximum 50 % allowed
Building Height	24 ft.; maximum 35 ft. allowed
Building Setbacks	66 ft. front (Rural), 77 ft. street-side (Broadway), 17 ft. side and 16 ft. rear; Minimum 0 ft. front, street-side, side and 0 ft. rear allowed (rear setback is a PAD standard)
Park'g.--Ldscp. Setbacks	6 ft. front & street-side parking by Amended PAD std.; minimum 10 ft. landscape front yard & 0 ft. landscape street side yard setbacks allowed by PAD standard
Landscape Lot Coverage	23 %, minimum 7 % allowed by PAD standard
Vehicle Parking	30 spaces, minimum 30 spaces allowed
Bicycle Parking	4 spaces, minimum 2 spaces allowed

**ATTACHMENTS:** Ordinance (in City Council Report), Development Project File

**STAFF CONTACT:** Your Kevin O'Melia, Senior Planner (480) 350-8432



## COMMENTS

This site is located on the northeast corner of the Broadway Road and Rural Road intersection. The site formerly was a fuel and service station which was later converted to a fuel station and convenience store. The site currently is without building or canopy. The fuel tanks have been removed. Portions of site pavement and site perimeter screen walls remain. Five existing trees are also located on the eastern and northern edges of the site. The largest of these trees are two to the east. The Safeway Center is located to the north and east of the site. An existing parking field for Safeway and associated stores is located to the north of the site. A large, grassed and tree-lined retention basin for the Safeway Center is located to the east of the site. The site and the adjacent Safeway Center are identified in the Projected Land Use Map of General Plan 2030 as Commercial/Work.

The site is within the CSS, Commercial Shopping and Service district and is subject to the development standards for this district except as modified by Planned Area Development Overlay in 2007. The modified standards as established for this site are as follows.

- Reduction in building rear yard setback from 10 feet to 0 feet (East).
- Reduction in on-site landscape area from minimum 15 percent to approximately 7 percent, a minimum of 1,350 sf. of landscape area.
- Reductions in landscape front and street side yard setback (to allow increased vehicle pavement area) from minimum 20 feet for each setback to 10 feet for the front setback (on Rural) and 0 feet for the street side setback (on Broadway).
- On-site driveway lengths were declared reduced from minimum 20 feet to 10 feet (on Rural) and 0 feet (on Broadway).
- The Rural Road site driveway was also declared to be minimum 95 feet from the nearest Broadway Road curb of the Broadway and Rural intersection (although the minimum driveway/intersection separation is not a development standard of the Zoning and Development Code).

The components of this request are as follows:

1. Amended Planned Area Development to restore the building rear yard setback to the CSS district standard, increase the landscape site area beyond that required by the CSS district standard, reduce the front and increase the street side parking-landscape setbacks. The Amendment will also restore minimum on-site driveway length per ZDC 4-502(F)(3).
2. Use Permit to allow a drive through for a restaurant in the CSS district
3. Development Plan Review which includes a one-story, +/-2,546 gross sf. restaurant with drive through and associated site and landscape improvements on +/-0.461 net acres including an outdoor patio and 26 on-site parking spaces. Four additional parking spaces are provided for this site on the adjacent Safeway Center site.
4. Preliminary and Final Subdivision Plat to consolidate two parcels into one lot (+/-0.461 net acres) including dedication of land to public right of way on the Rural and Broadway frontages.

Applicant requests the Development Review Commission take action on the Use Permit, Development Plan Review and Preliminary Subdivision Plat, and provide recommendation to City Council for the Amended Planned Area Development Overlay. The City Council will separately consider the Final Subdivision Plat.

## PUBLIC INPUT

A neighborhood meeting was conducted because of the proximity of residential development to the west. The meeting was conducted on January 23, 2013 by HSB Architects + Engineers and was located in Pod A of the Auditorium of McClintock High School. Two private citizens attended the meeting, reviewed the exhibits and made comments on the proposal.

Opposition to the proposal for Panda Express is based on two points. These points are as follows:

1. The reduction of front and street side landscape setback for vehicle parking is unjustified. Street frontage trees will not have enough root space to thrive. Provide a 20 feet front and street side landscape setback for this site.
2. The corporate architecture presented is found on other sites in other states and does not reflect site-specific or regional context design determinants. The design should address the existing grassed retention basin on the adjacent property.

A draft Access Easement dated January 30, 2013, was received by Community Development staff. The Easement agrees to cross access between Safeway and the subject site and provides four parking spaces for use by the subject site. The easement is signed by the grantor (Safeway) and implies support of the subject site redevelopment.

PROJECT ANALYSIS

PLANNED AREA DEVELOPMENT

The request for an Amended Planned Area Development for the subject site reflects the superiority of the proposed commercial site layout (see attachments 8 and 22) to the existing approved layout of Planned Area Development PAD07010 (attachment 38 from PAD07010 is provided for comparative reference). The following modifications are contained in the Amended Planned Area Development request, as modified by the conditions of approval.

- Restore building rear yard setback from minimum 0 feet to 10 feet (the CSS district standard) on the east of the site.
- Increase the landscape lot coverage from minimum 7 percent to 23 percent to compensate for the reduction in front and street side landscape--parking setback from that indicated by the CSS district standard. Landscape lot coverage of 23 percent exceeds the existing PAD and CSS district standards.
- Reduce landscape front yard setback on Rural Road from minimum 10 feet to 6 feet. Increase the landscape street side yard setback on Broadway Road from minimum 0 feet to 6 feet.
- Restore on-site driveway lengths from minimum 10 feet on Rural Road and 0 feet on Broadway Road to minimum 20 feet on both street frontages in accordance with Zoning and Development Code Section 4-502 (F)(3).
- Driveways remain in the same locations for both Planned Area Development and Amended Planned Area Development.

Building & Site Standard	CSS	CSS(PAD) AM/PM Redevelopment	CSS (Amended PAD) PANDA EXPRESS
MAXIMUM BUILDING HEIGHT (highest roof or parapet to top of curb adjacent to center of front yard)	35.0 FT	22.0 FT	24.0 FT
MINIMUM BUILDING SETBACKS			
.....Front (facing Rural Road)	0.0 FT	36.0 FT	66.0 FT
.....Street Side (facing Broadway Road)	0.0 FT	24.0 FT	77.0 FT
.....Side (North)	0.0 FT	14.0 FT	17.0 FT
.....Rear (East)	10.0 FT	0.0 FT	16.0 FT
MINIMUM SETBACKS for ON-SITE VEHICLE PARKING & MANEUVERING	Landscape Setback measure to 2'-0" parking overhang	Landscape Setback to allow vehicle maneuvering	Landscape Setback measure to 2'-0" parking overhang
.....Front (facing Rural Road)	20.0 FT	10.0 FT	6.0 FT
.....Street Side (facing Broadway Road)	20.0 FT	0.0 FT	6.0 FT
MAXIMUM BUILDING LOT COVERAGE Building area as percent of net site area	50.0 %	30.0 %	13.0 %
MINIMUM LANDSCAPE LOT COVERAGE Landscape area as percent of net site area	15.0 %	7.0 %	23.0 %
MINIMUM DRIVEWAY ON-SITE LENGTH TO PUBLIC R.O.W. see ZDC 4-502 (F)(3)			
.....Front (facing Rural Road)	20.0 FT	10.0 FT	20.0 FT
.....Street Side (facing Broadway Road)	20.0 FT	0.0 FT	20.0 FT.

#### Section 6-305 D. Approval criteria for Planned Area Development:

1. *The proposed commercial land use is allowed as defined in Part 3.*
2. *The development standards listed above, as established as part of the PAD Overlay District, as well as the standards allowed by Use Permit in Part 4 will be followed for development of this site.*
3. *The conditions of approval are reasonable to ensure conformance with the provisions of the Zoning and Development Code.*

#### USE PERMIT

The proposed use requires a Use Permit to allow a drive through for a restaurant within the CSS district. The restaurant also has an on-site kitchen/service area, an interior dining room, restrooms and an exterior patio. The hours of operation will be 9:00AM to 9:00PM daily. Alcoholic beverages are not served at this restaurant.

#### Section 6-308 E Approval criteria for Use Permit:

1. *The manner of conduct and the building for the proposed use will not be detrimental to persons residing or working in the vicinity, to adjacent property, to the neighborhood, or to the public welfare in general, and that the use will be in full conformity to any conditions, requirement or standards prescribed therefore by this code.* The drive through, with pick-up window located on the north elevation of the restaurant near the northwest corner of the building, will improve visual surveillance and activity support on the southern part of the Safeway parking lot including the four spaces therein that are dedicated for Panda Express as well as the adjacent Valley Metro bus stop on Rural Road to the northwest of the site.
2. *Any significant increase in vehicular or pedestrian traffic.* The drive through is positioned on-site to maximize length of vehicle queue around the building and allow emergency back-up in the on-site parking lot and prevent traffic snarls off-site. Drive through vehicle exit is positioned to efficiently allow access directly to Rural or (through on-site parking lot) to Broadway or (through cross access drive aisle) to the Safeway Center. Pedestrian paths are clearly demarcated with respect to vehicle drive aisles to minimize vehicle / pedestrian conflicts.
3. *Nuisance arising from the emission of odor, dust, gas, noise, vibration, smoke, heat or glare at a level exceeding that of ambient conditions.* Idling vehicle time in the drive through is kept to a minimum as a matter of sound business practice.
4. *Contribution to the deterioration of the neighborhood or to the downgrading of property values, the proposed use is not in conflict with the goals, objectives or policies for rehabilitation, redevelopment or conservation as set forth in the City's adopted plans or General Plan.* The General Plan Projected Land Use for this site is commercial/work. A restaurant with drive through fits this description, compliments other commercial business activity on this site, and supports customers commuting or living in nearby neighborhoods.
5. *Compatibility with existing surrounding structures and uses.* A restaurant with drive through supports and strengthens the network of commercial activity found at the four corners of this intersection.
6. *Adequate control of disruptive behavior both inside and outside the premises which may create a nuisance to the surrounding area or general public.* Visual surveillance and activity support provided by this restaurant including not least the drive through will assist in dissuading disruptive behavior on-site, in the adjacent parking lot and public right of way. The proposed drive-through does not itself promote or foster disruptive behavior.

#### DEVELOPMENT PLAN REVIEW

##### Site Plan

The site at the northeast corner of the intersection of Broadway Road and Rural Road features a parking-forward design with business entrances and outdoor patio facing the public right of way. The drive through is around the side and rear of the site away from view of arterial streets. The site layout emphasizes an organized interrelationship of traffic patterns for vehicle drive through customers and vehicle, bicycle and pedestrian dining room customers. The business favors the public right of way and is not oriented to the adjacent grassed retention area. The right of way is considered a more permanent site determinant. The grassed retention area, while attractive, is not permanent and may be removed during subsequent redevelopment of the adjacent site.



## Building Elevations

Panda Express utilizes a modern corporate architectural typology that is found on other sites in other states. The overall building form is a simple three-dimensional monochromatic rectangular volume. Mechanical equipment is concealed behind parapet on the roof. The southwest building corner (facing the intersection and adjacent to outdoor dining) is peeled away to reveal a slightly recessed window wall with main south entrance at the dining level and a Panda mural behind glass on south and west elevations above the dining level. This opening is designed to be a particularly dramatic invitation in evening hours. Each building elevation is richly treated with material and color accents including an intermittent stone veneer/planter base, ceramic tile cladding that replicates wood panels and random angle green metal piping that replicate bamboo. Review the corporate architecture samples from another site that are presented in attachments 28 and 29.

## Landscape Plan

The landscape plan features an increased overall site landscape area (minimum 23 percent) than that allowed in the previous Planned Area Development (minimum 7 percent). The site landscape includes three defining characteristics.

- The landscape setbacks on both streets adjacent to parking are proposed by condition of approval to be 6'-0" wide on site from property line to parking overhang. This allows an effective planting width of 7'-6" minus the on-site screen wall footing width, or 6'-2". This width is consistent with the clear planting width between curbs allowed for parking landscape islands and is sufficient for the maturation of canopy trees adjacent to the public right of way.
- The canopy trees adjacent to the public right of way are by condition of approval required to be thorn-less, somewhat open in their branch structure, and able to be pruned-from-underneath for a high canopy as the trees mature. This landscape typology allows views from the public right of way to the business under the tree canopy. A working example of this typology is found at the southeastern corner of Broadway Road and McClintock Drive.
- Two existing mature trees on-site on the east side of the drive through, adjacent to the Safeway retention basin, are by condition of approval retained and incorporated into the landscape design for the site.

## Section 6-306 D Approval criteria for Development Plan Review

1. *Placement, form, and articulation of the building provide variety in the streetscape;* the addition of a vibrant, modernist restaurant to a vacant corner is a welcome addition to the fabric of the city.
2. *Building design and orientation, together with landscape, combine to mitigate heat gain/retention while providing shade for energy conservation and human comfort;* the three-dimensional rectilinear volume of the restaurant is oriented with long axis to east and west. The increase in landscape area from 7 percent to 23 percent on-site assists with balancing pavement and landscape on this urban corner.
3. *Materials are of a superior quality, providing detail appropriate with their location and function while complementing the surroundings;* the corporate architecture compliments modernist elements found elsewhere near the four corners of this intersection.
4. *Buildings, structures, and landscape elements are appropriately scaled, relative to the site and surroundings;* The tall one-story commercial building inventory overall near the four corners is a diverse group with numerous materials and colors that nonetheless work in concert with each other.
5. *The building mass is sufficiently articulated so as to relieve monotony and create a sense of movement, resulting in a well-defined base and top, featuring an enhanced pedestrian experience at and near street level;* the building volume is simple but is articulated on four sides with planar changes, color and material accents.
6. *Building facades provide architectural detail and interest overall with visibility at street level (in particular, special treatment of windows, entries and walkways with particular attention to proportionality, scale, materials, rhythm, etc.) while responding to varying climatic and contextual conditions;* the restaurant with a corner entrance window wall facing the arterial intersection, which when internally illuminated in the evening will act as a beacon to passersby, adds an exciting and vital element to the intersection.
7. *Plans take into account pleasant and convenient access to multi-modal transportation options and support the potential for transit patronage;* Valley Metro bus routes are located on Broadway Road (Route 45) and Rural Road (Route 72). Bus stops are within walking distance of the site.
8. *Vehicular circulation for this commercial site is designed to minimize conflicts with pedestrian access and circulation,*

9. *Plans appropriately integrate Crime Prevention through Environmental Design principles such as territoriality, natural surveillance, access control, activity support, and maintenance*; the business entrance and drive through are situated to provide increased visual surveillance and activity support to the surroundings.
10. *Landscape accents and provides delineation from parking, building, driveways and pathways*; the design features adherence to street tree and landscape island tree provisions of the Zoning and Development Code plus incorporation of two mature perimeter trees.
11. *Signs for Panda Express will be reviewed and permitted as a separate submittal package.*
12. *In accordance with the Zoning and Development Code, lighting is compatible with the proposed building and adjoining buildings and uses and does not create negative effects.*

#### PRELIMINARY SUBDIVISION PLAT

A subdivision plat is required to unify the two parcels of the site into one lot. The main parcel at 908 East Broadway Road (APN # 133-11-005S) is adjacent to the intersection and the second parcel at 910 East Broadway Road (APN # 133-11-005L) is to the east. The common border of these parcels extends through the proposed building. As part of the subdivision plat, public right of way is to be dedicated from the site to bring the half street width for Rural Road and Broadway Road to 55'-0". Because the parcels have never before been subdivided in the City of Tempe, a preliminary subdivision plat is required for review and approval prior to the processing of a final subdivision plat.

#### Section 6-307 A Approval criterion for Subdivision Plat

1. The subdivision Plat for Panda Express Broadway will assist in the goal to *provide for the orderly growth and harmonious development of the city*;

#### CONCLUSION

Based on the information provided and the above analysis, staff recommends approval of the requested Planned Area Development, Use Permit, Development Plan Review and Preliminary Subdivision Plat. This request meets the required criteria and will conform to the conditions of approval.

#### REASONS FOR APPROVAL:

1. The project meets the General Plan 2030 Projected Land Use (Commercial/Work) and the Zoning Map (Commercial Shopping and Service/Planned Area Development) for this site of +/-0.461 net acres. The proposed restaurant use reflects the adjacency of existing commercial uses at the four corners of this intersection.
2. The project will meet or exceed the development standards for the Commercial Shopping and Service District as established by an Amended Planned Area Development and as required under the Zoning and Development Code. The development standards established in the Amended Planned Area Development are made in conjunction with a landscape lot coverage that exceeds the standard of the district in exchange for a reduced front and street side yard parking--landscape setbacks.
3. The project will incorporate retention of existing mature landscape as part of the approval of Use Permit for a restaurant drive through.
4. The project will incorporate the Development Plan Review conditions of approval as part of the approval of the design of Building Elevations, Site Plan and Landscape Plan.
5. The Subdivision Plat will be made to conform to the technical standards of Tempe City Code Chapter 30, Subdivisions.
6. The project meets the approval criteria for a Planned Area Development Overlay, Use Permit, Development Plan Review and Subdivision Plat.

CONDITIONS OF APPROVAL:

EACH NUMBERED ITEM IS A CONDITION OF APPROVAL. DECISION-MAKING BODY MAY MODIFY, DELETE OR ADD TO THESE CONDITIONS.

PAD13001

CONDITIONS OF APPROVAL

1. A building permit application shall be made on or before March 21, 2015 or the Planned Area Development Overlay of the property may revert to that in place at the time of application. Any reversion is subject to a public hearing process as a Planned Area Development Overlay amendment.
2. The property owner shall sign a waiver of rights and remedies form. By signing the form, the Owner(s) voluntarily waive(s) any right to claim compensation for diminution of Property value under A.R.S. §12-1134 that may now or in the future exist, as a result of the City's approval of this Application, including any conditions, stipulations and/or modifications imposed as a condition of approval. The signed form shall be submitted to the Community Development Department no later than April 22, 2013 or the Planned Area Development Overlay shall be null and void.
3. Prior to issuance of building permit, the Amended Planned Area Development Overlay document for Panda Express Broadway shall be put into proper engineered format with appropriate signature blanks and kept on file with the City of Tempe Community Development Department.
4. Reduce minimum vehicle parking--landscape setback from 10'-0" to 6'-0" at front yard on Rural Road and increase minimum vehicle parking—landscape setback from 0'-0" to 6'-0" on Broadway Road. At each frontage measure minimum parking setback from right of way line after dedication to parking space nose overhang over landscape.
5. Increase minimum landscape lot coverage from 7 percent to 23 percent.
6. Restore the minimum building rear yard setback from 0'-0" to 10'-0".
7. Complete the Cross Access Easement agreement between subject property and the property to north. Present recorded agreement to Engineering Division during Engineering Plan Check. Include an exhibit in the recorded agreement that depicts the final site plan for the subject property. Complete maintenance of Off-street Parking Covenant and Agreement between the two properties that stipulates the four (4) off-site parking spaces that are dedicated to the subject property. Process this agreement through the Planning Division. Record this agreement prior to issuance of building permit.

ZUP12132

CONDITIONS OF APPROVAL

8. Retain the two mature existing trees on-site along east property line adjacent to the drive through as part of the site and landscape redevelopment. Provide drive through layout and pavement design that protects the western portion of the root system of these existing trees. Toward this end, the drive through design may include pervious pavement and modifications to pavement elevations in deference to the root systems of these trees.

DPR12241

CONDITIONS OF APPROVAL

General

9. Provide a separate Development Plan Review (minor) submittal for parking and landscape modifications on the Safeway site that are associated with the development of the subject site. After administrative approval of the Development Plan Review, provide Building Safety and Engineering Division submittals for the work. As part of the building safety plan check review, provide data for an updated parking file for the Safeway site that includes the current tenant uses for the Safeway site, the current quantity of parking spaces available and the minimum required parking quantity for the Safeway site. Make reference to the Access Easement including dedication of parking spaces for use by the subject site.

## Site Plan

10. Adjust site plan to reflect allowable minimum vehicle parking setback on both frontages. Provide parking screen wall adjacent to right of way line and provide 45 degree landscape indents for trees in parking spaces on both frontages, not just on the Rural Road frontage.
11. Align the west curb of the on-site and adjacent off-site drive aisle that is parallel to Rural Road. Adjust location of west curb of driveway on site to north so minimum 20'-0" on-site driveway length is provided at the northwest corner of the site.
12. Provide upgraded paving at each driveway apron consisting of unit paving or an uncolored concrete repetitive joint pattern that compliments the building design. Extend upgraded paving in each driveway from back of disabled accessible sidewalk bypass or right of way line (whichever is closer) to 20'-0" on site and from curb to curb at the drive edges. If space exists in the public right of way between the right of way line and the back of sidewalk bypass, increase the bypass width so it touches the right of way line.
13. Provide concrete disabled accessible walkway from Broadway Road to business entrance that is flush with asphaltic concrete pavement in parking lot. Do not stripe this walkway except at disabled accessible parking side aisle.
14. Finish transformer and other on-site utility equipment boxes in a neutral color (subject to utility provider approval) that compliments the building field color. Do not paint over warning decals or identifiers. Place exterior, freestanding reduced pressure assemblies, etc., in pre-manufactured, pre-finished, lockable cages (one assembly per cage). Finish enclosure and parking screen walls with exterior plaster and a neutral paint color that compliments the surroundings.

## Building Elevations

15. The materials and colors are approved as presented on the materials sample board:

### Exterior Insulation and Finishing System (EIFS): Stootherm

EIFS-1 Building Field (sand color) Stootherm Essence System 93330 Champagne, Sand Pebble Fine finish

EIFS-2 Building Field (light cool grey color) Stootherm Essence System 11404 Brushed Pewter, Sand Pebble Fine finish

EIFS-3 Entrance Jambs/Lintel (red color) Stootherm Metallic System SW7588 Show Stopper, Ultra Smooth Metallic finish

EIFS-4 Building Field (metallic grey) Stootherm Metallic System SW7073 Network Grey, Ultra Smooth Metallic finish

### Paint accents (P): Sherwin Williams (SW)

P-112 Full height Vertical Side Wall Trim Accent (light green color) SW6919 Fusion

P-114 Metal Awnings & Canopy (brown color) SW6082 Cobble Brown

P-115 Bamboo Poles (dark green color) SW6433 Inverness

### Stone Base, used as a planter and alternately as a veneer at the base of the building

ST-1S Planter Stone Cap Advanced Cast Stone, Sand Drift color, Dry Tamp finish

ST-1 Planter Stone at Base of Building Dal-Tile, Tidewater color, Mesa LedgeStack finish

### Ceramic Tile Cladding

ECT-1 wall surface: 6" X 48" (nominal) tile with brown varnished wood appearance, applied vertically, align head and bed joints; joints of Sable brown grout

### Aluminum Composite Metal Panel (ACM)

ACM-1 wall surface: Alpolic, DM HLZ Alum. color, AAMA 508 Rain Screen System finish

### Windows and Doors

Clear Anodized Aluminum Frames and PPG Solarban 60 Low E insulated glazing

Hollow Metal Service Doors and Frames, paint to match adjacent EIFS color.

The materials and colors approval is subject to the following: Provide major finishes with a light reflectance value (LRV) of maximum 75 percent. Submit substitutions and minor modifications for review during building plan check process.

16. Coordinate floor plan, roof plan and East Elevation. On floor plan align north wall of fire riser room with the south border of the EIFS-4 Building Field and the Dal-Tile stone veneer base as indicated on the East Elevation. Modify roof plan to integrate the roof of the S.E.S. room and fire riser room with the main roof of the building.
17. Provide visual surveillance capability through exterior doors and gates. Refuse enclosure gates are not required. If provided, design gates with tight steel mesh panel or similar material that can be seen through when up close. Glazed vision panels are not required in service doors to unoccupied S.E.S. and fire sprinkler riser rooms. Glazed vision panel is required in utility room exit door (as indicated) on east elevation.
18. Conceal roof drainage system for portion of roofs behind parapet within building interior. Incorporate lighting, address signs, Fire Department Connection and incidental equipment attachments (alarm klaxons, security cameras, etc.) where exposed into the design of elevations. Do not locate exposed conduit, piping or similar features on the building surfaces. Maintain secure roof access from building interior as indicated. Don't expose roof access to public view.
19. At upper/lower divided glazing panels in exterior windows, where lower glass pane is part of a divided pane system and is at the floor, is permitted only if hardened, laminated glazing at each lower pane is provided.

#### Lighting

20. Provide minimum 5.0 foot-candles at drive through window with a minimum 2.0 foot-candle perimeter at 15'-0" radius from window. Illuminate business entrances, kitchen preparation room exit and drive through window from dusk to dawn to assist with visual surveillance at these locations.

#### Landscape

21. Do not propose Texas Ebony street trees. Provide street trees that are a thorn-less cultivar of Palo Verde or a similar tree type that quickly mature with an open growth habit, that may be pruned with a tall canopy understory as they mature (so a sight line is quickly established between business and street under the canopy), and do not pose a scratch hazard to restaurant patrons or the public. See the southeast corner of McClintock and Broadway for an example.
22. Indicate existing trees to remain on site and identify by species. Where an existing tree indicated to remain dies or shows probability of dying prior to conclusion of this project, replace with a tree of minimum 48" box installation size that compliments the landscape design.
23. Automatic Irrigation System:
  - a. Include on-site and adjacent off-site in street frontages in irrigation system coverage.
  - b. Provide pipe distribution system of buried rigid (polyvinylchloride), not flexible (polyethylene). Use minimum schedule 40 PVC pressurized mainline. Use minimum Class 200 PVC feeder line for diameters greater than 1/2" and minimum Class 315 PVC for 1/2" feeder line. Provide details of water distribution system.
  - c. Locate valve controller in a vandal resistant housing or inside the building.
  - d. If controller is installed outside, conceal valve and power conduits within exterior wall cavity.
  - e. Hardwire power source to controller. A receptacle connection is not allowed.
  - f. Do not allow existing irrigated plants to be without irrigation. Provide temporary irrigation for plants that remain.
24. Top dress planting areas with a decomposed granite application of a beige or sand color. Provide 2" uniform thickness as indicated. Don't install river run rock, granite cobble or similar pieces between 2" and 12" diameter unless pieces are embedded in a concrete substrate to prevent removal for vandalism or assault. Till and loosen soil in planting areas. Remove debris from planting areas prior to landscape installation.

#### Address Signs

25. Provide 12" high signs on north, east and south elevations as indicated on the elevations. Conform to the following:
  - a. Fabricate numbers of individual mount, metal reverse pan channel OR day/night Plexiglas construction.
  - b. Provide external light source for metal OR internal illumination for day/night plexiglas.

CONDITIONS OF APPROVAL

26. The subdivision plat for Panda Express Broadway for the +/-0.461 net acre property including the consolidation of existing parcels into one lot and the dedication to public right of way shall be put into proper engineered format with appropriate signature blanks and recorded with the Maricopa County Recorder's Office through the City of Tempe Community Development Department on or before March 21, 2014 or prior to issuance of building permit, whichever comes first. Failure to record the plat on or before March 21, 2014, which is one (1) year from the date of City Council approval, shall make the City Council approval of the plat null and void.
27. Provide a sidewalk easement at the driveways if a portion of disabled accessible sidewalk bypass at driveways is located on the subject property.
28. Either have easements and agreements including vehicle cross access and sidewalk easement agreements "dedicated hereon" the subdivision plat or have easements and agreements reviewed by the Public Works Department and Building Safety Division, dedicated by separate instrument and recorded at the Maricopa County Recorder's Office. Complete the easements and agreements prior to issuance of Building Permit.
29. All property corners shall be set and verified by a Registered Land Surveyor. Submit complete and sealed Notice of Verification to Public Works/Land Services Division staff no later than three (3) months from the date of County recordation or as determined by staff.

## CODE/ORDINANCE REQUIREMENTS:

BULLET ITEMS REFER TO EXISTING CODE OR ORDINANCES THAT PLANNING STAFF OBSERVES ARE PERTINENT TO THIS CASE. BULLET ITEMS ARE INCLUDED TO ALERT THE DESIGN TEAM AND ASSIST IN OBTAINING A BUILDING PERMIT AND ARE NOT AN EXHAUSTIVE LIST.

- **TIME LIMIT:** Development Plan Review and Use Permit approval is valid for one year from date of approval, or February 12, 2014. See ZDC Section 6-306(E) and 6-308(K). Development Plan Review and Use Permit approvals will continue to be valid during the building plan review period (period includes time extension, if utilized). If plan review period is allowed to expire without building permit issuance, Development Plan Review and Use Permit approvals expire with the plan review period. After building permit issuance, Development Plan Review and Use Permit approvals will remain in effect as long as the building permit itself is valid. If the building permit is allowed to expire, the Development Plan Review and Use Permit approvals will also expire.
- **SITE PLAN REVIEW:** Verify comments by the Public Works, Community Development and Fire Departments given on the Preliminary Site Plan Reviews dated 08/01/2012, 11/21/2012, 12/12/1012 and 01/09/2013. Direct questions regarding comments to the appropriate department. Coordinate modifications with concerned parties.
- **HISTORIC PRESERVATION:** State and federal laws apply to the discovery of features or artifacts during site excavation (typically, discovery of human or associated funerary remains). Contact Tempe Historic Preservation Officer with general questions. Where discovery is made, contact Arizona State Historical Museum for removal and repatriation of items.
- **PLANNING**
  - General
    - Specific requirements of the Zoning and Development Code (ZDC) are not listed as a condition of approval, but will apply to any application. Access ZDC through [www.tempe.gov/zoning](http://www.tempe.gov/zoning) or purchase from Community Development.
  - Site
    - Provide refuse enclosure that meets or exceeds requirements of standard detail DS-116. Refer to the detail at [www.tempe.gov/modules/showdocument.aspx?documentid=6815](http://www.tempe.gov/modules/showdocument.aspx?documentid=6815) . Gates for refuse enclosure are not required. If gates are provided, have management arrange for gates to be open on collection days.
    - Verify conformance of accessible vehicle parking to the Americans with Disabilities Act of 1990 (42 U.S.C.A. §12101 ET SEQ.) and the Code of Federal Regulations Implementing the Act (28 C.F.R., Part 36, Appendix A, Sections 4.1 and 4.6). Refer to Standard Detail T-360 for disabled accessible parking layout and parking signs.
    - Provide parking loop/rack per standard detail T-578. Provide 2'-0" by 6'-0" individual bicycle parking spaces. One loop may be used to separate two bike parking spaces. Provide clearance between bikes and walkway to allow bike maneuvering in and out of space without interfering with pedestrians, landscape materials or vehicles nearby.
  - Elevations
    - Measure building height from top of curb adjacent to center of the front property line on Rural Road in accordance with ZDC Section 7-108.
    - Verify proposed parapet is of height to fully screen roof mounted equipment including top-mounted appurtenances on all four sides of equipment in accordance with ZDC Section 4-405.
    - Provide a security vision panel at service exit door with a 3" wide high strength plastic or laminated glass window, located between 43" and 66" from the bottom edge of the door in accordance with ZDC Section 4-406. Vision panels are not required in doors to unoccupied equipment rooms.
  - Lighting
    - Design site light in accordance with ZDC Part 4 Chapter 8 (Lighting) and ZDC Appendix E (Photometric Plan).
    - Indicate location of exterior light fixtures on the site, landscape and photometric plans. Avoid conflicts between lights and trees in order to maintain illumination levels for exterior lighting in accordance with ZDC Section 4-704 (C)(6). Security lights may occur in close proximity of existing trees if the light source is under the existing tree canopy.
    - Provide full cut-off exterior lights OR conform to maximum lumen output for fixtures that are not full cut-off in accordance in ZDC 4-803 (C)(5).

#### Landscape

- Provide plant groundcovers with a maximum 2'-0" natural mature height where adjacent or within 6'-0" of pedestrian or parking areas. Canopy trees may occur in this area but shrubs and accents may not. Provide groundcovers and low shrubs of maximum 3'-0" natural mature height between 6'-0" and 12'-0" of pedestrian or parking areas.
- Indicate clear vision triangles at both driveways on site and landscape plans. Identify speed limits for adjacent streets at the site frontages. Begin sight triangle in driveways at point 15'-0" in back of face of curb. Consult Intersection Sight Distance memo, available from Public Works Traffic: [www.tempe.gov/index.aspx?page=801](http://www.tempe.gov/index.aspx?page=801) . Do not locate site furnishings, screen walls or other visual obstructions over 2'-0" tall (except canopy trees are allowed) within each clear vision triangle.

#### Signs

- Identification signs and menu order boards require a sign permit. Directional signs without a dedicated light source don't require a permit, depending on size and height--refer to ZDC Section 4-903 (F).
- Address signs do not require a sign permit. Include address signs in the construction drawing permit set--refer to ZDC Section 4-903 (A) for requirements including sign illumination and minimum fifty (50) percent sign contrast with background. Coordinate address signs with trees, vines, or other landscaping to avoid any potential visual obstruction. Do not affix number or letter to elevation that might be mistaken for the address sign. If a new freestanding identification sign is provided, install address signs on the masonry base beneath the sign.

- FIRE:

- Ensure minimum 20'-0" wide fire lane and 45'-0" outside turn radius. Ensure minimum 14'-0" vertical clearance from fire lane surface to the underside of tree canopies.
- Provide automatic fire extinguishing system, fire alarm and hood fire suppression system in building.
- Verify FDC location on building elevation with the Fire Department. Coordinate location with elevation design.

- ENGINEERING:

- Install trees a minimum of 20'-0" from existing or proposed on-site public water or sewer lines. Tree/line separation may be reduced with installation of a root barrier. Root barrier detail and extent of reduction are subject to Public Works Water Utilities Division.
- Additional appurtenances are required on site in accordance with the Fats, Oils and Grease Ordinance. Coordinate placement of appurtenances with site, G+D and landscape designs.
- 100 year on-site storm water retention is required. Verify specific design considerations including underground retention storage criteria with the Public Works Engineering Division.
- Provide sufficient access to proposed retention tanks. Locate drywells in landscape area but do not reduce required landscape area or inhibit installation of required plant material--relocate line out of parking landscaped island southwest of building so tree installation may occur. Coordinate retention with landscape and site design.
- Remove existing driveways and replace driveways, curb, gutter and sidewalk in public right of way as required. Construct driveways, curb, gutter and sidewalk in public right of way in conformance with Standard Detail T-320.
- Underground overhead utilities (if any) that occur in frontages adjacent to site. Do not propose overhead utilities.
- Access standard engineering details at [www.tempe.gov/modules/showdocument.aspx?documentid=5352](http://www.tempe.gov/modules/showdocument.aspx?documentid=5352) or purchase book from the Public Works Engineering Division.

- WATER CONSERVATION: Under an agreement between the City of Tempe and the State of Arizona, Water Conservation Reports are required for landscape and domestic water use for the project. Have the landscape architect and mechanical engineer prepare reports and submit them with the construction drawings during the building plan check process. Report example is contained in Office Procedure Directive # 59. Refer to this link: [www.tempe.gov/modules/showdocument.aspx?documentid=5327](http://www.tempe.gov/modules/showdocument.aspx?documentid=5327). Contact Public Works Department, Water Conservation Division with questions regarding the purpose or content of the water conservation reports.



## HISTORY & FACTS:

### AM/PM ARCO

- June 26, 1967 The Atlantic-Richfield Company was issued a building permit for an auto fuel and service station at the northeast corner of Broadway Road and Rural Road.
- August 22, 1984 The Board of Adjustment approved a Use Permit for ARCO for a convenience market as an accessory use in conjunction with an existing gas station. The Board of Adjustment also approved Variances to increase the maximum allowable sign area. The site is at 908 East Broadway in the C-2, General Commercial District.
- September 9, 1986 The Board of Adjustment modified approved sign Variances for ARCO to increase the maximum sign area from 80 sf. to 126 sf.
- October 3, 2006 The Hearing Officer took the following action on the requests by AM/PM ARCO at 908 East Broadway Road. The Hearing Officer approved a Use Permit (ZUP06054) to allow a new convenience store with an eight (8) pump gas island, denied a Variance (VAR06007) to reduce the setback for parking and vehicle maneuvering area from twenty (20) feet to zero (0) feet, and denied a Variance (VAR06009) to reduce the distance of a driveway entrance to an arterial corner from 100 feet to 79 feet along the Rural Road frontage. The site is +/-0.45 net acres, located at 908 East Broadway Road in the CSS, Commercial Shopping and Services District.
- Note: The applicant appealed the Variance request denials (VRA06001 and VRA06002). A hearing for an appeal of the denials was scheduled to be heard by the Board of Adjustment on November 15, 2006. Prior to this date, the applicant requested a continuance to the December 20, 2006 hearing. The appeal was withdrawn prior to the December hearing.
- May 22, 2007 The Development Review Commission recommended approval of the request by AM/PM ARCO for a Planned Area Development Overlay (PAD07010), and approved the request for a Development Plan Review, including building elevations, site plan and landscape plan, for a 2400 s.f. convenience store with fuel dispensers on +/-0.45 net acres, located at 908 East Broadway Road in the CSS, Commercial Shopping and Services District.
- June 28, 2007 The City Council approved the request for AM/PM ARCO for a Planned Area Development Overlay PAD07010 (Ordinance # 2007.25) for reduced landscape setbacks for vehicle maneuvering at the west-front (10'-0" on rural Road) and south-street side yards (0'-0" on Broadway Road) and a reduced building set back at the east-rear (10'-0") yard on +/-0.45 net acres at 908 East Broadway Road in the CSS, Commercial Shopping and Service District. AM/PM ARCO proposed a 2,400 sf. convenience store with fuel dispensers to replace the existing ARCO facility at this site.
- Note: The existing ARCO facility at the northeast corner of Broadway and Rural was demolished but the redevelopment did not proceed. The site has been cleared and remediated including the removal of fuel tanks.
- Note: PAD07010 is in effect for 908 and 910 East Broadway.
- August 6, 2007 A request for a Subdivision Plat (SBD07031) to combine two parcels into one lot and dedicate land to public right of way on behalf of the AM/PM ARCO redevelopment was filed but this request was allowed to lapse.

## CHASE BANK

December 5, 2011 A proposal for redevelopment of the 908 East Broadway for Chase Bank was submitted and subsequently expired. This proposal included an expanded site comprising 908 East Broadway, 910 East Broadway and a portion of the existing retention basin for the Safeway parcel facing Broadway (926 East Broadway). The proposal consisted of a Planned Area Development Overlay for the enlarged property, a Use Permit, Development Plan Review and a Subdivision Plat. No action was taken on this proposal.

## PANDA EXPRESS

January 23, 2013 A neighborhood meeting was conducted by HSB Architects + Engineers in Pod A of the Auditorium of McClintock High School. Two citizens attended the meeting, reviewed the exhibits and made comments on the proposal.

January 30, 2013 An Access Easement agreement for parking and cross access has been signed by Safeway, Inc., a Delaware Corporation. The other party to the agreement will be CFT Developments, LLC, a California Limited Liability Company. CFT is the developer of Panda Express and the prospective owner of 908 and 910 East Broadway Road. The terms of the agreement consist of "(a) a non-exclusive easement for vehicular and pedestrian ingress and egress over and across the Access Area for access to and from Tract 2 and East Broadway Road and (b) a non-exclusive easement for the utilization of four (4) Parking Spaces located on Tract 1". Tract 1 is defined in the agreement as the Safeway Center including 914 and 926 East Broadway. Tract 2 is the subject property to be developed for Panda Express including 908 and 910 East Broadway.

February 12, 2013 The Development Review Commission is scheduled to have a public hearing for this request: Amended Planned Area Development Overlay, Use Permit, Development Plan Review and Preliminary Subdivision Plat.

March 7, 2013 The City Council is scheduled to have a introductory public hearing for this request: Amended Planned Area Development Overlay.

March 21, 2013 The City Council is scheduled to have a final public hearing for this request: Amended Planned Area Development Overlay. On the same evening the City Council is scheduled to have a meeting for this request: Final Subdivision Plat.

## ZONING AND DEVELOPMENT CODE REFERENCE:

Section 6-305, Planned Area Development Overlay  
Section 6-308, Use Permit  
Section 6-306, Development Plan Review  
Section 6-307, Subdivision, Lot Splits and Adjustments

## CITY CODE REFERENCE

Chapter 30, Subdivisions

**WHEN RECORDED RETURN TO:**  
City of Tempe  
Community Development Department  
31 E. 5<sup>th</sup> Street  
Tempe, AZ. 85281

**WAIVER OF RIGHTS AND REMEDIES  
UNDER A.R.S. §12-1134**

This Waiver of Rights and Remedies under A.R.S. § 12-1134 (Waiver) is made in favor of the City of Tempe (City) by Safeway Inc., a Delaware corporation (Owner).

Owner acknowledges that A.R.S. § 12-1134 provides that in some cases a city must pay just compensation to a land owner if the city approves a land use law that reduces the fair market value of the owner's property (Private Property Rights Protection Act).

Owner further acknowledges that the Private Property Rights Protection Act authorizes a private property owner to enter an agreement waiving any claim for diminution in value of the property in connection with any action requested by the property owner.

Owner has submitted Application No. **PL120263** to the City requesting that the City approve the following:

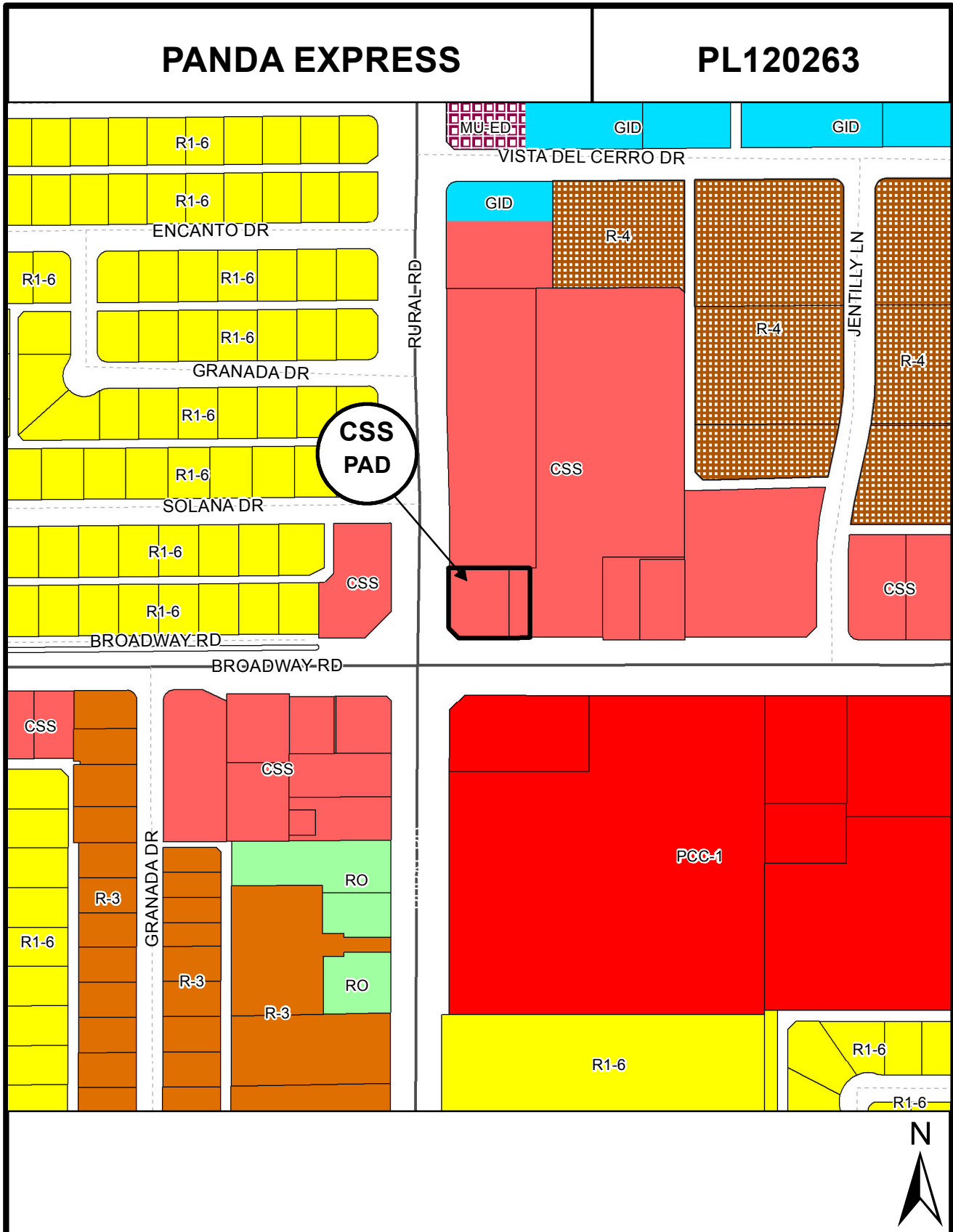
- GENERAL PLAN AMENDMENT
- ZONING MAP AMENDMENT
- PAD OVERLAY AMENDMENT
- HISTORIC PRESERVATION DESIGNATION/OVERLAY
- USE PERMIT
- VARIANCE
- DEVELOPMENT PLAN REVIEW
- SUBDIVISION PLAT
- OTHER \_\_\_\_\_  
*(Identify Action Requested)*

for development of the following real property (Property):

Parcel Nos. : 133-11-005S and 133-11-005L

Addresses: 908 East Broadway Road and 910 East Broadway Road,  
Tempe, Arizona.





**Location Map**





**PANDA EXPRESS- PL120263**



December 17th, 2012

Kevin O'Melia  
City of Tempe  
31 East Fifth Street  
Tempe, AZ 85280

**Re: Letter of Explanation**  
**Panda Express at 908 E. Broadway Avenue – Tempe, AZ**  
**Case # SPR12112**

Mr. O'Melia

HSB Architects, on behalf of Panda Restaurant Group, Inc., is pleased to submit for review the proposed Panda Express Restaurant located at 908 E. Broadway Road.

### **Project Description**

The existing site formerly consisted of an AM/PM building, paving, and fuel tanks that have been fully demolished and removed. A clean pad will be created for the proposed Panda Express building, catered to the needs of the site and typical operations.

The proposed building will be approximately 2,546 square feet, comprised of a dine-in/drive-thru accessible kitchen, dining area, and restrooms. The building's façade will consist of EIFS, Alpolic Composite Metal Panels, Ceramic Tile, adhered stone, and painted steel. The building prototype is aptly named 'Bright + Fresh' and will enhance the existing intersection greatly.

### **Current Zoning**

HSB Architects intends to keep the land use as the underlying CSS (PAD) district and amend the existing Overlay District to expand the existing site boundary per attached site plan.

### **Development Plan Review**

The proposed building will be set back away from the intersection of Broadway Road and Rural Road. The drive-thru for the building is located away from this intersection to isolate it from main vantage points as efficiently as possible. Building height is similar or less than buildings on surrounding parcels of land. Termination of building at ground and parapet is concise in design, providing a crisp understanding of a complete and thoughtful design.

The proposed material schedule consists primarily of soft earth tones, supplemented by small segments of bright contrast to tie the edges and transitions together and create a holistic and pleasing façade. EIFS is a light cream, complimented by hues of stone and wood grain finish (applied stone, ceramic tile.) EIFS STO metallic finish accentuates main entry portal and vertical breaks in façade.

The rhythm and placement of materials, murals, signage, canopies, and glazed openings are enhanced by bands of bright color and subtle recessions/projections. The composition and design of façade removes monolithic qualities. All materials are considered to be at or above industry standards for a building of this

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Phoenix Arizona 85016  
www.hsbarch.com  
602 635 6490



use. Trash enclosure and screen walls along Broadway and Rural Roads will be of material that matches main elements of building façade.

Vehicular access will be from Broadway Road, Rural Road and adjacent Safeway parking lot to northwest of site. Pedestrian access will be from both Rural Road and Broadway Road, with striped thoroughfares being denoted across vehicular drive from either direction. Pedestrians have access via a bus stop directly to N of site along Rural Road. Refuse access will be from Rural Road, through site proper, straight into receptacles; exit onto Broadway Road.

The landscape proposed accents the site with desert-appropriate vegetation, trees, and decomposed granite. The on-site retention area will be composed primarily of decomposed granite, and a mixture of similar stone.

Preliminary sign package is included with submittal; location of signage on building and menu sign location are delineated on plans included in sign package.

**Planned Area Development Overlay Districts (PAD)**

The existing Planned Area Development Overlay for the Broadway + Rural AMPM is to retain the parking setback reduction.

The existing Planned Area Development Overlay for the Broadway + Rural AMPM is to be amended to restore required rear building setback to CSS standard of 10'-0".

The existing Planned Area Development Overlay for the Broadway + Rural AMPM is to be amended to increase the site area for the Panda Express from the original PAD area. Parcel No. 133-11-005S and Parcel No. 133-11-005L will be re-platted and boundary of property will include both Parcels of land.

The existing Planned Area Development Overlay for the Broadway + Rural AMPM is to be amended to restore required landscape site coverage to 15% from the current 7%. Panda Express intends to meet CSS standard of 15% minimum landscape site coverage.

PAD Comparison Table - Panda Express Restaurant - 908 E. Broadway Road - Tempe, AZ		
METRIC	ARCO/AMPM	PANDA EXPRESS
Site Area	.47 Acres	.50 Acres
Building Area	2,400 SF	2,546 SF
Building Lot Coverage	30%	12.09% (2,546 SF/21,046 SF)
BUILDING SETBACKS/HEIGHT		
West (Rural Road)	35'-0"	68'-0" (Remain the same)
South (Broadway Road)	35'-0"	77'-10" (Remain the same)
North (Towards Safeway)	14'-0"	18'-0"
East (Retention Area)	0'-0" (To be amended to 10'-0")	17'-5"
Building Height	21'-0"	22'-0"
PARKING SETBACKS/LANDSCAPING		
West (Rural Road)	0'-0"	3'-2" MIN.
South (Broadway Road)	0'-0"	9'-8" MIN.
Landscape Coverage	7% (To be amended to 15% minimum)	22.56% (4,748 SF/21,046 SF)

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### Conditional Use Permit

HSB Architects requests a Conditional Use Permit for the drive-thru lane on E and N boundaries of proposed site plan. Approximately 250' to W of site there are parcels of land zoned residential; the close proximity requires a Use Permit. The building footprint will provide substantial buffer to sound emanating from order/window section of drive-thru. This will not cause an exceedingly loud amount of noise to be directed towards housing development to W of Rural Road.

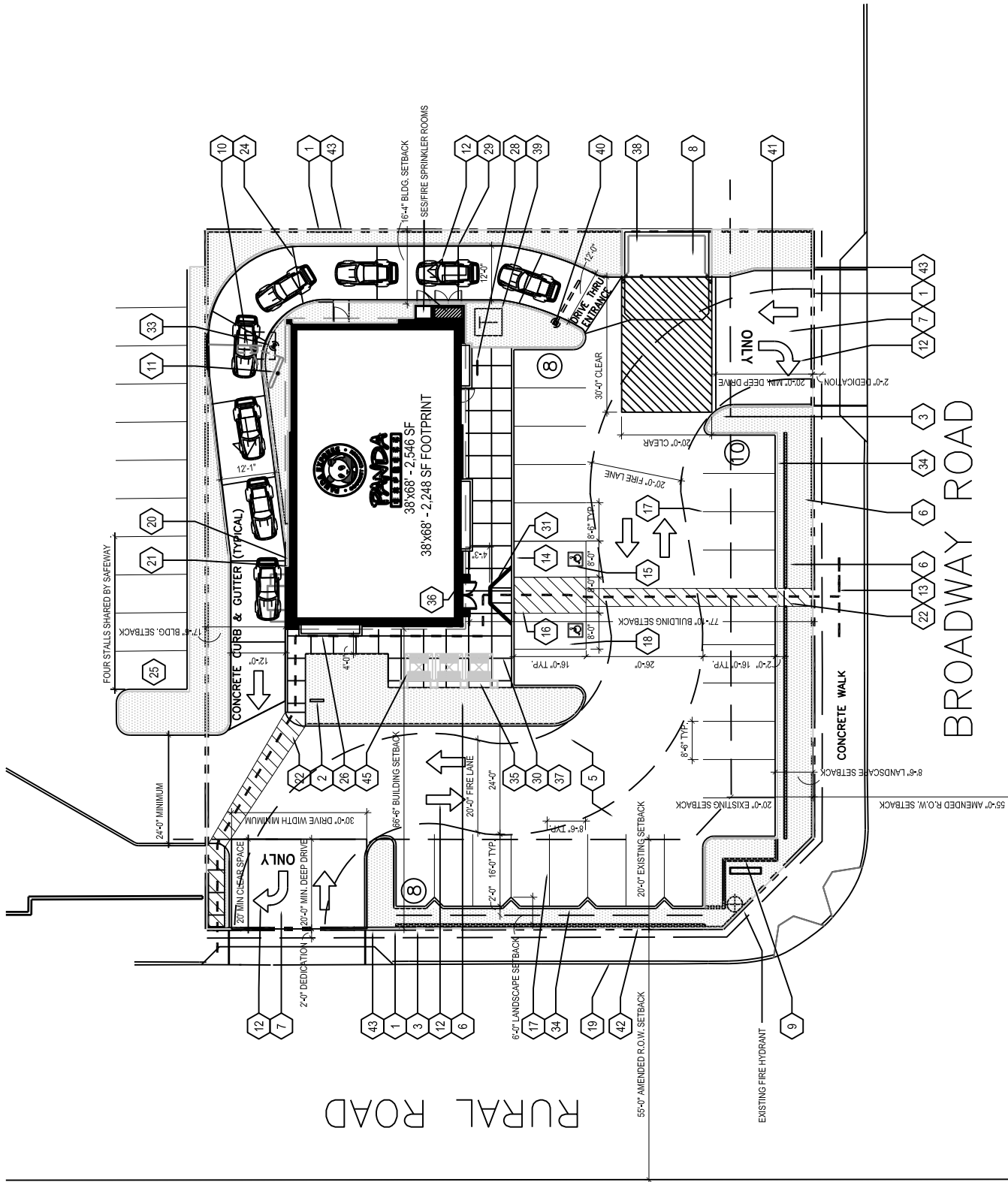
Panda Express anticipates serving approximately 300 customers/day at this restaurant location, and hours of operation will be 9 AM – 9 PM. There will be a maximum of five employees working in the restaurant at any given time.

Development of the potential Panda Express will help to better the overall image of the intersection of Broadway and Rural roads. The addition of landscaping, screen walls, and a developed site will greatly improve the NEC of the intersection, and provide a visually pleasing solution to a currently barren piece of land.

Thank you for your time and consideration in this matter.

Justen Cassidy  
HSB Architects + Engineers  
602.283.2835

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RURAL ROAD

BROADWAY ROAD

- 1 LIMIT OF CONSTRUCTION
- 2 DIRECTIONAL SIGN REFER TO SIGN VENDOR FOR ACTUAL LOCATIONS AND LAYOUT (NO ELEC. POWER)
- 3 NEW PARKING LOT POLE LIGHT TYPICAL AND LIGHTING SCHEDULE ON E-7.0 (REFER TO PHOTOMETRICS PLAN FOR LIGHT POLE LOCATIONS)
- 4 NEW SWITCHGEAR
- 5 ASPHALT PAVING - SEE CIVIL PLAN
- 6 IRRIGATED LANDSCAPING. REFER TO LANDSCAPE DRAWINGS
- 7 CONC. APRON, UPGRADE TO UNIT PAVEMENT AT DRIVEWAY ENTRANCE TO 20'-0" ON SITE, TYP. 2.
- 8 TRASH ENCLOSURE. CONFIRM BIN SIZE WITH LOCAL WASTE MANAGEMENT COMPANY. (TYP. 6 YARD BIN) MINIMUM PER TEMPE STD. DS-116.
- 9 ARCHITECT TO COORDINATE SIGN PACKAGE AND FOOTING DETAIL WITH STRUCTURAL ENGINEER TO ENSURE STRUCTURAL ADEQUACY OF PROPOSED PYLON SIGN
- 10 DRIVE THRU LANE SENSOR LOOP SEE DETAIL
- 11 DRIVE THRU MENU BOARD-INSTALLED BY GC. VERIFY WITH PANDA PM (SEE GENERAL NOTE BELOW)
- 12 DIRECTIONAL ARROW
- 13 ACCESSIBLE PATH OF TRAVEL
- 14 ACCESSIBLE PARKING POLE SIGN
- 15 INTERNATIONAL ACCESSIBILITY SYMBOL @ PARKING SPACE
- 16 ACCESSIBLE PARKING SPACE AND LOADING ZONE PAINT LOADING ZONE W/ 4" WIDE STRIPES @3'-0" O.C.
- 17 PAINT 4" WIDE SOLID PARKING STRIPPING W/ TWO (2) COATS HIGHWAY WHITE PAINT
- 18 DESIGNATED HANDICAP PARKING SPACE
- 19 6" CURB AND SIDEWALK TO BE PROVIDED WHERE EXISTING ACCESS DRIVES ARE LOCATED (TO BE REMOVED)
- 20 ROOF DRAIN AND OVERFLOW DRAIN FROM ROOF UNDER CONCRETE FLATWORK TO FACE OF CURB OR TIE TO STORM SEWER. ARCHITECT TO VERIFY WITH LOCAL JURISDICTION.
- 21 STEEL PIPE GUARD-PAINT TO MATCH SAFETY YELLOW
- 22 PEDESTRIAN PATH OF TRAVEL, PAINT 4" WIDE STRIPS @ 3'-0" O.C. & 4" WIDE BORDER, (MIN 2 COATS BLUE REFLECTED) - FLUSH CONCRETE SIDEWALK TO BE USED FOR WALKWAY
- 23 UNDERGROUND GREASE INTERCEPTOR - SEE PLUMBING/CIVIL DRAWINGS
- 24 CONC. DRIVEWAY (GRAY COLOR, LIGHT BROOM FINISH).
- 25 SITE IMPROVEMENT TO PARKING AREA AND PARKING ISLAND TO BE VERIFIED AND APPROVED BY SAFEWAY TENANT TO NORTH

- 26 EDGE OF SIDEWALK AT PLANTER
- 27 CONCRETE CURB AT PLANTER
- 28 BIKE RACK PER TEMPE STANDARD T-578
- 29 EXPANSION JOINT @ 20'-0" O.C. MAX.
- 30 TOOLED JOINTS @ 5'-0"X5'-0" O.C.
- 31 ACCESSIBLE RAMP
- 32 FUTURE PRE-VIEW BOARD, G.C. TO INSTALL J-BOX AND POWER FOR FUTURE USE.
- 33 ORDER CONFIRMATION BOARD
- 34 CURB WILL SERVE AS WHEEL STOP AT ALL ON-SITE PARKING STALLS
- 35 OUTDOOR COVERED PATIO AND SEATING
- 36 KNOX BOX - SEE ELEVATIONS
- 37 SEALED CONC SIDEWALK. (AQUA MIX SEALER'S CHOICE GOLD). CONCRETE TO BE LIGHT BROOM TEXTURE FINISH. PROVIDE UNDER SLAB TREATMENT PER SOIL REPORT. PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG.
- 38 GREASE COLLECTION CONTAINER LOCATED NEXT TO TRASH ENCLOSURE
- 39 NEW TRANSFORMER, SEE ELECTRICAL PLANS
- 40 CLEARANCE BAR INSTALLED BY SIGN VENDOR SEE ELECTRICAL DRAWING FOR ELECTRICAL REQUIREMENT, G.C. TO COORDINATE.
- 41 CONSTRUCT CONCRETE DRIVE MOUTH, BYPASS, AND DEPRESSED CURB PER DETAIL T-320.
- 42 30-36" SCREEN WALL TO SCREEN PARKING AREAS FROM BROADWAY AND RURAL AVENUES
- 43 PROPERTY LINE

DEMOLITION NOTE:  
 G.C. TO REMOVE ALL EXISTING ABOVE/UNDER GROUND STRUCTURAL WALLS, FOUNDATION, ASPHALT, CONC. CURBS AND DEBRIS PRIOR TO NEW CONSTRUCTION.

GENERAL NOTE:  
 1. G.C. TO VERIFY AND PROVIDE ALL UNDERGROUND WIRING AND CONDUIT (INSTALLED BY LOCAL UTILITY COMPANY) FROM TRANSFORMER TO ELECTRICAL MAIN SWITCHGEAR. DRIVE THRU MENU BOARD, LIMIT HT. BAR AND ORDER POLE FOOTING BY G.C.. VERIFY WITH PANDA PM.

## PROJECT DATA

ZONING : COMMERCIAL SHOPPING AND SERVICES W/ PAD  
BUILDING HEIGHT : 35' MAXIMUM HEIGHT - PROPOSED FINISH  
HEIGHT OF PANDA EXPRESS RESTAURANT IS 22'-0"  
TOP OF CURB AT HIGHEST POINT ALONG RURAL IS 71.68,  
73.00 FFE PROPOSED AT BUILDING.

BUILDING LOT COVERAGE CALCULATION :

BUILDING FOOTPRINT AREA = 2,546 SQ. FT.

NET SITE AREA = 21,046 SQ. FT.

12.09% LOT COVERAGE

\*\*248 SQ. FT OF PATIO AREA

SITE LANDSCAPE COVERAGE :

TOTAL LANDSCAPE AREA = 3,529 SQ. FT.

TOTAL SIDEWALK AREA = 1,124 SQ. FT.

NET SITE AREA = 21,046 SQ. FT.

22.11 % LS COVERAGE

BUILDING SETBACKS : BROADWAY - 77'-10" BLDG. SETBACK

RURAL - 68'- 0" BLDG. SETBACK

REAR - 17'-6" BLDG. SETBACK

SIDE - 18'-0" BLDG. SETBACK

VEHICLE PARKING QUANTITY : 26 STALLS PROVIDED ON-SITE

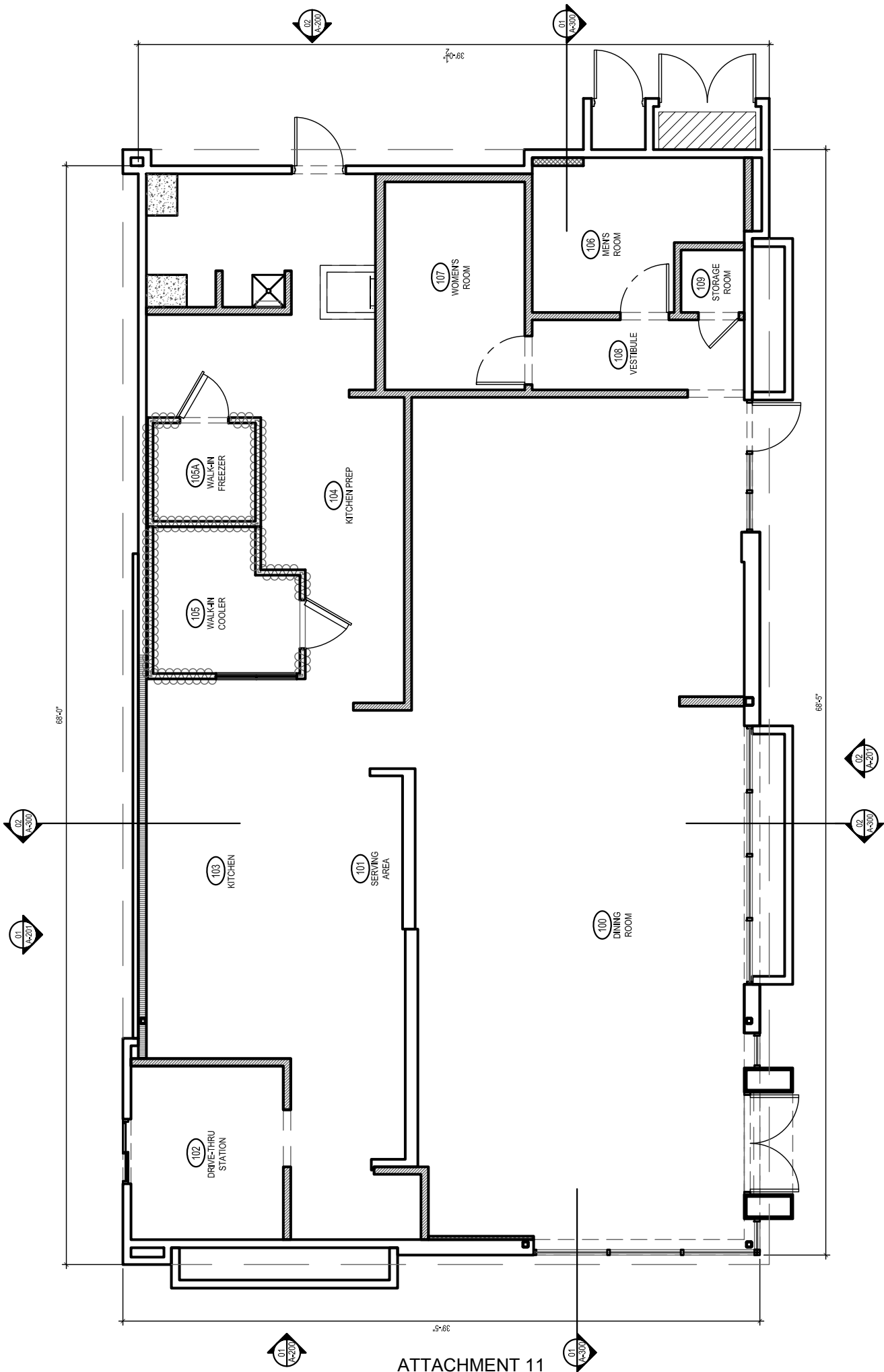
AGREEMENT WITH SAFEWAY TO PROVIDE 4 PARKING STALLS  
DIRECTLY NORTH OF SITE VIA CROSS-ACCESS AGREEMENT

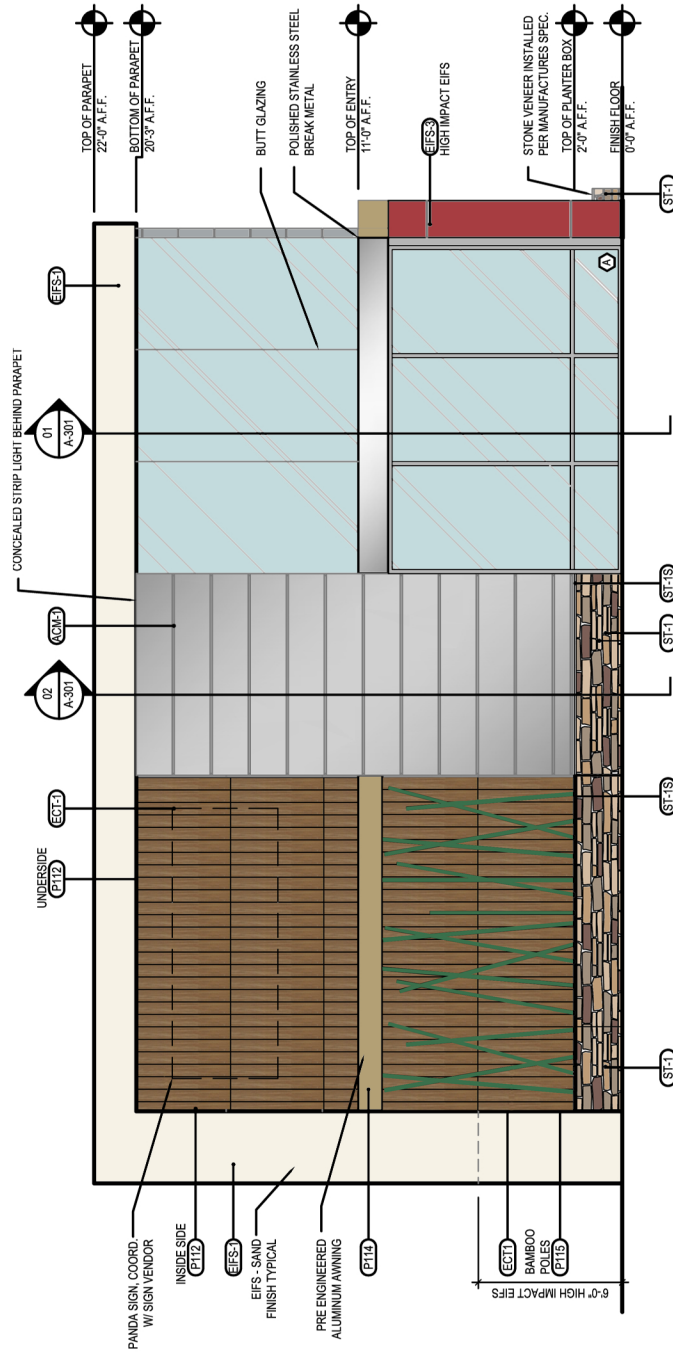
\*\* 30 PARKING STALLS REQUIRED

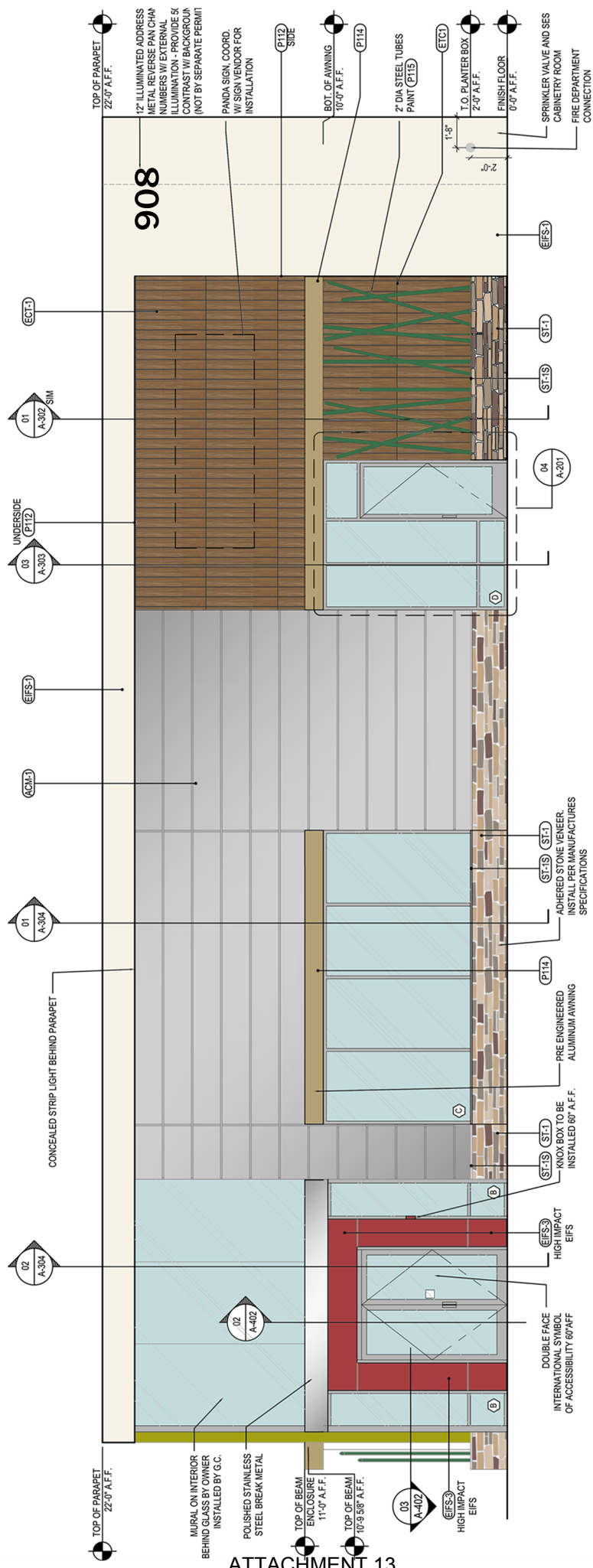
BICYCLE PARKING QUANTITY : MINIMUM OF 2 BICYCLE SPACES  
WILL BE PROVIDED ON-SITE

## EXISTING + PROPOSED PAD MODIFICATIONS

1. THE EXISTING PLANNED AREA DEVELOPMENT OVERLAY FOR THE BROADWAY AND RURAL AMP/PM IS TO BE AMENDED TO REDUCE THE PARKING SETBACK ALONG BOTH FRONTAGES, BROADWAY AND RURAL ROADS, TO 8'-6" AND 6'-0" RESPECTIVELY.
2. THE EXISTING PLANNED AREA DEVELOPMENT OVERLAY FOR THE BROADWAY AND RURAL AMP/PM IS TO BE AMENDED TO RESTORE REQUIRED REAR BUILDING SETBACK TO CSS STANDARD OF 10'-0".
3. THE EXISTING PLANNED AREA DEVELOPMENT OVERLAY FOR THE BROADWAY AND RURAL AMP/PM IS TO BE AMENDED TO INCREASE THE SITE AREA FOR THE PANDA EXPRESS FROM THE ORIGINAL PAD AREA. PARCEL NO. 133-11-005S AND PARCEL NO. 133-11-005L WILL BE RE-PLATTED AND BOUNDARY OF PROPERTY WILL INCLUDE BOTH PARCELS OF LAND.
4. THE EXISTING PLANNED AREA DEVELOPMENT OVERLAY FOR THE BROADWAY AND RURAL AMP/PM IS TO BE AMENDED TO RESTORE REQUIRED LANDSCAPE SITE COVERAGE TO 15% FROM THE CURRENT 7%. PANDA EXPRESS INTENDS TO MEET CSS STANDARD OF 15% MINIMUM LANDSCAPE SITE COVERAGE.







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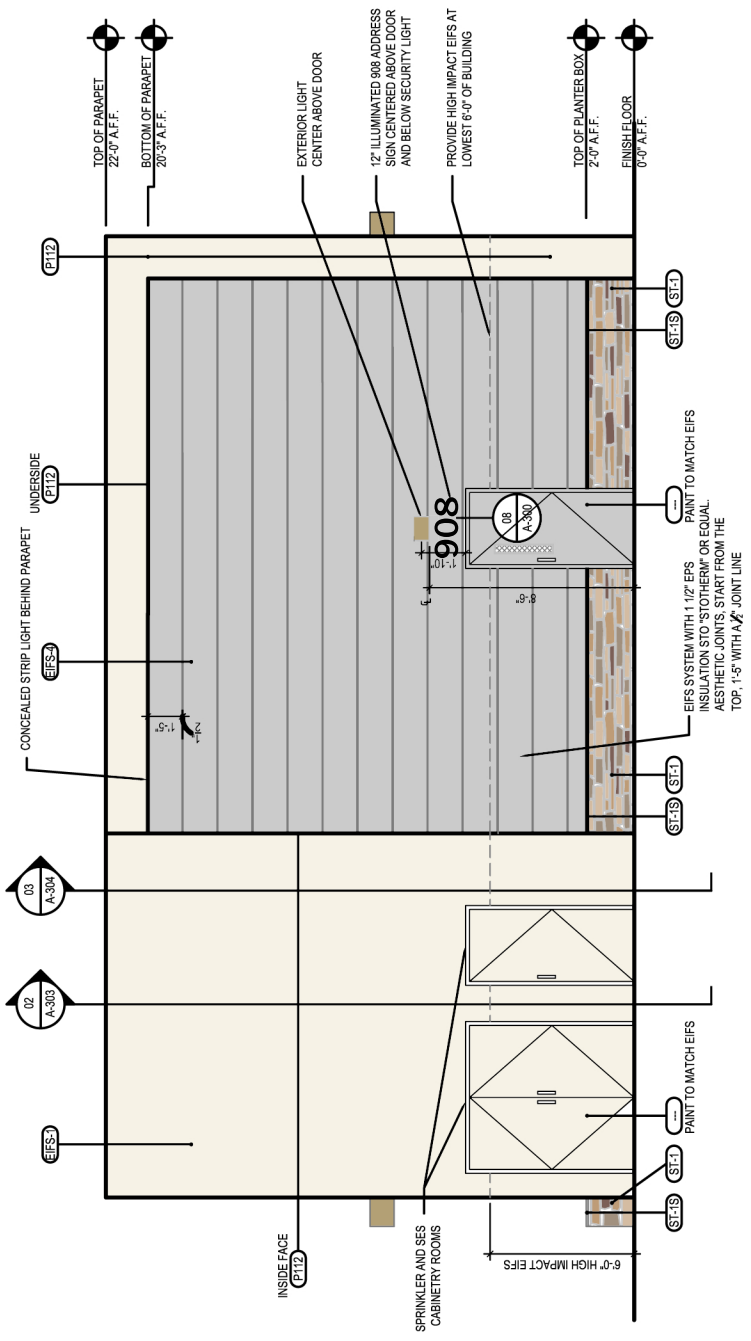
Panda Express – South Elevation

City of Tempe Amended PAD – DRC Review

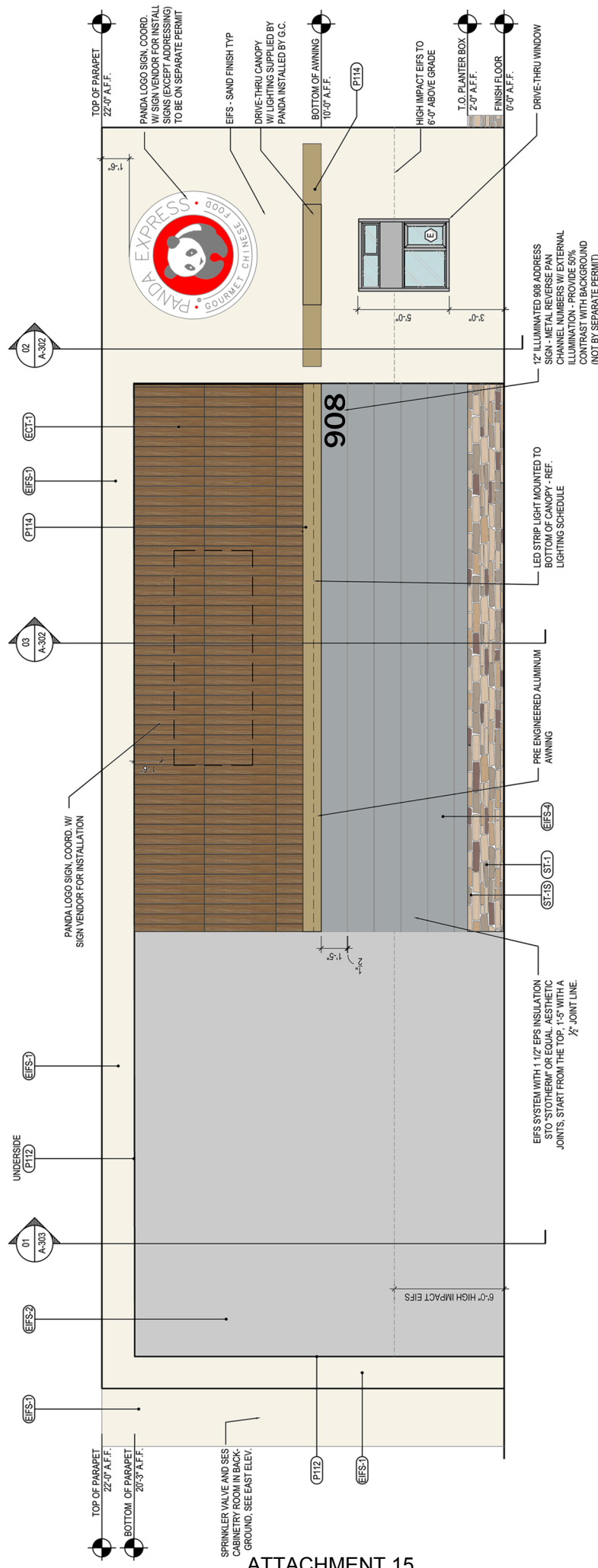
Hengst Streff Bajko  
Architects + Engineers  
Cleveland, OH Phoenix, AZ  
HSBarch.com 602.283.2835

HSBK  
01/25/13

Scale = 1/8" = 1'-0"







Panda Express – North Elevation

City of Tempe Amended PAD – DRC Review

**Hengst Streff Bajko**  
 Architects + Engineers  
 Cleveland, OH Phoenix, AZ  
 HSBarch.com 602.283.2835



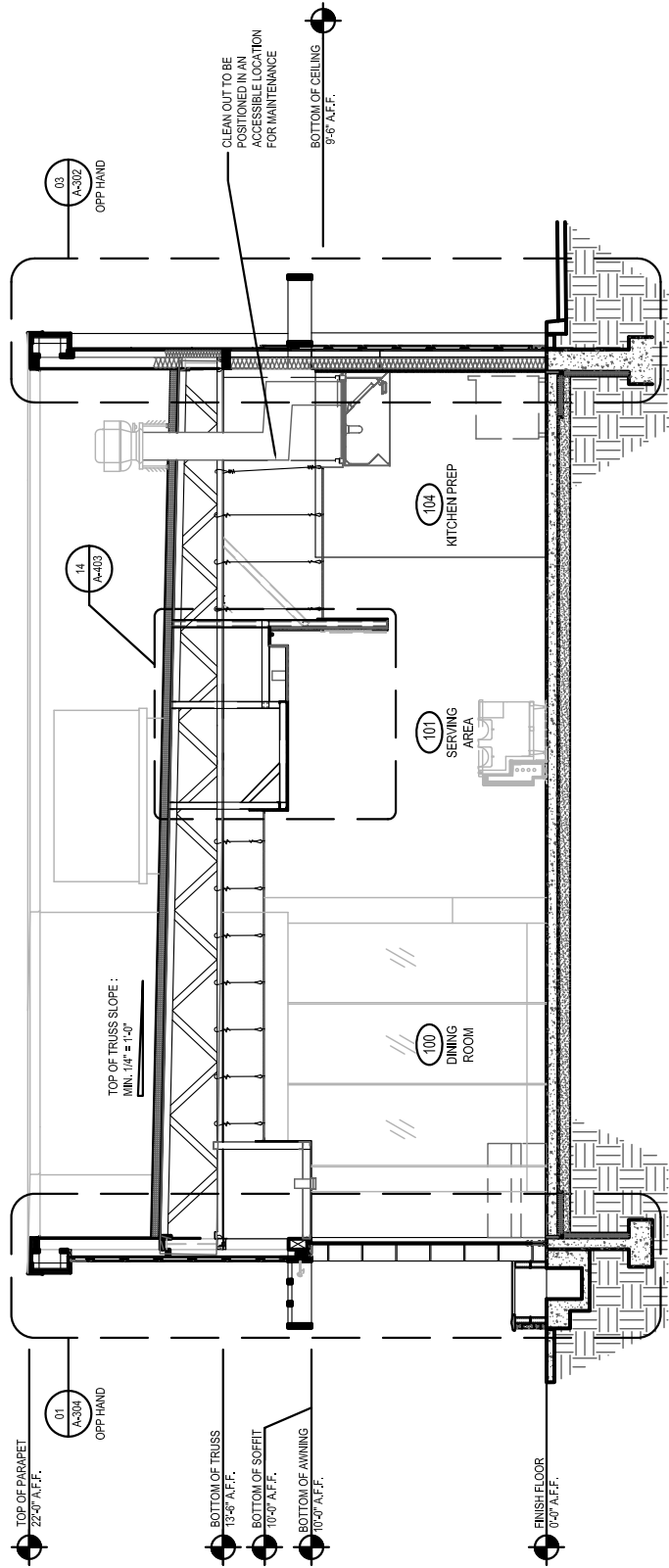
Scale = 1/8" = 1'-0"

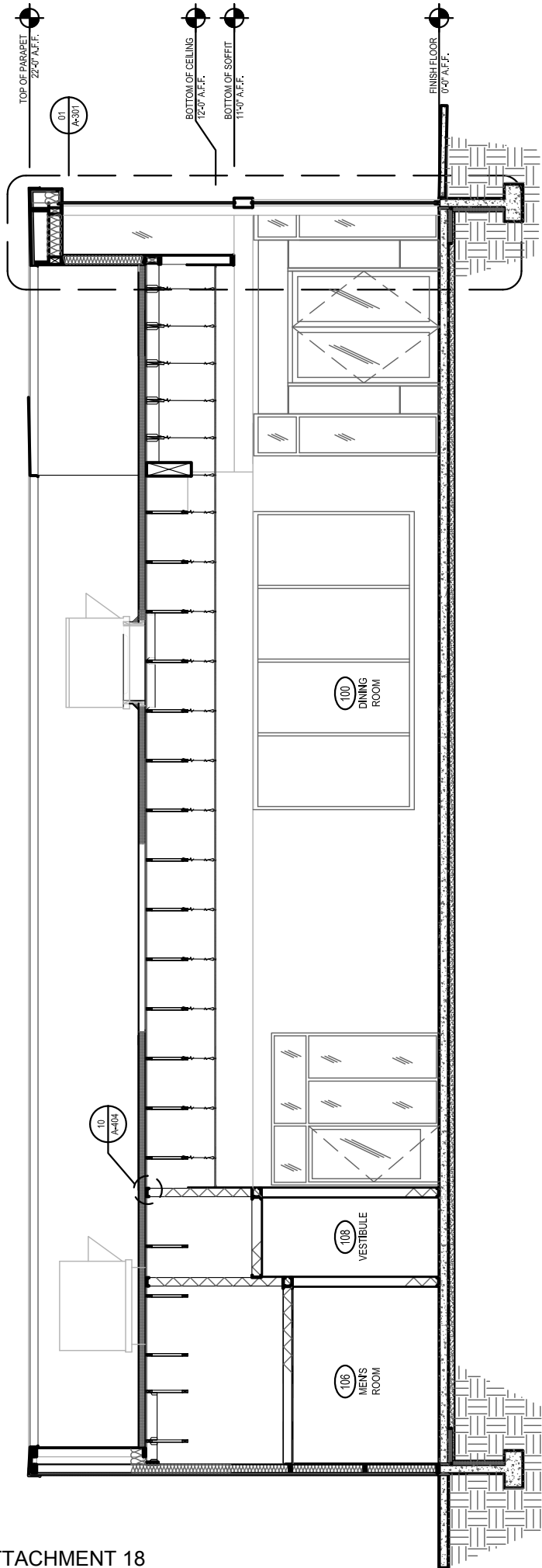
# EXTERIOR FINISH SCHEDULE

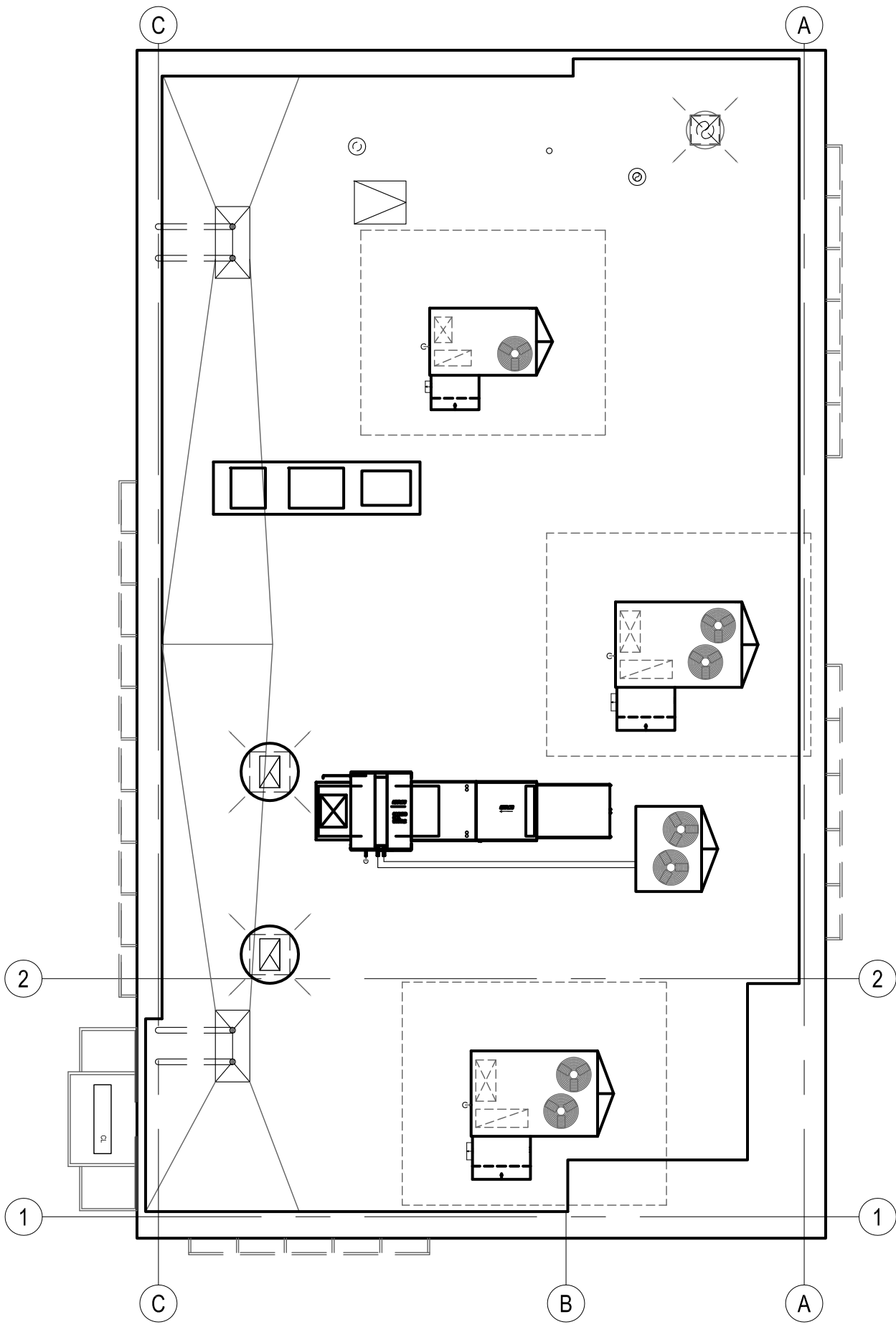
INSTALLED AND FURNISHED BY, G.C. UNLESS NOTED OTHERWISE

NO	MANUFACTURER	MFG#	COLOR	FINISH	NOTES
(EIFS-1)	STO	STOTHERM ESSENCE SYSTEM	93330 CHAMPAGNE	SAND PEBBLE FINE	BUILDING BODY
(EIFS-2)	STO	STOTHERM ESSENCE SYSTEM	11404 BRUSHED PEWTER	SAND PEBBLE FINE	BUILDING BODY
(EIFS-3)	STO	STOTHERM METALLIC SYSTEM	SW 7588 SHOW STOPPER	ULTRA SMOOTH METALLIC FINISH	ENTRY PORTAL; FINISH ENTIRE HIGH IMPACT EIFS INCLUDING EXTERIOR AND INTERIOR SURFACES
(EIFS-4)	STO	STOTHERM METALLIC SYSTEM	SW7073 NETWORK GREY	ULTRA SMOOTH METALLIC FINISH	DRIVE THRU & REAR ELEVATION
(P112)	SHERWIN-WILLIAMS	SW 6919	FUSION (GREEN)	SATIN, LATEX	BUILDING TRIM
(P98)	SHERWIN WILLIAMS	SW 7588	SHOW STOPPER	SATIN, LATEX	ENTRY, WALL ACCENTS
(P114)	SHERWIN-WILLIAMS	SW 6082	COBBLE BROWN	SATIN, LATEX	ALUM. AWNINGS/CANOPY
(P115)	SHERWIN-WILLIAMS	SW 6433	INVERNESS	SATIN, LATEX	BAMBOO POLES
(ST-1S)	ADVANCED CAST STONE	-	SAND DRIFT	DRY TAMP	PLANTER STONE CAP
(ST-1)	DAL-TILE	MS79	TIDEWATER	MESA LEDGESTACK	PLANTERS
(ECT-1)	CMC, DOUG SALATINO 518-713-5371		PORTO PLANK *	6 X 48	BUILDING ACCENT TILE *
(ACM-1)	ALPOLIC	4MM4 HLZ 3.5	DM HLZ ALUM. (4MM THK)	AAMA 508 RAIN SCREEN SYSTEM	ALUMINUM COMPOSITE MATERIAL

\* NOTE: INSTALL ECT-1 WITH GROUT - MFG. MODEL # PBG9525 BY CUSTOM BUILDING PRODUCTS, COLOR SABLE BROWN. GC TO VERIFY SUITABILITY OF GROUT WITH CERAMIC TILE APPLICATION AND NOTIFY PANDA PM OF ANY ISSUES.









# RETENTION CALCULATIONS

## DRAINAGE CALCULATIONS - VOLUME REQUIRED

DRAINAGE AREA	AREA TOTAL (ft. <sup>2</sup> )	AREA TOTAL (ac)	RUNOFF COEFFICIENT "C"	PRECIPITATION 100yr (in)	100-YEAR VOLUME (cf)
SITE	20,648	0.474	0.95	2.40	3,923
TOTAL					3,923

## DRAINAGE CALCULATIONS - VOLUME PROVIDED

8' CMP = 50.26 cf/LF

USE 80' - 8'CMP = VOLUME = 4,021 cf

TOTAL REQUIRED = 3,923 CF  
TOTAL PROVIDED = 4,021 CF\*

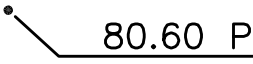

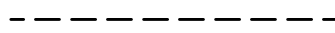



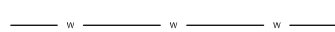

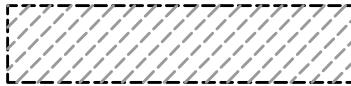


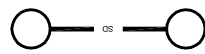

## PROPERTY DESCRIPTION

THAT PORTION OF THE SOUTHWEST CORNER OF THE SOUTHWEST QUARTER OF SECTION 23, TOWNSHIP 1 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

## SITE DATA

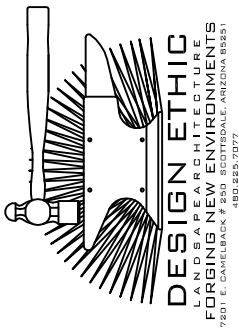
TOTAL AREA: 20,648 SQ. FT.  
OR 0.474 AC. + \ -

## LEGEND

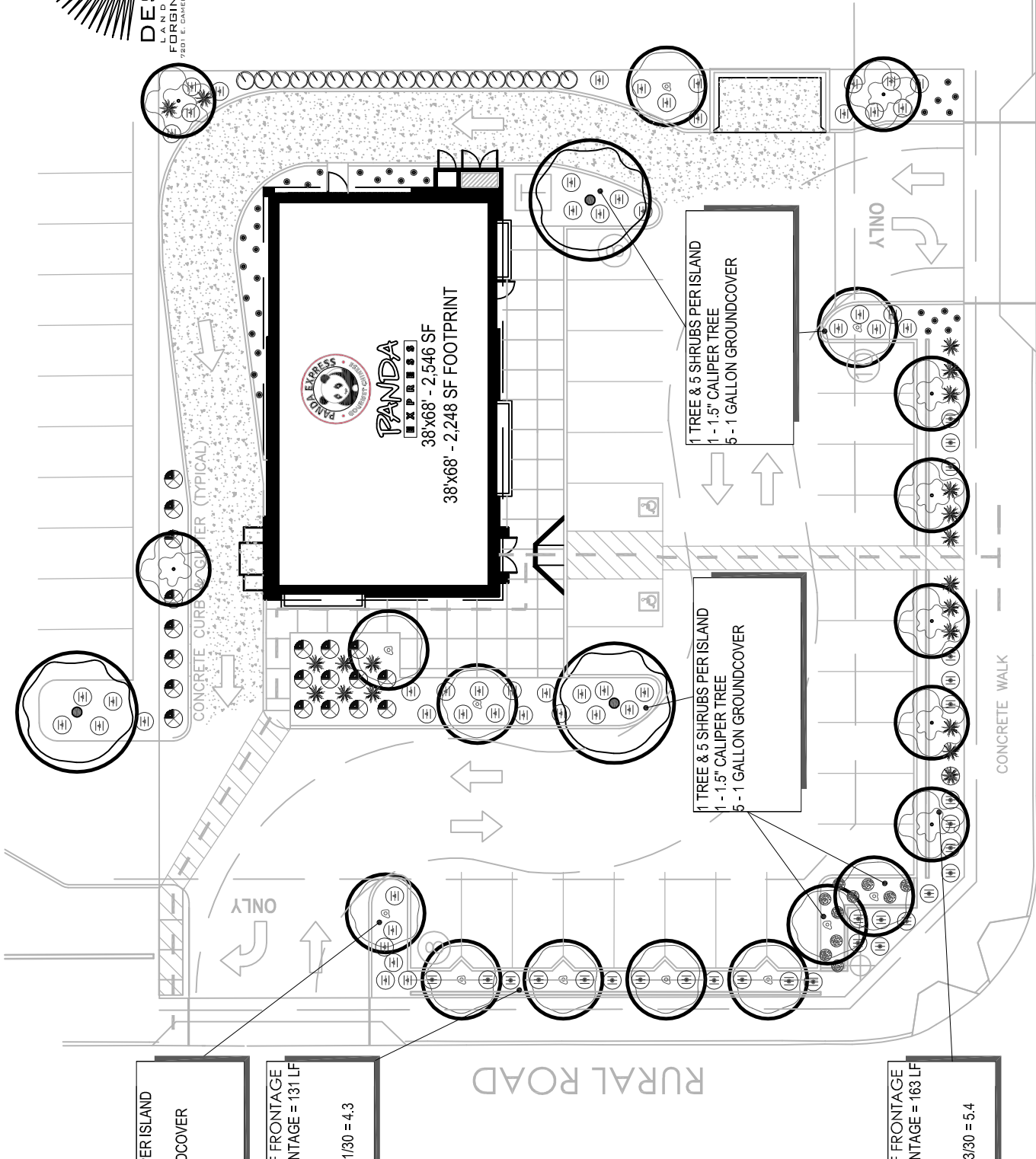
	SPOT ELEVATION
	FLOW ARROW
	PROPOSED FLOW LINE
	GRADE BREAK
	EXISTING MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	WATER
	SANITARY SEWER
	8' CMP
	STORM DRAIN
	GRADED INLET
	DRY WELL
	CATCH BASIN

## FLOOD ZONE

BY GRAPHIC PLOTTING ONLY, THE SUBJECT PROPERTY LIES WITHIN FLOOD ZONE X, AREAS DETERMINED TO BE OUTSIDE OF THE 100 & 500 YEAR FLOOD PLAIN, PER FLOOD INSURANCE RATE MAP COMMUNITY AND PANEL NUMBER 04017C2170 G, WITH AN EFFECTIVE DATE OF SEPTEMBER 30, 2005. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE.



**DESIGN ETHIC**  
 LANDSCAPE ARCHITECTURE  
 FORGING NEW ENVIRONMENTS  
 7201 E. CAMELBACK # 300, SCOTTSDALE, ARIZONA 85251  
 480.425.1077



1 TREE & 5 SHRUBS PER ISLAND  
 1 - 1.5" CALIPER TREE  
 5 - 1 GALLON GROUNDCOVER

1 TREE PER 30LF OF FRONTAGE  
 LINEAR FEET OF FRONTAGE = 131 LF  
 TREES REQUIRED: 131/30 = 4.3  
 TREES PROVIDED - 4

1 TREE & 5 SHRUBS PER ISLAND  
 1 - 1.5" CALIPER TREE  
 5 - 1 GALLON GROUNDCOVER

1 TREE & 5 SHRUBS PER ISLAND  
 1 - 1.5" CALIPER TREE  
 5 - 1 GALLON GROUNDCOVER

1 TREE PER 30LF OF FRONTAGE  
 LINEAR FEET OF FRONTAGE = 163 LF  
 TREES REQUIRED: 163/30 = 5.4  
 TREES PROVIDED - 5

RURAL ROAD

BROADWAY ROAD



Hengst Streff Bajko  
 Architects + Engineers  
 Phoenix, AZ  
 602.283.2835  
 HSBArch.com

**Panda Express – Landscape Plan**

City of Tempe Amended PAD – DRC Review



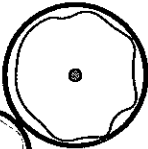








Scale = N.T.S.



# calcs.

TOTAL SITE AREA:	21,046 SQ. FT.	
LANDSCAPE AREA:	3,661 SQ. FT.	(17%)
SIDEWALK AREA:	1,224 SQ. FT. (5.8%)	
LANDSCAPE & SIDEWALK:	4,885 SQ. FT.	(22.8%)

# plant legend

	botanical name common name	size	qty	comments
<b>trees</b>				
	PARKINSONIA X. 'DESERT MUSEUM' 'DESERT MUSEUM'	1.5" CAL MINIMUM	3	LOW BREAKING
	CAESALPINIA CACALACO 'SMOOTHIE' THORNLESS CASCALOTE	1.5" CAL MINIMUM	11	LOW BREAKING
	PITHECELLOBIUM FLEXICAULE TEXAS EBONY	1.5" CAL MINIMUM	8	LOW BREAKING
<b>shrubs</b>				
	LEUCOPHYLLUM CANDIDUM THUNDER CLOUD	5 GAL.	19	PLANT AT 3' O.C.
<b>accents</b>				
	ASCLEPIAS SUBULATA DESERT MILKWEED	5 GAL.	20	PLANT AT 2' O.C.
	ECHINOCACTUS GRUSONII GOLDEN BARREL	5 GAL.	32	PLANT AT 1' O.C.
	MUHLENBERGIA CAPILLARIS REGAL MIST	5 GAL.	19	PLANT AT 3' O.C.
<b>groundcover</b>				
	LANTANA MONTEVIDENSIS PURPLE LANTANA	1 GAL.	50	PLANT AT 4' O.C.
	LANTANA 'NEW GOLD' NEW GOLD LANTANA	1 GAL.	29	PLANT AT 2' O.C.
<b>inerts</b>				
	DECOMPOSED GRANITE TO BE SELECTED			2" MINIMUM IN ALL PLANTERS



Panda Express – Landscape Schedules

City of Tempe Amended PAD – DRC Review

Hengst Streff Bajko  
Architects + Engineers  
Phoenix, AZ  
602.283.2855  
HSBarch.com

HSK  
01/25/10



January 15, 2013

Kevin O'Melia  
City of Tempe  
31 East Fifth Street  
Tempe, AZ 85280


**Re: Letter of Explanation**  
**Panda Express at 908 E. Broadway Avenue – Tempe, AZ**

Mr. O'Melia,

The requested plat intends to combine parcels 133-11-005L + 133-11-005S (See legal description attached with submittal.) The subdivision conforms to requirements set forth in Zoning and Development Code – Chapter 30 – Subdivisions; and to the Arizona Revised Statutes.

HSB Architects + Engineers does not foresee a circumstance in which subdivision will be threatened by floodwaters, as the subject property is located in 'Zone X' defined as 'Areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage area less than 1 square mile, and areas protected by levees from 1% annual chance flood.'

Thank you for your time and consideration in this matter.

  
JUSTEN CASSIDY  
Justen Cassidy  
HSB Architects + Engineers  
602.283.2835

# PANDA EXPRESS BROADWAY

A SUBDIVISION OF A PORTION OF THE SOUTHWEST QUARTER OF SECTION 23,  
TOWNSHIP 1 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE  
AND MERIDIAN, MARICOPA COUNTY, ARIZONA

**DEDICATION**  
SAFEWAY INC., DELAWARE CORPORATION, AS OWNER HAS  
UNDER THE NAME OF "PANDA EXPRESS BROADWAY", A  
PORTION OF THE SOUTHWEST QUARTER OF SECTION 23, TOWNSHIP  
1 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND  
MERIDIAN, MARICOPA COUNTY, ARIZONA, AND HEREBY PUBLISHES  
THIS PLAT OF "PANDA EXPRESS BROADWAY", AND DECLARES THAT  
SAID PLAT SETS FORTH THE LOCATION AND GIVES THE DIMENSIONS  
OF EACH LOT, STREET AND EASEMENT CONSTITUTING THE SAME  
AND THAT EACH LOT AND STREET SHALL BE KNOWN BY THE  
NUMBER OR NAME GIVEN TO EACH RESPECTIVELY ON SAID PLAT  
AND HEREBY DEDICATES TO THE CITY OF TEMPE FOR PUBLIC  
USE SUCH STREETS AND EASEMENTS AS SHOWN ON SAID PLAT  
AND IS INCLUDED IN THE ABOVE DESCRIBED PREMISES.

**ACKNOWLEDGMENT**  
ON THIS DAY OF 2013 BEFORE ME, THE  
UNDERSIGNED, PERSONALLY APPEARED KEVIN WING WHO  
ACKNOWLEDGED HIMSELF TO BE THE PERSON WHOSE NAME IS  
SUBSCRIBED TO THE INSTRUMENT WITHIN, AND WHO EXECUTED THE  
FOREGOING TO THE INSTRUMENT FOR THE PURPOSES THEREIN  
CONTAINED.

IN WITNESS WHEREOF, I HEREBY SET MY HAND AND OFFICIAL  
SEAL.

BY: NOTARY PUBLIC \_\_\_\_\_ MY COMMISSION EXPIRES \_\_\_\_\_  
SAFEWAY INC., A DELAWARE CORPORATION  
BY: KEVIN WING \_\_\_\_\_ DATE \_\_\_\_\_  
ITS: VICE PRESIDENT

**OWNER/DEVELOPER**  
SAFEWAY INC.  
1371 OAKLAND BOULEVARD, SUITE 200  
WALNUT CREEK, CA 94596  
CONTACT: KEVIN WING

**BENCHMARK**  
CITY OF TEMPE BENCHMARK NUMBER 184 BEING AN  
ARIZONA HIGHWAY DEPARTMENT BRASS CAP IN  
HANDHOLE AT THE INTERSECTION OF RURAL ROAD AND  
BROADWAY ROAD HAVING AN ELEVATION OF 1171.08  
(CITY OF TEMPE DATUM)

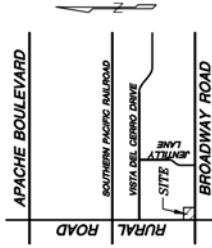
**BASIS OF BEARINGS**  
THE BASIS OF BEARING IS THE MONUMENT LINE OF THE  
RURAL ROAD, ALSO BEING THE WEST LINE OF THE  
SOUTHWEST QUARTER OF SECTION 23, USING A  
BEARING OF NORTH 00 DEGREES 07 MINUTES 29  
SECONDS WEST, PER SUBDIVISION OF "SAFEWAY STORE  
#1487", RECORDED IN BOOK 495 OF MAPS, PAGE 50,  
MARICOPA COUNTY RECORDS.

**APPROVALS**  
APPROVED BY THE MAYOR AND CITY COUNCIL OF THE  
CITY OF TEMPE, ARIZONA ON THIS \_\_\_\_\_ 2013.

BY: \_\_\_\_\_ MAYOR \_\_\_\_\_ DATE \_\_\_\_\_  
ATTEST: \_\_\_\_\_ CITY CLERK \_\_\_\_\_ DATE \_\_\_\_\_  
BY: \_\_\_\_\_ CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_  
BY: \_\_\_\_\_ DEVELOPMENT SERVICES \_\_\_\_\_ DATE \_\_\_\_\_

**CERTIFICATION**  
THIS IS TO CERTIFY THAT THE SURVEY OF THE PREMISES  
DESCRIBED AND PLATED HEREON WAS MADE UNDER  
MY DIRECTION DURING THE MONTH OF JANUARY, 2013;  
THAT THE SURVEY IS TRUE AND COMPLETE AND  
SHOWN; THAT THE MONUMENTS SHOWN ACTUALLY EXIST  
OR WILL BE SET AS SHOWN; THAT THE POSITIONS ARE  
CORRECTLY SHOWN AND THE SAID MONUMENTS ARE  
SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.

DAVID S. KLEIN, R.L.S. 42137



**VICINITY MAP**  
NOT TO SCALE

**LEGEND**

—	SUBDIVISION LINE	
—	BOUNDARY LINE	
—	MONUMENT LINE	
—	RIGHT OF WAY LINE	
—	EXISTING EASEMENT LINE	
▲	SUBDIVISION CORNER PIN TO BE SET (UNLESS OTHERWISE NOTED)	
●	FOUND 1/2" CAPPED REBAR STAMPED 18214 WITNESS CORNER 4:00 NORTH	
○	FOUND 1/2" CAPPED REBAR STAMPED 19344	
	ASSESSOR PARCEL NUMBER	A.P.N.
	MARICOPA COUNTY RECORDER	M.C.R.
	RIGHT-OF-WAY	R/W
	BOOK	BK.
	PAGE	P.G.

**FLOOD PLAIN CERTIFICATION**

ACCORDING TO FEMA FLOOD INSURANCE RATE MAP, MAP NUMBER 04013C2170G, DATED SEPTEMBER 30, 2005, THE SUBJECT PROPERTY IS LOCATED IN ZONE X-1 AS DEFINED AS "AREA OF HIGH FLOOD RISK WITH AN ANNUAL CHANCE FLOOD WITH AVERAGE DEPTH OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD."

PANDA EXPRESS BROADWAY  
908 E. BROADWAY ROAD, TEMPE, ARIZONA 85281

215 N. 23rd Avenue, Phoenix, AZ 85027  
623-869-0223 (office) 623-869-0728 (fax)  
info@superiorurveying.com  
www.superiorurveying.com



DATE: 1/29/13  
SHEET 1 OF 3  
JOB NO.: 121228

REC13002

SBD13001

DS120791

# PANDA EXPRESS BROADWAY

**LEGAL DESCRIPTION  
(PRIOR TO SUBDIVISION)**

**PARCEL NO. 2:**  
 THAT PORTION OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 23, TOWNSHIP 1 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, DESCRIBED AS FOLLOWS:  
 BEGINNING AT THE SOUTHWEST CORNER OF SAID SECTION 23;  
 THENCE EAST 33.00 FEET;  
 THENCE NORTH 33.00 FEET;  
 THENCE NORTH 154.50 FEET;  
 THENCE EAST 175.00 FEET TO THE TRUE POINT OF BEGINNING;  
 THENCE SOUTH 154.50 FEET;  
 THENCE WEST 40.00 FEET;  
 THENCE NORTH 154.50 FEET;  
 THENCE EAST 40.00 FEET TO THE TRUE POINT OF BEGINNING.

**PARCEL NO. 3:**  
 THAT PORTION OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 23, TOWNSHIP 1 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
 BEGINNING AT THE SOUTHWEST CORNER OF SAID SECTION 23;  
 THENCE EAST ALONG THE SOUTH LINE THEREOF 33.00 FEET;  
 THENCE NORTH 00 DEGREES 07 MINUTES 29 SECONDS WEST ALONG A LINE WHICH IS PARALLEL WITH AND DISTANT 33.00 FEET EASTERLY AT RIGHT ANGLES FROM THE WEST LINE OF SAID SECTION 23, A DISTANCE OF 33.00 FEET TO THE TRUE POINT OF BEGINNING;  
 THENCE CONTINUING NORTH 00 DEGREES 07 MINUTES 29 SECONDS WEST, ALONG SAID PARALLEL LINE, 154.50 FEET;  
 THENCE EAST, PARALLEL TO THE SOUTH LINE OF SAID SECTION 23, A DISTANCE OF 135.00 FEET;  
 THENCE SOUTH 00 DEGREES 07 MINUTES 29 SECONDS EAST, PARALLEL WITH WEST LINE, 154.50 FEET TO INTERSECTION WITH A LINE WHICH IS PARALLEL WITH AND DISTANT 33.00 FEET NORTHERLY AT RIGHT ANGLES FROM SAID SOUTH LINE OF SAID SECTION 23;  
 THENCE WEST ALONG SAID PARALLEL LINE, 135.00 FEET TO THE TRUE POINT OF BEGINNING;

EXCEPT COMMENCING AT THE SOUTHWEST CORNER OF SECTION 23, TOWNSHIP 1 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA;  
 THENCE NORTH ALONG THE WEST LINE OF SAID SECTION 23, A DISTANCE OF 187.50 FEET;  
 THENCE EAST PARALLEL TO THE SOUTH LINE OF SAID SECTION 23, A DISTANCE OF 50.00 FEET TO THE POINT OF BEGINNING;  
 THENCE SOUTH PARALLEL TO THE WEST LINE OF SAID SECTION 23, A DISTANCE OF 117.50 FEET TO AN INTERSECTION WITH A LINE PARALLEL TO AND 70.00 FEET NORTH OF THE SOUTH LINE OF SAID SECTION 23;  
 THENCE SOUTHEASTERLY TO AN INTERSECTION WITH A LINE PARALLEL TO AND 50.00 FEET NORTH OF THE SOUTH LINE OF SAID SECTION 23 AND A LINE PARALLEL TO AND 70.00 FEET EAST OF THE WEST LINE OF SAID SECTION 23;  
 THENCE EAST PARALLEL TO AND 50.00 FEET NORTH OF THE SOUTH LINE OF SAID SECTION 23, A DISTANCE OF 98.00 FEET;

**LEGAL DESCRIPTION  
(PRIOR TO SUBDIVISION)**

THENCE NORTH PARALLEL TO THE WEST LINE OF SAID SECTION 23, A DISTANCE OF 33.00 FEET;  
 THENCE WEST PARALLEL TO THE SOUTH LINE OF SAID SECTION 23 TO AN INTERSECTION WITH A LINE PARALLEL TO AND 73.00 FEET EAST OF THE WEST LINE OF SAID SECTION 23;  
 THENCE NORTHWESTERLY TO AN INTERSECTION WITH A LINE PARALLEL TO AND 73.00 FEET NORTH OF THE SOUTH LINE OF SAID SECTION 23;  
 THENCE NORTH PARALLEL TO THE WEST LINE OF SAID SECTION 23 TO AN INTERSECTION WITH THE NORTH LINE OF THE SOUTH 187.50 FEET OF THE SOUTHWEST QUARTER OF SAID SECTION 23;  
 THENCE WEST PARALLEL TO THE SOUTH LINE OF SAID SECTION 23, A DISTANCE OF 3.00 FEET TO THE POINT OF BEGINNING;  
 EXCEPT COMMENCING AT THE SOUTHWEST CORNER OF SECTION 23, TOWNSHIP 1 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA;  
 THENCE EAST ALONG THE SOUTH LINE OF SAID SECTION 23, A DISTANCE OF 168.00 FEET;  
 THENCE NORTH PARALLEL TO THE WEST LINE OF SAID SECTION 23, A DISTANCE OF 150.00 FEET TO THE POINT OF BEGINNING;  
 THENCE EAST PARALLEL TO THE SOUTH LINE OF SAID SECTION 23, A DISTANCE OF 40.00 FEET;  
 THENCE NORTH PARALLEL TO THE WEST LINE OF SAID SECTION 23, A DISTANCE OF 3.00 FEET;  
 THENCE WEST PARALLEL TO THE SOUTH LINE OF SAID SECTION 23, A DISTANCE OF 40.00 FEET;  
 THENCE SOUTH PARALLEL TO THE WEST LINE OF SAID SECTION 23, A DISTANCE OF 3.00 FEET TO THE POINT OF BEGINNING.

**AREA**  
 GROSS = 21626 ACRES  
 0.844 ACRES  
 NET = 20,086 ACRES  
 0.867 ACRES  
 NOTE: NET AREA IS GROSS AREA LESS ANY ENCUMBRANCES FOR HIGHWAY

**NOTES**

1. THIS SUBDIVISION IS LOCATED WITHIN THE CITY OF TEMPE AND HAS BEEN DESIGNATED AS HAVING AN ASSURED WATER SUPPLY.
2. ALL NEW AND EXISTING, AS WELL AS ON-SITE AND OFF-SITE UTILITY LINES (OTHER THAN TRANSMISSION LINES) SHALL BE PLACED UNDERGROUND.



REC13002

SBD13001

DS120791

PANDA EXPRESS BROADWAY  
 908 E. BROADWAY ROAD, TEMPE, ARIZONA 85281

2115 N. 23rd Avenue, Phoenix, AZ 85027  
 623-869-0223 (office) 623-869-0728 (fax)  
 info@superiorsurveying.com  
 www.superiorsurveying.com

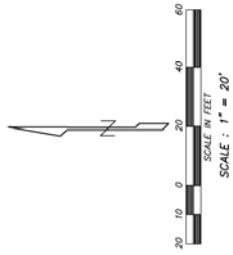
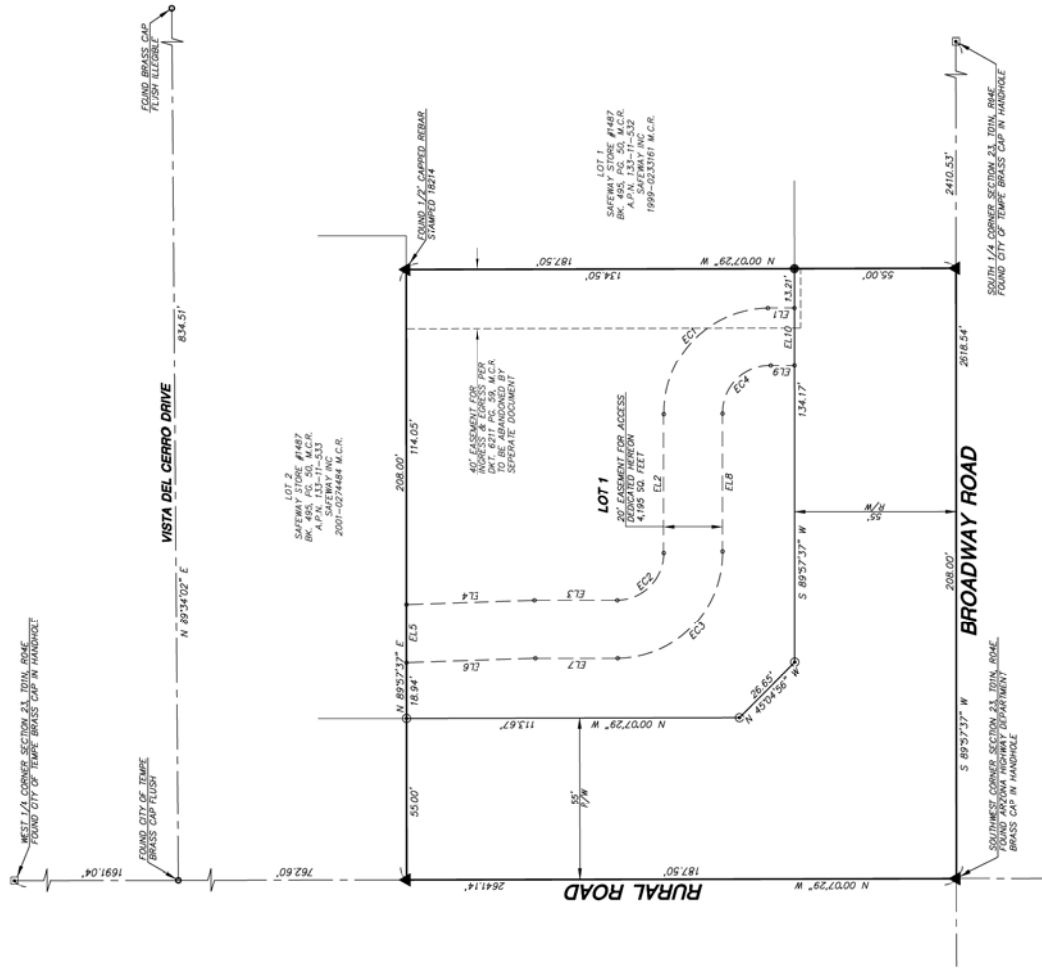
**SUPERIOR**  
 SURVEYING SERVICES, INC.

DATE: 12/19/13  
 SHEET 5 OF 3  
 JOB NO.: 121228

# PANDA EXPRESS BROADWAY

EASEMENT LINE TABLE	BEARINGS	LENGTH
EL1	N 00°00'00" W	9.05'
EL2	N 00°00'00" E	28.22'
EL3	N 07°55'22" E	43.91'
EL4	N 07°55'22" W	20.01'
EL5	S 89°57'37" W	44.23'
EL6	S 07°55'22" E	46.84'
EL7	S 07°55'22" W	8.08'
EL8	S 00°00'00" E	20.00'
EL9	S 00°00'00" W	20.00'
EL10	N 90°00'00" E	20.00'

CURVE TABLE	RADIUS	DELTA	LENGTH
EC1	36.03'	89°57'02"	56.56'
EC2	16.09'	89°57'29"	24.89'
EC3	56.01'	89°57'37"	25.93'
EC4	16.03'	192°41'57"	25.93'



## LEGEND

—	SUBDIVISION LINE	▲	SUBDIVISION CORNER PIN TO BE SET (UNLESS OTHERWISE NOTED)
—	BOUNDARY LINE	●	FOUND 1/2" CAPPED REBAR (UNLESS OTHERWISE NOTED)
—	MONUMENT LINE	⊙	FOUND 1/2" CAPPED REBAR STAMPED 19214 WITNESS CORNER 4.00" NORTH
—	RIGHT OF WAY LINE		
—	EXISTING EASEMENT LINE		
—	NEW EASEMENT LINE		
			FOUND 1/2" CAPPED REBAR STAMPED 19344
			ASSESSOR PARCEL NUMBER A.P.N.
			MARICOPA COUNTY RECORDER M.C.R.
			RIGHT-OF-WAY R/W
			BOOK BK.
			PAGE PG.



REC13002

SBD13001

DS120791

PANDA EXPRESS BROADWAY

908 E. BROADWAY ROAD, TEMPE, ARIZONA

2115 N. 23rd Avenue, Phoenix, AZ 85023  
 623-869-0223 (office) 623-869-0728 (fax)  
 www.superiorurveying.com  
 info@superiorurveying.com

DATE: 10/19/19  
 SHEET: 3 OF 3  
 LINES: 10/19/19  
 JOB NO.: 191228



NW Corner  
Corporate Elevation  
908 E Broadway Road





Main Entry Portal  
Corporate Elevation  
908 E Broadway Road





PANDA RESTAURANT GROUP INC.  
1983 Walnut Grove Ave.  
Rosemead, CA 91768  
Telephone: 626.799.8688  
Facsimile: 626.372.8288

All work shall be performed in accordance with the City of Tempe, Arizona, and shall be subject to the approval of the City of Tempe. The City of Tempe is not responsible for the design or construction of the project. The City of Tempe is not responsible for the design or construction of the project. The City of Tempe is not responsible for the design or construction of the project.

REVISIONS:

NO.	DESCRIPTION	DATE
1	ISSUE FOR REVIEW	11-26-12
2	ISSUE FOR SUBMITTAL	12-14-12

DRAWN BY: JC

PANDA PROJECT #: SS-12-03442  
ARCH PROJECT #: 12181



Hendag Sheriff Bajko  
Architect + Engineers  
2777 EAST CAMELBACK RD.  
PHOENIX, ARIZONA 85016  
PH: (602) 312-7559  
FAX: (602) 312-7559

STAMP:



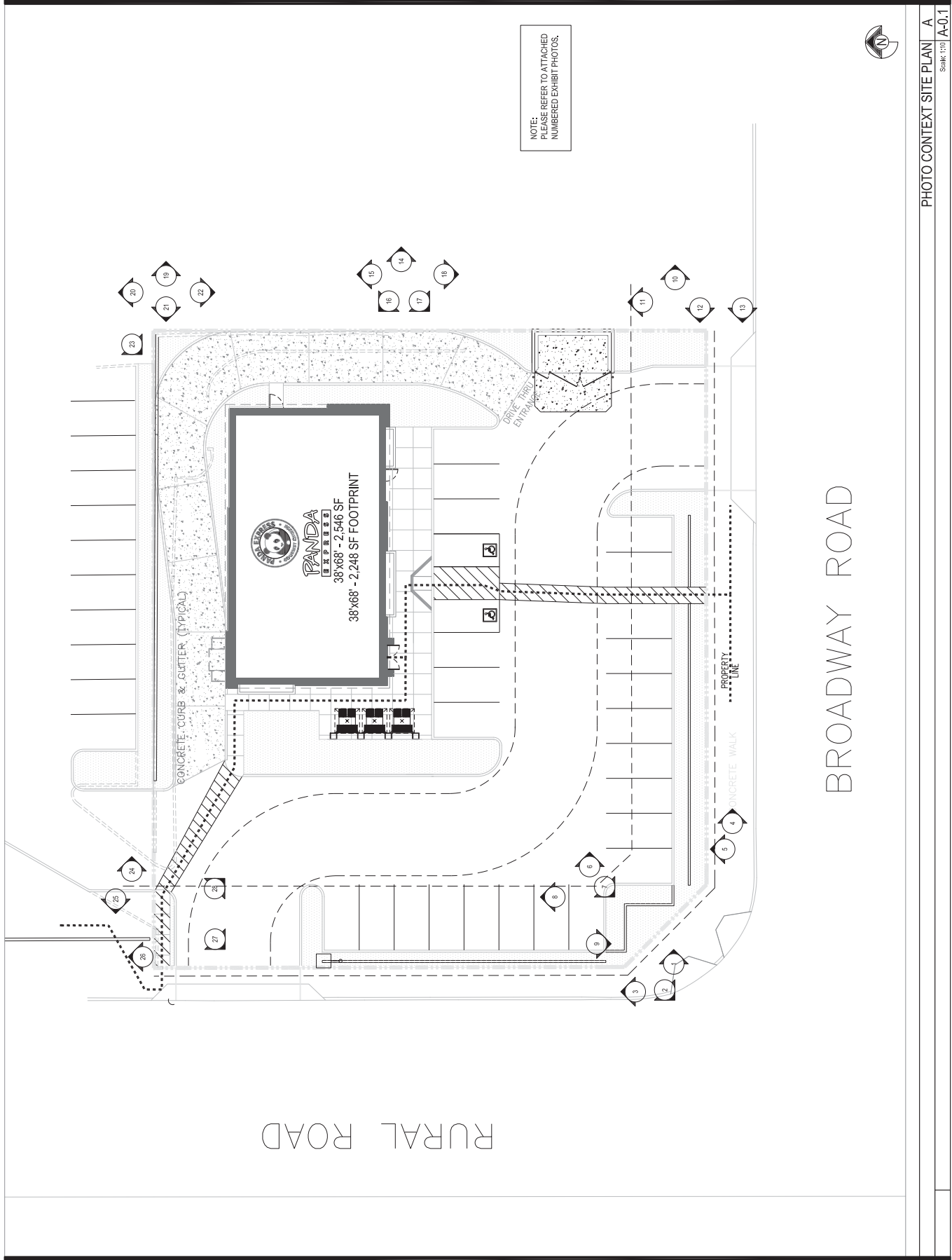
PANDA EXPRESS

908 EAST BROADWAY BOULEVARD  
TEMPE, AZ 85719

A-100B

PHOTO CONTEXT  
SITE PLAN

PHOTOTYPE BLOCKS OF FLAVOR 1



NOTE:  
PLEASE REFER TO ATTACHED  
NUMBERED EXHIBIT PHOTOS.

PHOTO CONTEXT SITE PLAN A  
Scale: 1"=10' A-0.1

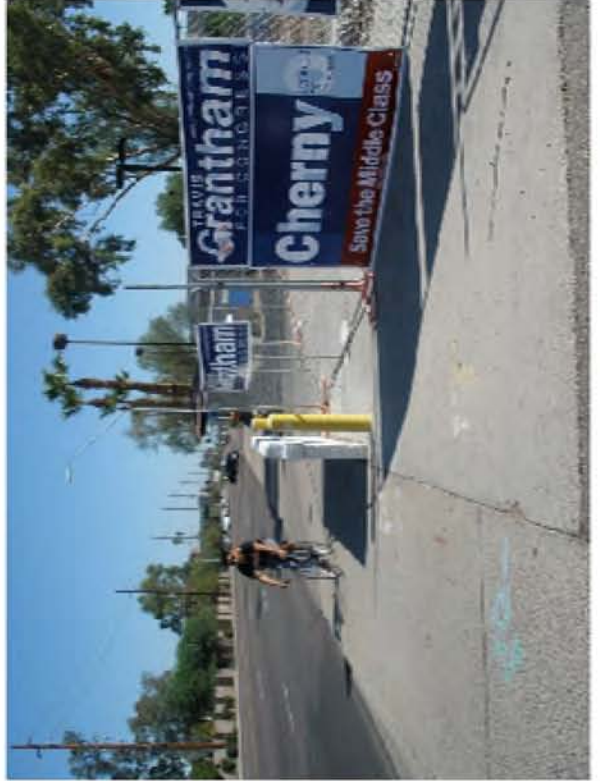




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SEE SHEET A-100B FOR REFERENCE



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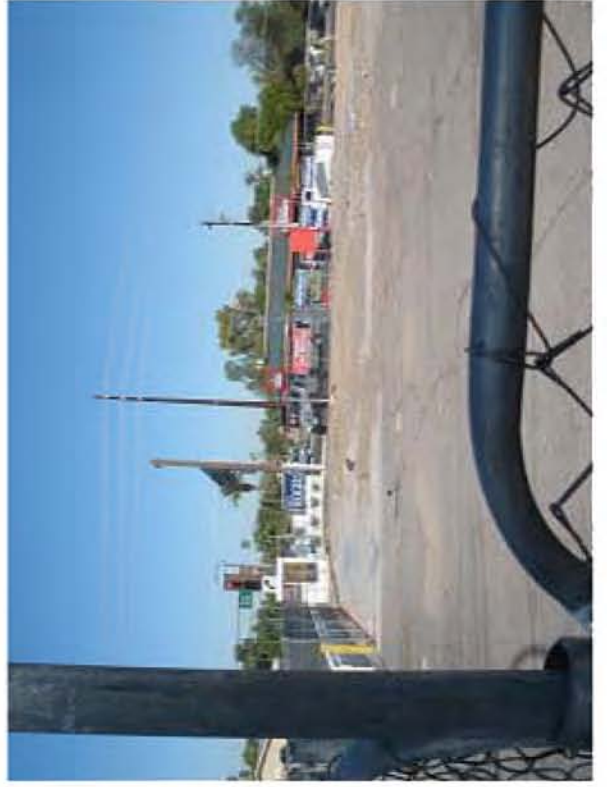
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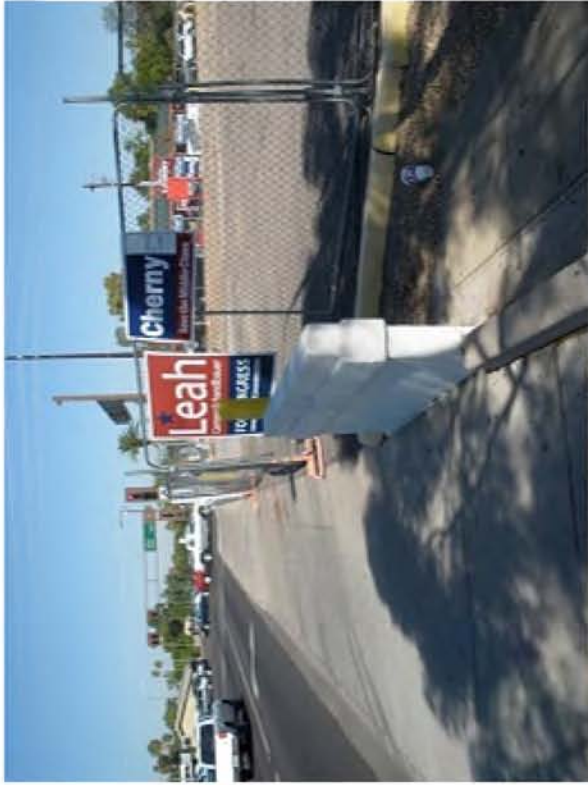
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SEE SHEET A-100B FOR REFERENCE





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SEE SHEET A-100B FOR REFERENCE





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27

SEE SHEET A-100B FOR REFERENCE



3737 EAST BROADWAY ROAD  
 SUITE 1700  
 PHOENIX, ARIZONA 85018  
 TEL: (602) 991-2848  
 FAX: (602) 991-2848

ARCO/BP STORE  
 908 E. BROADWAY ROAD  
 TEMPE, AZ

LANDSCAPE

• INCLUSIONS



• SCALE: 1" = 20'  
 DATE: 01/15/11  
 L1

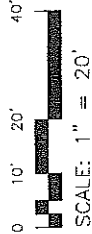
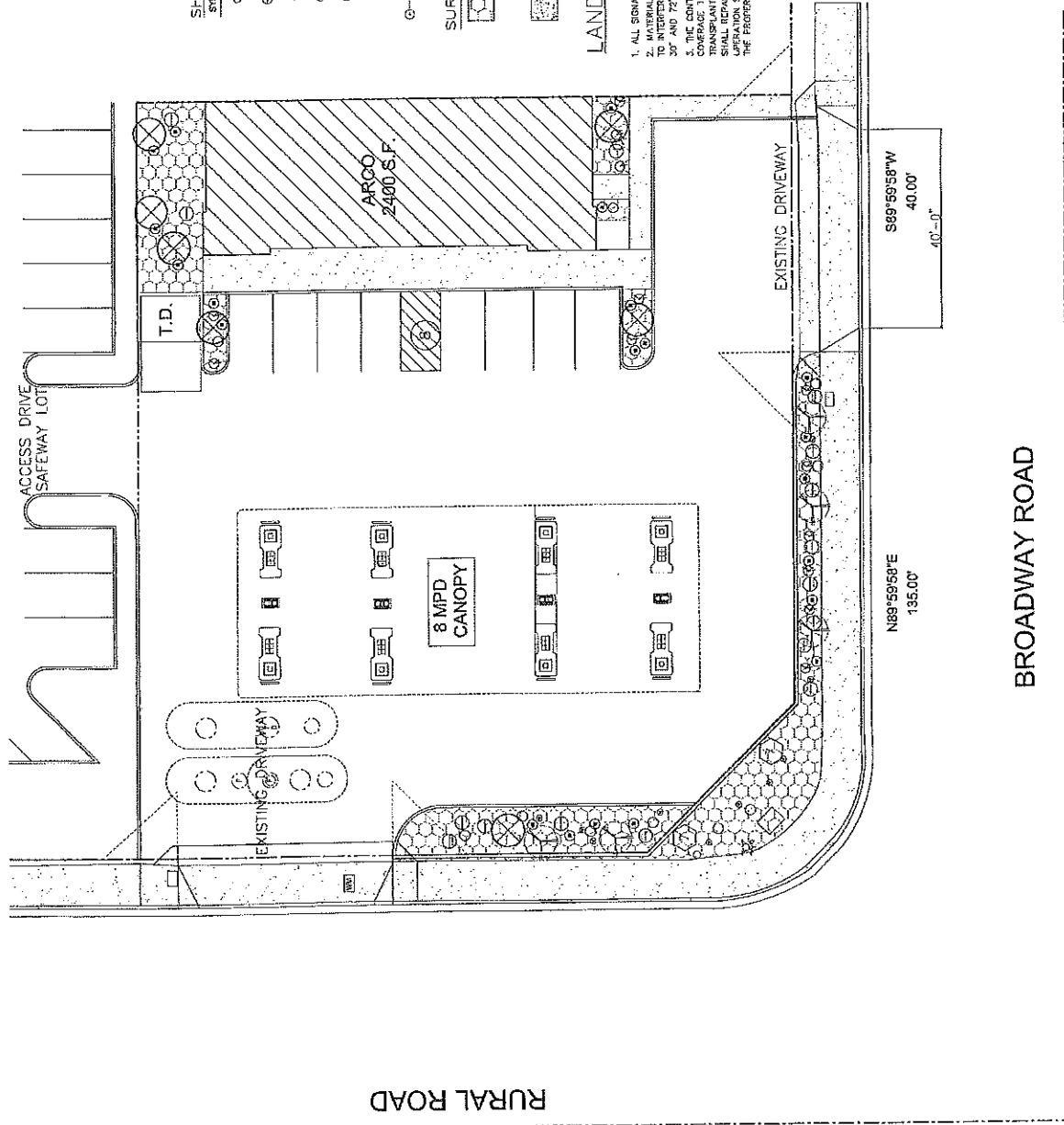
PLANT SCHEDULE

TREES	SYMBOL	QTY.	SIZE	BOTANICAL NAME/COMMON NAME
	⊗	7	24" DBH	CECROPUS FLORIDANA BLUE PALM VERDE
	⊙	5	15 GAL.	BRACHYCHITON POPULINEUS BOTTLE TREE
SHRUBS	SYMBOL	QTY.	SIZE	BOTANICAL NAME/COMMON NAME
	⊖	20	1 GAL.	ERICAMERIA LAUREFOLIA TURPENTINE BUSH
	⊕	15	5 GAL.	DASYLIRION WHEELERI DESERT SPOON
	⊗	10	1 GAL.	LANTANA MONTENSIS 50% PURP. 50% GOLD-HANDMA MAK
	⊙	20	5 GAL.	LEUCOPHYLLUM FRUTICOSUM GREEN-CLOUD SILVER CHERRY
	⊖	10	5 GAL.	HEBEAELAE PARVIFLORA RED NUZZA

- ⊖ PARKING LOT LIGHTS
- ⊕ TRAFFIC CONTROL SIGN  
 18" DIA. 30" HIG.  
 18" DIA. 30" HIG.
- SURFACING**
- RECOMPOSED GRANITE-2" MIN. DEPTH
- COLOR: WILDCAT RED
- SIZE: 1/2" MINUS ALL UNPAVED AREAS  
 AS AVAILABLE FROM KULAMAZOO MATERIALS (602) 879-9917
- CONCRETE WALK

LANDSCAPE NOTES

- ALL SIGNAGE TO BE REVIEWED AND APPROVED UNDER SEPARATE PERMIT.
- MATERIALS WITHIN THE SITE VISIBILITY TRIANGLES SHALL BE PLACED SO AS NOT TO INTERFERE WITH VISIBILITY PLANES DESCRIBED BY TWO HORIZONTAL PLANES LOCATED 30' AND 72' ABOVE THE FINISHED GRADE OF THE ROADWAY SURFACE.
- THE CONTRACTOR SHALL FURNISH A NEW IRRIGATION SYSTEM THAT PROVIDES COMPLETE COVERAGE TO ALL LANDSCAPED AREAS AND ADEQUATE WATER SUPPLY FOR ALL NEW, TRANSPLANTED, AND EXISTING PLANTS LOCATED WITHIN THE PROPERTY LINES. THE CONTRACTOR SHALL NOT DAMAGE ANY NEW, TRANSPLANTED, OR EXISTING PLANTS LOCATED WITHIN THE PROPERTY LINES.



LANDSCAPE PLAN