

**CITY OF TEMPE
DEVELOPMENT REVIEW COMMISSION**

**Meeting Date: 06/10/2014
Agenda Item: 2**

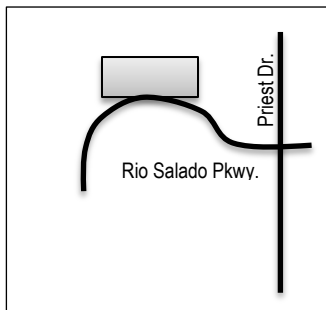
ACTION: Request for a Development Plan Review consisting of a new 60,000 sf. office building and 3 new parking garages for LIBERTY CENTER AT RIO SALADO (PL140179) located at 1940 West Rio Salado Parkway. The applicant is RSP Architects.

FISCAL IMPACT: There is no fiscal impact on City funds.

RECOMMENDATION: Staff – Approval, subject to conditions

BACKGROUND INFORMATION: LIBERTY CENTER AT RIO SALADO (PL140179) consists of a new two-level parking deck behind the approved office building. The request includes the following:

DPR14075 Development Plan Review including site plan, building elevations, and landscape.



Property Owner	Liberty Property Trust
Applicant	Shane Lucero, RSP Architects
Current Zoning District	GID, General Industrial District and within a Planned Area Development Overlay and Rio Salado Overlay District
Net site area	76.30 acres
Office Building VII	60,000 sf.
Parking Decks	440,000 sf.
Lot Coverage	36% (NS)
Building Height	25 ft. (45 ft. – 80 ft. max. allowed per PAD)
Building Setbacks	25' front (25' front & 0' min. all sides) 20' parking (20' min. parking setback)
Landscape area	46% (10% min. required)
Parking Lot landscape	23% of landscape and shading.
Vehicle Parking	4,933 spaces total (4,273 min. required) including 2,316 spaces within parking decks
Bicycle Parking	100 spaces (100 min. required)

ATTACHMENTS: Development Project File

STAFF CONTACT(S): Ryan Levesque, Senior Planner (480) 858-2393

Department Director: Dave Nakagawara, Community Development Director
 Legal review by: N/A
 Prepared by: Ryan Levesque, Senior Planner

COMMENTS:

The site is located north of Rio Salado Parkway and west of Priest Drive. The site is currently under construction for the development of the Liberty Center at Rio Salado, with building permits approved for the main entrance, landscape frontage and an office building. Along the other side of Rio Salado Parkway is an existing office complex (Rio West Business Park).

The overall site is conveniently accessible to the 202 freeway and less than five minutes from Downtown Tempe and Sky Harbor Airport. The Development Review Commission, on July 23, 2013, approved the development plan review for a corporate office complex consisting of six (6) new office buildings. On February 11, 2014, the Development Review Commission approved a warehouse building. On March 25, 2014, the Development Review Commission approved a two-level parking deck, located directly behind the approved Building I of the site.

The applicant brings before you now, a request for a development plan review consisting of new 60,000 sf. office building (VII), a new 637 space two-level parking structure, a new 561 space three-level parking structure, a new 198 space two-level parking structure, and a parking structure expansion of 228 spaces for a previously approved two-level structure.

Public Input

A neighborhood meeting is not required for this request. There is no residential within 600 feet of the subject property. At the time this report was generated staff has not received any public input.

PROJECT ANALYSIS

DEVELOPMENT PLAN REVIEW

Site Plan

The site for the proposed new building and parking structures will have access from Rio Salado Parkway utilizing existing driveways along the street frontage. There is multiple connection points on to Rio Salado Parkway available, but in the initial phase there will be an east and west entrance on to either sides of the office building existing and proposed. The parking structure locations will replace the previous approved surface parking lot to accommodate the additional parking demand required for future tenants of the office buildings. As a result of the location of the new parking deck, an adjustment to the previous approved lot line will need to be shifted further north to accommodate building separation requirements. The parking structure expansion of the previous approved parking deck was previously delineated in the previous plan, extending the two-story structure.

Building Elevations

The City Council approved a PAD for the site. The maximum allowed building height must stay beneath the 1182 elevation, within 750' of the center of the DVORTAC, and the height may increase at a 1.2 degree slope from the top of the plateau at the center of the DVORTAC. This ranges from a maximum 1182 to 1217 feet above sea level or approximately 45'-80'. The portion of the site for the office building VII and the northernmost parking structure has a maximum building height of 44.5 feet, while the remaining portion for the other new parking structure has a height up to 60 feet.

The office building elevation facades will have a north and southern entrance to the building. The buildings' long dimension will run east/west direction, aligning with the curving pattern of the street. The building provides complementary colors and material with the previous approved office buildings, consisting of a "Teak Sandstone", spandrel gray tint glazing with clear glazing at the windows, metal canopies and painted concrete matching the centers color. The building will have a metal shade fin at the primary entrance and corners of the building. A dark brown color connects the second level windows across the building, defining the base of the building from the upper second level. The building provides uniformity and consistency complementary to the business campus.

The elevations for all parking structures provide a simplistic rhythm with horizontal concrete reveals across the second and third level decks. The structures use matching building colors and materials found in the existing approved office buildings,

including gabion rock walls found at each exit point. The design matches the context of the office project, while the placements of the parking decks are tucked away from street view.

Landscape Plan

The landscape plan does add any additional landscape than what was already approved for the site, other than a few accent points from the walkways to the garage. The site takes into account a native plant palette along with the use of rusted metal gabion rock walls, with materials used from the site. The overall plan for Liberty Center will include several landscaped amenities for the users, including a pedestrian path that connects to the existing City of Tempe's bike and walking trail along the Rio Salado connecting back to the Tempe Town lake and Beach park, an outdoor stepped amphitheater at the north end of the site, and widened sidewalks with planted trees for shade to enhance the walkability. The entry drive and street frontage along Rio Salado Parkway is part of the previous approved landscape plan for the center.

Section 6-306 D. Approval Criteria for Development Plan Review (*in italics*):

1. *Placement, form, and articulation of buildings and structures provide variety in the streetscape*; The parking structure sites are setback far from the public street. The buildings position from the street, provides architectural elements at the corner and midpoint of the structure, consistent with the other approved buildings.
2. *Building design and orientation, together with landscape, combine to mitigate heat gain/retention while providing shade for energy conservation and human comfort*; In addition to the site increasing the amount of shade around the surface parking lot areas (up to 23% shade coverage), the addition of a parking structure will increase the amount of shade for increased human comfort.
3. *Materials are of a superior quality, providing detail appropriate with their location and function while complementing the surroundings*; Materials found in the project are typical of this construction type. The project intends to adaptively re-use existing rock from the site and incorporated in to the gabion rock wall design.
4. *Buildings, structures, and landscape elements are appropriately scaled, relative to the site and surroundings*; The site is appropriate in scale and will be in compliance with the maximum allowed height for this location.
5. *Large building masses are sufficiently articulated so as to relieve monotony and create a sense of movement, resulting in a well-defined base and top, featuring an enhanced pedestrian experience at and near street level*; The building has a defined base with horizontal score patterns gabion rock materials to identify entry points. The architectural metal canopies at the center of the site provide breaks in the building relief.
6. *Building facades provide architectural detail and interest overall with visibility at street level (in particular, special treatment of windows, entries and walkways with particular attention to proportionality, scale, materials, rhythm, etc.) while responding to varying climatic and contextual conditions*; The building provides a consistent detail throughout the project site conducive to the arid climate.
7. *Plans take into account pleasant and convenient access to multi-modal transportation options and support the potential for transit patronage*; The site is located in an area designated for corporate office/business. Although the site is less than a half mile from the town lake recreational area. Multi-modal access to the levee trail system will be available from this site.
8. *Vehicular circulation is designed to minimize conflicts with pedestrian access and circulation, and with surrounding residential uses*; This site will utilize the approved site plan circulation for the Liberty Center complex.
9. *Plans appropriately integrate Crime Prevention Through Environmental Design principles such as territoriality, natural surveillance, access control, activity support, and maintenance*; This site will be in compliance with crime prevention standards currently adopted.

10. *Landscape accents and provides delineation from parking, buildings, driveways and pathways;* The landscape plan provides accents throughout the project site that is consistent with a desert landscape palette.
11. *Signs have design, scale, proportion, location and color compatible with the design, colors, orientation and materials of the building or site on which they are located;* Signage for the building is not part of this review.
12. *Lighting is compatible with the proposed building(s) and adjoining buildings and uses, and does not create negative effects;* Although lighting is not included in this review, the project's lighting will be in compliance the night time dark sky regulations.

Conclusion

Based on the information provided and the above analysis, staff recommends approval of the requested Development Plan Review. This request meets the required criteria and will be in conformance with the proposed conditions.

REASONS FOR APPROVAL:

1. The project is located within the Rio Salado Overlay District, which this development furthers the goals and objectives for the district and is an appropriate use.
2. The project will meet the development standards required under the Zoning and Development Code and as adopted within the PAD overlay for this site.
3. The project is consistent with the approved PAD site plan for this area, as well as the proposed project design.
4. The development meets the approval criteria for a Development Plan Review.

CONDITIONS OF APPROVAL:

EACH NUMBERED ITEM IS A CONDITION OF APPROVAL. THE DECISION-MAKING BODY MAY MODIFY, DELETE OR ADD TO THESE CONDITIONS.

1. An Amended Planned Area Development Overlay for Liberty Center at Rio Salado is required for this request. This request will be processed administratively, subject to no changes in the maximum or minimum required standards for the site. The PAD must be finalized prior to receiving building permits.
2. A Subdivision Plat (lot line adjustment) is required for this request, prior to receiving building permits.

Site Plan

3. Utility equipment boxes for this development shall be finished in a neutral color (subject to utility provider approval) that compliments the coloring of the buildings.
4. Provide wrought iron fencing around undersides of unoccupied stairwell areas to prevent hiding.
5. Verify compliance with Fire access around buildings and hydrant placement, subject to Fire Department review.
6. Garage Security:
 - a. Minimize interior partitions or convert these to semi-opaque screens to inhibit hiding behind these features.
 - b. Provide exit stairs that are open to the exterior as indicated.
 - c. Paint interior wall and overhead surfaces in garage floor levels with a highly reflective white color, minimum LRV of 75 percent.
 - d. Maximize openness at the elevator entrances and stair landings to facilitate visual surveillance from these pedestrian circulation areas to the adjacent parking level.

7. Parking Garage:
 - a. Minimum required parking dimensions shall be clearly dimensioned. Avoid any obstructions, such as columns at the face of the adjoining parking space, with a minimum 16' of clearance.
 - b. Provide a minimum 1'-0" of additional width for parking spaces when adjacent to a continuous wall.
8. If provided, shade canopies for parking areas:
 - a. Provide an 8" fascia for the canopy structure.
 - b. Maximum 75% light reflectance value shall also apply to the top of the canopy or option to have solar photo-voltaic panels as the canopy.
 - c. Relate canopy in color and architectural detailing to the buildings.
 - d. Conceal lighting conduit in the folds of the canopy structure and finish conduit to match.

Building Elevations

9. The materials and colors are approved as presented:
 - Metal Canopy and painted concrete – "Cellar Door" – DEA157
 - Painted Concrete, with reveals – Dunn Edwards – DEC743 "High Noon"
 - Painted Concrete – Dunn Edwards – DEA763 "Oatmeal Cookie"
 - Building Accent – Stone 1 – "Teak Sandstone"
 - Ceiling of First level Parking Deck – to match columns with 75 LRV or greaterSpecific colors and materials exhibited on the materials sample board are approved. Additions or modifications may be submitted for review during building plan check process.
10. Incorporate lighting, address signs, and incidental equipment attachments (alarm klaxons, security cameras, etc.) where exposed into the design of the building elevations. Exposed conduit, piping, or related materials is not permitted.

Lighting

11. Illuminate stairwell landings from dusk to dawn to assist with visual surveillance at these locations.

Landscape

12. The plant palette is approved as proposed and specified on the landscape plan, unless otherwise noted. Any additions or modifications may be submitted for further review during building plan check process.
13. Irrigation notes:
 - a. Provide dedicated landscape water meter.
 - b. Provide pipe distribution system of buried rigid (polyvinylchloride), not flexible (polyethylene). Use of schedule 40 PVC mainline and class 315 PVC ½" feeder line is acceptable. Class 200 PVC feeder line may be used for sizes greater than ½". Provide details of water distribution system.
 - c. Locate valve controller in a vandal resistant housing.
 - d. Hardwire power source to controller (a receptacle connection is not allowed).
 - e. Controller valve wire conduit may be exposed if the controller remains in the mechanical yard.
14. Include requirement to de-compact soil in planting areas on site and in public right of way and remove construction debris from planting areas prior to landscape installation.
15. Trees shall be planted a minimum of 12'-0" from any existing or proposed public water or sewer lines located on-site. Trees near the main water or sewer lines located within the right of way shall be planted at least 20'-0" away. Final approval subject to determination by the Public Works, Water Utilities Division.
16. The tree planting separation requirements may be reduced from the waterline upon the installation of a linear root barrier, a minimum of 6'-0" parallel from the waterline, or around the tree. The root barrier shall be a continuous

material, a minimum of 0.08" thick, installed 0'-2" above finish grade to a depth of 8'-0" below grade. Final approval subject to determination by the Public Works, Water Utilities Division.

Signage

17. Provide address sign(s) on two sides of the building elevation, verified through the plan review process.
 - a. Conform to the following for building address signs, subject to final determination during plan check review:
 - 1) Provide street number only, not the street name
 - 2) Compose of 12" high, individual mount, metal reverse pan channel characters.
 - 3) Internally illuminated.
 - 4) Coordinate address signs with trees, vines, or other landscaping, to avoid any potential visual obstruction.
 - 5) Do not affix number or letter to elevation that might be mistaken for the address.
 - b. Utility meters shall utilize a minimum 1" number height in accordance with the applicable electrical code and utility company standards.

CODE/ORDINANCE REQUIREMENTS:

THE BULLETED ITEMS REFER TO EXISTING CODE OR ORDINANCES THAT PLANNING STAFF OBSERVES ARE PERTINENT TO THIS CASE. THE BULLET ITEMS ARE INCLUDED TO ALERT THE DESIGN TEAM AND ASSIST IN OBTAINING A BUILDING PERMIT AND ARE NOT AN EXHAUSTIVE LIST.

- Specific requirements of the **Zoning and Development Code (ZDC)** are not listed as a condition of approval, but will apply to any application. To avoid unnecessary review time and reduce the potential for multiple plan check submittals, become familiar with the ZDC. Access the ZDC through www.tempe.gov/zoning or purchase from Community Development.
- **SITE PLAN REVIEW:** Verify all comments by the Public Works Department, Community Development Department, and Fire Department given on the Preliminary Site Plan Review. If questions arise related to specific comments, they should be directed to the appropriate department, and any necessary modifications coordinated with all concerned parties, prior to application for building permit. Construction Documents submitted to the Building Safety Division will be reviewed by planning staff to ensure consistency with this Design Review approval prior to issuance of building permits.
- **STANDARD DETAILS:**
 - Access to Tempe Supplement to the M.A.G. Uniform Standard Details and Specifications for Public Works Construction, at this link: www.tempe.gov/index.aspx?page=2147 or purchase book from the Public Works Engineering Division.
 - Access to refuse enclosure details and all other Building Safety forms at this link: www.tempe.gov/index.aspx?page=1033. The enclosure details are under Civil Engineering & Right of Way.
- **BASIS OF BUILDING HEIGHT:** Measure height of buildings from top of curb at a point adjacent to the center of the front property line.
- **COMMUNICATIONS:**
 - Provide emergency radio amplification for the buildings in excess of 50,000 sf. Amplification will allow Police and Fire personnel to communicate in the buildings during a catastrophe. Refer to this link: www.tempe.gov/index.aspx?page=949. Contact the Information Technology Division to discuss size and materials of the buildings and to verify radio amplification requirements.
- **PUBLIC ART:** Provide public art for this development in conformance with the Art in Private Development Ordinance and ZDC Sec. 4-407 and ZDC Appendix D. Contact the Community Services Cultural Services Division regarding implementation of this requirement prior to receiving building permits.
- **WATER CONSERVATION:** Under an agreement between the City of Tempe and the State of Arizona, Water Conservation Reports are required for landscape and domestic water use for the non-residential components of this project. Have the landscape architect and mechanical engineer prepare reports and submit them with the construction drawings during the building plan check process. Report example is contained in Office Procedure Directive # 59. Refer to this link: www.tempe.gov/modules/showdocument.aspx?documentid=5327. Contact Public Works Department, Water Conservation Division with questions regarding the purpose or content of the water conservation reports.
- **HISTORIC PRESERVATION:** State and federal laws apply to the discovery of features or artifacts during site excavation (typically, the discovery of human or associated funerary remains). Contact the Historic Preservation Officer with general questions. Where a discovery is made, contact the Arizona State Historical Museum for removal and repatriation of the items.
- **FIRE:**
 - Clearly define the fire lanes. Ensure that there is at least a 20'-0" horizontal width, and a 14'-0" vertical clearance from the fire lane surface to the underside of tree canopies or overhead structures. Layout and details of fire lanes are subject to Fire Department approval.
 - Provide a fire command room(s) on the ground floor of the building(s). Verify size and location with Fire

Department.

- ENGINEERING:
 - Underground utilities except high-voltage transmission line unless project inserts a structure under the transmission line.
 - Coordinate site layout with Utility provider(s) to provide adequate access easement(s).
 - Clearly indicate property lines, the dimensional relation of the buildings to the property lines and the separation of the buildings from each other.
 - Verify location of any easements, or property restrictions, to ensure no conflict exists with the site layout or foundation design.
 - Verify specific design considerations with the Engineering Department.
- PARKING SPACES:
 - Verify conformance of accessible vehicle parking to the Americans with Disabilities Act and the Code of Federal Regulations Implementing the Act. Refer to Building Safety ADA Accessible Parking Spaces Marking/Signage on Private Development details.
 - At parking areas, provide demarcated accessible aisle for disabled parking.
 - Distribute bike parking areas nearest to main entrance(s). Provide parking loop racks. Provide 2'-0" by 6'-0" individual bicycle parking spaces. One loop may be used to separate two bike parking spaces. Provide clearance between bike spaces and adjacent walkway to allow bike maneuvering in and out of space without interfering with pedestrians, landscape materials or vehicles nearby.
- LIGHTING:
 - Design site security light in accordance with requirements of ZDC Part 4 Chapter 8 (Lighting) and ZDC Appendix E (Photometric Plan).
 - Indicate the location of all exterior light fixtures on the site, landscape and photometric plans. Avoid conflicts between lights and trees or other site features in order to maintain illumination levels for exterior lighting.
- SIGNS: Separate Development Plan Review process is required for signs in accordance with requirements of ZDC Part 4 Chapter 9 (Signs). Obtain sign permit for identification signs. Directional signs (if proposed) may not require a sign permit, depending on size. Directional signs are subject to review by planning staff during plan check process.

HISTORY & FACTS:

- February 14, 2013 City Council approved and entered into a Development Agreement with Liberty Property Limited Partnership.
- July 23, 2013 Development Review Commission approved the Development Plan Review and recommended approval of the Planned Area Development Overlay for LIBERTY CENTER AT RIO SALADO (PL130192) consisting of six (6) office buildings two-stories in height, and a future warehouse building. The request includes the following: (DPR13124) Development Plan Review for six (6) office buildings including site plan, building elevations, and landscape.
- July 30, 2013 City Council held the introduction and first public hearing for the Planned Area Development Overlay for LIBERTY CENTER AT RIO SALADO (PL130192) consisting of six (6) office buildings two-stories in height, and a future warehouse building. The request includes the following: (PAD13009) Planned Area Development Overlay for development standard modifications for maximum building heights from 35 feet up to 80 feet, and modified bicycle parking standards.
- August 22, 2013 City Council at the 2nd and final public hearing approved the Planned Area Development Overlay for LIBERTY CENTER AT RIO SALADO (PL130192) consisting of six (6) office buildings two-stories in height, and a future warehouse building. The request includes the following: (PAD13009) Planned Area Development Overlay for development standard modifications for maximum building heights from 35 feet up to 80 feet, and modified bicycle parking standards.
- October 24, 2013 City Council approved an Amended Subdivision Plat for LIBERTY CENTER AT RIO SALADO, consisting of 3 lots, located at 1850 West Rio Salado Parkway.
- February 11, 2014 Development Review Commission approved a Development Plan Review consisting of a new warehouse building for LIBERTY CENTER AT RIO SALADO, located at 1850 West Rio Salado Parkway. The applicant is Deutsch Architecture Group.
- March 25, 2014 Development Review Commission approved a Development Plan Review consisting of a new parking structure for Building I for LIBERTY CENTER AT RIO SALADO, located at 1850 West Rio Salado Parkway.
- June 10, 2014 Scheduled Development Review Commission meeting for this request.



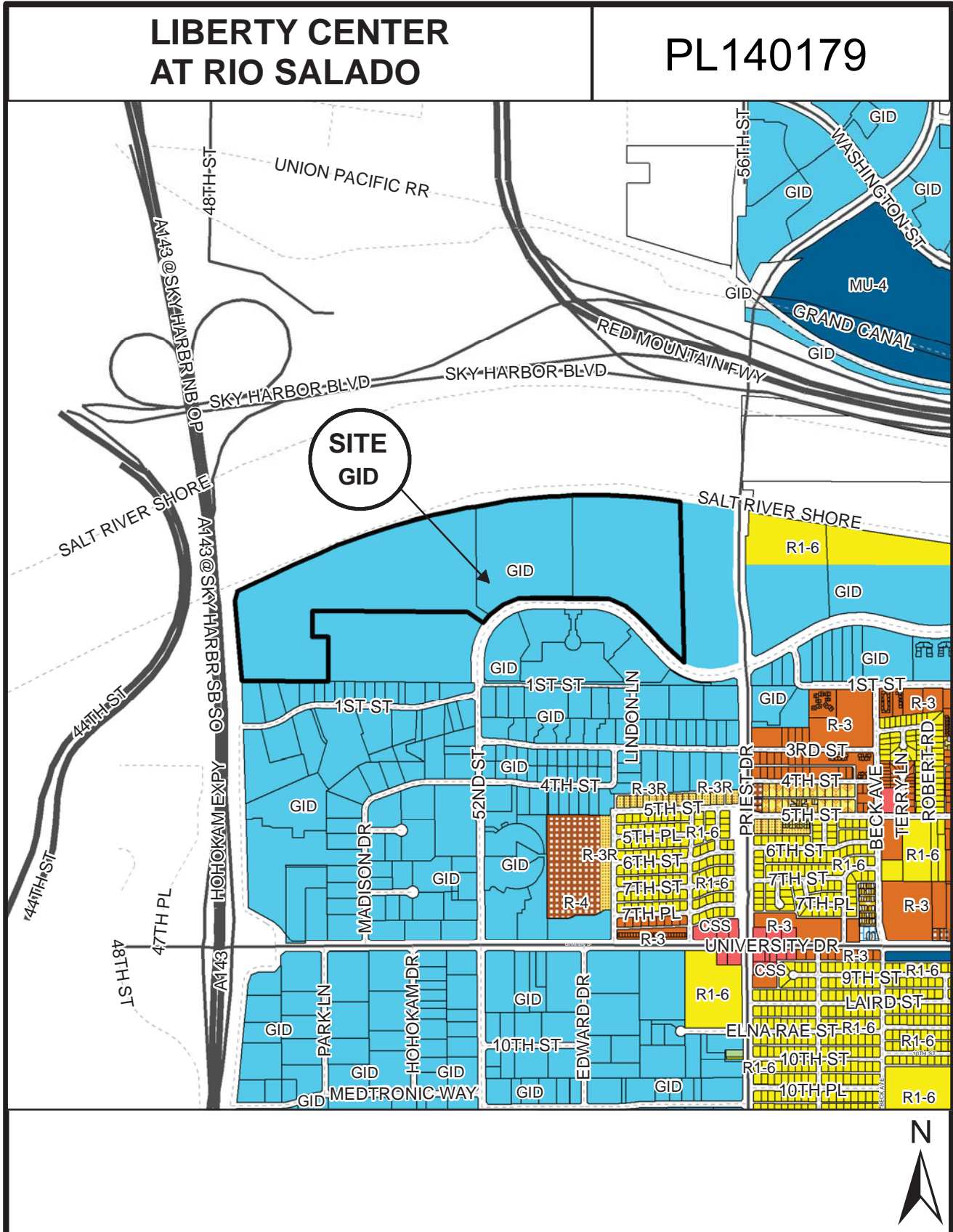
DEVELOPMENT PROJECT FILE
for
Liberty Center at Rio Salado

ATTACHMENTS:

1. Location Map
2. Aerial Photo
- 3-6. PAD Overlay (Master Plan) for Liberty Center
7. Letter of Explanation
8. Site Plan
- 9-16. Floor Plans
- 17-21. Building Elevations
- 22-23. Material Sample Boards
- 24-26. Landscape Plan

LIBERTY CENTER AT RIO SALADO

PL140179



Location Map



LIBERTY CENTER AT RIO SALADO

PAD REFERENCE ONLY

PLANNED AREA DEVELOPMENT OVERLAY FOR LIBERTY CENTER AT RIO SALADO

A PARCEL OF LAND LYING WITHIN SECTION 17, TOWNSHIP 1 NORTH, RANGE 4 EAST
OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA

ACKNOWLEDGEMENT

ON THIS _____ DAY OF _____ 2013 BEFORE ME, THE UNDERSIGNED, PERSONALLY APPEARED _____ WHO ACKNOWLEDGED HIMSELF TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE INSTRUMENT WITHIN, AND WHO EXECUTED THE FOREGOING INSTRUMENT FOR THE PURPOSED THEREIN CONTAINED.

IN WITNESS WHEREOF, I HEREUNTO SET MY HAND AND OFFICIAL SEAL

BY: _____ NOTARY PUBLIC MY COMMISSION EXPIRES _____

LIBERTY PROPERTY TRUST
BY: JOHN DIVALL DATE: _____

LEGAL DESCRIPTION

A PARCEL OF LAND LYING WITHIN SECTION 17, TOWNSHIP 1 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA

OWNER/DEVELOPER

Liberty Property Trust
2390 E. Camelback Rd. Ste. 318
Phoenix, AZ 85016
Contact: John DiVall
(602) 808-3500

PROJECT DATA

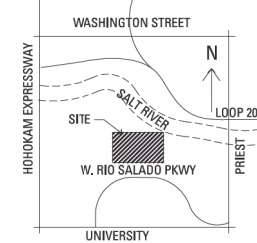
PROJECT ADDRESS:	1850 W. RIO SALADO PARKWAY TEMPE, AZ 85281	BICYCLE PARKING REQUIRED BICYCLE PARKING - OFFICE TOTAL REQUIRED = 600,000 @ 1/8,000 S.F. = 75 TOTAL PROVIDED = 85 BIKES
GENERAL PLAN 2030	INDUSTRIAL/PUBLIC OPEN SPACE	
PROJECTED LAND USE:	GID	
EXISTING ZONING:	GID	
PROPOSED ZONING:	GID	OFFICE AREA: 42,000 @ 1/10,000 = 5 TOTAL PROVIDED: = 5
GROSS PARCEL SIZE:	79.67 Acres 3,470,459 S.F.	BIKE PARK TOTAL:
NET PARCEL SIZE:	76.30 Acres 3,323,739 S.F.	OFFICE BUILDINGS = 75
TOTAL DEVELOPMENT:	810,000 GSF	WAREHOUSE BUILDINGS = 5
LANDSCAPE COVERAGE:	46% (1,485,874 / 3,251,687)	TOTAL BICYCLE PARKING REQUIRED: = 85
TOTAL NUMBER OF STORIES:	5	TOTAL BICYCLE PROVIDED: = 85
TOTAL BUILDING HEIGHT:	80'	
CONSTRUCTION TYPE:	III PER IBC 2009 SPRINKLERED	
TOTAL DEVELOPMENT		
OFFICE	600,000 GSF	
WAREHOUSE	210,000 GSF	
TOTAL	810,000 GSF	
VEHICLE PARKING REQUIRED		
FLEX OFFICE	600,000 GSF @ 1/300 = 2,000	
WAREHOUSE BUILDING		
OFFICE AREA	42,000 S.F. @ 1 / 300 = 140 SPACES	
WAREHOUSE:	10,000 S.F. @ 1 / 500 = 20 SPACES	
WAREHOUSE:	158,000 S.F. @ 1 / 5,000 = 31.6 SPACES	
TOTAL REQUIRED:	= 191.6 SPACES	
TOTAL PROVIDED:	= 192 SPACES	
OFFICE BUILDINGS PARKING REQ'D	= 2,000	
WAREHOUSE BUILDING PARKING REQ'D	= 192	
TOTAL PARKING REQUIRED	= 2,192	
TOTAL PROVIDED:		
OFFICE:	3,554 SPACE	
WAREHOUSE:	192 SPACES	
TOTAL VEHICLE PARKING PRVD.	3,746 SPACES	

STANDARDS	GID REQ'D	PROPOSED
MAX HEIGHT	35'	80'
LANDSCAPE AREA %	10%	46%
SETBACK - FRONT YARD	20'	20'
SETBACK - SIDE YARD	0'	0'
SETBACK - STREET SIDE YARD	-NS-	-NS-
SETBACK - REAR YARD	0'	0'

APPROVAL

BY: _____, DATE: _____
DEVELOPMENT SERVICES

LOCATION MAP



CONDITIONS OF APPROVAL : P.A.D. 00000

GENERAL NOTES

REC00000

PAD000000

DS000000



RSP Architects
502 S. College Avenue
Suite 203
Tempe, AZ 85281

480.889.2000
480.889.2099 Fax
www.rsparch.com

Consultants

TRAFFIC ENGINEER
CivTech
1802 N. Hayden Road, Ste 140
Scottsdale, AZ 85262
Contact: John Natt
T: (480) 952-4220
F: (480) 952-4220
E: john.natt@civtech.com

LANDSCAPE ARCHITECT
Transform Landscape
3522 North 50th Street
Phoenix, AZ 85018
Contact: David Spivey
T: (480) 965-6144
F: (480) 965-6144
E: david@transforml.com

CIVIL ENGINEER
Wood Patel
281 W. Northern Ave.
Phoenix, AZ 85011
Contact: John Hales
T: (602) 730-6800
E: j.hales@woodpatel.com

Certification



Project For



LIBERTY CENTER AT RIO SALADO

Project No.

Drawn By

Checked By

Date

NOTES: The designs shown and associated items including all technical drawings, profiles, and models thereof, are prepared and owned by RSP Architects. All designs or commercially related, in whole or in part, without express written permission of RSP Architects. These are available to third parties only under the following conditions: consultants, contractors, government agencies, vendors and other personnel only in connection with this project.

© Copyright RSP Architects 2013. All rights reserved.

Mark	Date	Description

PAD COVER SHEET

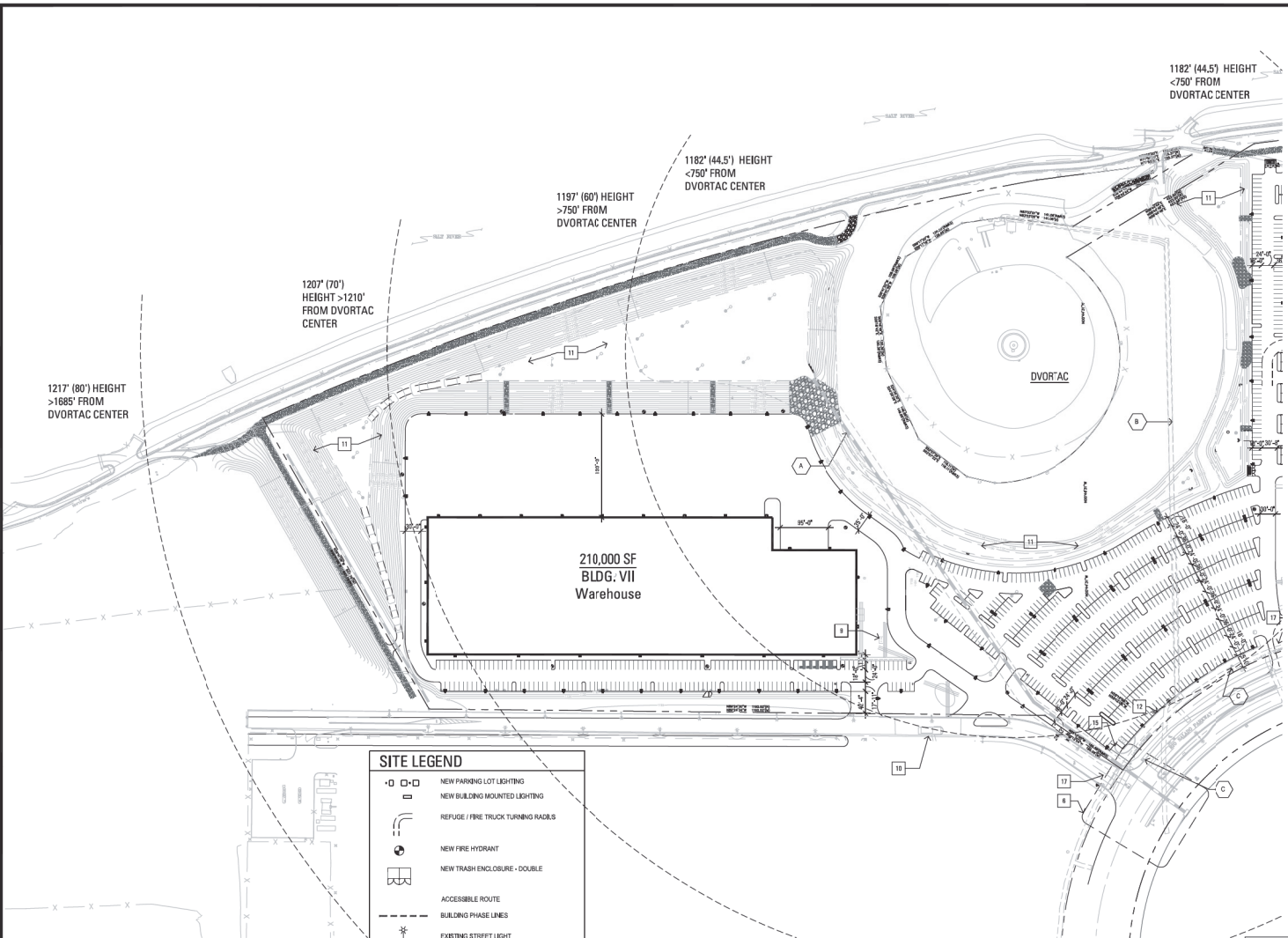
GO

DS000000

PAD000000

REC000000

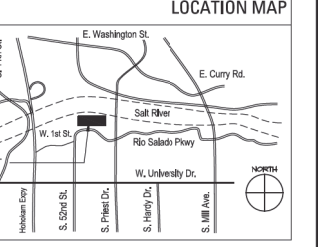
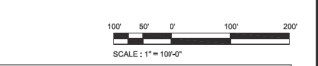
PAD REFERENCE ONLY



PROJECT DATA	
PROJECT NAME:	LIBERTY CENTER AT RIO SALADO
PROJECT ADDRESS:	1800 W. RIO SALADO PARKWAY TEMPE, AZ 85281
PARCEL SITE:	76.30 ACRES 3,323,759 N.S.F., 79.67 ACRES 3,470,459 G.S.F.
EXISTING ZONING:	GID (GENERAL INDUSTRIAL)
PROPOSED USE:	OFFICE / INDUSTRIAL
VARIANCE REQUEST:	BUILDING HEIGHT, BICYCLE PARKING REDUCTION
TYPE OF CONSTRUCTION:	BI
AFES:	YES
OFFICIAL CENTER BUILDING AREA	
1ST FLOOR	2ND FLOOR
BUILDING I	45,000 S.F.
BUILDING II	45,000 S.F.
BUILDING III	45,000 S.F.
BUILDING IV	20,000 S.F.
BUILDING V	15,000 S.F.
BUILDING VI	20,000 S.F.
TOTAL	205,000 S.F.
TOTAL	600,000 SF 42.77 AC.
WAREHOUSE BUILDING AREA	
BUILDING VII	210,000 S.F.
TOTAL	210,000 SF 12.1 AC.
RETENTION AREA	
DVORTAC AREA	13.22 AC.
SITE AREA	5.71 AC.
TOTAL BUILDING:	810,000 G.S.F.
HEIGHT OF BUILDING PARAPET:	44'
NUMBER OF STOREYS:	2
VEHICLE PARKING	
CALL CENTER:	400,000 S.F. @ 171/50' = 2,667 SPACES
OFFICE:	200,000 S.F. @ 171/300' = 667 SPACES
WAREHOUSE:	42,000 S.F. @ 171/300' = 143 SPACES
WAREHOUSE:	10,000 S.F. @ 171/300' = 32 SPACES
WAREHOUSE:	150,000 S.F. @ 171/5,000' = 32 SPACES
TOTAL VEHICLE PARKING REQUIRED:	3,538 SPACES
TOTAL VEHICLE PARKING PROVIDED:	3,746 SPACES
ACCESSIBLE PARKING REQUIRED:	48
ACCESSIBLE PARKING PROVIDED:	51
BICYCLE PARKING - CALL CENTER & OFFICE	
TOTAL REQUIRED:	600,000 @ 18,000 S.F. = 75
BICYCLE PARKING - WAREHOUSE	
OFFICE AREA:	42,000 @ 1910,000 + 5
TOTAL PROVIDED:	45
BIKE PARK TOTAL:	
OFFICE BUILDING:	75
WAREHOUSE BUILDING:	6
TOTAL REQUIRED:	80
TOTAL PROVIDED:	45
SITE LANDSCAPE AREA:	
REQUIRED MINIMUM 10%:	3,251,867 S.F.
WAREHOUSE OFFICE SURFACE PARKING LOT:	1,485,874 S.F.
LANDSCAPE AREA IN PARKING LOT:	1,485,874 S.F.
LANDSCAPE 45% (1,485,874 / 3,251,867)	
PARKING LOT LANDSCAPE AREA	
REQUIRED MINIMUM:	20%
PARKING LOT AREA:	1,432,362 S.F.
TREE CANOPY SHADED AREA:	324,511 S.F.
TOTAL % OF LOT SHADING:	23%

OWNER / DEVELOPER
 LIBERTY PROPERTY TRUST
 2301 E. CAMELBACK RD. STE. 314
 PHOENIX, AZ 85016
 CONTACT: RICK WEBLEN
 PHONE: (602) 408-3600

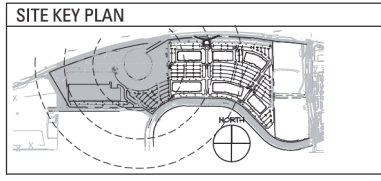
LEGAL DESCRIPTION
 THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF MARICOPA, STATE OF ARIZONA AND IS DESCRIBED AS FOLLOWS:
 A parcel of land lying within Section 17, Township 10N, Range 4E East of the Old and Salt River Base and Markers, Maricopa County, Arizona.



1 PARTIAL SITE PLAN - WEST
 SCALE: 1"=100'

SITE PLAN KEYNOTES:		
1 REMOVE A PORTION OF EXISTING MEDIAN FOR EAST BOUND TRAFFIC LEFT TURN LANE INTO DRIVE.	7 NEW DRIVE.	14 POSSIBLE LOCATION FOR COVERED PARKING.
2 REMOVE A PORTION OF EXISTING MEDIAN.	8 EXISTING FIRE HYDRANT.	15 SITE WALL - SEE LANDSCAPE DRAWINGS.
3 EXISTING 44'-0" DRIVEWAY	9 BIKE PARKING.	16 RELOCATED FIRE HYDRANT.
4 NEW WEST BOUND DECELERATION LANE.	10 EXISTING GUARD SHACK.	17 EXISTING DRIVEWAY.
5 EXISTING BUS STOP.	11 LANDSCAPE AND RETENTION.	18 EXISTING LEFT TURN LANE.
6 EXISTING LIGHTED INTERSECTION.	12 SCREEN WALL - SEE LANDSCAPE DRAWINGS.	19 REMOVE EXISTING FIRE HYDRANT.
	13 FUTURE ROADWAY CONNECTION TO PRIEST.	

EASEMENT KEYNOTES	
A	RECORDING NO; DOCUMENT NO. 2004-100345, FIRST AMENDMENT IN 2006-1041710, SECOND AMENDMENT IN 2007-274324, EASEMENTS, COVENANTS, CONDITIONS AND RESTRICTIONS AS SET FORTH ON THE RECORDED PLOT IN BOOK 962 OF MAPS, PAGE 18.
B	PUPROSE; POWER DISTRIBUTION, RECORDING NO; DOCUMENT NO. 2005-091222, EASEMENTS, COVENANTS, CONDITIONS AND RESTRICTIONS AS SET FORTH ON THE RECORDED PLOT IN BOOK 962 OF MAPS, PAGE 18.
C	PUPROSE; POWER DISTRIBUTION, RECORDING NO; DOCUMENT NO. 2005-091222.



RSP Architects
 562 S. College Avenue
 Suite 203
 Tempe, AZ 85281

Consultants
TRAFFIC ENGINEER
CIV Tech
 3025 N. Hayden Road, Ste. 10
 Phoenix, AZ 85018
 Contact: Amy Willett
 T: (602) 995-0204
 E: jwillett@civtech.com

LANDSCAPE ARCHITECT
Transform Landscape
 3025 North 15th Street
 Phoenix, AZ 85018
 Contact: Roger Zuehl
 T: (602) 995-0204
 E: r.zuehl@transform.com

CIVIL ENGINEER
Wood Panel
 7501 W. Northern Ave.
 Phoenix, AZ 85026
 Contact: Don Bullock
 T: (602) 995-0204
 E: jbullock@woodpanel.com



Project For
LIBERTY
 PROPERTY TRUST

LIBERTY CENTER AT RIO SALADO

Project No. **6364.032.00**
 Drawn By **TA**
 Checked By **SL/JP**
 Date **06/03/2013**

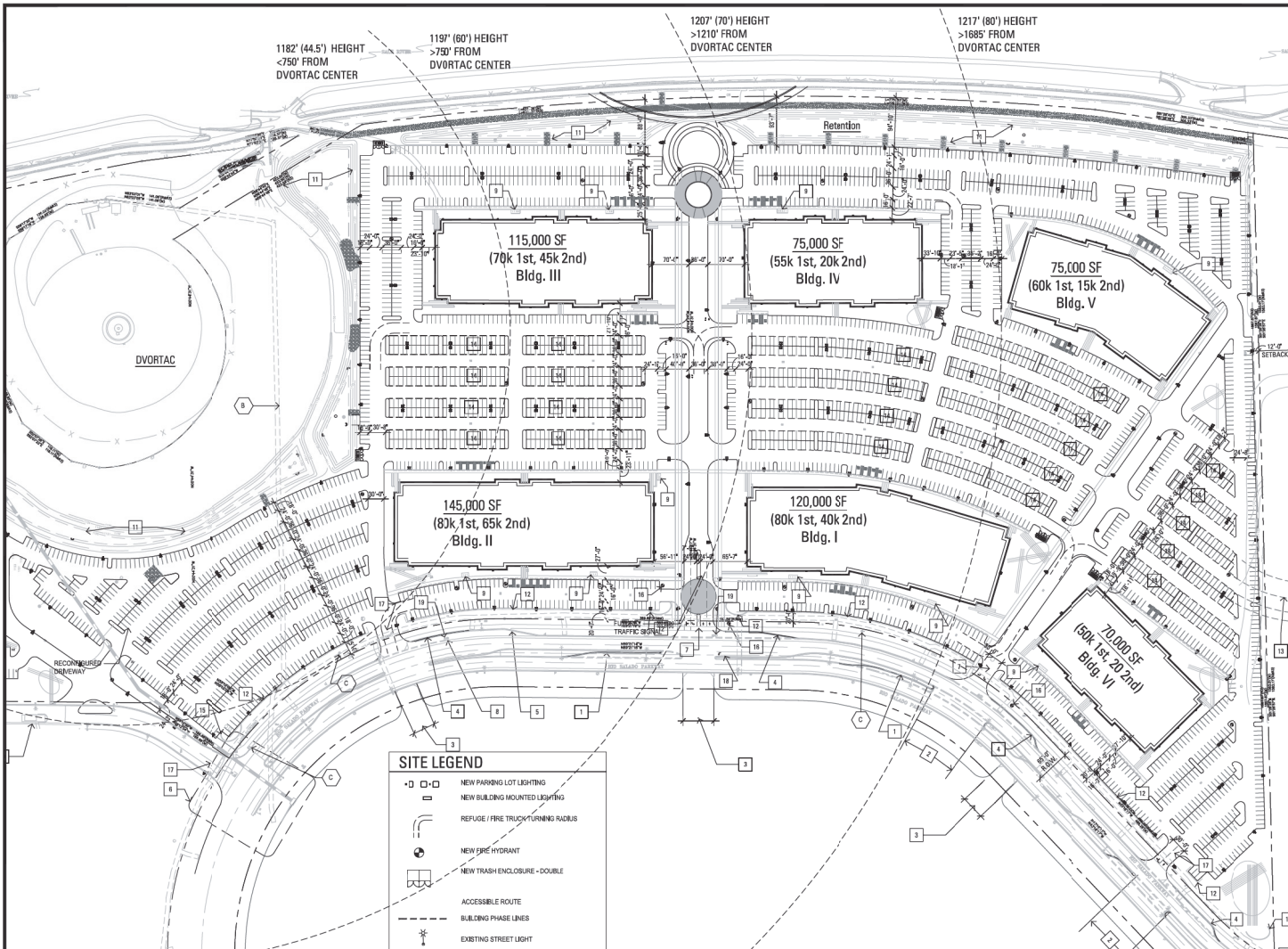
NOTES: The design shown and described herein including technical drawings, graphics, and models prepared, are preliminary and cannot be relied on, modified or commercially exploited, in whole or in part, without express written permission of RSP Architects. These are available to third parties and evaluation by them, consultants, contractors, government agencies, vendors and other personnel only, in accordance with this Notice.

Mark	Date	Description

PARTIAL SITE PLAN - WEST

A001

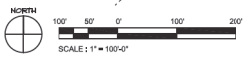
PAD REFERENCE ONLY



PROJECT DATA	
PROJECT NAME:	LIBERTY CENTER AT RIO SALADO
PROJECT ADDRESS:	1550 W. RIO SALADO PARKWAY TEMPE, AZ 85281
PARCEL SITE:	76.30 ACRES 3,323.78 N.S.F. 7,617 ACRES 3,170.48 S.S.F.
EXISTING ZONING:	QD (GENERAL INDUSTRIAL)
PROPOSED USE:	OFFICE, INDUSTRIAL
VARIANCE REQUEST:	BUILDING HEIGHT, BICYCLE PARKING REDUCTION
TYPE OF CONSTRUCTION:	BB
AFES:	YES
OFFICIAL CALL BUILDING AREA:	1ST FLOOR 260 FLOOR GROWAGE
BUILDING I:	120,000 S.F. 45,000 S.F. 1.4 AC.
BUILDING II:	145,000 S.F. 65,000 S.F. 10.32 AC.
BUILDING III:	115,000 S.F. 45,000 S.F. 1.90 AC.
BUILDING IV:	75,000 S.F. 25,000 S.F. 1.20 AC.
BUILDING V:	75,000 S.F. 15,000 S.F. 1.88 AC.
BUILDING VI:	70,000 S.F. 20,000 S.F. 1.25 AC.
TOTAL:	595,000 S.F. 255,000 S.F.
TOTAL:	600,000 S.F. 45.27 AC.
WAREHOUSE BUILDING AREA:	WAREHOUSE
BUILDING VII:	42,000 (20%) 188,000 (90%)
TOTAL:	230,000 S.F. 9.12 AC.
RETENTION AREA:	13.22 AC.
DVORTAC AREA:	1.71 AC.
SITE AREA:	30.3 AC.
TOTAL BUILDING:	810,000 G.S.F.
HEIGHT OF BUILDING PARAMETER:	48'
NUMBER OF STOREYS:	2
VEHICLE PARKING	
CALL CENTER:	400,000 S.F. @ 1/150 = 2,667 SPACES
OFFICE:	200,000 S.F. @ 1/100 = 2,000 SPACES
WAREHOUSE:	10,000 S.F. @ 1/100 = 100 SPACES
WAREHOUSE:	180,000 S.F. @ 1/5,000 = 36 SPACES
TOTAL VEHICLE PARKING REQUIRED:	3,053 SPACES
TOTAL VEHICLE PARKING PROVIDED:	1,748 SPACES
ACCESSIBLE PARKING REQUIRED:	48
ACCESSIBLE PARKING PROVIDED:	51
BICYCLE PARKING - CALL CENTER & OFFICE	
TOTAL REQUIRED:	600,000 @ 18,000 SF = 75
BICYCLE PARKING - WAREHOUSE	
OFFICE AREA:	42,000 @ 1/10,000 = 5
TOTAL PROVIDED:	5
BIKE PARK TOTAL:	
OFFICE BUILDINGS:	75
WAREHOUSE BUILDINGS:	5
TOTAL REQUIRED:	80
TOTAL PROVIDED:	85
SITE LANDSCAPE AREA:	
REQUIRED MINIMUM 10%:	
WAREHOUSE / OFFICE SURFACE PARKING LOT:	3,251,887 S.F.
LANDSCAPE AREA IN PARKING LOT:	1,485,874 S.F.
LANDSCAPE AREA:	1,485,874 (1,251,887)
PARKING LOT LANDSCAPE AREA	
REQUIRED MINIMUM:	20%
PARKING LOT AREA:	1,142,982 S.F.
TREE CANOPY SHADDED AREA:	324,911 S.F.
TOTAL % OF LOT SHADING:	23%
OWNER / DEVELOPER	
LIBERTY PROPERTY TRUST	
2390 E. CAMELBACK RD. STE. 318	
PHOENIX, AZ 85016	
CONTACT: RICK WEIBLEN	
PHONE: (602) 808-3300	
LEGAL DESCRIPTION	
THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF MARICOPA, STATE OF ARIZONA AND IS DESCRIBED AS FOLLOWS:	
A parcel of land lying within Section 17, Township 11 North, Range 4 East of the Gila and Salt River Base and Meridian, Maricopa County, Arizona.	

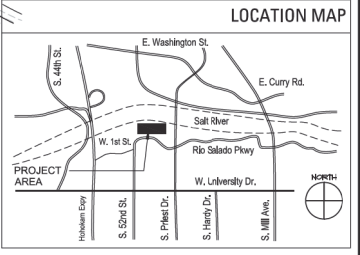
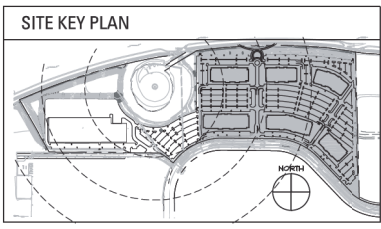
SITE LEGEND	
	NEW PARKING LOT LIGHTING
	NEW BUILDING MOUNTED LIGHTING
	REFUGE / FIRE TRUCK TURNING RADIUS
	NEW FIRE HYDRANT
	NEW TRASH ENCLOSURE - DOUBLE
	ACCESSIBLE ROUTE
	BUILDING PHASE LINES
	EXISTING STREET LIGHT

PARTIAL SITE PLAN - EAST
SCALE: 1"=100'



SITE PLAN KEYNOTES:	
1 REMOVE A PORTION OF EXISTING MEDIAN FOR EAST BOUND TRAFFIC LEFT TURN LANE INTO DRIVE.	7 NEW DRIVE.
2 REMOVE A PORTION OF EXISTING MEDIAN.	8 EXISTING FIRE HYDRANT.
3 EXISTING 4'-0" DRIVEWAY	9 BIKE PARKING.
4 NEW WEST BOUND DECELERATION LANE.	10 EXISTING GUARD SHACK.
5 EXISTING BUS STOP.	11 LANDSCAPE AND RETENTION.
6 EXISTING LIGHTED INTERSECTION.	12 SCREEN WALL - SEE LANDSCAPE DRAWINGS.
	13 FUTURE ROADWAY CONNECTION TO PREEST.
	14 POSSIBLE LOCATION FOR COVERED PARKING.
	15 SITE WALL - SEE LANDSCAPE DRAWINGS.
	16 RELOCATED FIRE HYDRANT.
	17 EXISTING DRIVEWAY.
	18 EXISTING LEFT TURN LANE.
	19 REMOVE EXISTING FIRE HYDRANT.

EASEMENT KEYNOTES	
A RECORDING NO. DOCUMENT NO. 2004-002348, FIRST AMENDMENT IN 2004-161710, SECOND AMENDMENT IN 2007-074284, EASEMENTS, COVENANTS, CONDITIONS AND RESTRICTIONS AS SET FORTH ON THE RECORDED PLOT IN BOOK 982 OF MAPS, PAGE 18.	
B PURPOSE: POWER DISTRIBUTION, RECORDING NO. DOCUMENT NO. 2005-092221, EASEMENTS, COVENANTS, CONDITIONS AND RESTRICTIONS AS SET FORTH ON THE RECORDED PLOT IN BOOK 982 OF MAPS, PAGE 18.	
C PURPOSE: POWER DISTRIBUTION, RECORDING NO. DOCUMENT NO. 2005-092221.	



RSP Architects
502 S. College Avenue
Suite 303
Tempe, AZ 85281

480.899.2009
480.899.2099 fax
www.rsparch.com

Consultants

TRAFFIC ENGINEER
Wood-Patt
3100 N. Hayden Road, Ste. 10
Phoenix, AZ 85018
Contact: Joe Wood
E: jwood@woodpatt.com

LANDSCAPE ARCHITECT
Trueform Landscape
3025 North 15th Street
Phoenix, AZ 85014
Contact: Roger Smith
E: rsmith@trueform.com

CIVIL ENGINEER
Wood-Patt
2501 W. Northern Ave.
Phoenix, AZ 85021
Contact: Joe Wood
E: jwood@woodpatt.com

Professional Seal

REGISTERED ARCHITECT
JOSEPH A. TYMURA
PHOENIX, ARIZONA

Expire: 08/30/19

Project for
LIBERTY
PROPERTY TRUST

LIBERTY CENTER AT RIO SALADO

Project No. 6364.032.00
Drawn By TA
Checked By SL/JP
Date 07/17/2013

NOTES: The landscape shown and described herein is a preliminary design and is not intended to be used for construction without the approval of RSP Architects. These are available to third parties and are not intended to be used for construction, operations, government agencies, utilities and other agencies without the approval of RSP Architects.

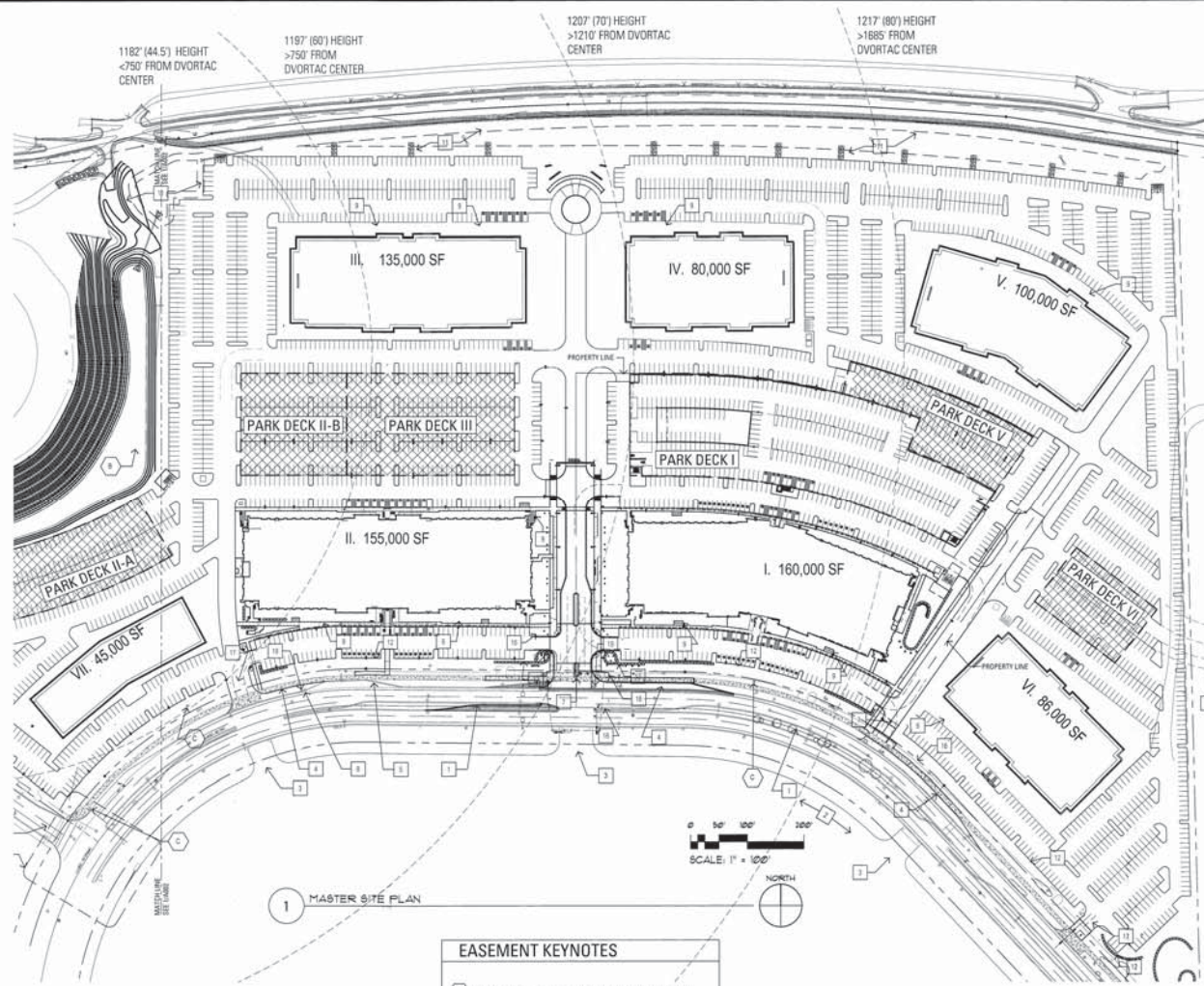
© Copyright RSP Architects 2013. All rights reserved.

Mark	Date	Description

PARTIAL SITE PLAN - EAST

A002

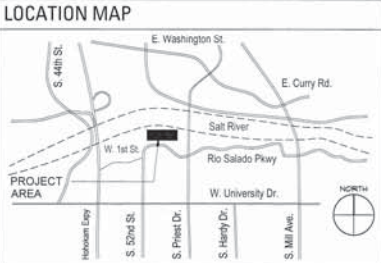
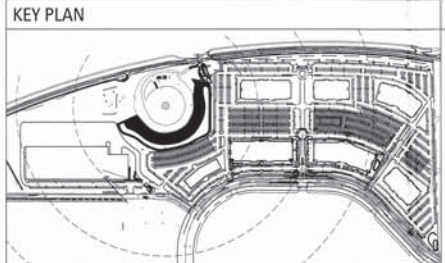
PAD REFERENCE ONLY



PROJECT DATA	
PROJECT NAME:	LIBERTY CENTER AT RIO SALADO
PROJECT ADDRESS:	1800 W. RIO SALADO PARKWAY, TEMPE, AZ 85281
PARCEL SITE:	76.30 ACRES 3,303,790 N.S.F. 78.87 ACRES 3,476,636 O.S.F.
EXISTING ZONING:	O10 (GENERAL INDUSTRIAL)
PROPOSED USE:	OFFICE / INDUSTRIAL
VARIANCE REQUEST:	BUILDING HEIGHT, BICYCLE PARKING REDUCTION
TYPE OF CONSTRUCTION:	RE
AREAS:	YES
OFFICE/CALL CENTER BUILDING AREA:	
BUILDING I:	1ST FLOOR 2ND FLOOR
BUILDING II:	80,000 S.F. @ 11,000 S.F. 80,000 S.F.
BUILDING III:	70,000 S.F. 80,000 S.F.
BUILDING IV:	80,000 S.F. @ 11,000 S.F. 80,000 S.F.
BUILDING V:	60,000 S.F. 40,000 S.F.
BUILDING VI:	30,000 S.F. 30,000 S.F.
BUILDING VII:	30,000 S.F. 15,000 S.F.
TOTAL:	420,000 S.F. @ 134,000 S.F.
WAREHOUSE BUILDING AREA:	
BUILDING VIII:	OFFICE WAREHOUSE
TOTAL:	42,000 S.F. @ 100,000 S.F. 71,000 S.F.
TOTAL BUILDING:	866,000 O.S.F.
HEIGHT OF BUILDING PARAPET:	44'
NUMBER OF STORIES:	2
VEHICLE PARKING:	
CALL CENTER:	490,000 S.F. @ 11,000 S.F. 3,267 SPACES
OFFICE:	366,000 S.F. @ 11,000 S.F. 3,327 SPACES
WAREHOUSE:	42,000 S.F. @ 11,000 S.F. 38 SPACES
WAREHOUSE:	168,000 S.F. @ 11,000 S.F. 152 SPACES
TOTAL VEHICLE PARKING REQUIRED:	4,273 SPACES
TOTAL VEHICLE PARKING PROVIDED:	4,538 SPACES
ACCESSIBLE PARKING REQUIRED: 81	
ACCESSIBLE PARKING PROVIDED: 82	
BICYCLE PARKING - CALL CENTER & OFFICE:	
TOTAL REQUIRED:	194,000 @ 18,000 S.F. = 95
TOTAL PROVIDED:	10
BICYCLE PARKING - WAREHOUSE:	
OFFICE AREA:	42,000 @ 110,000 S.F.
TOTAL PROVIDED:	+3
BIKE PARK TOTAL:	
OFFICE BUILDINGS:	95
WAREHOUSE BUILDINGS:	3
TOTAL REQUIRED:	98
TOTAL PROVIDED:	+100
SITE LANDSCAPE AREA:	
REQUIRED MINIMUM 10%:	
WAREHOUSE / OFFICE SURFACE PARKING LOT:	3,251,887 S.F.
LANDSCAPE AREA IN PARKING LOT:	1,485,874 S.F.
LANDSCAPE 46% (1,485,874 / 3,251,887):	
PARKING LOT LANDSCAPE AREA:	
REQUIRED MINIMUM:	20%
PARKING LOT AREA:	1,432,982 S.F.
TREE CANOPY SHADED AREA:	124,911 S.F.
TOTAL % OF LOT SHADING:	22%
OWNER / DEVELOPER	
LIBERTY PROPERTY TRUST 2300 E. CAMELBACK RD. STE. 318 PHOENIX, AZ 85016	
CONTACT: JAY CHAMEDAN PHONE: (602) 858-3501	
LEGAL DESCRIPTION	
THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF MARICOPA, STATE OF ARIZONA AND IS DESCRIBED AS FOLLOWS:	
A parcel of land lying within Section 17, Township 1 North, Range 4 East of the Gila and Salt River Base and Meridian, Maricopa County, Arizona.	

SITE PLAN KEYNOTES:	
1 REMOVE A PORTION OF EXISTING MEDIAN FOR EAST BOUND TRAFFIC LEFT TURN LANE INTO DRIVE.	7 NEW DRIVE.
2 REMOVE A PORTION OF EXISTING MEDIAN.	8 EXISTING FIRE HYDRANT.
3 EXISTING 44'-0" DRIVEWAY	9 BIKE PARKING.
4 NEW WEST BOUND ACCELERATION LANE.	10 EXISTING GUARD SHACK.
5 EXISTING BUS STOP.	11 LANDSCAPE AND RETENTION.
6 EXISTING LIGHTED INTERSECTION.	12 SCREEN WALL - SEE LANDSCAPE DRAWINGS.
	13 FUTURE ROADWAY CONNECTION TO PHOENIX.

EASEMENT KEYNOTES	
A RECORDING NO. DOCUMENT NO. 2004-1003348, FIRST AMENDMENT IN 2006-1341713, SECOND AMENDMENT IN 2007-1274324. EASEMENTS, COVENANTS, CONDITIONS AND RESTRICTIONS AS SET FORTH ON THE RECORDED PLOT IN BOOK 562 OF MAPS, PAGE 18.	14 POSSIBLE LOCATION FOR COVERED PARKING.
B PURPOSE: POWER DISTRIBUTION. RECORDING NO. DOCUMENT NO. 2005-0972227. EASEMENTS, COVENANTS, CONDITIONS AND RESTRICTIONS AS SET FORTH ON THE RECORDED PLOT IN BOOK 562 OF MAPS, PAGE 18.	15 SITE WALL - SEE LANDSCAPE DRAWINGS.
C PURPOSE: POWER DISTRIBUTION. RECORDING NO. DOCUMENT NO. 2005-0972227.	16 RELOCATED FIRE HYDRANT.
	17 EXISTING DRIVEWAY.
	18 EXISTING LEFT TURN LANE.
	19 REMOVE EXISTING FIRE HYDRANT.



RSP Architects
500 S. College Avenue
Suite 203
Tempe, AZ 85281
480.889.2000
480.889.2099 fax
www.rsparch.com

LANDSCAPE ARCHITECT
Trueform Landscape
625 North 15th Street
Phoenix, AZ 85016
602.942.2676
www.trueformlandscape.com

STRUCTURAL ENGINEER
Paul Rosier
1201 E. McDowell Drive
Phoenix, AZ 85022
602.427.8864
www.paulrosier.com

CIVIL ENGINEER
Wood Patel
1007 W. Northern Ave.
Phoenix, AZ 85015
602.278.6888
www.woodpatel.com



Project For
LIBERTY PROPERTY TRUST

LIBERTY CENTER AT RIO SALADO

Project No: 6364.032.01
Drawn By: JVVH
Checked By: SL/JP
Date: 02/18/2014

Mark	Date	Description

SITE PLAN

A001

LIBERTY CENTER at RIO SALADO
Tempe, AZ

Letter of Explanation

The proposed project consists of a multi-phased Corporate Office Development located at the northwest portion of Rio Salado and Priest in Tempe, AZ. The total site acreage is 76.4 acres with a phased master plan of "flex" corporate office space, and office / warehouse space. The total build-out will consist of built-to-suit shell office space with required parking, retention, and infrastructure to accommodate future tenants.

The first phase of the project (currently under construction) consists of building 1, a two-story "flex" office building and associated parking garage. The first phase of construction will also include the main entry drive and landscape / signage features and artwork.

The overall site strategy is to capitalize on the views north to Camelback Mountain and the Papago Mountains, and to optimize the corporate brand visibility from the freeway. The office building fronts will face outward, having the parking and potential loading located inward within the site. The south buildings will face Rio Salado, and the north buildings will face the lake / 202 freeway to take advantage of branding identity and views. The buildings' longest dimension will also run east/west direction to optimize solar control, allowing more flexibility for glass openings along the façade and providing optimal thermal comfort for the tenants occupying the office space.

The site plan will also include several landscaped amenities for the users, including a bike path that connects to the existing City of Tempe's path along the lake front, an outdoor stepped amphitheater at the north end of the site, and widened sidewalks with planted trees for shade to enhance the walkability. The site will have three entry drives (the main entry drive will be located in the middle of the site and the two secondary drives will be located at the east and west ends of the site).

The current DRC proposal consists of 3 additional parking structures and a second phase to Garage 1 (already approved) and the design for Building 7. Building 7 and the proposed garages will have the same character as the rest of the development to create a cohesive business park.



JSP Architects
502 S. College Avenue
Suite 202
Tempe, Arizona 85281
480.883.2000
480.883.2055 fax
www.jsparch.com

Consultants

I hereby certify that this plan, specification and all other documents were prepared by me or under my direct supervision and that I am a duly licensed Architect in the State of Arizona.

Consultants

Project For
**Liberty Property
Trust**

Project No: 6364.032.xx
Drawn By: JWH
Checked By: SL
Date: 04-07-2014

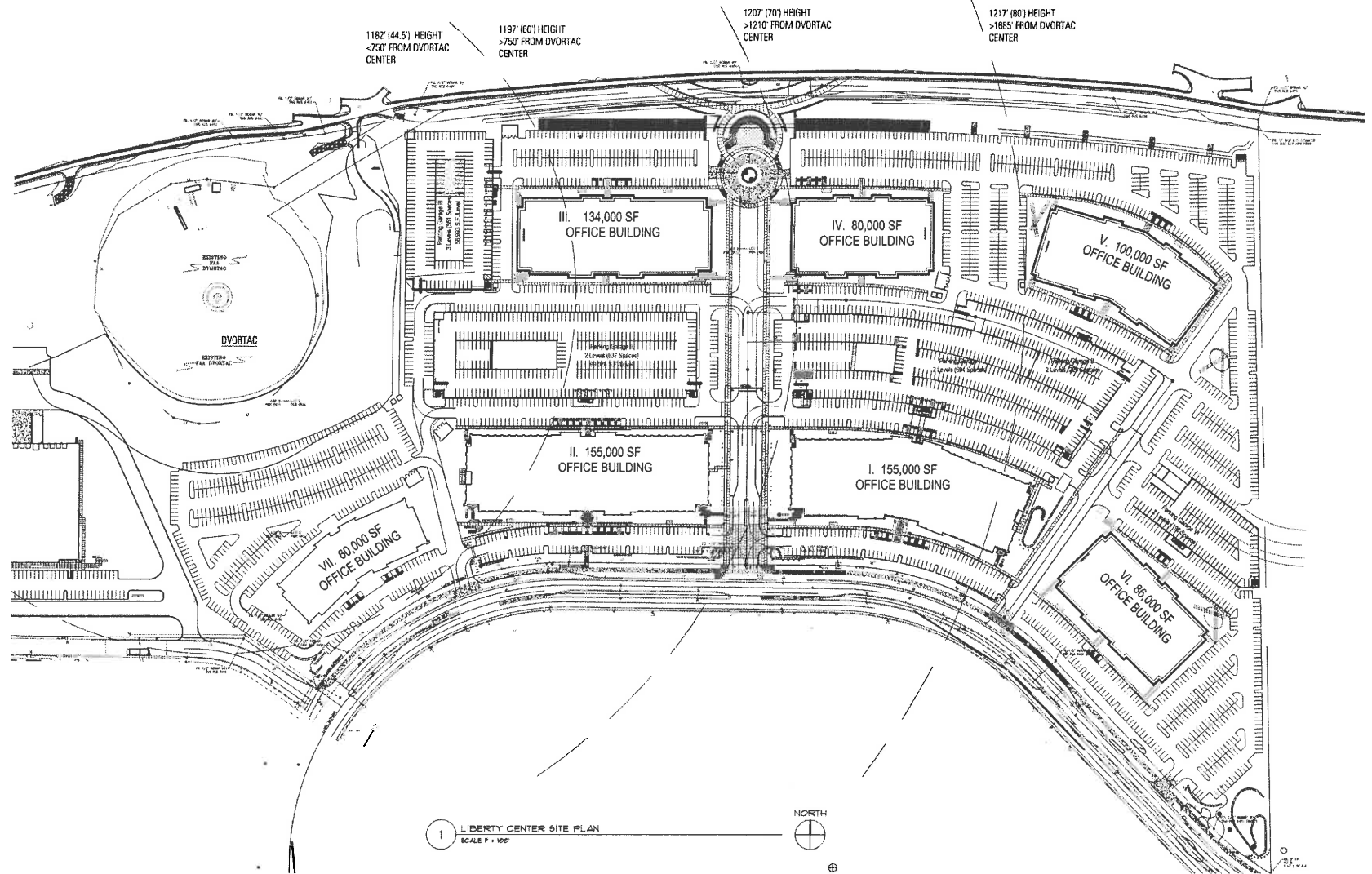
Scale: To be determined by the client.
Revision: To be determined by the client.
Consultant: To be determined by the client.

Revision

No.	Date	Description

SITE PLAN

A001



1182' (44.5') HEIGHT
<750' FROM DVORTAC CENTER

1197' (60') HEIGHT
>750' FROM DVORTAC CENTER

1207' (70') HEIGHT
>1210' FROM DVORTAC CENTER

1217' (80') HEIGHT
>1685' FROM DVORTAC CENTER

1 LIBERTY CENTER SITE PLAN
SCALE 1" = 100'

NORTH

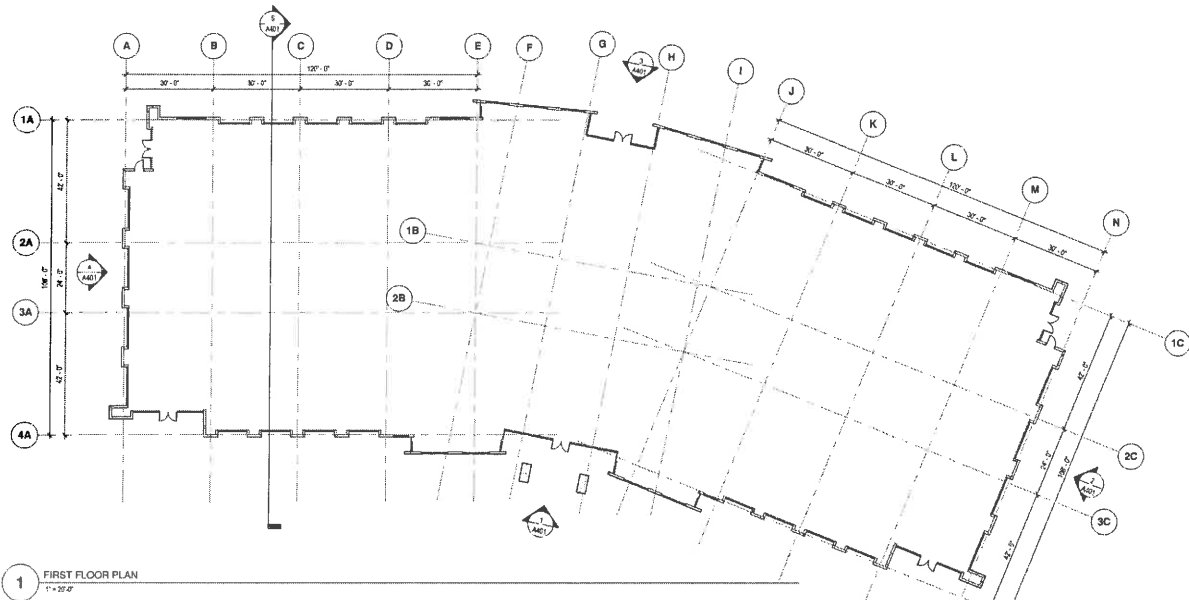


RSP Architects
 502 S. College Avenue
 Suite 203
 Tempe, Arizona 85281
 480.889.2000
 480.889.2099 fax
 www.rsparch.com

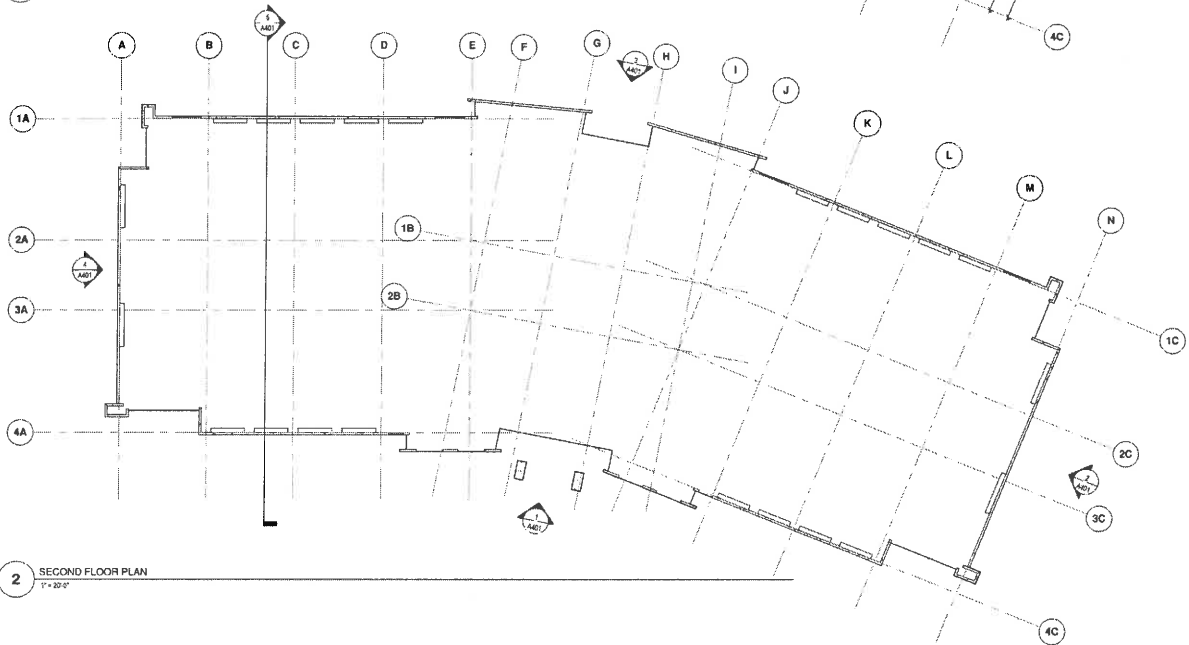
Certification

I hereby certify that this site, specification report was prepared by the architect or architect-in-charge and that I am a duly licensed Architect under the laws of the State of Arizona.

Consent



1 FIRST FLOOR PLAN
 1"=30'-0"



2 SECOND FLOOR PLAN
 1"=30'-0"

Project For
RSP ARCHITECTS

LIBERTY CENTER AT RIO
 SALADO - BUILDING VII

Project No. 6384.032.01
 Drawn By MTM
 Checked By Checker
 Date Issue Date

NOTES: This drawing is not to be used for construction without the approval of RSP Architects. It is the responsibility of the contractor to verify all dimensions and conditions in the field. RSP Architects is not responsible for any errors or omissions in this drawing. All dimensions shall be as shown unless otherwise noted. All dimensions shall be in feet and inches. All dimensions shall be rounded to the nearest 1/8 inch.

© Copyright RSP Architects 2013. All rights reserved.

Revisions

No.	Date	Description

BUILDING 7

BUILDING 7 FLOOR PLANS

A101

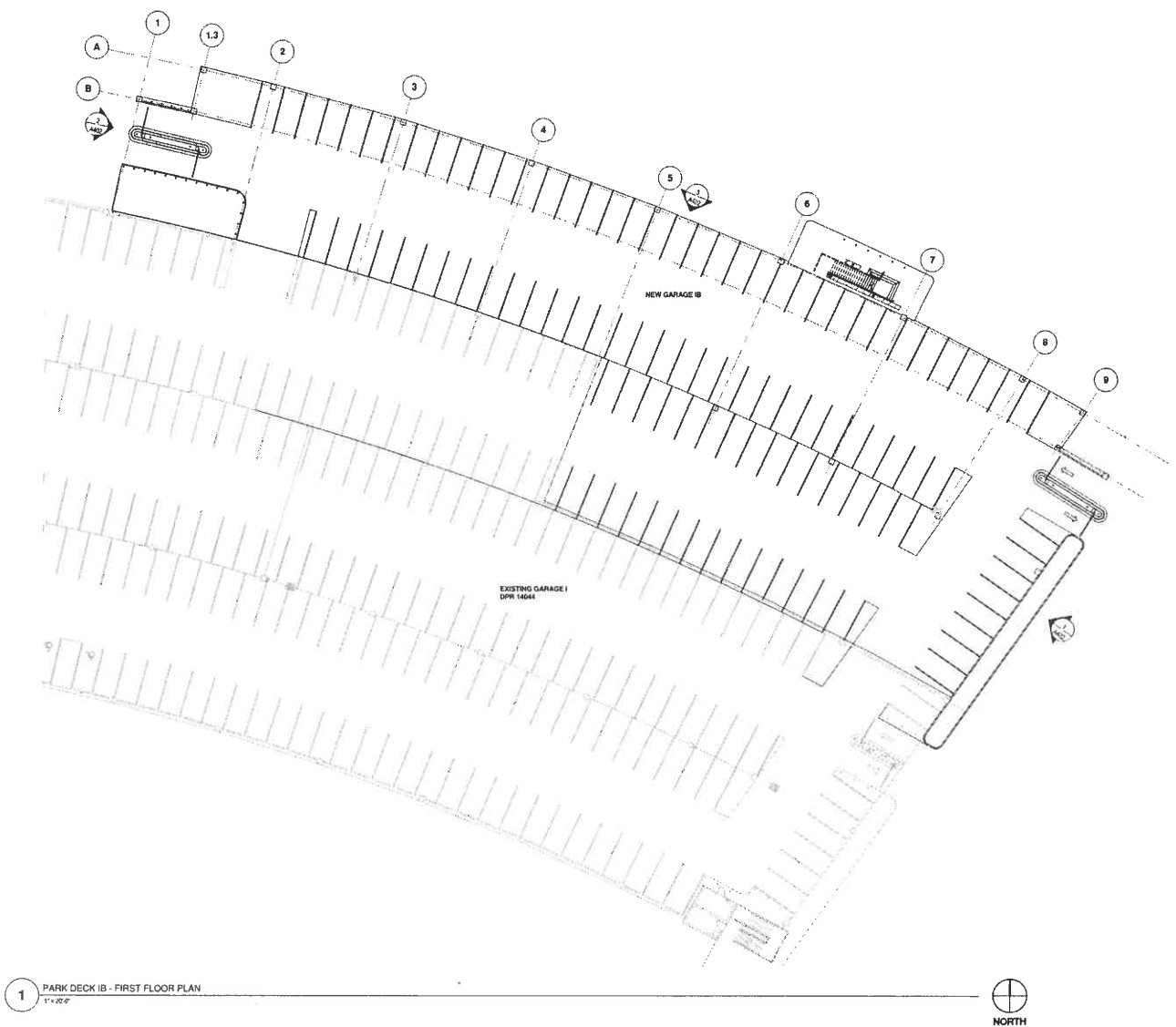


RSP Architects
 822 S. College Avenue Suite 202
 Tampa, Arizona 85281
 480.849.2000
 480.898.2096 fax
 www.rsparch.com

Cardinalian

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed Architect under the laws of the State of Arizona.

Consultants



Project For
Liberty Property Trust
 Park Deck IB

Project No. 6364.032.xx
 Drawn By JWH
 Checked By SL
 Date 04-07-2014

NOTICE: The design shown on this set of plans is subject to the provisions of the contract documents, including but not limited to the General Conditions and the Supplementary Conditions. These documents shall govern the project. The architect shall be responsible for the design and construction of the project.

© Copyright RSP Architects 2014. All rights reserved.

Revisions

No.	Date	Description

PARK DECK IB

FIRST FLOOR PLAN

A102

© 2014 RSP Architects. All rights reserved.
 4/7/2014 11:47 AM



RSP Architects
 502 S. Collins Avenue
 Suite 203
 Tempe, Arizona 85281
 480.885.2000
 480.895.2099 fax
 www.rsparch.com

Certification

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed Architect under the laws of the State of Arizona.

Consultants

Project for

Liberty Property Trust
Park Deck IB

Project No. 6364_032.xx

Drawn By JWH

Checked By SL

Date 04-07-2014

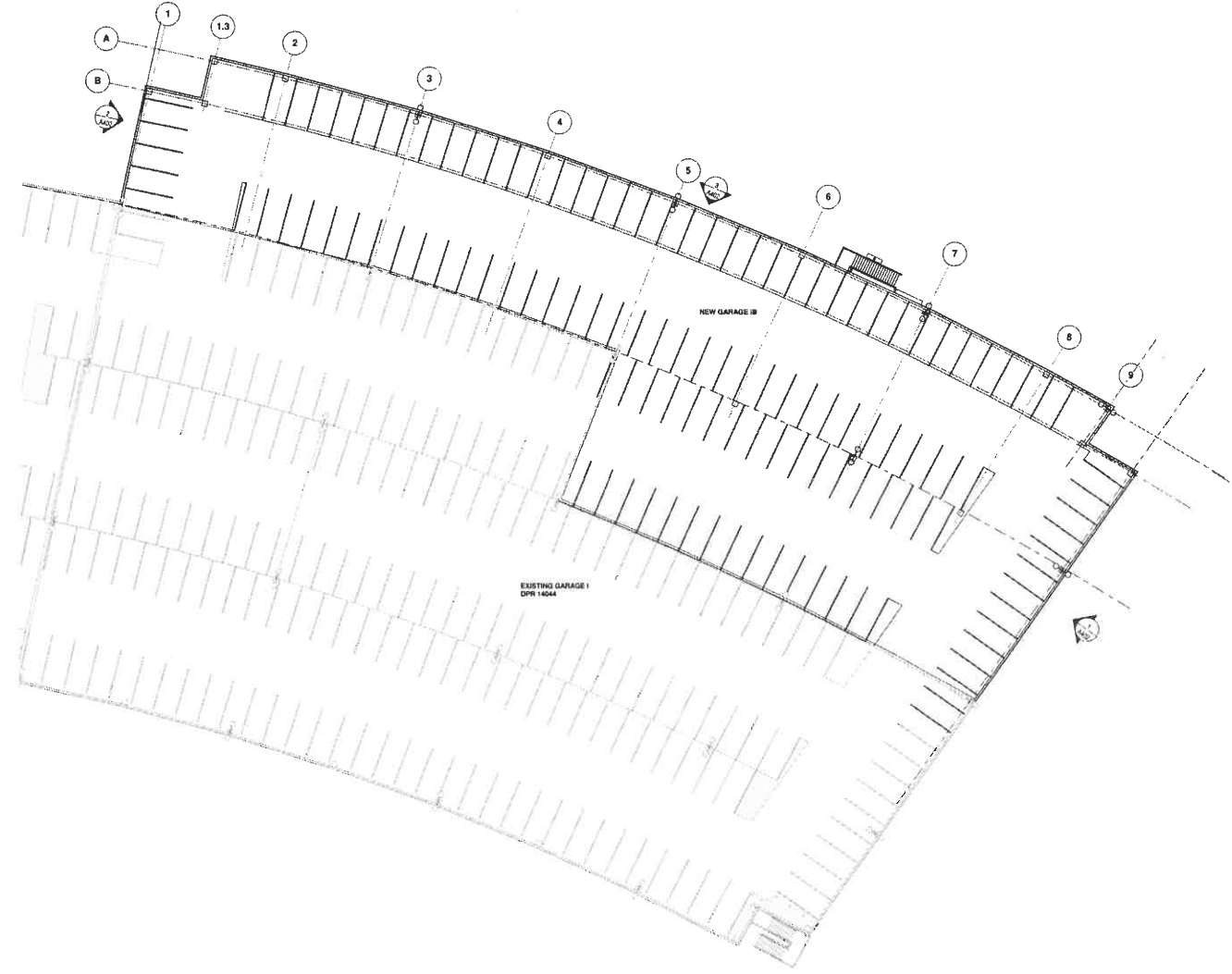
NOTICE: This drawing is one of the set of drawings for the project shown on the title block. All drawings in this set are related to the project and are intended to be used together. It is the responsibility of the user to ensure that all drawings are used in accordance with the project requirements. Any use of this drawing for any other purpose is strictly prohibited. © Copyright RSP Architects 2014. All rights reserved.

No.	Date	Description

PARK DECK IB

SECOND FLOOR PLAN

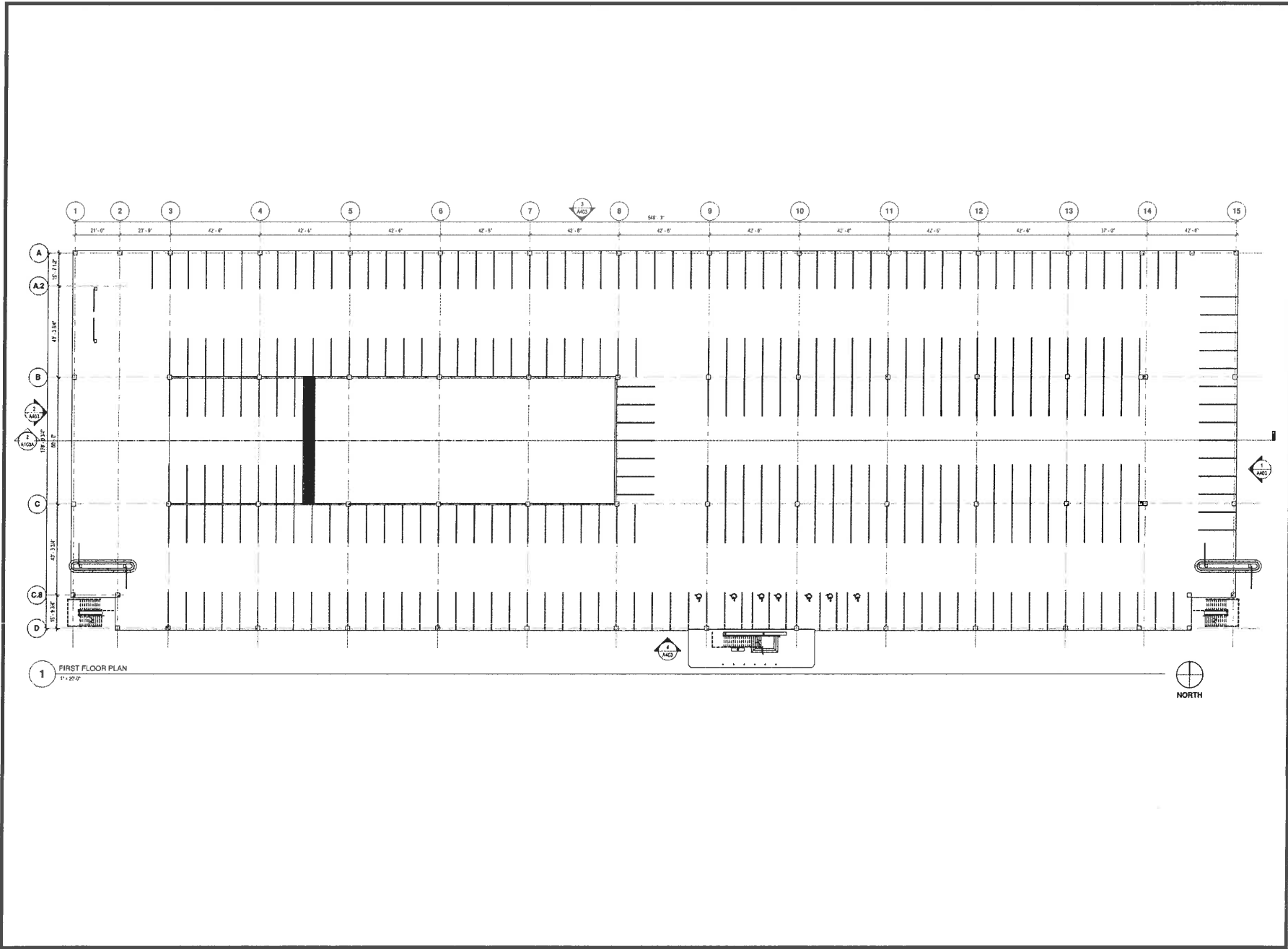
A102B



1 SECOND FLOOR PLAN
 1" = 20'



C:\Users\Project2\PS\34\A102B\Park Deck IB_R10_2\liberty.rvt
 4/30/2014 2:26:05 PM



RSP Architects
 5520 S. College Avenue Suite 203
 Tampa, Arizona 85281
 480.892.2000
 480.888.2099 fax
 www.rsparch.com

Professional Seal
 I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed Architect under the laws of the State of Arizona.
Consultants

Project For
Liberty Property Trust
Park Deck II

Project No. 6384.032.xx
 Drawn By JWH
 Checked by SL
 Date 04-07-2014

NOTES: The design team is responsible for providing all structural, mechanical, electrical, and plumbing conditions. The Architect's responsibility is to provide a design that meets the minimum requirements of the applicable codes and standards. The design team is responsible for providing all necessary permits and approvals. The design team is responsible for providing all necessary coordination with the contractor.

© Copyright RSP Architects 2014. All rights reserved.

No.	Date	Description

PARK DECK II

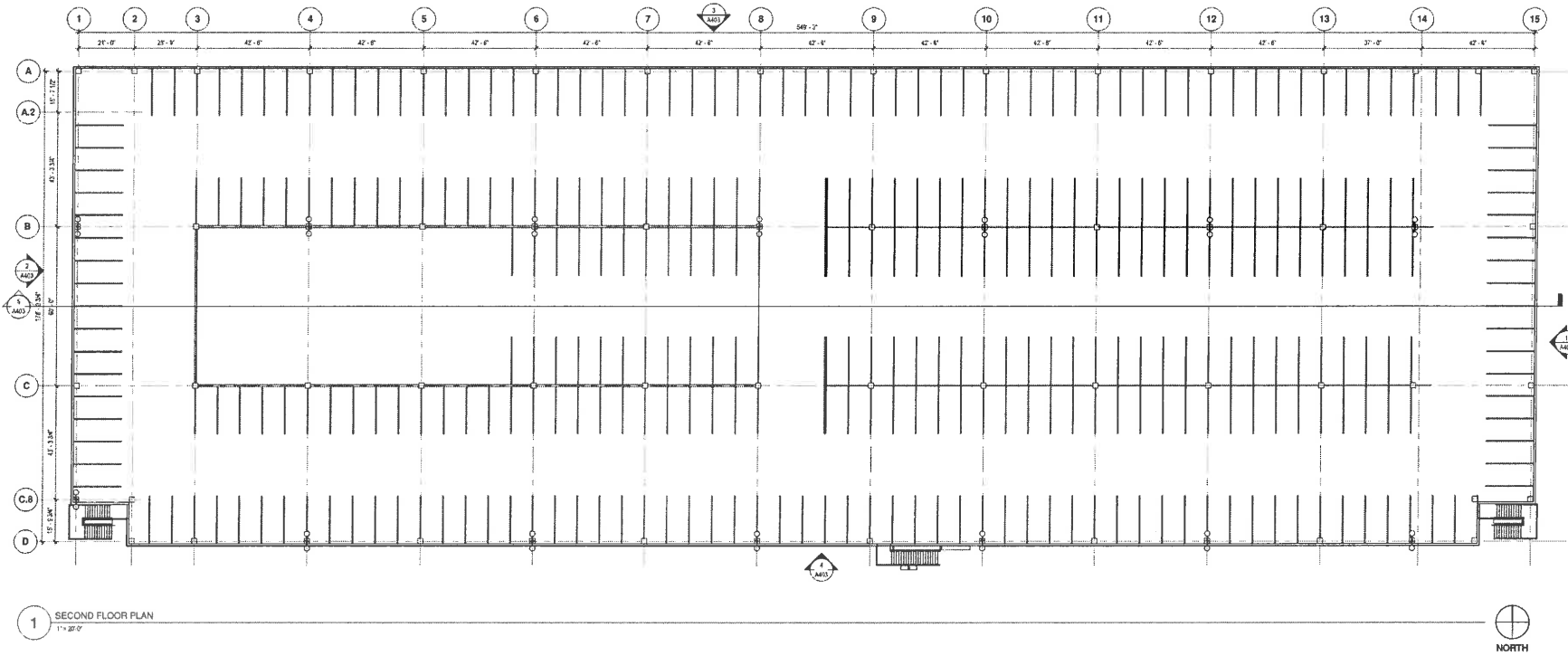
FIRST FLOOR PLAN

A103



RSP Architects
 507 S. College Avenue Suite 202
 Tampa, Arizona 85281
 480.889.2000
 480.889.2069 fax
 www.rsparch.com

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed Architect under the laws of the State of Arizona
 Date: _____
 Signature: _____



Project For
Liberty Property Trust
 Park Deck II

Project No. 6364.032.xx
 Drawn By JWH
 Checked By SL
 Date 04-07-2014

NOTICE: This drawing is prepared by RSP Architects, Inc. and is the property of RSP Architects, Inc. It is to be used only for the project and site specifically identified on the drawing. It is not to be used for any other project or site without the written consent of RSP Architects, Inc. No part of this drawing may be reproduced or transmitted in any form or by any means electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the prior written permission of RSP Architects, Inc.

© Copyright RSP Architects, Inc. All rights reserved.

Revisions

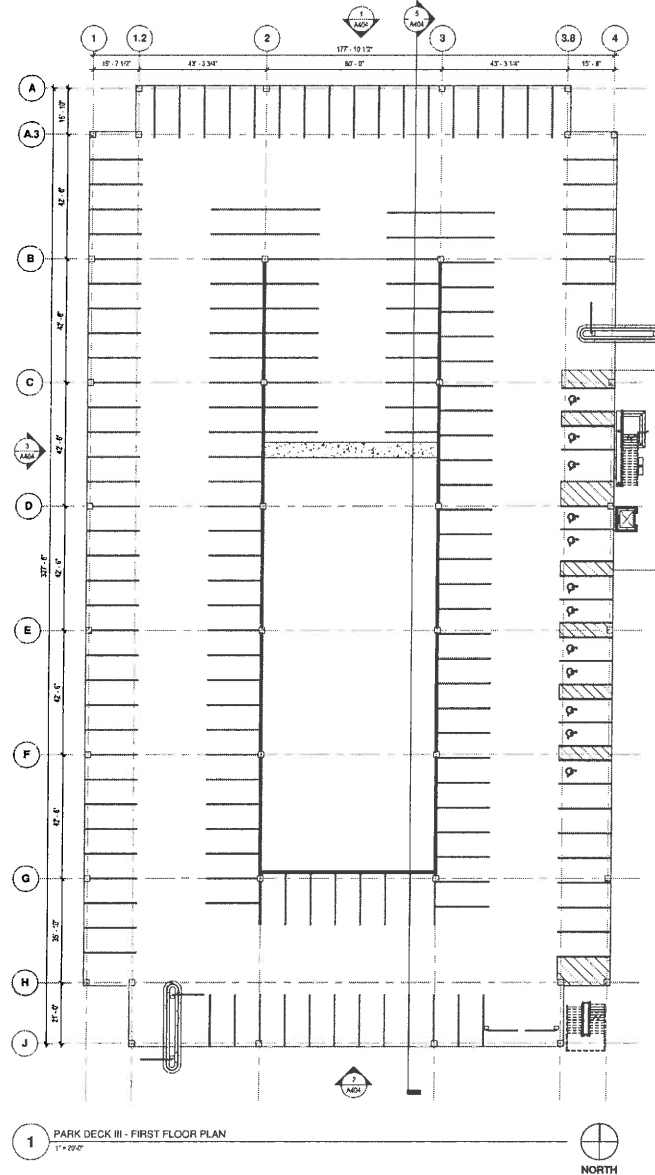
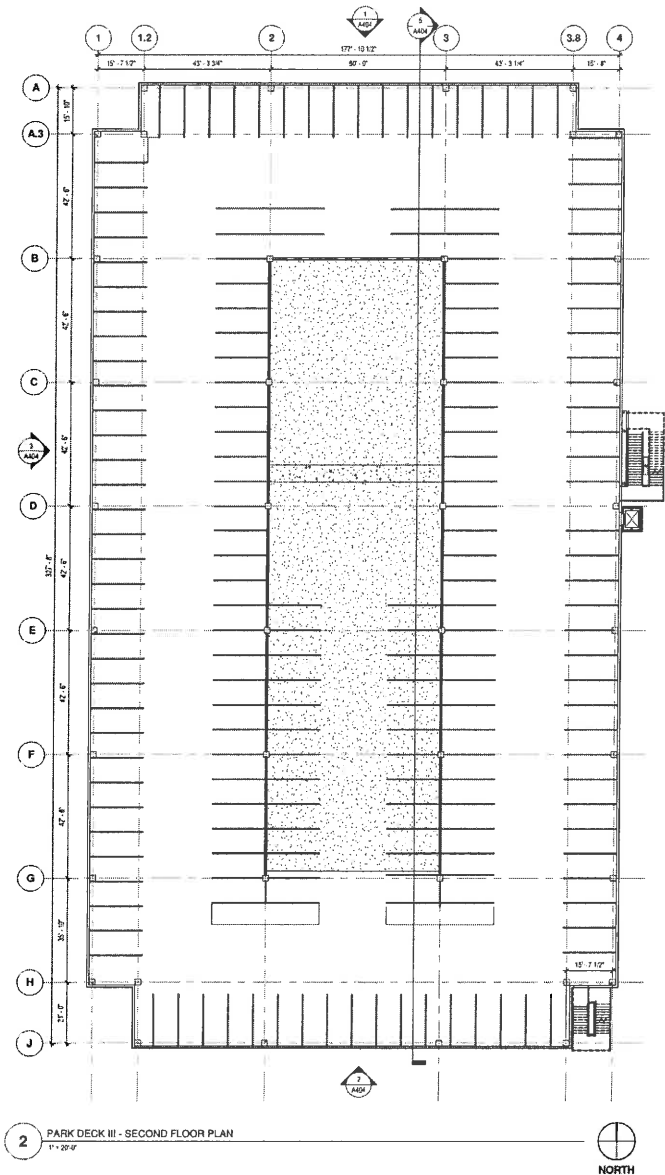
No.	Date	Description

PARK DECK II

SECOND FLOOR PLAN

A103A

C:\Users\Project03\Documents\Salario Park Deck II_R1.dwg - 04/07/2014 10:29:29 AM



RSP Architects
522 S. College Avenue Suite 202
Tempe, Arizona 85281
480.880.2000
480.889.2099 fax
www.rsparch.com

Contractor

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Arizona.

Contractor

Project For

**Liberty Property Trust
Park Deck III**

Project No. 6364.032.xx
Drawn By JWH
Checked By SL
Date 04-07-2014

NOTES: See design from all aspects from exterior to interior of facade, window and door placement, and interior layout. Call interior architect for window and door details and interior layout. RSP Architects - These are not to be used for construction without the approval of RSP Architects. All dimensions are in feet and inches unless otherwise noted.

© Copyright RSP Architects 2014. All rights reserved.

Revisions:

No.	Date	Description

PARK DECK III

FIRST AND SECOND FLOOR PLANS

A104

C:\Users\ProjectRSP\S4\AGG Park Deck III_R111...liberty.rvt
4/7/2014 12:25:14 PM

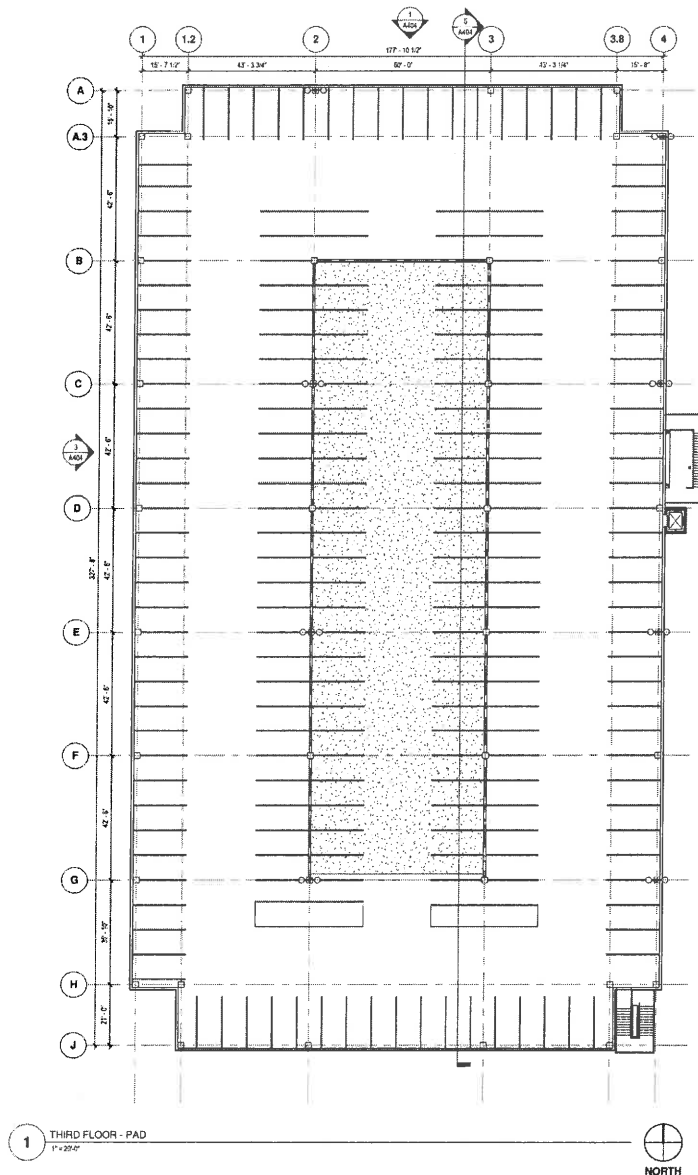


RSP Architects
632 S. College Avenue
Suite 203
Tempe, Arizona 85281
480.885.2000
480.885.2099 fax
www.rsparch.com

Consultation

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed Architect under the laws of the State of Arizona.

Consultants



Project For
Liberty Property Trust
Park Deck III

Project No. 6364.032.xx
Drawn By JWH
Checked By SL
Date 04-07-2014

NOTES: The design, construction and installation of this work shall be in accordance with the Building Code of the City of Phoenix, the International Building Code, and the applicable codes of the State of Arizona. The design shall be prepared in accordance with the Building Code of the City of Phoenix. These drawings shall not be used for any other purpose without the express written consent of RSP Architects.

© Copyright RSP Architects 2014. All rights reserved.

No.	Date	Description

3RD FLOOR PLAN

A104A

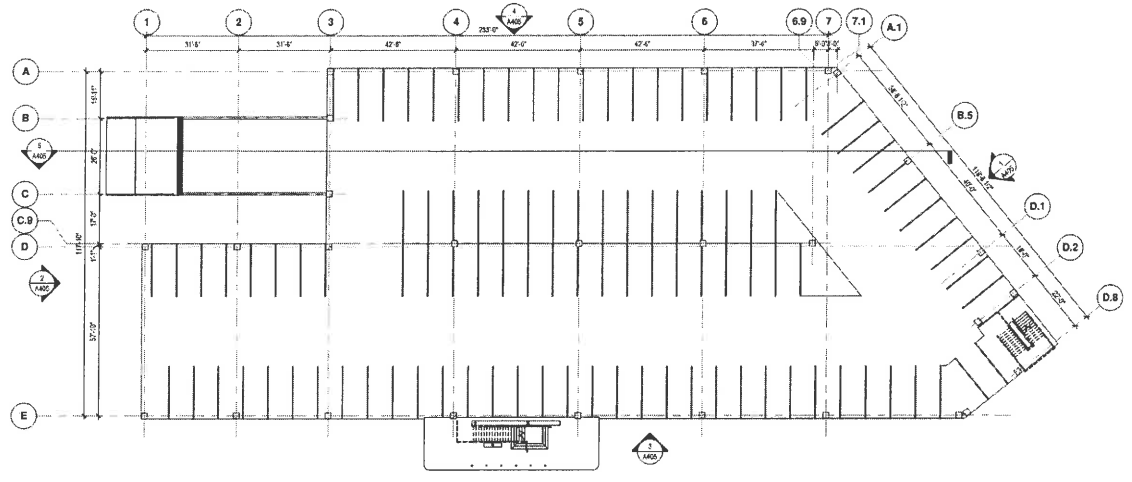


RSP Architects
 523 S. College Avenue
 Suite 202
 Tampa, Arizona 85281
 480.882.2000
 480.882.2099 fax
 www.rsparch.com

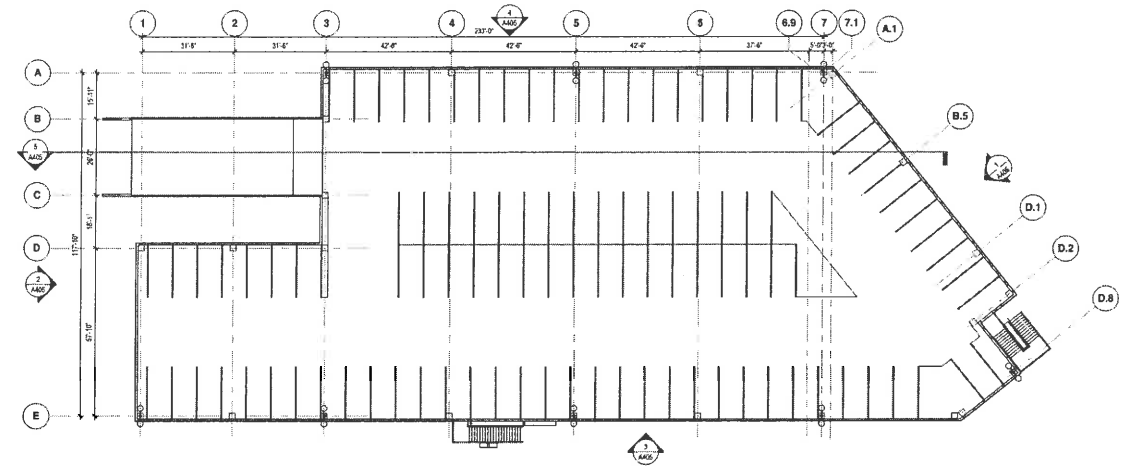
Consultant

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed Architect under the laws of the State of Arizona.

 Consultant



1 FIRST FLOOR PLAN
 1" = 20'-0"



2 SECOND FLOOR PLAN
 1" = 20'-0"



Project For

**Liberty Property
 Trust**
 Park Deck VI

Project No.	6364.032.xx
Drawn By	JWH
Checked By	SL
Date	04-07-2014

NOTES: See design manual for complete details of the floor and ceiling finishes, including the work, and specify all materials and finishes. Refer to the architectural specifications for details of the work. The architect shall be responsible for all materials and finishes specified in the specifications and shall be responsible for their selection.

© Copyright RSP Architects 2014. All rights reserved.

Revisions		
No.	Date	Description

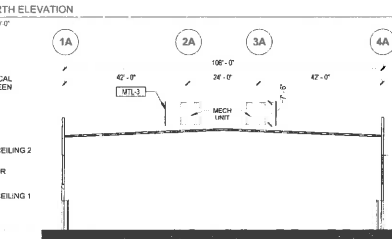
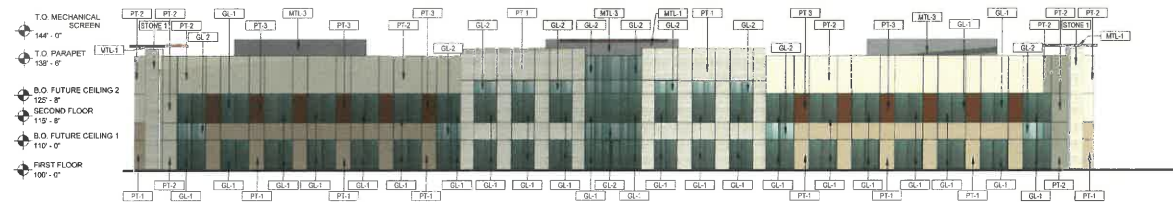
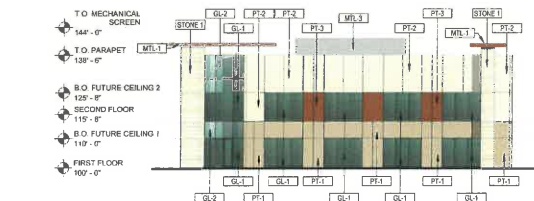
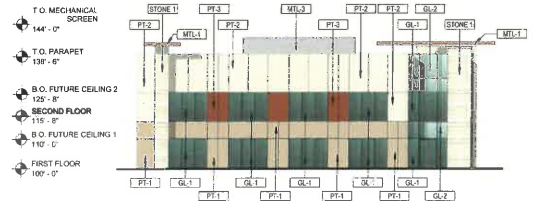
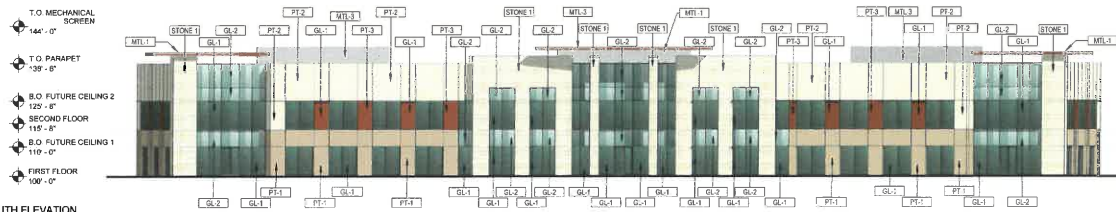
PARK DECK VI

FLOOR PLANS

A105

C:\Work\Projects\2014\2014-06-11\2014-06-11_Park Deck VI_B10_A105.rvt
 4/7/2014 11:15:29 AM

MATERIAL NUMBER	DESCRIPTION
ALT	CLEAR ANODIZED ALUMINUM FRAME
CKONG	HYPERION COLOR CONCRETE WITH FORMER - SANDSTONE 3297
GL-1	CLEAR GLAZE - SOLARWAY OR "SUNLEN TINT"
GL-2	SPANDREL GLAZE - OPTIC COAT PRO - SUNSET GREEN
MTL-1	METAL W/REIN. PAINT (PAINT) TYPAR DOOR
MTL-2	METAL SHADOW FIN. PAINT (PAINT) TYPAR DOOR
MTL-3	METAL EDGE MECHANICAL SCREEN PAINT (PAINT) "SHADO" (GRAY BR)
PF-1	PAINTED CONCRETE - DYE (PAINT) MECHANICAL SCREEN/REVEALER
PF-2	PAINTED CONCRETE - DYE (PAINT) SANDSTONE
PF-3	PAINTED CONCRETE - DYE (PAINT) TYPAR DOOR
STONE-1	SANDSTONE



RSP Architects
502 S. College Avenue
Suite 203
Tempe, Arizona 85281

480.889.2000
480.889.4999 fax
www.rsparch.com

Consultants

Certification

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed Architect under the laws of the State of Mexico.

Signatures

Registration Number

Date

Project For

RSP ARCHITECTS

LIBERTY CENTER AT RIO SALADO - BUILDING VII

Project No 6364.032.01

Drawn By MTM

Checked By Checker

Date Issue Date

NOTE: The design of this and all related items is the intellectual property of RSP Architects. Any reproduction, use, or disclosure of this design without the written consent of RSP Architects is strictly prohibited. RSP Architects and its consultants shall not be held responsible for any errors or omissions in this document.

Copyright © 2014 RSP Architects, Inc. All rights reserved.

Revisions

No.	Date	Description

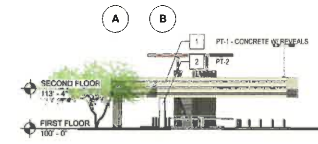
ELEVATIONS

A401

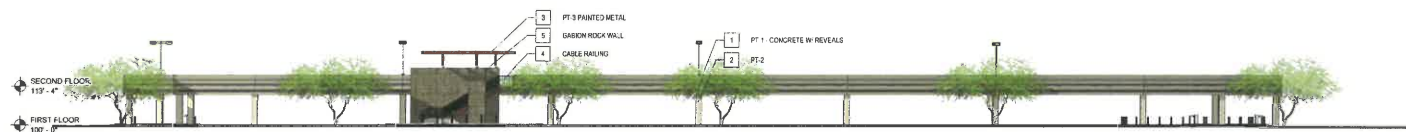
LEGEND	
Keynote Number	Description
1	PT-1 DEC 743 "HIGH NOON" - CONCRETE W/ REVEALS
2	PT-2 DEA 763 "OATMEAL COOKIE"
3	PT-3 DEA 157 - "CELLAR DOOR" PAINTED METAL
4	CABLE RAILING
5	GABION ROCK WALL



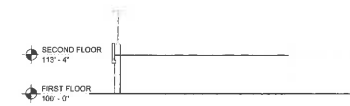
1 PARK DECK IB - EAST ELEVATION
1" = 20'-0"



2 PARK DECK IB - WEST ELEVATION
1" = 20'-0"



3 PARK DECK IB - NORTH ELEVATION
1" = 20'-0"



4 PARK DECK IB - SECTION
1" = 20'-0"



RSP Architects
502 S. College Avenue
Suite 203
Tempe, Arizona 85281

480.888.2000
480.889.2099 fax
www.rsparch.com

Certification

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed Architect under the laws of the State of Arizona.

Consultants

Project for
Liberty Property Trust
Park Deck IB

Project No: 6364.032.xx
Drawn By: JWVH
Checked By: SL
Date: 04-07-2014

NOTES: The notes on this and associated drawings shall be read in the following order: 1. General Notes; 2. General Conditions; 3. Schedule of Values; 4. Specifications; 5. Addendum; 6. General Notes on this project; 7. RFP; 8. Other. There may be additional notes on drawings and in other documents associated with this project. All general notes, specifications and drawings shall be read in accordance with the above.

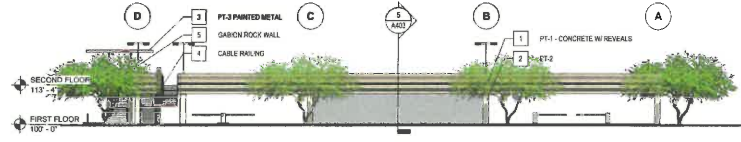
© Copyright RSP Architects, 2014. All rights reserved.

Revisions		
No.	Date	Description

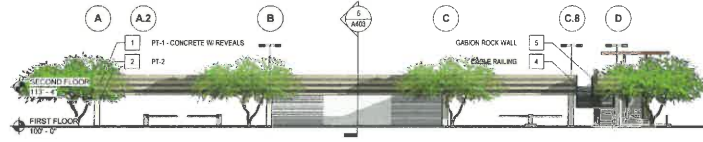
PARK DECK IB

EXTERIOR ELEVATIONS AND SECTION

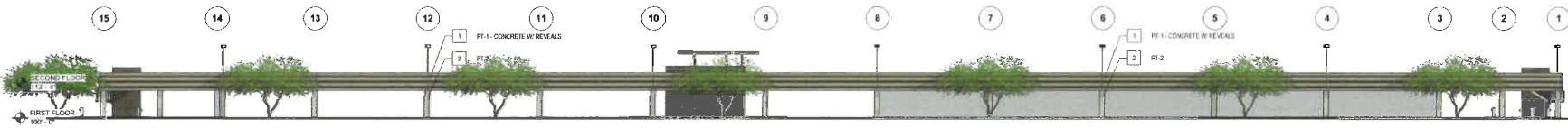
A402



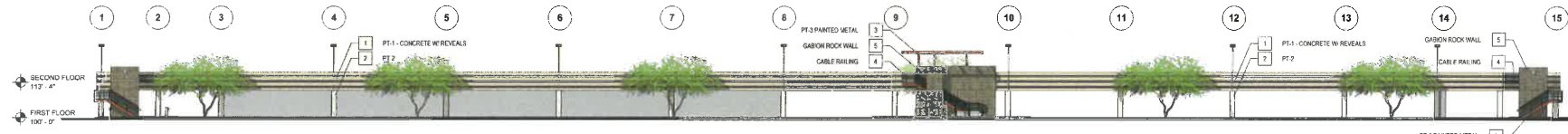
1 Park Deck 2 - East Elevation
1" = 20'-0"



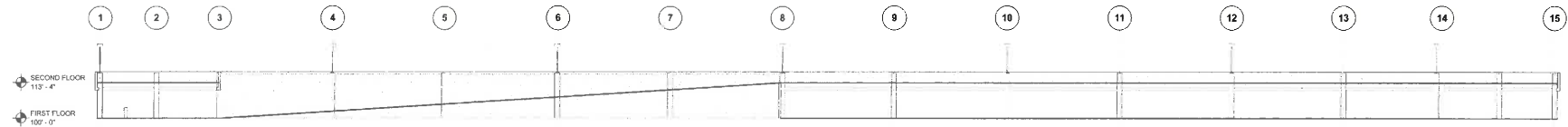
2 Park Deck 2 - West Elevation
1" = 20'-0"




3 Park Deck 2 - North Elevation
1" = 20'-0"



4 Park Deck 2 - South Elevation
1" = 20'-0"



5 PARK DECK II SECTION
1" = 20'-0"



RSP Architects
592 S. College Avenue
Suite 203
Tampa, Arizona 85281

480.885.2000
480.885.2099 fax
www.rsparch.com

Certification

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed Architect under the laws of the State of Arizona.

Consists

Project For
Liberty Property Trust
Park Deck II

Project No	6364.032.xx
Drawn By	JWH
Checked By	SL
Date	04-07-2014

NOTICE: For every set of plans, specifications or reports prepared by me or under my direct supervision and that I am a duly licensed Architect under the laws of the State of Arizona, I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed Architect under the laws of the State of Arizona.

© Copyright RSP Architects, 2014. All rights reserved.

Revisions

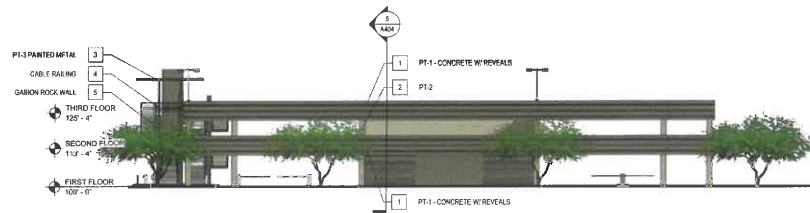
No.	Date	Description

PARK DECK II

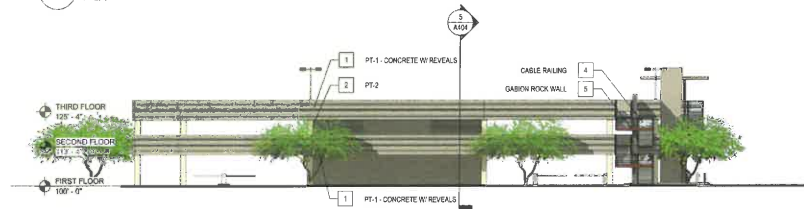
EXTERIOR ELEVATIONS AND SECTION

A403

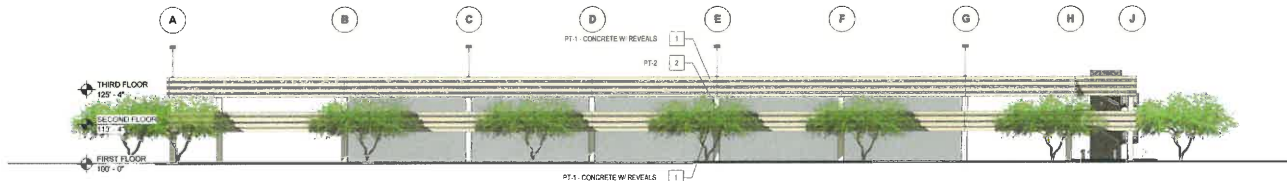
LEGEND	
Keynote Number	Description
1	PT-1 DEC 743 "HIGH NOON" - CONCRETE W/ REVEALS
2	PT-2 DEA 763 "OATMEAL COOKIE"
3	PT-3 DEA 157 - "CELLAR DOOR" PAINTED METAL
4	CABLE RAILING
5	GABION ROCK WALL



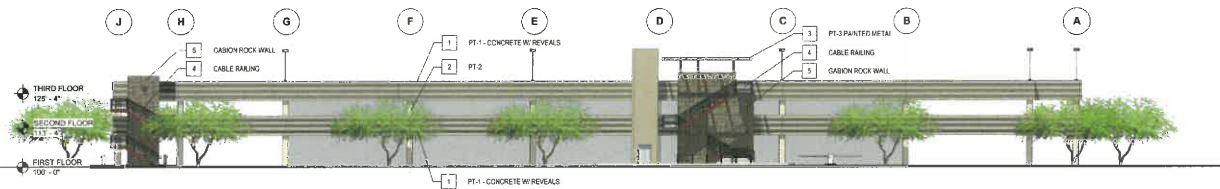
1 Park Deck III - North Elevation
1" = 20' 0"



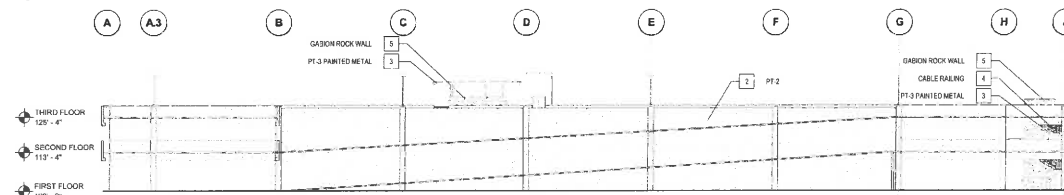
2 Park Deck III - South Elevation
1" = 20' 0"



3 Park Deck III - West Elevation
1" = 20' 0"



4 Park Deck III - East Elevation
1" = 20' 0"



5 PARK DECK III - BUILDING SECTION
1" = 20' 0"



RSP Architects
502 S. College Avenue
Suite 203
Tampa, Arizona 85281

480.885.2000
480.885.2999 fax
www.rsparch.com

Certification

I hereby certify that the plan, specifications or report was prepared by me or under my direct supervision and that I am a duly licensed Architect under the laws of the State of Arizona.

Comments

Project For

Liberty Property Trust
Park Deck III

Project No. 6384.032.xx

Drawn By JWH

Checked By SL

Date 04-07-2014

NOTES: 1. All drawings are to be read in conjunction with the project description and specifications. 2. All drawings are to be read in conjunction with the project description and specifications. 3. All drawings are to be read in conjunction with the project description and specifications. 4. All drawings are to be read in conjunction with the project description and specifications. 5. All drawings are to be read in conjunction with the project description and specifications.

© 2014 RSP Architects, LLC. All rights reserved.

Revisions

No.	Date	Description

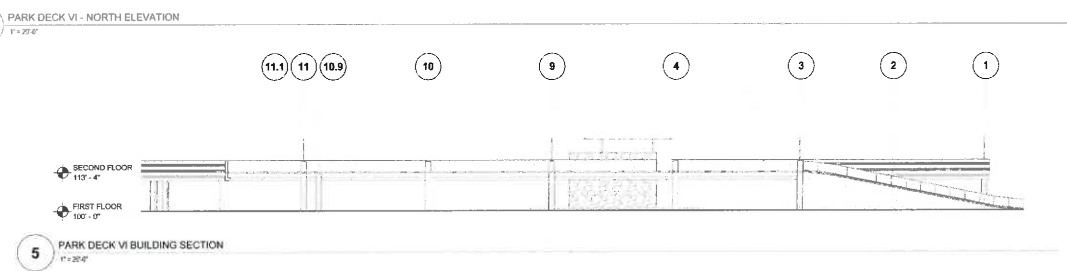
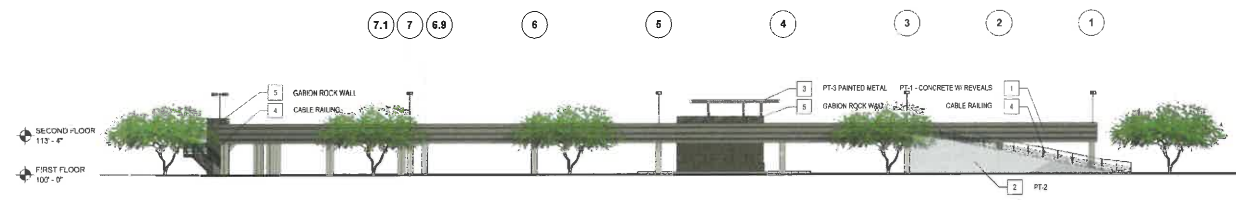
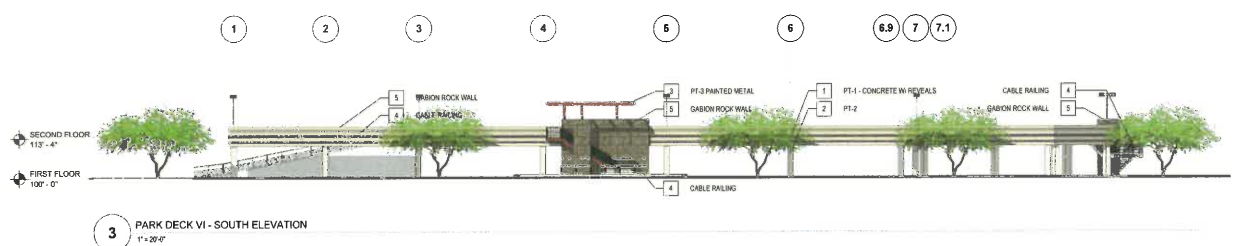
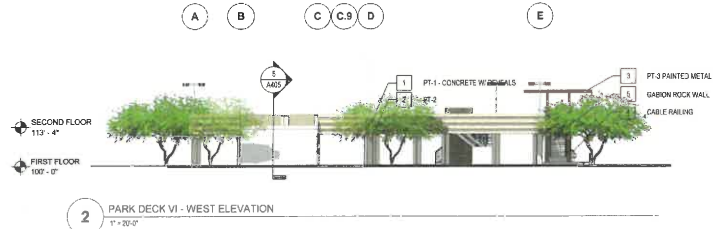
PARK DECK III

EXTERIOR ELEVATIONS AND SECTION

A404

LEGEND

Keynote Number	Description
1	PT-1 DEC 743 "HIGH NOON" - CONCRETE W/ REVEALS
2	PT-2 DEA 763 "OATMEAL COOKIE"
3	PT-3 DEA 157 - "CELLAR DOOR" PAINTED METAL
4	CABLE RAILING
5	GABION ROCK WALL



RSP Architects
 502 S. College Avenue
 Suite 203
 Tempe, Arizona 85281

480.885.2000
 480.889.2099 fax
 www.rsparch.com

Project for
Liberty Property Trust
Park Deck VI

Project No: 6364.032.xx
 Drawn By: JWH
 Checked By: SL
 Date: 04-07-2014

Revisions

No.	Date	Description

DECK PARK VI

EXTERIOR ELEVATIONS AND SECTION

A405

**CLEAR ANODIZED ALUMINUM-
DOOR / WINDOW FRAME**

**GL-1 SOLARBAN
70XL SOLARGRAY**

**GL-2 HARMONY SOLEX
#2-743 - SPANDREL
GLASS**

**PT-2 DEA 763
"OATMEAL COOKIE"-
SMOOTH CONCRETE/
ROOF SCREEN**

**PT-3 DEA 157
"CELLAR DOOR"-
SMOOTH CONCRETE
AND METAL**

**PT-1 DEC 743 "HIGH NOON"-
CONCRETE W/ REVEALS**

**STONE-1
TEAK SANDSTONE**



RSP Architects
502 S. College Avenue
Suite 203
Tempe, AZ 85261
480.689.2000
480.689.2099 fax
www.rsparch.com

Consultants

ELECTRICAL ENGINEER
MSA Engineering
1500 N. 20th Street
Suite 200
Phoenix, AZ 85016
Contact: Brian Thompson
T: 602.973.8124
E: bthompson@msa-engineer.com

LANDSCAPE ARCHITECT
Trueform Landscape
1345 North 10th Street
Phoenix, AZ 85016
Contact: James Smith
T: 480.517.0144
E: james.smith@trueform.com

STRUCTURAL ENGINEER
Paul/Koehler
2121 E. McDowell Street
Phoenix, AZ 85016
Contact: Jeff Taylor
T: 602.972.8854
E: jrtaylor@paulkoehler.com

CIVIL ENGINEER
Wood Patel
2001 W. Northern Ave
Phoenix, AZ 85021
Contact: John Wood
T: 480.512.0500
E: john@woodpatel.com



**LIBERTY CENTER
AT RIO SALADO**

Project No. **6364.032.01**

Drawn By **JWH**

Checked By **SL/JP**

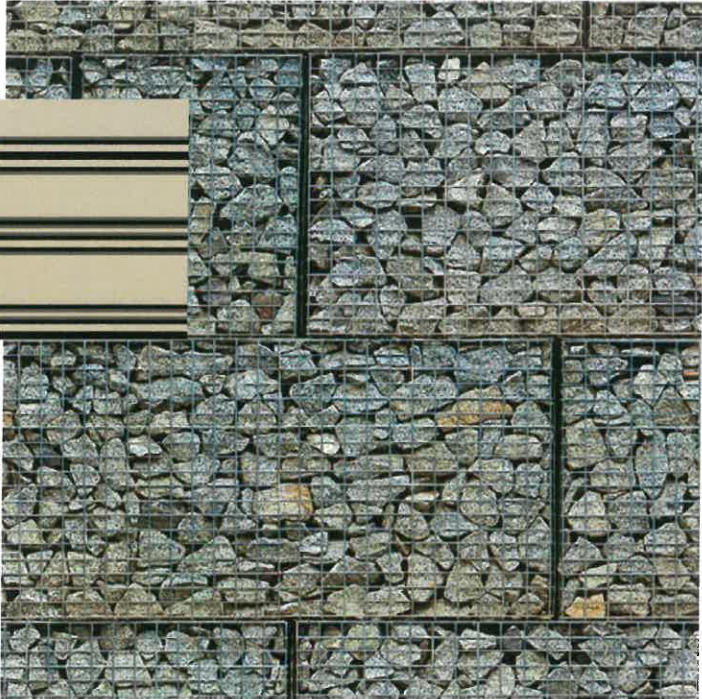
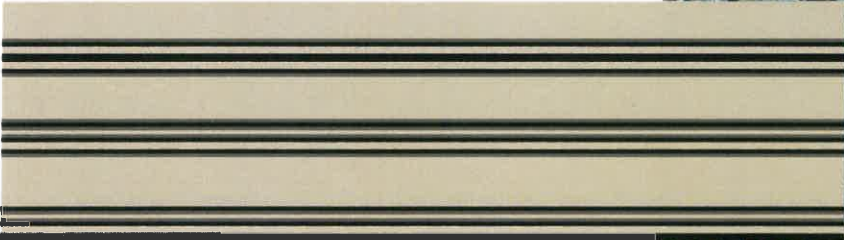
Date **02/18/2014**

**MATERIAL BOARD
BUILDING VII**

PT-3 DEA 157 - "CELLAR
DOOR" PAINTED METAL



PT-1 DEC 743 "HIGH NOON"
- CONCRETE W/ REVEALS



GABION ROCK WALL



PT-2 DEA 763 "OATMEAL
COOKIE"



RSP Architects
502 S. College Avenue Suite 203
Tempe, AZ 85281
480.889.2000
480.889.2099 fax
www.rsparch.com

Consultants
ELECTRICAL ENGINEER
MISA Engineering
1828 N. 15th Street
Suite 210
Phoenix, AZ 85016
Contact: Brent Thompson
T: 602.998.8124
E: bthompson@misa-engine.com

LANDSCAPE ARCHITECT
Trueform Landscape
3228 North 15th Street
Phoenix, AZ 85016
Contact: Tommy Votha
T: 480.387.4141
E: tomy@trueformlandscape.com

STRUCTURAL ENGINEER
Paul Koehler
7419 E. McDowell Drive
Scottsdale, AZ 85251
Contact: Jeff Kuehn
T: 480.522.8684
E: jkuehn@paulkoehler.com

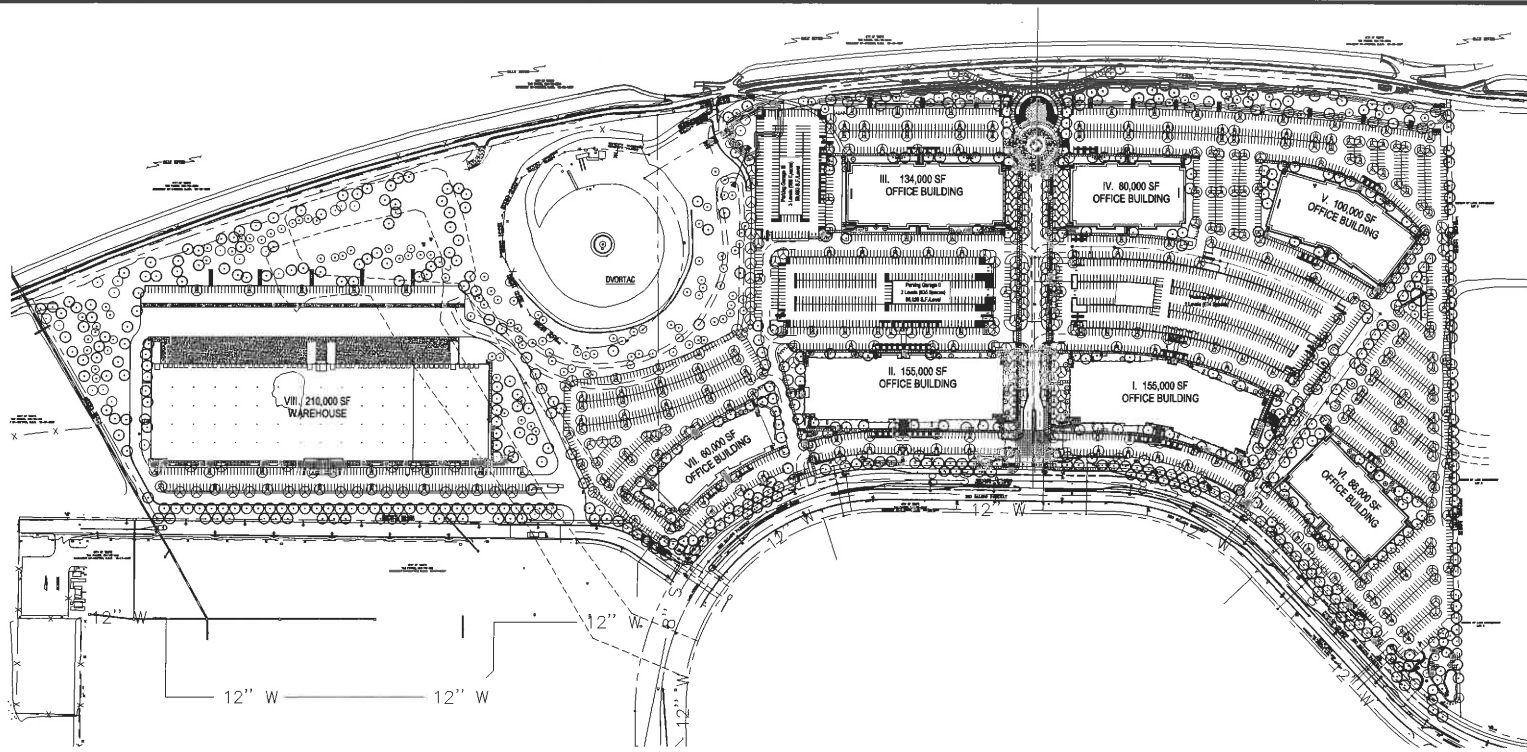
CIVIL ENGINEER
Wood Patel
2411 W. Washington Ave.
Phoenix, AZ 85017
Contact: John A. Ho
T: 602.533.0030
E: jho@woodpatel.com



LIBERTY CENTER
AT RIO SALADO

Project No.	6364.032.01
Drawn By	JWH
Checked By	SL/JP
Date	02/18/2014

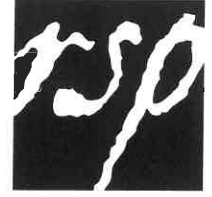
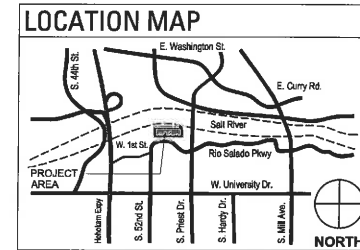
MATERIAL BOARD



1 MASTER SITE PLAN
SCALE: 1"=100'

PLANT LEGEND:

SYMBOL	TREE TYPE	SIZE	PHASE		REMARKS - HEIGHT X WIDTH - CALIPER SIZE
			TOTAL QTY.		
□	<i>Acacia willardiana</i>	24" Box	65		5.0-8.0 2.5-3.5 1.0-1.5
○	Palo Blanco				
○	<i>Bauhinia lunarioides</i>	15 gallon	118	multi-trunk/ low break	3.0-4.0 1.5-2.0 0.5-0.75
○	Anacacho Orchid				
○	<i>Cercidium floridum</i>	36" Box	29	multi-trunk/ low break	8.0-10.0 5.0-6.0 1.75-2.25
○	Blue Palo Verde				
○	<i>Chilopsis linearis</i>	24" Box	143	multi-trunk/ low break	5.0-7.0 3.0-4.0 1.0-1.5
○	Desert Willow				
○	<i>Dalbergia sissoo</i>	24" Box	9		8.0-9.0 3.0-4.0 1.0-1.5
○	Sissoo Tree				
○	<i>Olneya tesota</i>	48" Box	4	multi-trunk	8.0-10.0 7.0-9.0
○	Ironwood				
○	<i>Pithecolobium flexicaule</i>	36" Box	2	multi-trunk	7.0-9.0 5.0-6.9
○	Texas Ebony				
○	<i>Prosopis hybrid 'Phoenix'</i>	36" Box	601	multi-trunk/ low break	8.0-10.0 7.0-9.0 1.75-2.5
○	Thornless Hybrid Mesquite				
○	<i>Parkinsonia praecox 'AZT'</i>	36" Box	451	multi-trunk/ low break	8.0-9.0 6.0-7.0 1.75-2.25
○	Thornless Sonoran Palo Verde				



RSP Architects
585 S. College Avenue
Suite 200
Tempe, AZ 85281

408.889.2000
480.889.2099 fax
www.rsparch.com

TRUEFORM
landscape architecture studio
3025 north 15th street
phoenix, az 85014
1.480.382.8244
www.trueformaz.com

NOT FOR CONSTRUCTION
DATE: 02/13/14
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed Architect under the laws of the State of Arizona.

Signature _____
Registration No. _____
Date _____
Prepared for _____



LIBERTY CENTER AT RIO SALADO

Project No. 6364.032.00
Drawn By _____
Checked By _____
Date 04/02/2014

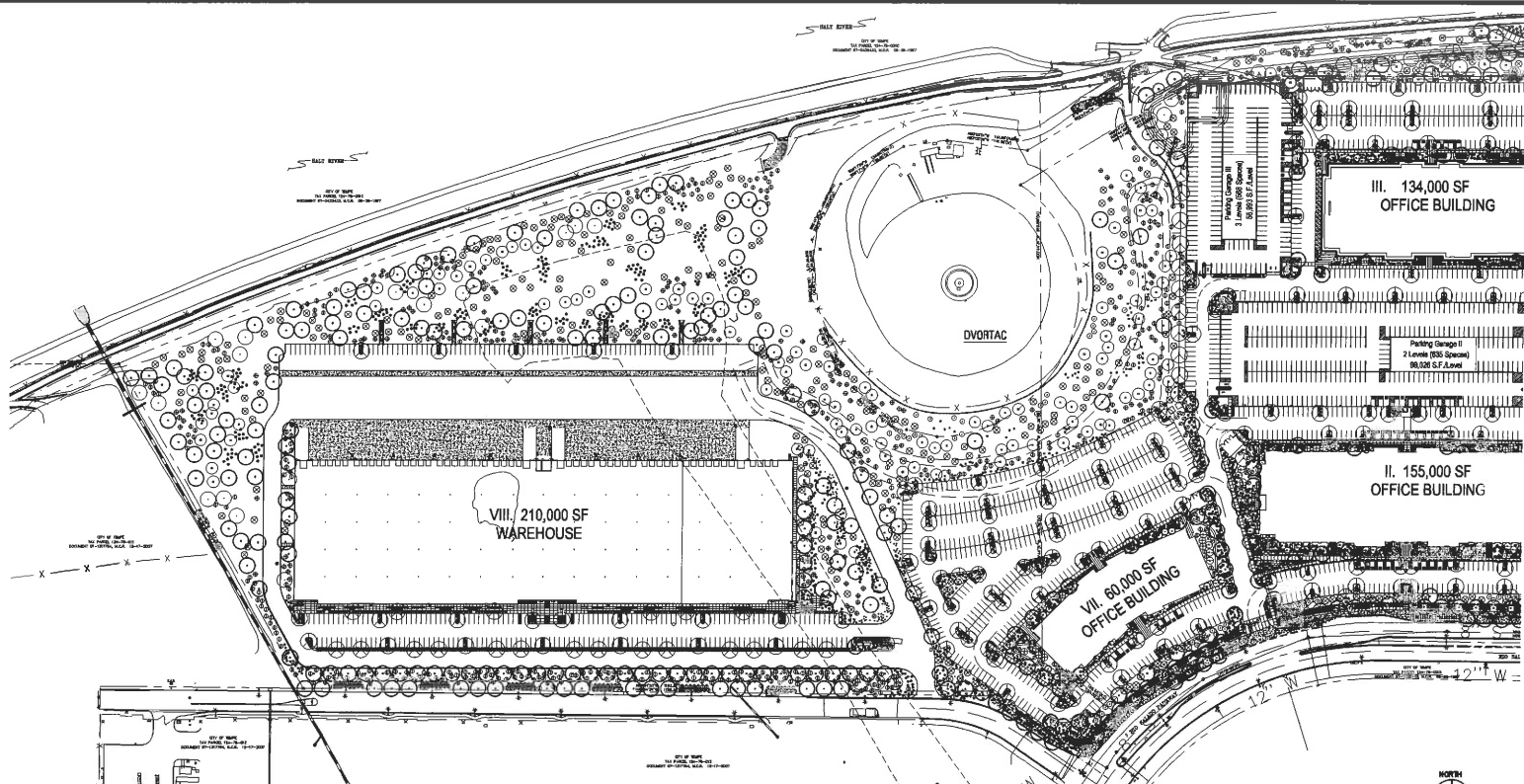
NOTE: The drawings and described items including all technical drawings, profiles, and notes thereof, are property and cannot be copied, reproduced, or otherwise used, in whole or in part, without written permission of RSP Architects. There are exceptions for limited redaction and annotation by clients, consultants, contractors, government agencies, vendors and other personnel only in accordance with the Notes.

© Copyright RSP Architects 2013. All rights reserved.

Mark	Date	Description

LANDSCAPE SITE PLAN

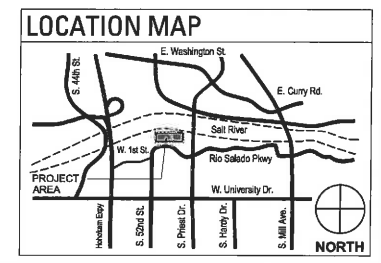
L001



1 WEST SITE PLAN
SCALE: 1"=100'

PLANT LEGEND:

TREES				SHRUBS				ACCENTS				GROUNDCOVERS/VINES				
SYMBOL	TYPE	SIZE	PHASE TOTAL QTY.	REMARKS	SYMBOL	TYPE	SIZE	PHASE TOTAL QTY.	SYMBOL	TYPE	SIZE	PHASE TOTAL QTY.	SYMBOL	TYPE	SIZE	PHASE TOTAL QTY.
	<i>Acacia salicoides</i>	24" Box	65			<i>Arbutus deltoidea</i>	1 Gallon	777		<i>Agave angustifolia</i>	5 Gallon	147		<i>Babelia multiradiata</i>	1 Gallon	639
	<i>Paulownia</i>	15 gallon	118	multi-trunk / low break		<i>Bananea</i>	1 Gallon	143		<i>Agave decumbens</i>	5 Gallon	00		<i>Desert Marigold</i>	1 Gallon	163
	<i>Ascaedo Orchid</i>	30" Box	20	multi-trunk / low break		<i>Cordia bicolor</i>	5 Gallon	77		<i>Convolv Agave</i>	5 Gallon	1110		<i>Penstemon parryi</i>	1 Gallon	00
	<i>Cordatum floridum</i>	30" Box	20	multi-trunk / low break		<i>Texas Olive</i>	1 Gallon	90		<i>Aloe barkeriana</i>	5 Gallon	1110		<i>Perty's Pentstemon</i>	1 Gallon	00
	<i>Blue Palo Verde</i>	24" Box	143	multi-trunk / low break		<i>Dodonaea viscosa</i>	1 Gallon	90		<i>Yellow Blooming Aloe</i>	1 Gallon	215		<i>Salicaria pallida</i>	5 Gallon	30
	<i>Chrysoptera linearis</i>	24" Box	9	multi-trunk / low break		<i>Eriocaulon fasciosum</i>	1 Gallon	358		<i>Desert Milkweed</i>	1 Gallon	215		<i>Parthenocarpus sp.</i>	5 Gallon	30
	<i>Desert Willow</i>	24" Box	9	multi-trunk / low break		<i>Hippoboa</i>	1 Gallon	2680		<i>Scaevola divaricata</i>	1 Gallon	405		<i>Hacienda Creeper</i>		
	<i>Dubautia cano</i>	48" Box	4	multi-trunk		<i>Epidemaria leucocoma</i>	1 Gallon	516		<i>Dyer's Green Spoon</i>	1 Gallon	716		<i>Euphorbia corollata</i>	5 Gallon	1333
	<i>Scaevola</i>	30" Box	2	multi-trunk		<i>Turpentine Bush</i>	1 Gallon	00		<i>Green Desert Spoon</i>	1 Gallon	716		<i>Cercantia</i>	6"-8" Height	15
	<i>Ohrya lasota</i>	30" Box	801	multi-trunk / low break		<i>Justicia californica</i>	1 Gallon	3813		<i>Ceanothus</i>	3 Gallon	1505		<i>Poppogetia splendens</i>	3 Gallon	1505
	<i>Phlox/Aboukan Resistant</i>	30" Box	2	multi-trunk		<i>Chuparosa</i>	1 Gallon	498		<i>Hesperaloe parviflora</i>	5 Gallon	90		<i>Opuntia engelmannii</i>	5 Gallon	53
	<i>Texas Ebony</i>	30" Box	801	multi-trunk / low break		<i>Mexican Hollyhock</i>	1 Gallon	508		<i>Red Yucca</i>	5 Gallon	112		<i>Engelmann's Prickly Pear</i>	5 Gallon	260
	<i>Phoebe hybrid 'Phoenix'</i>	30" Box	451	multi-trunk / low break		<i>Justicia spicigera</i>	1 Gallon	168		<i>Giant Hesperaloe</i>	5 Gallon	380		<i>Prodriscus monosperpus</i>	5 Gallon	260
	<i>Thornless Hybrid Mesquite</i>	30" Box	451	multi-trunk / low break		<i>New Gold Lantana</i>	1 Gallon	498		<i>Slope Plant</i>	5 Gallon	380		<i>Yucca beccata</i>	5 Gallon	00
	<i>Penstemon procerus 'AZT'</i>	30" Box	451	multi-trunk / low break		<i>Purple Trailing Lantana</i>	1 Gallon	498		<i>Banana Yucca</i>	5 Gallon	380		<i>Yucca elata</i>	5 Gallon	00
	<i>Thornless Sentinel Palo Verde</i>	30" Box	451	multi-trunk / low break		<i>Lantana montevidensis</i>	1 Gallon	498		<i>Soapstone Yucca</i>	5 Gallon	00		<i>Yucca pallida</i>	5 Gallon	00
						<i>Lantana montevidensis</i>	1 Gallon	498		<i>Pale Leaf Yucca</i>	5 Gallon	00				




RSP ARCHITECTS
502 S. College Avenue
Suite 203
Tempe, AZ 85281
480.888.3000
480.888.2899 fax
www.rsparch.com

TRUEFORM
landscape architecture studio
3025 north 15th street
phoenix, az 85014
1.480.382.4244
www.trueformaz.com

NOT FOR CONSTRUCTION
REGISTERED ARCHITECT
ARCHITECT # 191015
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Arizona.

Signature: _____
Registration No.: _____
Date: _____
Project No.: _____

LIBERTY
PROPERTY TRUST

LIBERTY CENTER AT RIO SALADO

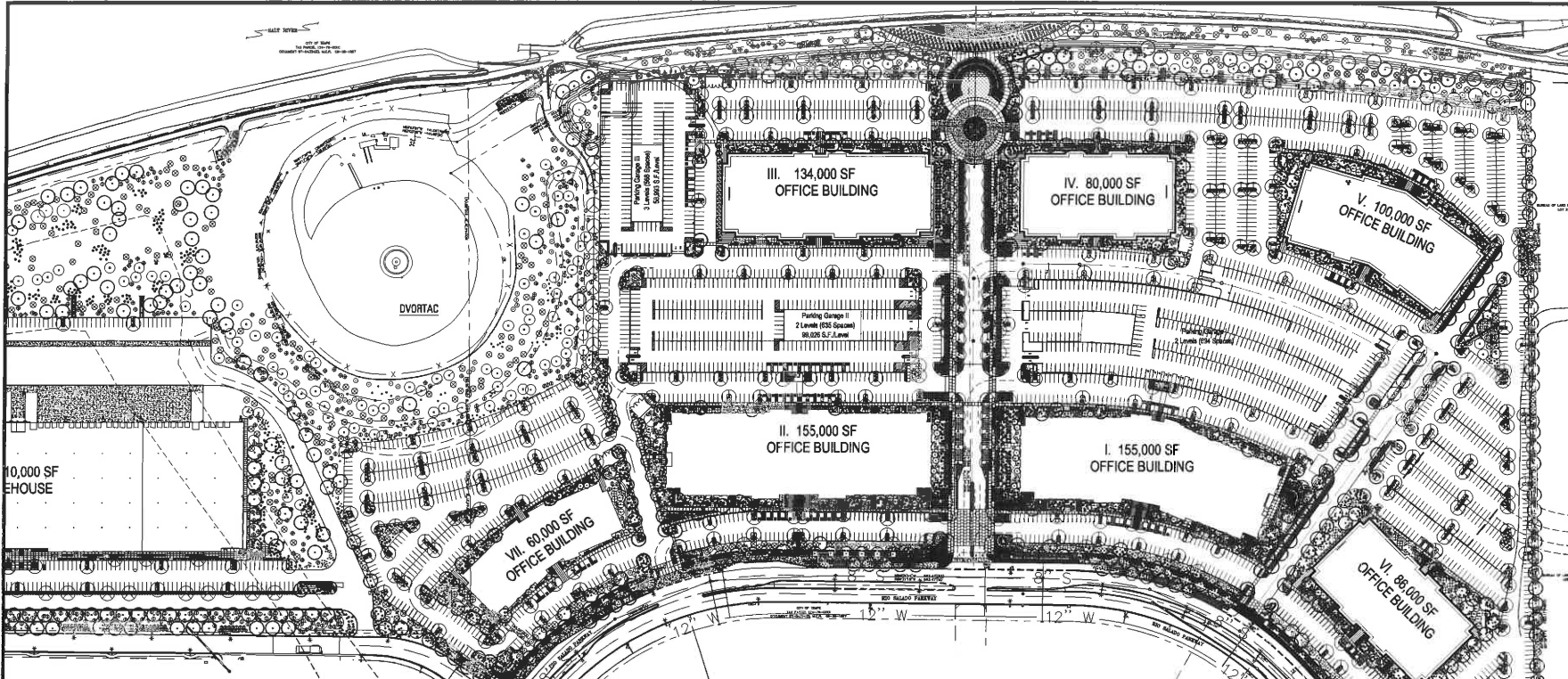
Project No. 6384.032.00
Drawn By: _____
Checked By: _____
Date: 04/02/2014

NOTE: The contractor shall not install items including all hardware, practices, and rocks shown, and properties and cannot be copied, reproduced or distributed without the written permission of RSP Architects. These are available for limited review and approval by owners, consultants, contractors, governmental agencies, vendors and other personnel only in accordance with this Plan.

© Copyright RSP Architects 2013. All rights reserved.

No.	Rev.	Date	Description

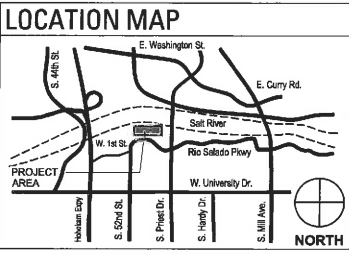
L002



1 OVERALL SITE PLAN
SCALE: 1"=100'

PLANT LEGEND:

SYMBOL	TYPE	SIZE	PHASE TOTAL QTY.	REMARKS	SYMBOL	TYPE	SIZE	PHASE TOTAL QTY.	
TREES					Shrubs				
◉	Acacia willardiana Palo Blanco	24" Box	65		⊙	Ambrosia deltoidea	1 Gallon	777	
◉	Senecio Anemoides	15 Gallon	118	multi-trunk / low break	⊙	Burnage	1 Gallon	143	
◉	Asparagus Oriental	36" Box	29	multi-trunk / low break	⊙	Calliandra eriophylla Native Fairy Duster	1 Gallon	77	
◉	Cardinalis floridum Blue Palo Verde	24" Box	143	multi-trunk / low break	⊙	Concha Jacarant Texas Olive	5 Gallon	1110	
◉	Cúclepe Inopis Desert Willow	24" Box	9	multi-trunk / low break	⊙	Dioscorea villosa Hip Bush	1 Gallon	90	
◉	Dalbergia Sissoo	48" Box	4	multi-trunk / low break	⊙	Encelia farinosa Britton Bush	1 Gallon	358	
◉	Sisera Tree	36" Box	2	multi-trunk / low break	⊙	Ericameria laevigata Turpentine Bush	1 Gallon	290	
◉	Chryse tasota Ironwood	36" Box	801	multi-trunk / low break	⊙	Justicia californica Chippinose	1 Gallon	00	
◉	Pithecolobium birtchcava Texas Ebony	36" Box	451	multi-trunk / low break	⊙	Justicia spinigera Mexican Honey-suckle	1 Gallon	169	
◉	Prosopis juliflora Phoenix Thornless Hybrid Mesquite	36" Box			⊙	Leucaena montevideoensis New Gold	1 Gallon	63	
◉	Thornless Sonoran Palo Verde	36" Box			⊙	Leucaena montevideoensis Purple Trailing Lentana	1 Gallon	257	
					Groundcovers/Vines				
⊙	Agave argus/abilis	5 Gallon	147		⊙	Belerya multiflora Desert Marigold	1 Gallon	639	
⊙	Agave leionotum Cowtown Agave	5 Gallon	00		⊙	Panicum pennifolium Perry's Penstemon	1 Gallon	83	
⊙	Albizia lebbekoides Yellow Blooming Aloe	5 Gallon	1110		⊙	Salvia greggii Purple Heart	1 Gallon	80	
⊙	Acrocalyx subulata Desert Milkweed	1 Gallon	215		⊙	Parthenocissus sp. Hardacre Creeper	5 Gallon	33	
⊙	Bouteloua curtipendula Silocoria Grama	1 Gallon	405		NOTE: SEE MATERIAL FINISH SCHEDULE FOR PRE-CAST POT/PLANTERS PLANTING SCHEDULE.				
⊙	Caryophyllus acutifolius Green Desert Spoon	1 Gallon	716						
⊙	Euphorbia antipathoides Candallia	5 Gallon	1393						
⊙	Fouquieria splendens Coccoloba	9" 8" Height	15						
⊙	Hesperaloe parviflora Brakelights	3 Gallon	1505						
⊙	Hesperaloe parviflora Giant Hesperaloe	5 Gallon	90						
⊙	Hesperaloe parviflora Giant Hesperaloe	5 Gallon	112						
⊙	Couratima angustifolia Engelmann's Prickly Pear	5 Gallon	53						
⊙	Frodiumium macrocarpum Sloper Plant	5 Gallon	290						
⊙	Yucca baccata Banana Yucca	5 Gallon	380						
⊙	Yucca elata Sagebrush Yucca	5 Gallon	30						
⊙	Yucca pacifica Pale Leaf Yucca	5 Gallon	60						



RSP ARCHITECTS
502 S. College Avenue
Suite 203
Tampa, AZ 85081
408.888.2500
408.888.2599 fax
www.rsparch.com

TRUEFORM
landscape architects studio
3025 north 15th street
phoenix, az 85014
1.480.362.4344
www.trueformaz.com



I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed Architect under the laws of the State of Arizona.

Signatures
Registration No.
Date
Project No. 6364.032.00



LIBERTY CENTER AT RIO SALADO

Project No. 6364.032.00
Drawn By
Checked By
Date 04/02/2014

Mark	Date	Description

ENLARGED LANDSCAPE SITE PLAN-EAST

L003