

**CITY OF TEMPE
DEVELOPMENT REVIEW COMMISSION**

**Meeting Date: 01/13/2015
Agenda Item: 2**

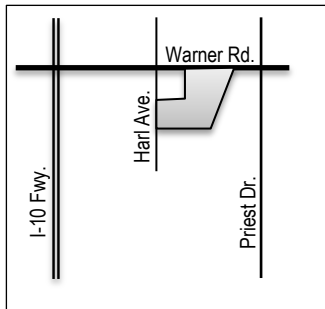
ACTION: Request for a Development Plan Review consisting of a new restaurant building for TILTED KILT, located at 1617 West Warner Road. The applicant is Big Red Rooster Architecture.

FISCAL IMPACT: There is no fiscal impact on City funds.

RECOMMENDATION: Staff – Approval, subject to conditions

BACKGROUND INFORMATION: TILTED KILT (PL140358) will consist of a single-story, 10,985 square-foot restaurant and conference building. The site is currently vacant and has shared access with an adjoining lot that is also vacant. This site received Development Plan Review approval in 2013 for a new two-story restaurant and office headquarters. The owner has modified the plans to reduce the area of development and building size for a restaurant/conference use only. The request includes the following:

DPR14275 Development Plan Review including site plan, building elevations, and landscape plan.



Property Owner	TKFO Land Company
Applicant	Zaid Al-Mawsawi, Big Red Rooster Architecture
Current Zoning District	PCC-1 (Planned Commercial Center Neighborhood) within Southwest Tempe Overlay District
Gross/Net site area	2.61 acres
Total Building area	10,985 s.f.
Lot Coverage	9.7 % (50% max. allowed)
Building Height	31 ft. (35 ft. max + 25 ft. with overlay = 60 ft.)
Building Setbacks	83' north, 149' south, 83' west, 85' east (0', 30', 0', 30' min.)
Landscape area	29% (15% min. required)
Parking lot landscape area	24% (10% min. required)
Vehicle Parking	151 spaces provided (150 min. required, 188 max allowed)
Bicycle Parking	20 spaces provided (11 min. required)

ATTACHMENTS: Development Project File

STAFF CONTACT(S): Karen Stovall, Senior Planner (480) 350-8432

Department Director: Dave Nakagawara, Community Development Director
 Legal review by: N/A
 Prepared by: Karen Stovall, Senior Planner

COMMENTS:

This site is located approximately 400 feet west of the southwest corner of Priest Drive and Warner Road, within the Agave Business Center. The property wraps around the immediate southeast corner of Harl Avenue and Warner Road and fronts on both streets. Immediately east of the site is the Highline Canal, an open irrigation waterway operated by Salt River Project. At the immediate southeast corner of Harl Avenue and Warner Road is a vacant site that was approved in 2013 for a multi-tenant restaurant/retail building with a drive-through lane.

This property received approvals in 2013 to allow a new 21,000 square-foot, two-story restaurant building and office headquarters. Existing entitlements for this property include:

- ZUP13150: Use Permit to exceed the maximum parking spaces (125%) from 214 to 254 spaces.
- ZUP13151: Use Permit to allow live entertainment.
- DPR13197: Development Plan Review including site plan, building elevations, and landscape plan.

Since the 2013 approvals, the property owner has modified the proposal to reduce the area of development and building size. The Use Permit to allow live entertainment will remain in effect.

This request includes the following:

Development Plan Review approval, including site plan, building elevations, and landscape plan for a new 10,985 square foot, single-story restaurant and conference building.

PUBLIC INPUT

A neighborhood meeting was not required. As of the completion of this report, staff has not received any input from the public.

PROJECT ANALYSIS

DEVELOPMENT PLAN REVIEW

The proposed development consists of a new single-story, 10,985 square-foot commercial building. The restaurant use will occupy 9,409 square feet of the building with the remaining 1,576 square feet reserved for conference space. The property is currently vacant with improvements provided along both perimeter street frontages and an existing deceleration lane at a shared entrance to the site on Warner Road.

Site Plan

The plan identifies two driveways on Warner Road. Along the east property line, adjacent to the Highline Canal, is a dedicated 25-foot bike path easement. The easement is located on this site and is reserved for future use by the City of Tempe to allow improvements for a multi-modal path connecting to the rest of the canal path system. A condition has been added to require a pathway from the building to the future improvements along the canal. The primary entrance is on the north side of the building, and a secondary entrance is provided on the west. An open patio is located at the northeast corner of the building. The service yard is located at the southwest corner of the building.

The new building is located in the north and east portion of the site with parking surrounding it. The western .86 acres of the site will remain undeveloped. The owner intends to split the property and create a separate lot that will front on Harl Avenue. This lot will be dustproofed until developed. The design of the parking lot allows the drive aisles to continue west when the remainder of the site is developed. A condition will require a paved drive aisle along the north edge of the undeveloped portion of the site and a driveway from the property to Harl Avenue to allow vehicles to access the traffic signal at Harl and Warner.

Building Elevations

The building design incorporates sand pebble finished E.I.F.S, beige in color, with column accents of stone veneer. This same stone veneer wraps the entire base of the building and is carried up all sides of the primary building entrance. Windows are shaded by fabric canopies. The roof is finished with a copper colored coping. The dining patio on the northeast corner of the building and the service yard at the southwest corner of the building are covered with standing seam metal roofs.

Landscape Plan

The landscape palette along Warner Road is designed to comply with the CC&Rs established for the commercial center's properties, preserving the existing Mesquite and Evergreen Elm trees, while incorporating the project's plant palette as a transition to the interior of the site. Low growing shrubs/ground cover plants are proposed in the parking lot and adjacent to walkways surrounding the building.

Section 6-306 D Approval criteria for Development Plan Review (*in italics*):

1. *Placement, form, and articulation of buildings and structures provide variety in the streetscape; the proposed building provides articulation along the street frontage and all sides.*
2. *Building design and orientation, together with landscape, combine to mitigate heat gain/retention while providing shade for energy conservation and human comfort; the outdoor dining area is well shaded by the building and metal roof. The 24% area parking lot landscaping is well in excess of the minimum 10% required by the Zoning and Development Code.*
3. *Materials are of a superior quality, providing detail appropriate with their location and function while complementing the surroundings; the proposed materials are compatible with the surroundings and appropriate to their function.*
4. *Buildings, structures, and landscape elements are appropriately scaled, relative to the site and surroundings; the building and landscape elements are appropriately scaled to the site.*
5. *Large building masses are sufficiently articulated so as to relieve monotony and create a sense of movement, resulting in a well-defined base and top, featuring an enhanced pedestrian experience at and near street level; building design consists of a defined base and top with clear pedestrian connectivity to the entrances. A condition of approval will require windows on the east elevation to break up the blank building wall.*
6. *Building facades provide architectural detail and interest overall with visibility at street level (in particular, special treatment of windows, entries and walkways with particular attention to proportionality, scale, materials, rhythm, etc.) while responding to varying climatic and contextual conditions; architectural details are appropriate to the scale and context of the development. Window treatments enhance the interest of the building and respond to climatic conditions to provide shade on the interior of the building.*
7. *Plans take into account pleasant and convenient access to multi-modal transportation options and support the potential for transit patronage; the site design provides for convenient vehicular and pedestrian access from the public way to building entrances. A condition of approval will ensure a connection between the building and the multi-modal path along the canal.*
8. *Vehicular circulation is designed to minimize conflicts with pedestrian access and circulation, and with surrounding residential uses; the site will utilize an existing shared access drive and one new driveway along Warner Road. Clearly defined pedestrian walkways are provided from the street to the building and between the subject site and the undeveloped site to the west.*
9. *Plans appropriately integrate Crime Prevention Through Environmental Design principles such as territoriality, natural surveillance, access control, activity support, and maintenance; the design complies with CPTED principles.*

10. *Landscape accents and provides delineation from parking, buildings, driveways and pathways; areas are delineated with the required landscape for the project as well as additional landscaping adjacent to the dining patios and building entrances.*
11. *Signs have design, scale, proportion, location and color compatible with the design, colors, orientation and materials of the building or site on which they are located; n/a*
12. *Lighting is compatible with the proposed building(s) and adjoining buildings and uses, and does not create negative effects; lighting will comply with the Zoning and Development Code.*

Conclusion

Based on the information provided and the above analysis, staff recommends approval of the requested Development Plan Review. This request meets the required criteria and will conform to the conditions.

REASONS FOR APPROVAL:

1. The project meets the General Plan Projected Land Use for this site.
2. The project will meet the development standards required under the Zoning and Development Code.
3. The proposed project meets the approval criteria for Development Plan Review.

DPR14275

CONDITIONS OF APPROVAL

1. Development shall be in substantial conformance to the site plan, floor plan, and building elevations dated December 19, 2014 and the landscape plan dated December 23, 2014. Minor modifications may be reviewed through the plan check process of construction documents; major modifications will require submittal of a Development Plan Review.

Site Plan

2. The front parking curb along Warner Road shall be setback or aligned with the private 30' wide landscape easement for the street frontage.
3. An existing cross access agreement between adjoining properties to the south shall be abandoned. Otherwise, the site plan shall be modified to accommodate cross access between the properties. Termination of such easement shall be provided to the Community Development Department prior to receiving building permits.
4. Prior to issuance of Certificate of Occupancy, provide verification of cross access agreement for shared driveways to the development site.
5. Development shall include a two-way paved drive aisle along the north edge of the undeveloped portion of the site and a driveway on Harl Avenue.
6. Provide 8'-0" wide public sidewalk along arterial roadways, or as required by Traffic Engineering Design Criteria and Standard Details. Sidewalk details and connection to the public sidewalk shall be consistent with the Southwest Tempe Overlay District sidewalk detail T-351.
7. Provide upgraded paving at each driveway entrance consisting of exposed aggregate, to match sidewalk details of the overlay district. Extend this paving in the driveway from the right-of-way line to 20' on site and from curb to curb at the drive edges. From sidewalk to right-of-way line, extend paving to match sidewalk.
8. A pathway shall be provided from the building to the canal easement along the east property line.
9. Provide gates of steel vertical picket, steel mesh, steel panel or similar construction. Where a gate has a screen function and is completely opaque, provide vision portals for visual surveillance. Provide gates of height that match that of the

adjacent enclosure walls. Review gate hardware with Building Safety and Fire staff and design gate to resolve lock and emergency ingress/egress features that may be required.

10. Utility equipment boxes for this development shall be finished in a neutral color (subject to utility provider approval) that compliments the coloring of the buildings.
11. Place exterior, freestanding reduced pressure and double check backflow assemblies in pre-manufactured, pre-finished, lockable cages (one assembly per cage). If backflow prevention or similar device is for a 3" or greater water line, delete cage and provide a masonry or concrete screen wall following the requirements of Standard Detail T-214.

Floor Plans

12. Public Restroom Security:
 - a. Lights in restrooms:
 - 1) Provide 50% night lights
 - 2) Activate by automatic sensors, key or remote control mechanism
 - b. Single user restroom door hardware:
 - 3) Provide a key bypass on the exterior side

Building Elevations

13. The materials and colors are approved as presented:
 - Steel canopy and site metals – Sherwin Williams – Black Magic SW6991
 - Pilaster caps, panel accent windows, standing seam metal roof – Sherwin Williams – Roycroft Bottle Green SWF-2847
 - Metal doors, frames, E.I.F.S. alternative – Sherwin Williams – Modern Gray SW7632
 - Roof coping – Atas – Coppertone 23
 - E.I.F.S – DRYVIT – Van Dyke (DV110), sand pebble finish
 - Stone veneer – Landmark Stone by Glen-Gery – Southern Malt Cut Cobble
 - Concrete cap – Landmark Stone by Glen-Gery – Buff
 - Window awnings – Glen-Raven Firesist – Huv Forest Green 82002-0000 with black piping accent

Provide main colors and materials with a light reflectance value of 75 percent or less. Specific colors and materials exhibited on the materials sample board are approved by planning staff. Additions or modifications may be submitted for review during building plan check process.

14. Add windows to the east building elevation to break up the flat, blank façade.
15. Provide secure roof access from the interior of the building. Do not expose roof access to public view.
16. Conceal roof drainage system within the interior of the building.
17. Incorporate lighting, address signs, and incidental equipment attachments (alarm klaxons, security cameras, etc.) where exposed into the design of the building elevations. Exposed conduit, piping, or related materials is not permitted.
18. Locate the electrical service entrance section (S.E.S.) currently shown on the west side of the building either inside the building or inside the service yard.
19. Upper/lower divided glazing panels in exterior windows at grade level, where lower glass panes are part of a divided pane glass curtain-wall system, shall be permitted only if laminated glazing at these locations is provided.

Landscape

20. Irrigation notes:
 - a. Provide dedicated landscape water meter.
 - b. Provide pipe distribution system of buried rigid (polyvinylchloride), not flexible (polyethylene). Use of schedule 40 PVC mainline and class 315 PVC 1/2" feeder line is acceptable. Class 200 PVC feeder line may be used for sizes greater than 1/2". Provide details of water distribution system.

- c. Locate valve controller in a vandal resistant housing.
 - d. Hardwire power source to controller (a receptacle connection is not allowed).
 - e. Controller valve wire conduit may be exposed if the controller remains in the mechanical yard.
 - f. Repair existing irrigation system on site or in the adjacent public right of ways where damaged by work of this project. Provide temporary irrigation to existing landscape for period of time that irrigation system is out of repair. Design irrigation so existing plants on site or in frontages are irrigated as part of the reconfigured system at the conclusion of this construction.
21. Include requirement to de-compact soil in planting areas on site and in public right of way and remove construction debris from planting areas prior to landscape installation.
 22. Top dress planting areas with a rock or decomposed granite application. Provide rock or decomposed granite of 2" uniform thickness. Provide pre-emergence weed control application and do not underlay rock or decomposed granite application with plastic.
 23. Trees shall be planted a minimum of 20'-0" from any existing or proposed public water or sewer lines. The tree planting separation requirements may be reduced from the waterline upon the installation of a linear root barrier, a minimum of 6'-0" parallel from the waterline, or around the tree. The root barrier shall be a continuous material, a minimum of 0.08" thick, installed 0'-2" above finish grade to a depth of 8'-0" below grade. Final approval subject to determination by the Public Works, Water Utilities Division.

Signage

24. Provide address sign on the building elevation facing the street to which the property is identified.
 - a. Conform to the following for building address signs:
 - 1) Provide street number only, not the street name
 - 2) Compose of 12" high, individual mount, metal reverse pan channel characters.
 - 3) Self-illuminated or dedicated light source.
 - 4) Coordinate address signs with trees, vines, or other landscaping, to avoid any potential visual obstruction.
 - 5) Do not affix number or letter to elevation that might be mistaken for the address.
 - b. Utility meters shall utilize a minimum 1" number height in accordance with the applicable electrical code and utility company standards.

CODE/ORDINANCE REQUIREMENTS:

THE BULLETED ITEMS REFER TO EXISTING CODE OR ORDINANCES THAT PLANNING STAFF OBSERVES ARE PERTINENT TO THIS CASE. THE BULLET ITEMS ARE INCLUDED TO ALERT THE DESIGN TEAM AND ASSIST IN OBTAINING A BUILDING PERMIT AND ARE NOT AN EXHAUSTIVE LIST.

- Development plan approval shall be void if the development is not commenced or if an application for a building permit has not been submitted, whichever is applicable, within twelve (12) months after the approval is granted or within the time stipulated by the decision-making body. The period of approval is extended upon the time review limitations set forth for building permit applications, pursuant to Tempe Building Safety Administrative Code, Section 8-104.15. An expiration of the building permit application will result in expiration of the development plan.
- Specific requirements of the **Zoning and Development Code (ZDC)** are not listed as a condition of approval, but will apply to any application. To avoid unnecessary review time and reduce the potential for multiple plan check submittals, become familiar with the ZDC. Access the ZDC through www.tempe.gov/zoning or purchase from Community Development.
- **SITE PLAN REVIEW:** Verify all comments by the Public Works Department, Community Development Department, and Fire Department given on the Preliminary Site Plan Review. If questions arise related to specific comments, they should be directed to the appropriate department, and any necessary modifications coordinated with all concerned parties, prior to application for building permit. Construction Documents submitted to the Building Safety Division will be reviewed by planning staff to ensure consistency with this Design Review approval prior to issuance of building permits.

- STANDARD DETAILS:
 - Access to Tempe Supplement to the M.A.G. Uniform Standard Details and Specifications for Public Works Construction, at this link: www.tempe.gov/index.aspx?page=2147 or purchase book from the Public Works Engineering Division.
 - Access to refuse enclosure details and all other Building Safety forms at this link: www.tempe.gov/index.aspx?page=1033. The enclosure details are under Civil Engineering & Right of Way.
- BASIS OF BUILDING HEIGHT: Measure height of buildings from top of curb at a point adjacent to the center of the front property line.
- WATER CONSERVATION: Under an agreement between the City of Tempe and the State of Arizona, Water Conservation Reports are required for landscape and domestic water use for the non-residential components of this project. Have the landscape architect and mechanical engineer prepare reports and submit them with the construction drawings during the building plan check process. Report example is contained in Office Procedure Directive # 59. Refer to this link: www.tempe.gov/modules/showdocument.aspx?documentid=5327. Contact Public Works Department, Water Conservation Division with questions regarding the purpose or content of the water conservation reports.
- HISTORIC PRESERVATION: State and federal laws apply to the discovery of features or artifacts during site excavation (typically, the discovery of human or associated funerary remains). Contact the Historic Preservation Officer with general questions. Where a discovery is made, contact the Arizona State Historical Museum for removal and repatriation of the items.
- SECURITY REQUIREMENTS:
 - Design building entrances to maximize visual surveillance of vicinity. Limit height of walls or landscape materials, and design columns or corners to discourage opportunity for ambush opportunity. Maintain distances of 20'-0" or greater between a pedestrian path of travel and any hidden area to allow for increased reaction time and safety.
 - Follow the design guidelines listed under appendix A of the Zoning and Development Code. In particular, reference the CPTED principal listed under A-II Building Design Guidelines (C) as it relates to the location of pedestrian environments and places of concealment.
 - The Owner is required to update the security plan with the Police Department. The architect should be involved to verify any modification that would require design revisions. To avoid revisions to permitted construction documents, initial meetings with the Police Department regarding the security plan are recommended before building permits are issued. At a minimum, the Owner shall contact the Police Department to begin security plan process approximately eight weeks prior to receipt of certificate of occupancy.
 - Provide a security vision panel at service and exit doors (except to rarely accessed equipment rooms) with a 3" wide high strength plastic or laminated glass window, located between 43" and 66" from the bottom edge of the door.
- FIRE:
 - Clearly define the fire lanes. Ensure that there is at least a 20'-0" horizontal width, and a 14'-0" vertical clearance from the fire lane surface to the underside of tree canopies or overhead structures. Layout and details of fire lanes are subject to Fire Department approval.
 - Provide a fire command room(s) on the ground floor of the building(s). Verify size and location with Fire Department.
- ENGINEERING:
 - Underground utilities except high-voltage transmission line unless project inserts a structure under the transmission line.
 - Coordinate site layout with Utility provider(s) to provide adequate access easement(s).
 - Clearly indicate property lines, the dimensional relation of the buildings to the property lines and the separation of the buildings from each other.
 - Verify location of any easements, or property restrictions, to ensure no conflict exists with the site layout or foundation design.

- 100 year onsite retention required for this property, coordinate design with requirements of the Engineering Department.
- REFUSE:
 - Enclosure indicated on site plan is exclusively for refuse. Construct walls, pad and bollards in conformance with standard detail DS-116.
 - Contact Public Works Sanitation Division to verify that vehicle maneuvering and access to the enclosure is adequate.
 - Develop strategy for recycling collection and pick-up from site with Sanitation. Roll-outs may be allowed for recycled materials. Coordinate storage area for recycling containers with overall site and landscape layout.
 - Gates for refuse enclosure(s) are not required, unless visible from the street. If gates are provided, the property manager must arrange for gates to be open from 6:00am to 4:30pm on collection days.
- DRIVEWAYS:
 - Construct driveways in public right of way in conformance with Standard Detail T-320. Alternatively, the installation of driveways with return type curbs as indicated, similar to Standard Detail T-319, requires permission of Public Works, Traffic Engineering.
 - Correctly indicate clear vision triangles at both driveways on the site and landscape plans. Identify speed limits for adjacent streets at the site frontages. Begin sight triangle in driveways at point 15'-0" in back of face of curb. Consult Intersection Sight Distance memo, available from Traffic Engineering if needed www.tempe.gov/index.aspx?page=801 . Do not locate site furnishings, screen walls or other visual obstructions over 2'-0" tall (except canopy trees are allowed) within each clear vision triangle.
- PARKING SPACES:
 - Verify conformance of accessible vehicle parking to the Americans with Disabilities Act and the Code of Federal Regulations Implementing the Act. Refer to Building Safety ADA Accessible Parking Spaces Marking/Signage on Private Development details.
 - At parking areas, provide demarcated accessible aisle for disabled parking.
 - Distribute bike parking areas nearest to main entrances. Provide parking loop/rack per standard detail T-578. Provide 2'-0" by 6'-0" individual bicycle parking spaces. One loop may be used to separate two bike parking spaces. Provide clearance between bike spaces and adjacent walkway to allow bike maneuvering in and out of space without interfering with pedestrians, landscape materials or vehicles nearby.
- LIGHTING:
 - Design site security light in accordance with requirements of ZDC Part 4 Chapter 8 (Lighting) and ZDC Appendix E (Photometric Plan).
 - Indicate the location of all exterior light fixtures on the site, landscape and photometric plans. Avoid conflicts between lights and trees or other site features in order to maintain illumination levels for exterior lighting.
- LANDSCAPE:
 - Prepare an existing plant inventory for the site and adjacent street frontages. The inventory may be prepared by the Landscape Architect or a plant salvage specialist. Note original locations and species of native and "protected" trees and other plants on site. Move, preserve in place, or demolish native or "protected" trees and plants per State of Arizona Agricultural Department standards. File Notice of Intent to Clear Land with the Agricultural Department. Notice of Intent to Clear Land form is available at www.azda.gov/ESD/nativeplants.htm . Follow the link to "applications to move a native plant" to "notice of intent to clear land".
- SIGNS: Separate Development Plan Review process is required for signs in accordance with requirements of ZDC Part 4 Chapter 9 (Signs). Obtain sign permit for identification signs. Directional signs (if proposed) may not require a sign permit. Directional signs are subject to review by planning staff during plan check process.

HISTORY & FACTS:

December 10, 2013

Development Review Commission approved the following for TILTED KILT HEADQUARTERS (PL130234):

ZUP13150 – Use Permit to exceed the maximum parking spaces (125%) from 214 to 254

ZUP13151 – Use Permit to allow live entertainment.

DPR13197 – Development Plan Review including site plan, building elevations, and landscape plan for a new, two-story restaurant building and office headquarters.

ZONING AND DEVELOPMENT CODE REFERENCE:

Section 6-306, Development Plan Review



DEVELOPMENT PROJECT FILE

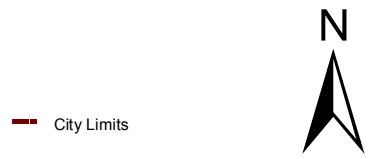
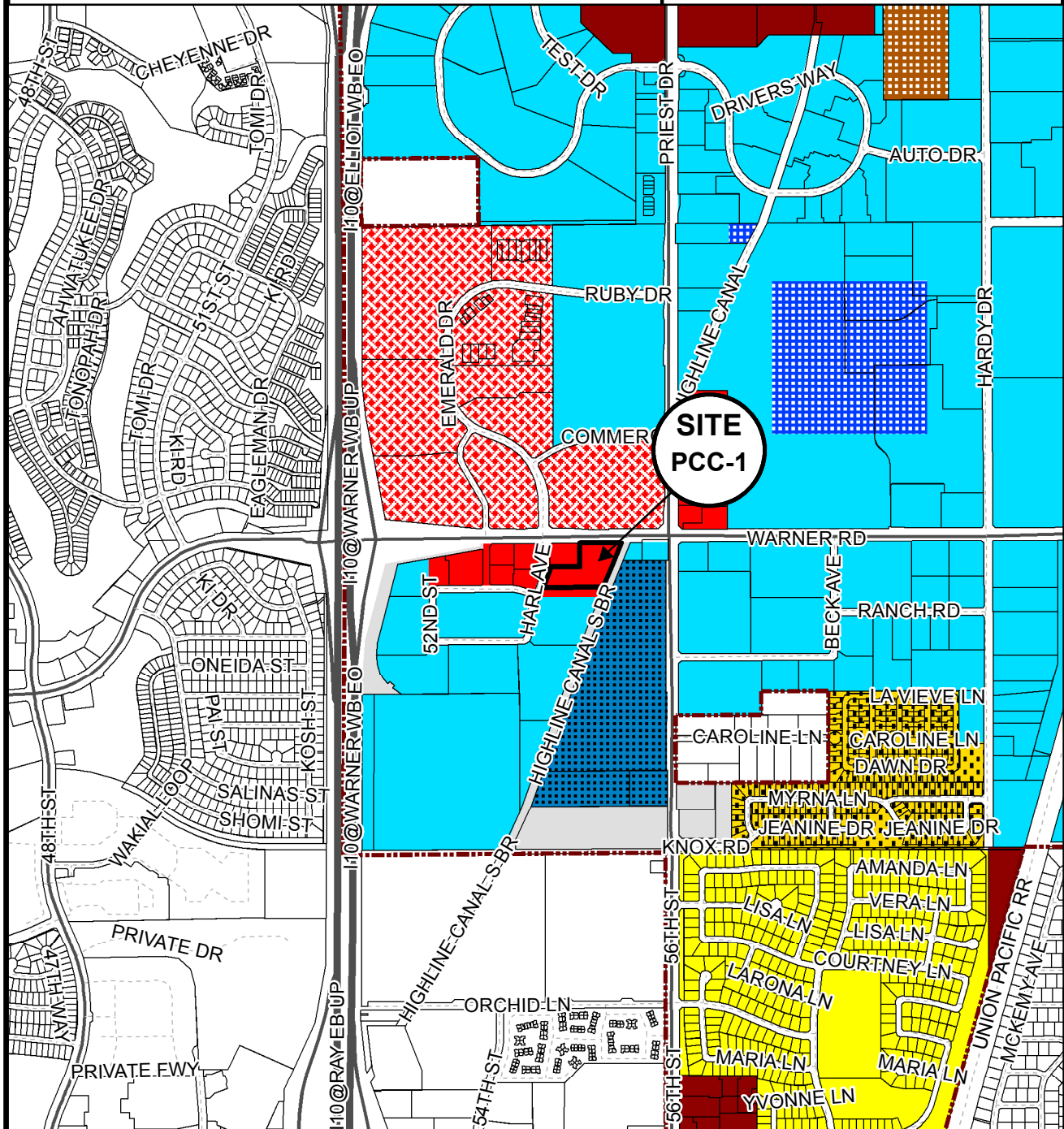
for
TILTED KILT
(PL140358)

ATTACHMENTS:

1. Location Map
2. Aerial
- 3-4. Letter of Explanation
4. Cover Sheet
5. Site Plan
6. Building Elevations
7. Colored Building Elevations
8. Floor Plan
- 9-10. Landscape Plan
11. Landscape Legend
12. Material Sample Board

TILTED KILT

PL140358



Location Map

TILTED KILT

PL140358



AERIAL MAP

TILTED KILT PUB AND EATERY LETTER OF EXPLANATION

Date: December 16, 2014

Location: 1617 W. Warner Road, Tempe, AZ 85284

Uses: A restaurant and training facility for future Tilted Kilt Franchises. (Approximately 10,400 SF)

Number of Employees: 100

Exterior Materials:

Exterior materials to include synthetic stone accents. Stucco and EIFS exterior walls, painted metal fence patio enclosure, standing seam roof at covered patio enclosure. Doors and window frames to be painted metal. (See exterior elevations)

The design of the Tilted Kilt Corporate Pub and Eatery address design issues and address design standards and criteria in the following way:

- A. Shade is provided in an outdoor/indoor dining area that connects to the outdoor patio dining area, and is covered with a brand typical green standing seam roof. The indoor/outdoor seating area is enclosed by operable full height overhead doors which can be left open in milder temperatures with minimal required mechanical air conditioning, and even left open in warmer months with the aid of swamp cooler cooling. Also shade structure will be incorporated for the outdoor dining area.
- B. Materials will be of superior quality, with synthetic stone used as a wainscot, and at pilaster features. Wall finish will be of synthetic stucco for less hair line cracking, over steel studs for optimum performance and weathering capability. Colors are earth tones compatible with the surrounding. Windows at street front will be true divided light windows, in keeping with the brand of Tilted Kilt, and providing an interesting detailed façade.
- C. Landscaping will be primarily of native plant material. Scale will be in keeping of surrounding landscaping and within requirements of the Agave HOA requirements.
- D. Large building mass is broke up by varying façade materials, color and texture. Vertical structural elements and pilasters break up horizontal lines. Subtle color variations and stucco reveals break up building mass even further.
- E. Base of building is defined by wainscot finishes, top of building is detailed with cornice.

BIG RED ROOSTER

- F. Windows at restaurant create visual interest and provide for natural surveillance and visibility.
- G. As permissible, onsite utilities will be place underground.
- H. Parking areas at the front and rear of building will be well lit, and provide clear well-lit path to the restaurant. A well-lit path of travel will connect the site and front parking to the sidewalk on Warner Road.
- I. Accessibility is provided per ADA, inside of building as well as access throughout the site. ADA compliant path to public is provided from restaurant entry to Warner Road.
- J. Plan provides easy access to public way and to access public transportation. Bike racks are placed at front and rear entry of building to service both restaurant patrons to encourage bicycle use.
- K. Vehicular circulation is dispersed through 2 driveway entries, along Warner Road designed per City of Tempe transportation guidelines. An unobstructed accessible sidewalk is provided around the entire perimeter of the building to help avoid auto/pedestrian conflicts.
- L. Bicycle racks/parking is provided out of auto circulation at the north and south entry to the building at plazas adjacent to the entries.
- M. Plans and site affords good visibility of entire site and provides natural surveillance, with clear visual connection from the public way, and parking lot to building entries.
- N. Landscape separates and accents building, driveway and pedestrian walkways providing a break in hardscape adjacent to building and enhanced landscaping around outdoor dining areas. Also landscape planters are dispersed throughout the parking lot per City of Tempe requirements.
- O. Lighting is designed per City of Tempe's Planning requirements. Site lighting provides adequate lighting to ensure public safety. Building lighting is designed to accent building, and provide lighting for pedestrians at adjacent sidewalk.
- P. Signs will be addressed in separate submittal.
- Q. An 8,000 sq.ft. Office building is proposed on the under developed portion of the site which is approximate 37,360 sq.ft. It is the owner's intent to subdivide the lot at a future date.

Best Regards,



Zaid Q Al-Mawsawi

BIG RED ROOSTER

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480.626.6304 main | 480.626.6312 fax
zalmawsawi@bigredrooster.com | www.bigredrooster.com

Tilted KILT PUB & EATERY

1617 WEST WARNER ROAD
TEMPE, AZ 85284



PROJECT DATA

ALL CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING CODES AND CITY OF TEMPE AMENDMENTS PER THEIR ADOPTIVE ORDINANCES:
2009 INTERNATIONAL BUILDING CODE
2009 INTERNATIONAL MECHANICAL CODE
2006 INTERNATIONAL FIRE CODE
2009 INTERNATIONAL PLUMBING CODE
2008 NATIONAL ELECTRIC CODE
2009 I.E.C.C.
2010 ADA - IBC CHAPTER 11 AMENDMENT

NOTE: ALL APPLICABLE BUILDING/TECHNICAL CODES TO INCLUDE ALL CITY, COUNTY AND STATE AMENDMENTS.
NEW GROUND-UP FOR RESTAURANT OFFICE

SCOPE
CONSTRUCTION TYPE: I-B
OCCUPANCY: MIXED (A2 RESTAURANT, B)
BUILDING HEIGHT: MAXIMUM HEIGHT = 8'-0"; PROPOSED HEIGHT = 3'-1"
ZONING: EXISTING AND PROPOSED ZONE PCC-1 (PLANNED COMMERCIAL CENTER NEIGHBORHOOD)
APN 301-59-508, APN 301-59-844

PARCEL #
GROSS SITE AREA: 171,218 S.F. (3.93 ACRES)
NET SITE AREA: 113,513 S.F. (2.61 ACRES)
UNDEVELOPED AREA: 37,628 S.F. (0.87 ACRES)

TOTAL BUILD. FOOT PRINT 10985 S. F.
TOTAL BUILD. FOOT PRINT 11
ON-SITE LANDSCAPE AREA 23744 S.F.
PARKING LOT LANDSCAPE AREA 27448 S.F.
AUTOMATIC SPRINKLER SYSTEM PER 2002 NFPA (13)

AREA CALCULATIONS
BUILDING: 10,985 SF GROSS
PATIO: 2,139 SF

TOTAL AREA: 13,124 SF
LOT SIZE: 2.6089 ACRES = 113,513 SF
LOT COVERAGE: 13,124 / 113,513 = 9.362 OR 10 PERCENT

NORTH SETBACK: 3'
WEST SETBACK: 3'
EAST SETBACK: 25'-3"

LEGAL DESCRIPTION

LOTS 5 AND 6, AGAVE CENTER, ACCORDING TO BOOK 498 OF MAPS, PAGE 8, AND LOT 1, AGAVE CENTER LOTS 7 & 8, ACCORDING TO BOOK 101 OF MAPS, PAGE 21, RECORDS OF MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
THOSE PORTIONS OF LOT 5, AGAVE CENTER, ACCORDING TO BOOK 498 OF MAPS, PAGE 8, AND LOT 1, AGAVE CENTER LOTS 7 & 8, ACCORDING TO BOOK 101 OF MAPS, PAGE 21, RECORDS OF MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGINNING AT THE MOST WESTERLY NORTHWEST CORNER OF SAID LOT 5
THENCE NORTH 46°28' 48" EAST, ALONG THE NORTHWESTERLY LINE OF SAID LOT 5, A DISTANCE OF 28.28 FEET TO THE MOST NORTHERLY NORTHWEST CORNER OF SAID LOT 5
THENCE NORTH 87°24' 48" EAST, ALONG THE NORTHERLY LINE OF SAID LOT 5, A DISTANCE OF 236.07 FEET TO THE NORTHEAST CORNER OF SAID LOT 5
THENCE SOUTH 0°31' 12" EAST, ALONG THE EAST LINE OF SAID LOT 5, A DISTANCE OF 189.53 FEET TO THE WEST LINE OF SAID LOT 1
THENCE SOUTH 89°28' 48" WEST, LEAVING SAID EAST LINE, A DISTANCE OF 256.07 FEET TO A POINT ON THE WEST LINE OF SAID LOT 1
THENCE NORTH 0°31' 12" WEST, ALONG SAID WEST LINE OF LOT 1 AND THE WEST LINE OF SAID LOT 5, A DISTANCE OF 179.53 FEET TO THE POINT OF BEGINNING.
SAID PARCEL CONTAINS 151,136 SQUARE FEET OR 3.486 ACRES MORE OR LESS.

MUNICIPAL REVIEW: _____ CITY OF TEMPE
D.C. COMPLIANCE: REFER TO PROJECT TEAM ON THIS SHEET

THE GENERAL CONTRACTOR SHALL VISIT THE PREMISES AND VERIFY ALL CONDITIONS PRIOR TO START OF CONSTRUCTION AND SHALL REPORT ALL DISCREPANCIES TO ARCHITECT. THE GENERAL CONTRACTOR SHALL COMPLY TO ALL REQUIREMENTS REGARDING CONSTRUCTION PROCEDURES, INSURANCE, ETC., AS SET FORTH BY THE OWNER. GC TO VERIFY THE EXACT LOCATION OF ALL UTILITY P.O.C., ETC.

FIRE SPRINKLES:
AN AUTOMATIC FIRE SPRINKLER SYSTEM EXISTS WITHIN THE SPACE. THE GENERAL CONTRACTOR SHALL EMPLOY THE SERVICES OF THE LANDSCAPER, OR ANOTHER LICENSED FIRE SPRINKLER CONTRACTOR TO DESIGN AND INSTALL THE NEW SYSTEM TO CONFORM WITH THE NEW ROOM AND CEILING HEIGHTS AS SHOWN IN THESE DRAWINGS. THE SPRINKLER CONTRACTOR SHALL DESIGN AND PREPARE SHOP DRAWINGS FOR THE PROPOSED SYSTEM MODIFICATIONS. SUBMIT THESE DRAWINGS TO THE BLDG. FIRE DEPT. THE ARCHITECT TO OBTAIN APPROVAL PRIOR TO COMMENCING ANY WORK. PUBLIC AREA HEADS TO BE CONCEALED TYPE IN BLACK COVERS AT DARK CEILING. UNITS AT LIGHT CEILING. CHROME IN TOILETS. HEADS IN NON-PUBLIC AREAS ARE TO BE SEMI-RECESSED. INSTALLATION IS TO INCLUDE ALL SITE WORK.

COMPLETE PLANS AND SPECIFICATIONS FOR FIRE EXTINGUISHING SYSTEMS, INCLUDING AUTOMATIC SPRINKLERS AND NET AND DRIP SYSTEMS, WASH DOWN SYSTEMS AND OTHER SPECIAL TYPES OF AUTOMATIC FIRE EXTINGUISHING SYSTEMS, BASEMENT FIRE INLETS, AND OTHER FIRE PROTECTION SYSTEMS AND APPURTENANCES THERE TO SHALL BE SUBMITTED TO FIRE AND LIFE SAFETY FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.

FIRE EXTINGUISHING SYSTEM SHALL BE IN ACCORDANCE WITH IFC SECTION 903.

FIRE ALARM:
THE GENERAL CONTRACTOR SHALL EMPLOY THE SERVICES OF A LICENSED FIRE ALARM CONTRACTOR TO DESIGN AND INSTALL NEW SYSTEM IN ALL REQUIRED LOCATIONS.
SIGNAGE:
OWNERS SIGNAGE CONTRACTOR SHALL PREPARE SIGNAGE SHOP DRAWINGS AND SUBMIT TO BUILDING DEPT. FOR APPROVAL. ALL SIGNAGE IS UNDER SEPARATE VENDOR.

PARKING CALCULATIONS

9409 SF = RESTAURANT 1/75 SF REQUIRED = 125.4 SPACES REQUIRED
1576 SF = CONFERENCE 1/125 SF REQUIRED = 12.6 SPACES REQUIRED
2139 SF = 300 SF = 1839 PATIO 1/150 SF REQ'D = 12.6 SPACES REQUIRED
1839 PATIO

TOTAL PARKING REQUIRED = 151 SPACES
ACCESSIBLE PARKING REQUIRED = 7 (2 VAN)
TOTAL PARKINGS PROVIDED = 151 SPACES
ACCESSIBLE PARKING PROVIDED = 8 (2 VAN)

BICYCLE PARKING REQUIREMENTS:
9409 SF = RESTAURANT 1/1000 SF REQUIRED = 9.4 SPACES REQUIRED
1576 SF = CONFERENCE 1/2000 SF REQUIRED = 1 SPACE REQUIRED
2139 SF = 300 SF = 1839 PATIO 1/5000 SF REQ'D = 1 SPACE REQUIRED
1839 PATIO = 1 SPACE REQUIRED
TOTAL BICYCLE PARKING REQUIRED = 12 SPACES
TOTAL BICYCLE PARKING PROVIDED = 20 SPACES
(10 AT NORTH ENTRY, 10 AT SOUTH ENTRY)

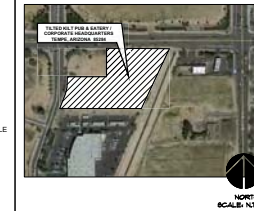
LANDSCAPE CALCULATIONS

LANDSCAPE REQUIREMENTS:
MINIMUM LANDSCAPE AREA REQUIRED (15 % OF NET SITE AREA) = 17,027 SF
MINIMUM LANDSCAPE AREA PROVIDED = 32,744 SF
MINIMUM PARKING LOT LANDSCAPE AREA REQUIRED = 11,078 SF
MINIMUM PARKING LOT LANDSCAPE AREA PROVIDED (15 % OF NET SITE AREA) = 27,545 SF

SHEET INDEX

- DR-0.0 TITLE SHEET
- DR-1.0 SITE PLAN
- DR-1.1 MASTER SITE DETAILS
- DR-2.0 FLOOR/CEILING PLAN
- DR-2.1 REFLECTED CEILING PLAN
- DR-2.2 ROOF PLAN
- DR-3.0 EXTERIOR ELEVATIONS
- DR-4.0 BUILDING SECTIONS
- DR-4.1 PRELIMINARY GRADING WITH DRAINAGE PLAN
- C1 AGAVE COMPLEX FINAL PLAN
- O2 AGAVE COMPLEX FINAL PLAT
- L-1 LANDSCAPE PLAN
- L-2 LANDSCAPE PLAN (CONTINUED)
- IR-1 IRRIGATION PLAN
- IR-2 IRRIGATION PLAN (CONTINUED)
- LD-1 LANDSCAPE DETAILS
- ID-1 IRRIGATION DETAILS
- E-1.0 ELECTRICAL SYMBOLS LIST AND ABBREVIATIONS
- E-2.0 ELECTRICAL SPECIFICATIONS AND FIXTURE SCHEDULE
- E-3.0 FIXTURE CUT SHEETS
- E-4.0 ELECTRICAL SITE LIGHTING PLAN

LOCATION MAP



VICINITY MAP



ABBREVIATIONS

A.B.	ANCHOR BOLTS	MTL.	METAL
A.F.F.	AGAVE FINISH FLOOR	N.C.	NOT IN CONTRACT
A.G.	AGAVE	N.E.	NOT IN CONTRACT
ALUM.	ALUMINUM	O.C.	ON CENTER
B.O.C.	BOTTOM OF CANOPY	O.F.	COVER FURNISHED
C.F.P.	CAST IN PLACE	O.H.	OVERHEAD
C.J.	CONTROL JOINT	PNL.	FRAME
C.S.L.	COLUMBINE	REF.	REINFORCING
CONC.	CONCRETE	S.E.E.	SITE ELECTRICAL SERVICE
CONT.	CONTINUOUS	SH.	SHEET METAL
C.D.	CORNER	S.M.	SWIMLAN
D.	DIA.	STR.	STRUCTURAL
D.C.	DIAMETER	T.O.C.	TOP OF CONCRETE
E.S.	EMERSON JOINT	T.O.M.	TOP OF MASONRY
F.C.	FIRE EXTINGUISHER CABINET	T.O.D.	TOP OF FOOT DRICK
F.F.	FINISH FLOOR	TYP.	TYPICAL
FIN.	FINISH	V.I.F.	VALUES NOTED OTHERWISE
G.A.V.	GALVANIZED STEEL	V.P.	VERIFY IN FIELD
G.B.	GYP. BS. SYSTEM BOARD	W.M.	WALLS
H.H.	HOLLOW METAL	VERT.	VERTICAL
H.Z.	HORIZONTAL	W.F.	WIDE FLANGE BEAM
M.A.S.	MASONRY	W.D.	WOOD

PROJECT TEAM

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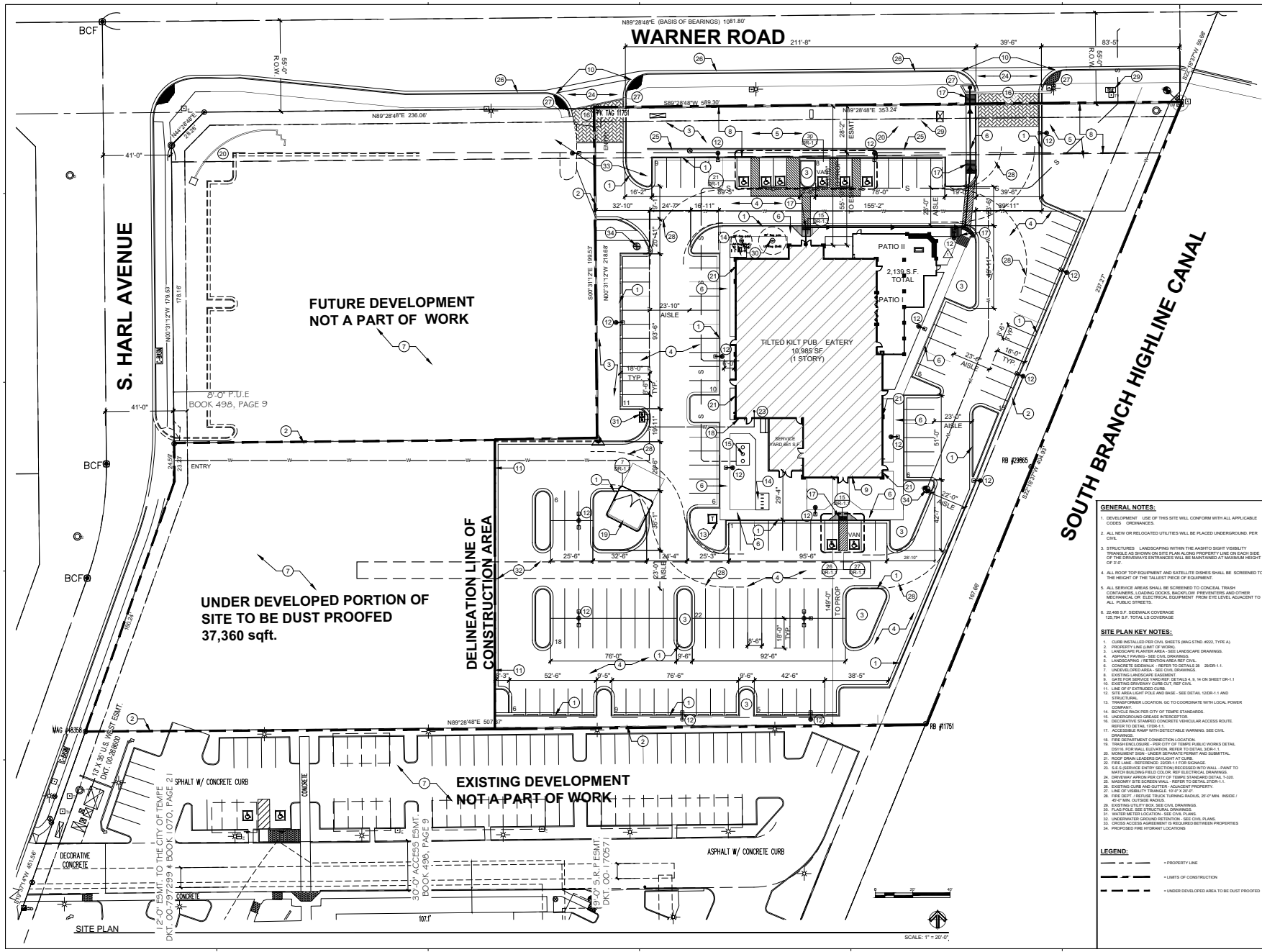
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E: jwabel@wabel-a.com

TITLED KILT PUB & EATERY
1617 WEST WARNER ROAD
TEMPE, AZ 85284



DATE:	12.16.14
PROJECT NO.:	TK-AZ
DRAWN BY:	J. ALMAWSARI
CHECKED BY:	JDA

DR-0.0
PC#140108



- GENERAL NOTES:**
1. DEVELOPMENT - USE OF THIS SITE WILL CONFORM WITH ALL APPLICABLE CODES - ORDINANCES.
 2. ALL NEW OR RELOCATED UTILITIES WILL BE PLACED UNDERGROUND PER CIVIL.
 3. STRUCTURES - LANDSCAPING WITHIN THE IMPROVED VISIBILITY TRIANGLE AS SHOWN ON SITE PLAN ALONG PROPERTY LINE ON EACH SIDE OF THE DRIVER'S ENTRANCES WILL BE MAINTAINED AT MAXIMUM HEIGHT OF 5'-0".
 4. ALL ROOF TOP EQUIPMENT AND SATELLITE DISHES SHALL BE SCREENED TO THE HEIGHT OF THE TALLEST PIECE OF EQUIPMENT.
 5. ALL SERVICE AREAS SHALL BE SCREENED TO CONCEAL TRASH CONTAINERS, LAUNDRY CHUTES, BACKUP FREIGHTING AND OTHER MECHANICAL OR ELECTRICAL EQUIPMENT FROM EYE LEVEL ADJACENT TO ALL PUBLIC STREETS.
 6. 32,480 S.F. SIDEWALK COVERAGE
125,796 S.F. TOTAL LS COVERAGE
- SITE PLAN KEY NOTES:**
1. CURB INSTALLED PER CIVIL SHEETS (MAG 5710; 4022; TYPE A) - PROPERTY LINE EAST OF WORKS.
 2. LANDSCAPE PLANTER AREA - SEE LANDSCAPE DRAWINGS.
 3. GRASS PAVING - SEE CIVIL DRAWINGS.
 4. CONCRETE FINISH - REFER TO DETAILS IN 2608-1.1.
 5. CONCRETE SIDEWALK - REFER TO DETAILS IN 2608-1.1.
 6. UNDEVELOPED AREA - SEE CIVIL DRAWINGS.
 7. EXISTING LANDSCAPE ELEMENTS.
 8. CURB TO SERVICES - REFER TO DETAILS 4.8, 14 ON SHEET DR-1.1.
 9. EXISTING DRIVEWAY - REFER TO DETAILS 100-010.
 10. LINE OF F. EXISTING CURB.
 11. SITE AREA LIGHT PILE AND BASE - SEE DETAIL 1308-1 AND STRUCTURAL.
 12. TRANSFORMER LOCATION - GC TO COORDINATE WITH LOCAL POWER COMPANY.
 13. SIGNAGE - REFER TO LOCAL ORDINANCES.
 14. BICYCLE RACK PER CITY OF TEMPE STANDARDS.
 15. UNDERGROUND UTILITY INTERCEPTOR.
 16. DECORATIVE STAMPED CONCRETE SIDEWALK ACCESS ROUTE - REFER TO DETAIL 100-010 FOR FINISHES AND FINISHES WAVING - SEE CIVIL DRAWINGS.
 17. SEE DETAILMENT CONNECTION LOCATION.
 18. TRASH ENCLOSURE - PER CITY OF TEMPE PUBLIC WORKS DETAIL CIVIL FOR WALL ELEVATION - REFER TO DETAIL 2608-1.1.
 19. TRASH ENCLOSURE - REFER TO DETAIL 2608-1.1.
 20. ROOF DRAIN LEADERS DAYLIGHT AT CURB.
 21. PER LOCAL ORDINANCES - REFER TO LOCAL ORDINANCES.
 22. SEE S. SERVICE ENTRY RECESSES INTO WALL - PARRY TO MATCH BACKGROUND RELIEF COLOR - SEE ELECTRICAL DRAWINGS.
 23. REFER TO DETAIL 100-010 FOR FINISHES AND FINISHES WAVING - SEE CIVIL DRAWINGS.
 24. SIGNAGE - REFER TO LOCAL ORDINANCES.
 25. SIGNAGE SITE SCREEN WALL - REFER TO DETAIL 100-010.
 26. EXISTING CURB AND GUTTER - REFER TO DETAIL 100-010.
 27. LINE OF VISIBILITY TRIANGLE - 10' X 20' X 4'.
 28. PER CIVIL - REFER TO CIVIL DRAWINGS.
 29. EXISTING UTILITY BOX - SEE CIVIL DRAWINGS.
 30. PER CIVIL - REFER TO CIVIL DRAWINGS.
 31. WATER METER LOCATION - SEE CIVIL PLANS.
 32. UNDERGROUND UTILITY INTERCEPTOR - SEE CIVIL PLANS.
 33. REFER TO LOCAL ORDINANCES FOR REQUIRED BETWEEN PROPERTIES.
 34. PROPOSED FIRE HYDRANT LOCATION.
- LEGEND:**
- - - - - PROPERTY LINE
 - - - - - LIMITS OF CONSTRUCTION
 - - - - - UNDER DEVELOPED AREA TO BE DUST PROOFED



BIG RED ROOSTER ARCHITECTURE
365 S. HILL AVE., SUITE 201
TEMPE, AZ 85281
480.634.0004

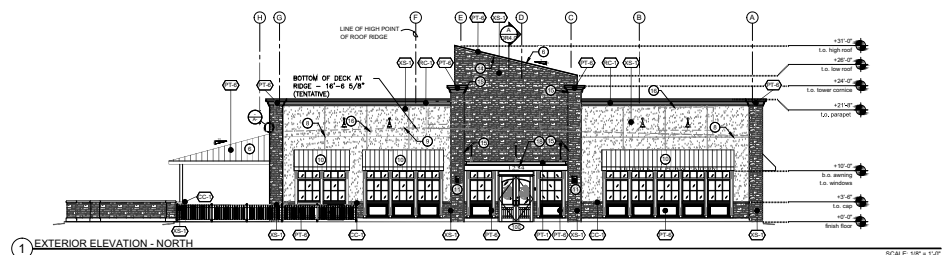
PROJECT NO. 16-TAZ
DRAWN BY: Z ALMANSARAH
CHECKED BY: ZSA

TILTED KILT PUB & EATERY
1617 WEST WARNER ROAD
TEMPE, AZ 85284

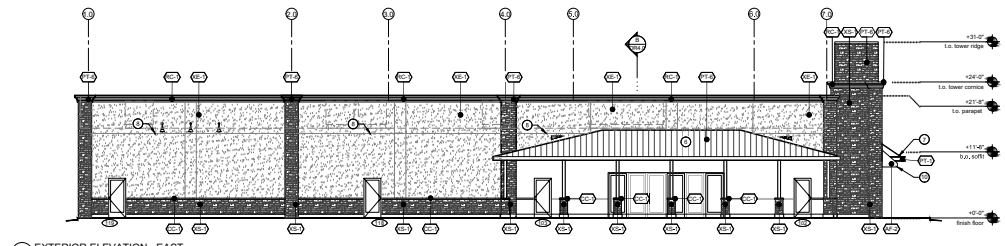


DATE: 12.10.14
PROJECT NO: 16-TAZ
DRAWN BY: Z ALMANSARAH
CHECKED BY: ZSA

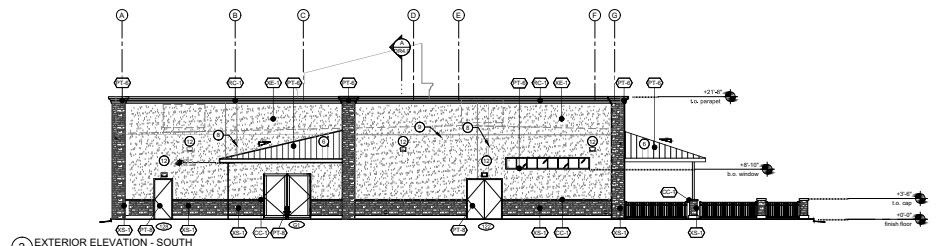
DR1.0
PC#140108



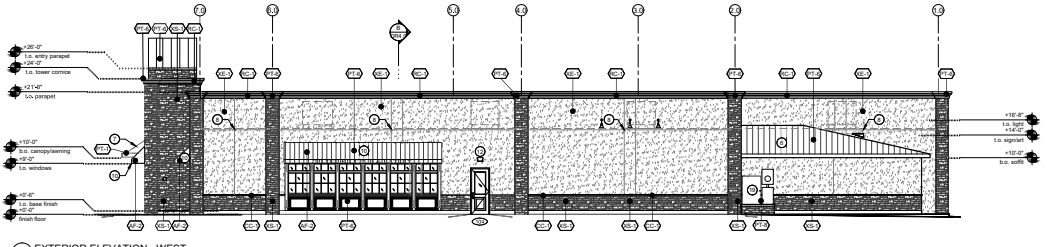
1 EXTERIOR ELEVATION - NORTH SCALE: 1/8" = 1'-0"



2 EXTERIOR ELEVATION - EAST SCALE: 1/8" = 1'-0"



3 EXTERIOR ELEVATION - SOUTH SCALE: 1/8" = 1'-0"



4 EXTERIOR ELEVATION - WEST SCALE: 1/8" = 1'-0"

- EXTERIOR ELEVATION KEYNOTES:**
- S.E.S.
 - FIRE RISER ROOM
 - F.D.C. LOCATION
 - EROSION-PLUG SERIES RAILING BY AMERISTAR - COLOR: BLACK
 - NOT USED
 - STANDING SEAM METAL ROOFING
 - METAL CANOPY
 - V-GROOVE DETAIL (TYP.) - REFER TO DETAIL 27A&B
 - ROOF LINE (SHOWN DASHED BEYOND)
 - FABRIC AWNING
 - DECORATIVE WALL SCIENCE
 - WALL PACK LIGHT FIXTURE
 - NOT USED
 - CONCEALED INDIRECT ILLUMINATING DECORATIVE ACCENT LIGHT STRIP FOR TILT-PANTRY (SHOWN DASHED BEYOND)
 - CONCEALED INDIRECT ILLUMINATING DECORATIVE VERTICAL ACCENT LIGHT STRIP FOR TILT-PANTRY BAY (SHOWN DASHED BEYOND)
 - MECHANICAL EQUIPMENT TO BE PAINTED TO MATCH FIELD COLOR - REFER TO A SHEETS FOR MORE INFORMATION
 - 1/4" METAL GUTTER/DOWNSPOUT TO MATCH METAL ROOF FINISHING AND ATTACHMENTS FOR AWING - BRACKET/CANTILEVER OUTLET TO SLIDE TO MAIN ROOF THROUGH DOWNPOUT TO DRAINAGE BLOCK & ROOF SURFACE
 - CONTRACTOR TO PROVIDE ACCESS NUMBERS AT LOCATION SHOWN IN ACCORDANCE WITH LOCAL FIRE DEPARTMENT HOISTING GUIDELINES. NUMBERS TO BE MINIMUM OF 2" IN SIZE - HIGH CONTRAST TO COLOR, AND BE ILLUMINATED BY WALL ILLUMINATION OR MOUNTED BELOW A RAILING FIXTURE
 - SES TO BE RECESSED INTO WALL

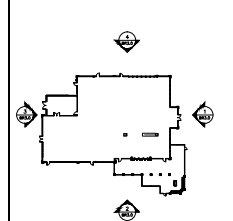
EGRESS NOTE:
THE MEANS OF EGRESS, INCLUDING THE EXIT DISCHARGE, WILL BE ILLUMINATED TO LEVEL NOT LESS THAN THE FOOT CANDLE AT THE WALKING SURFACE AT ALL TIMES THE BUILDING SPACE SERVED BY THE MEANS OF EGRESS IS OCCUPIED.

GENERAL NOTES:

1. ALL ROOF DRAWS TO BE SHOWN AND DRAIN TO DRAINAGE

- EXTERIOR FINISHES:**
- 270 SHERWIN WILLIAMS - SW6891 - BLACK MAGIC
 - 271 SHERWIN WILLIAMS - SW6847 - ROYCRIFT BOTTLE GREEN
 - 272 SHERWIN WILLIAMS - SW7032 - MODERN GRAY (SEMI-GLOSS ON METAL)
 - 273 SHERWIN WILLIAMS - SANDFIBRE - COLOR: DV10 VAN DYKE
 - 274 ATAS ROOF COPING - 23 CORBERTONE
 - 275 LANGHEIMER STONE BY GLEN-GERY (OLD CASTLE) - SOUTHERN MALT OUT COBBLE
 - 276 ACCESSORIES - CONCRETE SILL CAP COLOR: BUFF
 - 277 METAL BRUSH FINISH/PAINTING FABRIC: #8202-8807
 - 278 HOLY FOREST GREEN

KEY PLAN



BIG RED ROOSTER ARCHITECTURE
180 S. HALL AVE. SUITE 201
TEMPE, AZ 85281
480.626.6304
www.bigredrooster.com

Professional seal and stamp area for the architect.

TILTED KILT PUB & EATERY
1617 WEST WARNER ROAD
TEMPE, AZ 85284



PROVISIONAL
NOT FOR CONSTRUCTION

REVISIONS:

NO.	DATE	DESCRIPTION

DATE: 12.19.14
PROJECT NO.: 161742
DRAWN BY: J. ALMAYRISAN
CHECKED BY: ZDA

DR-3.0
PC/140108



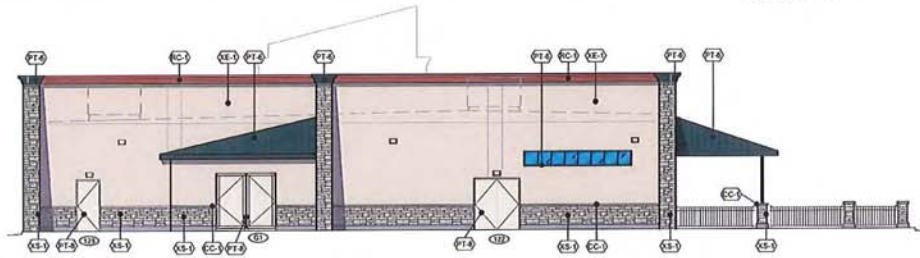
1 EXTERIOR ELEVATION - NORTH

SCALE: 1/8" = 1'-0"



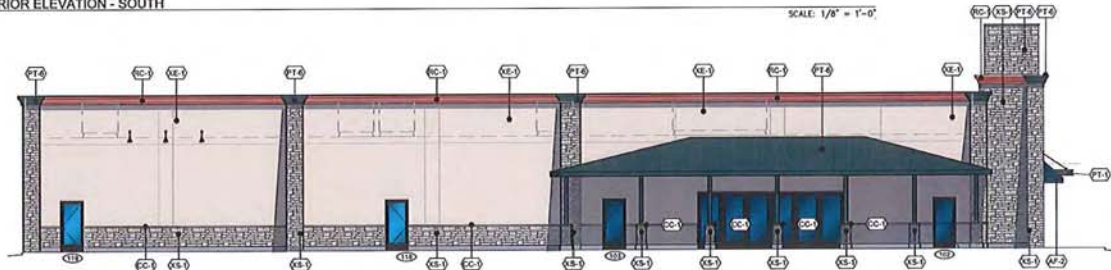
2 EXTERIOR ELEVATION - WEST

SCALE: 1/8" = 1'-0"



3 EXTERIOR ELEVATION - SOUTH

SCALE: 1/8" = 1'-0"



4 EXTERIOR ELEVATION - EAST

SCALE: 1/8" = 1'-0"

- GENERAL NOTES:**
1. ALL ROOFTOP MECHANICAL UNITS ARE TO BE SCREENED BY PARAPET WALLS.
 2. ALL ROOF DRAINS TO BE INTERNAL AND DRAIN TO DAYLIGHT

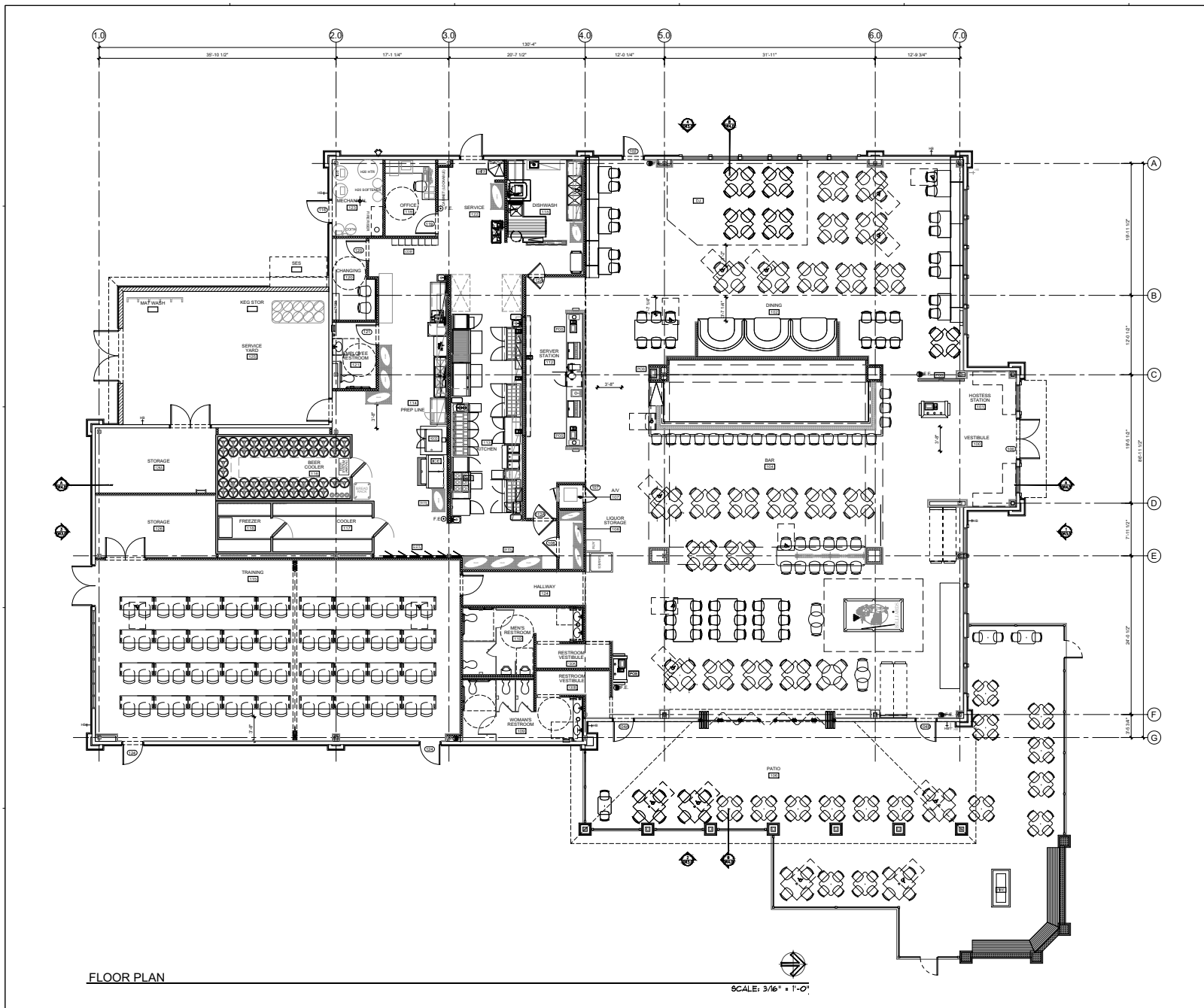
EXTERIOR FINISHES:	VS-1	EC-1	EC-2	EC-3	PT-1	PT-2	PT-3	PT-4	PT-5	PT-6	PT-7	PT-8	PT-9	PT-10	PT-11	PT-12

TK REVIEW DATE: J.J.
 TK REVIEW BY:
 TITLE: TILTED KILT PUB & EATERY
 TILTED KILT CORPORATE OFFICE
 1617 W WARDEN RD, TEMPE AZ 85284
 (480) 456-5995

DATE: DECEMBER 18, 2014
 SCALE: 1/8" = 1'-0"
 DRAWN BY: J. TRIPLETT
 REVIEWED: J. AL - BAVILLAS

BIO RED ROOSTER
 388 S MILL AVE
 SUITE 201
 TEMPE, AZ 85281
 (480) 638-6304 EXT 110
 FILE #





- GENERAL NOTES:**
- REFER TO INTERIOR ELEVATIONS ON SHEETS A1 FOR ALL FINISH DESIGNATIONS. SHEET A4 FOR BOFFIT CEILING FINISH DESIGNATIONS.
 - REFER TO SHEET A1.2 FOR FLOOR FINISHES.
 - TENANT SHALL BE RESPONSIBLE FOR THE INSTALLATION OF ITS OWN TELEPHONE AND VIDEO/A/V EQUIPMENT BY TENANT'S CHOSEN TELEPHONE COMPANY.
 - ALL CABLING MUST BE HELD OFF CEILING GRID, DUCT WORK AND LIGHTING.
 - GENERAL CONTRACTOR TO PROVIDE AND INSTALL ALL RESTROOM DOOR SIGNS, ACCESSIBLE SIGNS AND OCCUPANCY SIGNS REQUIRED BY LOCAL CODE.
 - ALL TOILET ACCESSORIES AND PLUMBING FIXTURES IN RESTROOMS TO BE PROVIDED AND INSTALLED BY D.C. 124 COMPLIANT BABY CHANGING STATION TO BE INSTALLED IN BOTH RESTROOMS.
 - A MINIMUM OF 6 OF SEATS WITHIN DINING AREA ARE TO BE ACCESSIBLE, PER CODE.
 - FOOD SERVICE EQUIPMENT INSTALLED BY TENANT D.C. REFER TO 'FF' SHEETS FOR MORE INFORMATION.

- GENERAL PARTITION NOTES:**
- OWNER'S VENDOR TO SUPPLY ALL FREE STANDING TABLES, CHAIRS AND BARSTOOLS. GO TO ANHOCK AND INSTALL.
 - INSTALL ALL ACCESSORIES WITH SCREWS OR BOLTS EXTENDING AT LEAST 1" INTO SOLID BLOCKING.
 - ALL ACCESSORIES MOUNTING HEIGHTS TO MEET ANSII A117.1-1998.

- FIRE EXTINGUISHER NOTES:**
- PROVIDE 1" TYPE FIRE EXTINGUISHERS IN KITCHEN AREA, WITHIN 30' OF TRAVEL FROM ANY POINT IN KITCHEN OR FOOD PREPARATION AREA. REFER TO SYMBOL FOR LOCATION ON PLAN.
 - 15A:BC FIRE EXTINGUISHERS ARE REQUIRED WITHIN 75' OF TRAVEL FROM ANY POINT IN PUBLIC AREA. THEY MUST BE MOUNTED CONSPICUOUSLY, PREFERABLY ALONG NORMAL TRAVEL PATHS AND ENTRANCES. REFER TO SYMBOL FOR LOCATION ON PLAN.



BIG RED ROOSTER ARCHITECTURE
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TILTED KILT PUB & EATERY
 1617 WEST WARNER ROAD
 TEMPE, AZ 85284



REVISIONS:

NO.	DESCRIPTION

DATE: 12.18.14
 PROJECT NO: 16-142
 DRAWN BY: Z ALAMWASHI
 CHECKED BY: ZSA

DR-2.0
 PC#140108

FLOOR PLAN

SCALE: 3/16" = 1'-0"



BIG RED ROOSTER ARCHITECTURE
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 480.626.6304
 www.bigredrooster.com

landscape notes
 These notes apply to the landscape plan and shall be read in conjunction with the landscape plan and specifications. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The contractor shall be responsible for the proper care and maintenance of the landscape during and after construction. The contractor shall be responsible for the removal of any existing vegetation and the installation of any new vegetation. The contractor shall be responsible for the installation of any irrigation system and the maintenance of the same. The contractor shall be responsible for the installation of any lighting system and the maintenance of the same. The contractor shall be responsible for the installation of any other landscape features and the maintenance of the same.

Waibel & Associates Landscape Architecture
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TILETED KILT PUB & EATERY
 1617 WEST WARNER ROAD
 TEMPE, AZ 85284



EXPIRES 12.31.2016
 REVISIONS:
 1. REVISIONS PER UPDATED SITE PLAN 4-3-14
 2. REVISIONS PER UPDATED SITE PLAN 11-17-14

DATE: 12.23.14
 PROJECT NO: TK-TAZ
 DRAWN BY: JAW
 CHECKED BY: JW

LANDSCAPE PLAN
 L-1
 1 of 6

LANDSCAPE LEGEND

SYMBOL	BOTANICAL NAME/COMMON NAME	SIZE	MATURE SIZE	QTY	NOTES
(M)	EXISTING Prosopis SPP / MESQUITE			8	To Remain in Place
(E)	EXISTING Ulmus parvifolia EVERGREEN ELM			1	To Remain in Place
(X)	Existing Prosopis SPP / MESQUITE			3	To be Removed
(U)	Ulmus parvifolia EVERGREEN ELM	24" BOX; 9' Height 1.5" Cal.	40' Height 40' Width	2	Standard Min. Height 8'
(D)	Dalbergia sissoo INDIAN ROSEWOOD	24" BOX; 10' Height 1.5" Cal.	50' Height 30' Width	35	Standard Min. Height 10'
(C)	Caesalpinia cacaocao 'Smoothie' THORNLESS CASCALOTE	24" BOX; 8' Height 1.5" Cal.	15-18' Height 15-18' Width	4	Standard Min. Height 5'
(A)	Aloe X 'Blue Elf' BLUE ELF ALOE	3 GALLON	2' Height 18" Width	315	1' from curbs and sidewalk
(G)	Agave geminiflora TWIN-FLOWERED AGAVE	5 GALLON	2' Height 2' Width	140	3' from curbs and sidewalk
(P)	Agave parryi PARRY'S AGAVE	3 GALLON	2' Height 3' Width	240	1' from curbs and sidewalk
(Mx)	Caesalpinia mexicana MEXICAN BIRD OF PARADISE	15 GALLON	15' Height 10' Width	27	8' from curbs and sidewalk
(Lx)	Lantana X 'Dallas Red' DALLAS RED LANTANA	3 GALLON	3' Height 4' Width	141	4' from curbs and sidewalk
(Lm)	Lantana montevidensis PURPLE TRAILING LANTANA	3 GALLON	1' Height 3' Width	201	4' from curbs and sidewalk
(Ln)	Lantana 'New Gold' GOLD MOUND LANTANA	3 GALLON	1' Height 5' Width	212	4' from curbs and sidewalk
(T)	Tecoma 'Sparky' SPARKY TECOMA	5 GALLON	4' Height 4' Width	85	5' from curbs and sidewalk
(To)	Teocoma capensis CAPE HONEY-SUCKLE-ORANGE	5 GALLON	12-16' Height 6-8' Width	19	5' from curbs and sidewalk
(C)	Leucophyllum laevigatum PROSTRATE GERMANDER	5 GALLON	6-8" Height 3-4" Width	8	5' from curbs and sidewalk
(Ch)	Chihuahuan Sage	5 GALLON	4' Height 5' Width	25	4' from curbs and sidewalk

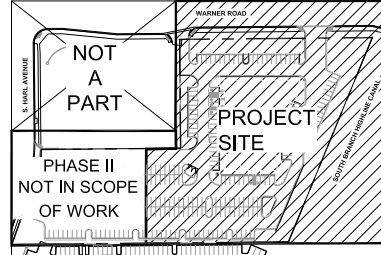
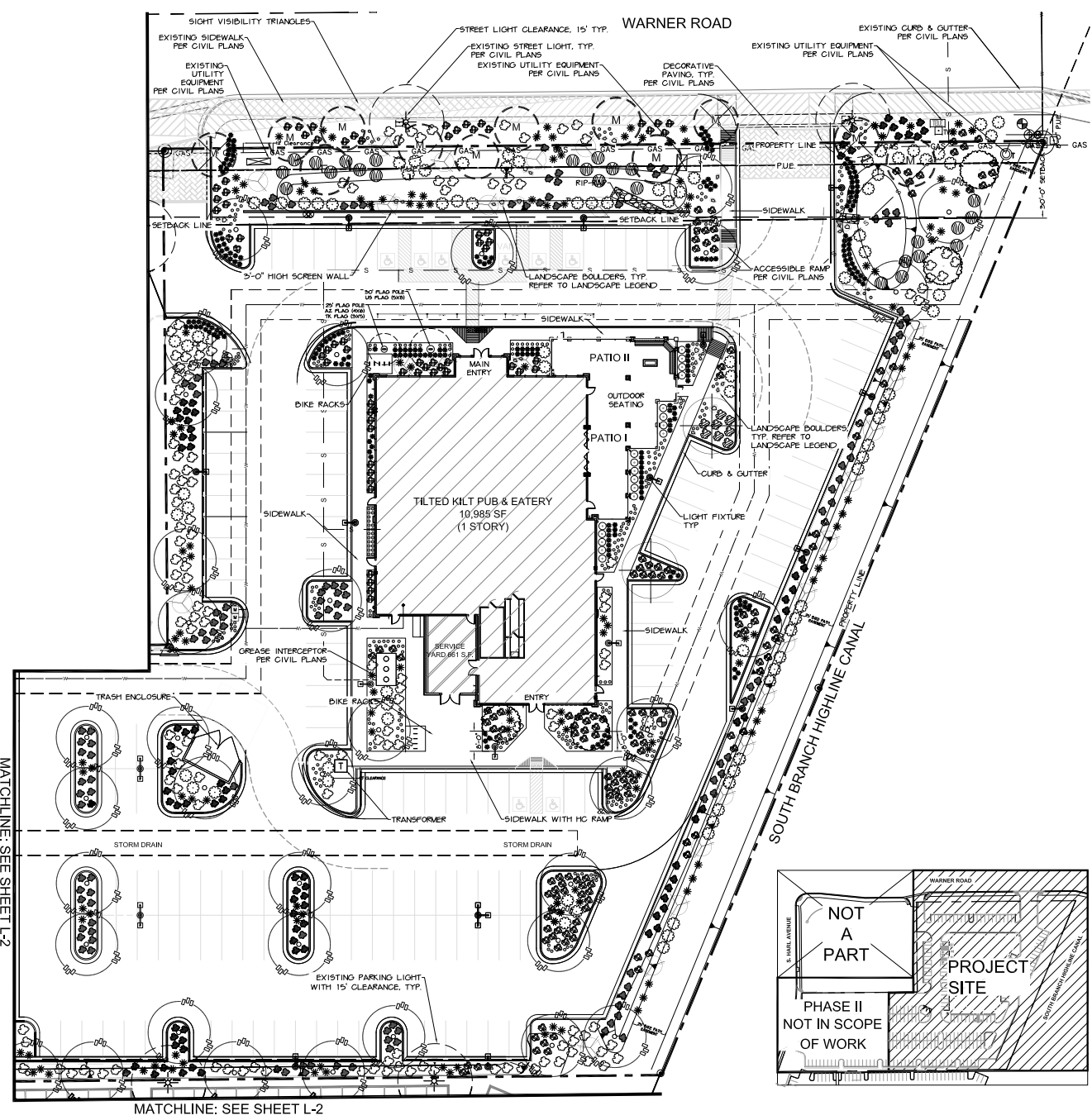
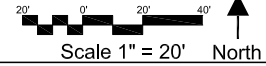
MATERIALS	DESCRIPTION	QTY
D.G.	Decomposed Granite 2" DEPTH; 1/2" MINUS 'MADISON GOLD'	196 C.Y.
	Landscape Boulders SURFACE SELECT - CINNAMON BROWN OR APPROVED EQUAL	28
Dust Proofing	Decomposed Granite 1" DEPTH; 1/2" MINUS 'MADISON GOLD'	140 C.Y.

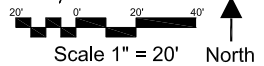
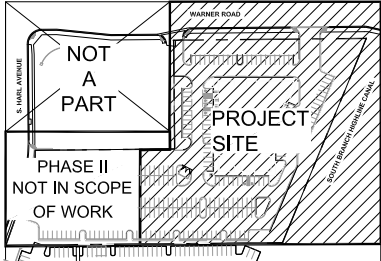
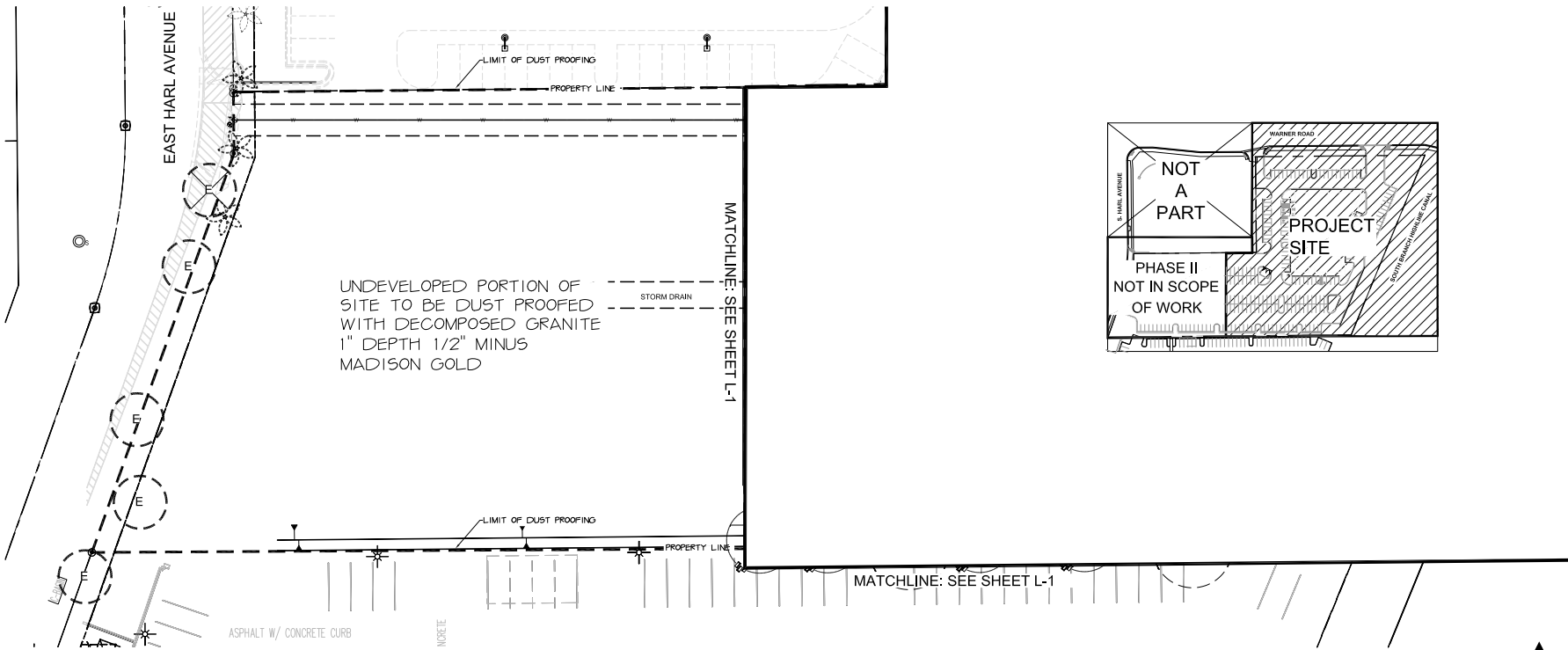
Soil Amendments & Conditioners
 Planting areas shall be filled to a depth of 8" in backfill for each planting pit per detail.
 Provide organic material and amendments in backfill for each planting pit per detail.
 Till in amendments at the following rates:
 Agricultural Grade Gypsum - 20#/1000 Sq.Ft.
 Elemental Sulfur Sulfur (Disper-Sul or equal) - 10#/1000 Sq.Ft.
 Ammonium Phosphate Fertilizer 16-20-0 - 10#/1000 Sq.Ft.

LANDSCAPE NOTES

1. Landscape areas are defined as all non paved areas disturbed by construction, slight variations may exist between actual site conditions and drawings. Contractor shall adjust planting layout as required to maintain plant quantities and design intent. For areas over 50 s.f., contact landscape architect for revision to plant layout.
2. The contractor shall not substitute any plant (in species, variety, or patent) for any plant that is specified in the legend.
3. Coordinate all necessary excavation areas with owner's representative.
4. Landscape contractor is responsible for all landscape sleeving. Coordinate installation with general contractor.
5. All pipe under pavement shall be sleeved.
6. Irrigation and electrical sleeves to be schedule 40 pvc, all sleeves to extend 6" beyond concrete structures. Allow at least 4" - 6" from end of sleeves to first fitting on irrigation lines. All sleeves to be 24" below grade and/or as per project details.
7. Common sleeves may be used for lateral lines and mainlines. Contractor is responsible for adequate size sleeve so all pipes move freely within the sleeves. Contractor to 'as built' all sleeve sizes and locations.
8. Mark back of existing and new curbs at sleeve locations by notching new concrete with 1/2" "v" notch or placing re-bar vertical so top of bar is 6" below finish grade.
9. Finished grade(s) noted on the landscape details to be field verified/approved and modified as per architectural civil drawings.
10. Granular top dressing shall extend under shrubs and be raked uniformly along curbs, sidewalks and walls at a consistent depth as specified by details.
11. Landscape contractor to contact the owner's representative before any application of pre emergent for verification. Minimum 2 applications are required, one just before spreading d.g. (after sub-grade has been approved) and one after d.g. has been the raked and leveled. Applications shall be thoroughly watered in. The first application shall be watered in prior to spreading d.g. Surfuran or equal shall be used. Chemicals shall be applied in strict conformance to the manufacturer's instructions, including watering in and avoiding staining of adjacent hardscapes.
12. If adjacent hardscape including all paving, sidewalks, buildings, curbs, walls, fences, or other site materials are stained by pre-emergent application or by wheel marks of any kind, the landscape contractor shall be responsible to remove all residue and discoloration prior to the final walk through.
13. Retention basins shall be constructed solely from the approved civil plans, any alteration of the approved design (additional fill, boulders, etc.) shall require additional final plans, staff review and approval.
14. Refer to specifications for additional requirements not shown on drawings.
15. The landscape contractor shall be responsible for the proper care and handling of trees and plants for delivery and placement in planting pit. Trees that are dropped from trucks or dropped into pits shall be rejected for replacement by the landscape contractor. If rootballs fall apart during the planting operation the plant shall not be planted. New plant materials shall be provided to replace those that rootballs fall apart.
16. Plant containers shall be cut to remove rootballs that are tight in the container. The contractor shall not remove the plant from the container by the trunk.
17. The landscape contractor shall warrant the trees and shrubs for one year from the date of project final acceptance.

CONTRACTOR SHALL DE-COMPACT SOIL IN PLANTING AREAS ON SITE AND IN PUBLIC RIGHT-OF-WAY, AND REMOVE CONSTRUCTION DEBRIS FROM PLANTING AREAS PRIOR TO LANDSCAPE INSTALLATION.





BIG RED ROOSTER ARCHITECTURE
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 TEMPE, AZ 85281
 480.626.6304
 www.bigredrooster.com

DISCLAIMER NOTICE
 These drawings were prepared by the undersigned and submitted to the City of Tempe for its review and approval. The City of Tempe is not responsible for the accuracy or completeness of these drawings. The undersigned is not responsible for any errors or omissions in these drawings. The undersigned is not responsible for any construction or other work that may be required to implement these drawings.



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 1617 WEST WARNER ROAD
 TEMPE, AZ 85284



REVISIONS:

△ REVISIONS PER UPDATED SITE PLAN	4-3-14
△ REVISIONS PER UPDATED SITE PLAN	11-17-14

DATE: 12.23.14
 PROJECT NO.: TK-TAZ
 DRAWN BY: AW
 CHECKED BY: JW

LANDSCAPE PLAN L-2

LANDSCAPE LEGEND

	SYMBOL	BOTANICAL NAME/ COMMON NAME	SIZE	MATURE SIZE	QTY	NOTES
TREES		EXISTING Prosopis SPP./ MESQUITE			8	To Remain in Place
		EXISTING Ulmus parvifolia EVERGREEN ELM			1	To Remain in Place
		Existing Prosopis SPP./ MESQUITE			3	To be Removed
		Ulmus parvifolia EVERGREEN ELM	24" BOX: 9' Height 1.5" Cal.	40' Height 40' Width	2	Standard Min. Height 8'
		Dalbergia sissoo INDIAN ROSEWOOD	24" BOX: 10' Height 1.5" Cal.	50' Height 30' Width	35	Standard Min. Height 10'
		Caesalpinia cacalaco 'Smoothie' THORNLESS CASCALOTE	24" BOX: 8' Height 1.5" Cal.	15-18' Height 15-18' Width	4	Standard Min. Height 5'
ACCENTS, SHRUBS AND GROUNDCOVERS		Aloe X 'Blue Elf' BLUE ELF ALOE	3 GALLON	2' Height 18" Width	315	1' from curbs and sidewalk
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MATERIALS	D.G.	Decomposed Granite 2" DEPTH; 1/2" MINUS 'MADISON GOLD'			196 C.Y.	
		Landscape Boulders SURFACE SELECT - CINNAMON BROWN OR APPROVED EQUAL			28	
	Dust Proofing	Decomposed Granite 1" DEPTH; 1/2" MINUS 'MADISON GOLD'			140 C.Y.	
Soil Amendments & Conditioners	Planting areas shall be tilled to a depth of 8" Provide organic material and amendments in backfill for each planting pit per detail.	Till in amendments at the following rates: Agricultural Grade Gypsum - 20#1000 Sq.Ft. Elemental Soil Sulphur (Disper-Sul or equal) - 10#1000 Sq.Ft. Ammonium Phosphate Fertilizer 16-20-0 - 10#1000 Sq.Ft.				

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PAIN

PT-1



MFR: SHERWIN-WILLIAMS
COLOR: SW6991 BLACK MAGIC
LOCATION: STEEL CANOPY & SITE METALS

PT-6



MFR: SHERWIN-WILLIAMS
COLOR: SWF-2847 ROYCROFT BOTTLE GREEN
LOCATION: PILASTER CAPS, PANEL ACCENT WINDOWS, STANDING SEAM METAL ROOF

PT-8



MFR: SHERWIN-WILLIAMS
COLOR: SW7632 MODERN GRAY
LOCATION: HOLLOW METAL DOORS, FRAMES & E.I.F.S -ALT, IF DRYVIT VAN DYKE NOT AVAILABLE

RC-1



MFR: ATAS
COLOR: 23 COPPERTONE
LOCATION: ROOF COPING

E.I.F.S.

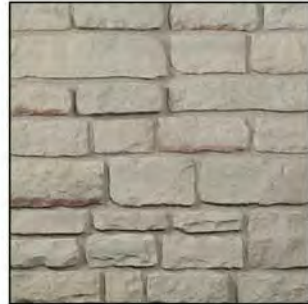
XE-1



MFR: DRYVIT
COLOR: DV110 VAN DYKE, FINISH SANDPEBBLE (SP)
LOCATION: EXTERIOR E.I.F.S

STONE VENEER

XS-1



MFR: LANDMARK STONE BY GLEN-GERY (OLD CASTLE)
COLOR: SOUTHERN MALT CUT COBBLE
LOCATION: WALL BASE (WATERTABLE), PILASTERS & ENTRY TOWER

CONCRETE SILL CAP

CC-1



MFR: LANDMARK STONE BY GLEN-GERY (OLD CASTLE)
COLOR: BUFF
LOCATION: CAP TO STONE WALL BASE (XS-1)

AWNING FABRIC

AF-2



MFR: GLEN-RAVEN FIRESIST
COLOR: HUV FOREST GREEN 82002-0000
W / BLACK PIPING ACCENT
LOCATION: WINDOW AWNINGS

TITLE:

EXTERIOR MATERIAL SAMPLE BOARD

TILTED KILT CORPORATE PUB & EATERY
1617 W WARNER RD, TEMPE AZ, 85284
(480) 456.5458

DATE:	DECEMBER 19, 2014
SCALE:	N.T.S.
DRAWN BY:	AMT
REVIEWED:	RB

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398 S. MILL AVE
SUITE 201
TEMPE, AZ 85281
(480) 626.6304 ext.110



FILE: --