

**CITY OF TEMPE
DEVELOPMENT REVIEW COMMISSION**

Meeting Date: 08/25/2015
Agenda Item: 3

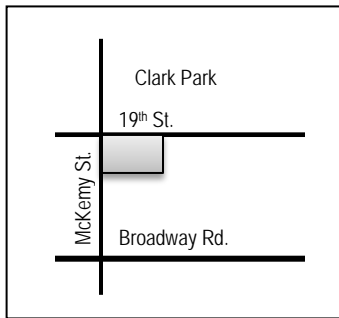
ACTION: Request for Development Plan Review consisting of a single family development of four detached homes for 19th STREET HOMES, located at 647 W 19th Street. The applicant is Marcus Jacobson, MGJ Homes LLC

FISCAL IMPACT: There is no fiscal impact on City funds.

RECOMMENDATION: Staff –Approval, subject to conditions

BACKGROUND INFORMATION: 19th STREET HOMES (PL150217) is proposed on a .56 acre vacant lot that is zoned R-3 Multi-Family; the site was entitled for 9 attached townhomes in November 2013. The new proposed development is for four single family detached homes with private front and back yards and garages. The proposed project is allowed within the zoning district and requires no modifications to the development standards. The request includes the following:

1. Development Plan Review including site plan, building elevations, and landscape plan
2. Preliminary Subdivision Plat for four (4) lots



Property Owner	MGJ Homes, LLC
Applicant	Marcus Jacobson
Zoning District	R-3, Multi-family Residential Limited District
Density	8 du/ac (20 du/ac allowed)
Units	4 units (11 units maximum allowed)
Gross/Net site area	.56 acres (all 4 lots) / 6,156 s.f. approximate lot size
	Lot 1
	Lot 2
	Lot 3
	Lot 4
Total Building area	Approximately 1,589 s.f. first floor footprint, 1,960 s.f. living area, 2,661 total s.f area under roof per house
Lot Coverage	26% (50% maximum allowed)
Building Height	25 ft (30 ft maximum allowed)
Building Setbacks	20 ' front, 10' side, 15' street side, 10' rear (20', 10', 15', 10' min.)
Landscape area	74% (25% minimum required)
Vehicle Parking	8 spaces in garages (8 min. required)
Bicycle Parking	In garages

ATTACHMENTS: Development Project File

STAFF CONTACT(S): Diana Kaminski, Senior Planner (480) 858-2391

Department Director: Dave Nakagawara, Community Development Director
 Legal review by: N/A
 Prepared by: Diana Kaminski, Senior Planner

COMMENTS:

This site is located on the south east corner of 19th and McKemy streets: Clark Park is to the north of 19th Street, Wendy's restaurant is to the south of the alley adjoining this lot, an apartment community called The Place of Tempe is to the east, and single-family residences are located west of McKemy Street. Based on aerial photography, the surrounding area developed between 1960 and 1980; this site has remained vacant. The proposed development would be a transition between the single family residences to the west and the apartment community to the east.

Single family homes are allowed in the multi-family zoning districts, and are held to the same development standards. Single family homes as individual lots are not reviewed for design, but are able to submit for building permits without design review or a planning process. Developments with two or three single family homes are reviewed administratively by planning staff. Four or more units require a Development Plan Review for the site plan, front yard landscape plan and building elevations. Instead of subdividing the lot first, and developing each property independently, the applicant is requesting approval of four two-story homes to be built on individual lots totaling .56 acres. The applicant is seeking approval for the Development Plan Review and Preliminary Subdivision Plat. For further processing, the applicant will need approval from City Council for a Final Subdivision Plat, to create four individual lots for the homes.

PUBLIC INPUT

- Neighborhood meeting is not required
- At the writing of this report, there has been no public input regarding this case.

PRELIMINARY SITE PLAN REVIEW

The first site plan review was May 27, 2015. The applicant submitted a formal application with incomplete information. The site plan review included comments on the uniformity of the elevations, the need for variety in materials, direction to move the westernmost driveway to the east side of the lot to provide more distance to the intersection. Staff identified all requisite documentation such as landscape plan for the front yards and a subdivision plat. Staff requested a street view of the four houses in context with each other, and color elevations of all four sides. The applicant resubmitted a complete application in July.

PROJECT ANALYSIS

DEVELOPMENT PLAN REVIEW

Site Plan

The site plan provides a north-south residential product with views of Clark Park, and surveillance of the alley from upper floor windows. The parking is accessed from the 19th Street front of each lot. The units have front porches with access to the street front, rear yard covered patios and second floor balconies. The floor plans group the driveways to provide a larger visual expanse of front yard between the two middle homes, and sets the westernmost driveway farther away from the intersection with McKemy. The building footprints also alternate to provide variation in the street view of the homes, the eastern most unit balcony faces sunrise, the westernmost unit balcony faces sunset, and the two homes in the middle, with the larger side yards, have balconies facing each other. Refuse is collected from the alley to the south. Single family homes are required two parking spaces, which are provided in a garage, with additional guest parking available in the driveway or on the street.

Building Elevations

There are two different elevation designs for the four units, which alternate between lots. Both elevation designs have traditional gable rooflines facing the street front, with a projected dormer portion above the garage. The garage roof is a lower form hip roof tying into the second floor living space. The roof materials are flat concrete tile and curved concrete tile; a higher quality product than that of the older asphalt shingles common in the area. The roof material is proposed to vary in color between the homes, for diversity in the housing identity. Front doors are double doors of traditional wood panel design, two with clerestory door lites, the other with solid panels. The applicant has proposed four different garage doors as options to create a more custom appearance to the homes. Each of the two models have a different window, balcony and decorative elements to vary the street front look. There are four distinct color schemes for the homes, aesthetically tied by the tone of

each hue, and the use of common materials. The eastern house, Lot 4, is a contemporary monochromatic grey on grey palette with grey trim and a dark grey curved tile roof; a colonial red door drawing the eye to the entrance. The second house from the east end, Lot 3, is a cool sage grey-green with light grey flat smooth tile roof and red toned faux stacked stone veneer wainscot. Staff has conditioned that either real stone or an integral colored stone product be used for this application for durability. Lot 2 is traditional dark beige with warm neutral accents, a tan curved tile roof and a burgundy door for contrast. The western house, Lot 1, is a dark blue-grey slate color with a warm grey raked surface flat tile roof, cream trim, and a red toned stacked stone veneer wainscot.

Landscape Plan

The landscape for the front of the homes provides an option for either xeriscape or turf, with a variety of shrub and ground cover options. The proposed street tree is thorn less Mesquite along 19th Street, to maximize shade along the public sidewalk. The proposed street tree along McKemy is a Desert Willow. Secondary trees are Crepe Myrtle, Pygmy Palm, Texas Ebony and Guajillo Acacia. Front yards alternate between turf and xeriscape options. Shrubs at the base of the house include Boxwood Beauty, Dwarf Oleander, Dwarf Bottle Brush and Rosemary. Ground cover is limited in the conceptual plan provided; additional conditions have been added to address the street front appearance of the residences. These conditions provide flexibility for the prospective buyers in selecting preferred plants for the front yards.

Section 6-306 D Approval criteria for Development Plan Review (*in italics*):

1. *Placement, form, and articulation of buildings and structures provide variety in the streetscape*; the houses are located within the allowed building area, with variation in the elevations to create variety. The massing has varied rooflines and elevation planes, balconies and hip and gable roof forms to break up the massing.
2. *Building design and orientation, together with landscape, combine to mitigate heat gain/retention while providing shade for energy conservation and human comfort*; house orientation is north/south facing, with windows on all four elevations. The front and rear doors are shaded by covered patios, side windows may be shaded by other units or trees, at the discretion of the homeowner.
3. *Materials are of a superior quality, providing detail appropriate with their location and function while complementing the surroundings*; the roof materials are concrete tile, each unique to the four different models, the primary building material is painted stucco, with wood trim accent colors, windows will comply with current energy code standards, producing a superior housing product to that of the surrounding housing stock built prior to energy code requirements.
4. *Buildings, structures, and landscape elements are appropriately scaled, relative to the site and surroundings*; a two story apartment building is located east of the site, single story commercial uses to the south could be replaced with taller buildings within the allowed zoning, single story homes are located across McKemy, with a zoning allowance of up to 30 feet in height. A park is located across 19th Street. The site is an infill property with a transitional opportunity between uses. The proposed 26' tall homes with unified street trees will create an appropriate scale to the surrounding area.
5. *Large building masses are sufficiently articulated so as to relieve monotony and create a sense of movement, resulting in a well-defined base and top, featuring an enhanced pedestrian experience at and near street level*; the houses have the long elevation on the east and west sides, visible only from McKemy on the west end, behind the proposed CMU yard wall. Building masses are broken up by changes in elevation plane, windows, doors, balconies and porch overhangs. The rhythm of the four units is created by similarities between the two models.
6. *Building facades provide architectural detail and interest overall with visibility at street level (in particular, special treatment of windows, entries and walkways with particular attention to proportionality, scale, materials, rhythm, etc.) while responding to varying climatic and contextual conditions*; the four houses have different color schemes, similar materials, very similar rooflines, different balcony, window and architectural details, to provide both variety and continuity in the small infill development.

7. *Plans take into account pleasant and convenient access to multi-modal transportation options and support the potential for transit patronage;* the site is near Orbit and bus routes, and has pedestrian and bike access to businesses on Broadway, the park and nearby schools.
8. *Vehicular circulation is designed to minimize conflicts with pedestrian access and circulation, and with surrounding residential uses;* the proposed site design puts 4 new driveways on 19th Street, in a similar spacing to the single family houses west of McKemy. Each has a garage with a full length driveway, with visibility to the sidewalk and street for safely exiting the sites.
9. *Plans appropriately integrate Crime Prevention Through Environmental Design principles such as territoriality, natural surveillance, access control, activity support, and maintenance;* windows on the north side overlook the park and community garden, windows on the south side overlook the alley, this infill development provides owner occupied opportunity and activity support with patios and balconies to enhance territoriality and natural surveillance. Yards are walled and gated for security.
10. *Landscape accents and provides delineation from parking, buildings, driveways and pathways;* landscape is provided along the street frontages for shade to pedestrians, and as an accent to the homes within the front yards.

Conclusion

Based on the information provided and the above analysis, staff recommends approval of the requested Development Plan Review and Subdivision Plat. This request meets the required criteria and will conform to the conditions.

REASONS FOR APPROVAL:

1. The project meets the General Plan Projected Land Use and Projected Residential Density for this site.
2. The project will meet the development standards required under the Zoning and Development Code.
3. The proposed project meets the approval criteria for a Development Plan Review.
4. The subdivision allows access to a public street and conforms to the technical standards of the Tempe City Code, Chapter 30, and Subdivisions.

DEVELOPMENT PLAN REVIEW CONDITIONS OF APPROVAL:

EACH NUMBERED ITEM IS A CONDITION OF APPROVAL. THE DECISION-MAKING BODY MAY MODIFY, DELETE OR ADD TO THESE CONDITIONS.

General

1. A Final Subdivision Plat is required for this development and shall be recorded prior to issuance of building permits.
2. The Final Subdivision Plat shall be put into proper engineered format with appropriate signature blanks and recorded with the Maricopa County Recorder's Office through the City of Tempe's Community Development Department on or before September 10, 2016. Failure to record the plat within one year of City Council approval shall make the plat null and void.
3. All property corners shall be set and verified with staff upon final recordation of the subdivision plat, no later than three (3) months from the date of County recordation or as determined by staff.

Site Plan

4. The site plan is approved as submitted July 27, 2015, minor modifications may be reviewed through the plan check process of construction documents; major modifications will require submittal of a Development Plan Review.

Building Elevations

5. The materials and colors are approved as presented:

East Lot 4:

Roof - Concrete Tile – Eagle Cement Co. – Curved smooth tile Medium Cool Grey #5342
Primary Building –Painted Stucco – Glidden Pebble Grey 00NN 53/000 (light grey)
Building Accent –Glidden Icy Waterfall 10BB 73/045 (white)
Fascia – Glidden French Grey 70BG 19/071 (medium cool grey)
Front Door – Glidden Colonial Red 10YR 09/250 (red)
Garage Door - Glidden French Grey 70BG 19/071

Center East Lot 3:

Roof - Concrete Tile – Eagle Cement Co. – Flat smooth tile Light Grey #3241
Primary Building –Painted Stucco – Glidden Eucalyptus Tree 10GY 30/104 (light grey-green)
Building Accent – Glidden Brownington Court 90YR 36/203 (light brown)
Fascia – Glidden Marshmallow White 30YY 83/012 (off-white)
Front Door – Glidden Marshmallow White 30YY 83/012
Garage Door – insulated metal painted to match Glidden Marshmallow White
Stacked Stone Veneer – brand, stacking pattern and grout color not specified

Center West Lot 2:

Roof - Concrete Tile – Eagle Cement Co. – Curved smooth tile Mottled Taupe #2143
Primary Building –Painted Stucco – Glidden Warm Caramel 10YY 35/196 (medium gold brown)
Building Accent – Glidden Natural Wicker 30YY 67/084 (cream)
Fascia – Glidden Monterey Cliffs 10YY 14/080 (dark taupe)
Garage Door – insulated metal with wood finish in medium brown mahogany finish and clerestory lites
Front Door Glidden Classic Burgundy 09YR 05/305

West Lot 1:

Roof - Concrete Tile – Eagle Cement Co. – Flat raked surface concrete tile Medium Grey #5213
Primary Building –Painted Stucco – Blue Grey Slate 30BB 13/068
Building Accent – Glidden Parchment White 60YY 83/062 (off-white)
Fascia – Glidden Silver Swordplay 30BB 45/049 (light cool grey)
Front Door – Glidden Silver Swordplay 30BB 45/049 (light cool grey)
Garage Door – Glidden Silver Swordplay 30BB 45/049 (light cool grey)
Stacked Stone Veneer - brand, stacking pattern and grout color not specified

Provide primary building colors and materials with a light reflectance value of 75 percent or less. Specific colors and materials exhibited on the materials sample board are approved by planning staff. Additions or modifications may be submitted for review during building plan check process.

6. Use natural stone veneer or integral colored stone product for masonry wainscot.
7. Stacked stone veneer shall be used around the east and west sides of the home to the side wall fence-line facing the street.
8. Stacked stone veneer shall be used on the columns to the patio surround in the back yard to provide variation in materials and four-sided architecture.
9. Locate the electrical service entrance section (S.E.S.) inside a secure yard that is concealed from public view.

Landscape

10. The plant palette is approved as proposed and specified on the landscape plan. Any additions or modifications may be submitted for review during building plan check process.
11. Wilson Street side yard to have a minimum of 30% vegetative understory plants and ground cover (exclusive of tree canopies); this material should include at least three species and may include lantana, rosemary, dwarf bougainvillea, pampas grass and red yucca for texture and color variety.
12. 19th Street front yards to have a minimum of 30% vegetative understory plants and ground cover (exclusive of tree canopies); this material should include at least 3 species (exclusive of house foundation plants), and may include lantana, dalea greggii, rosemary, red yucca, cape aloe, pampas grass, fairy duster or erymophila varieties.
13. Street trees shall be a minimum of 36" box specimens and a minimum of 1 ½" caliper trunk.
14. Irrigation notes:
 - a. Turf pipe distribution system of buried rigid (polyvinylchloride), not flexible (polyethylene). Use of schedule 40 PVC mainline and class 315 PVC ½" feeder line is acceptable.
 - b. Hardwire power source to controller (a receptacle connection is not allowed).
15. Include requirement to de-compact soil in planting areas on site and in public right of way and remove construction debris from planting areas prior to landscape installation.
16. Top dress planting areas with a rock or decomposed granite application. Provide rock or decomposed granite of 2" uniform thickness. Provide pre-emergence weed control application and do not underlay rock or decomposed granite application with plastic.
17. Trees shall be planted a minimum of 20'-0" from any existing or proposed public water or sewer lines. The tree planting separation requirements may be reduced from the waterline upon the installation of a linear root barrier, a minimum of 6'-0" parallel from the waterline, or around the tree. The root barrier shall be a continuous material, a minimum of 0.08" thick, installed 0'-2" above finish grade to a depth of 8'-0" below grade. Final approval subject to determination by the Public Works, Water Utilities Division.

CODE/ORDINANCE REQUIREMENTS:

THE BULLETED ITEMS REFER TO EXISTING CODE OR ORDINANCES THAT PLANNING STAFF OBSERVES ARE PERTINENT TO THIS CASE AND ARE INCLUDED TO ALERT THE DESIGN TEAM AND ASSIST IN OBTAINING A BUILDING PERMIT AND ARE NOT AN EXHAUSTIVE LIST.

- Development plan approval shall be void if the development is not commenced or if an application for a building permit has not been submitted, whichever is applicable, within twelve (12) months after the approval is granted or within the time stipulated by the decision-making body. The period of approval is extended upon the time review limitations set forth for building permit applications, pursuant to Tempe Building Safety Administrative Code, Section 8-104.15. An expiration of the building permit application will result in expiration of the development plan.
- Specific requirements of the **Zoning and Development Code (ZDC)** are not listed as a condition of approval, but will apply to any application. To avoid unnecessary review time and reduce the potential for multiple plan check submittals, become familiar with the ZDC. Access the ZDC through www.tempe.gov/zoning or purchase from Community Development.
- **SITE PLAN REVIEW:** Verify all comments by the Public Works Department, Community Development Department, and Fire Department given on the Preliminary Site Plan Review. If questions arise related to specific comments, they should be directed to the appropriate department, and any necessary modifications coordinated with all concerned parties, prior to application for building permit. Construction Documents submitted to the Building Safety Division will be reviewed by planning staff to ensure consistency with this Design Review approval prior to issuance of building permits.

- **STANDARD DETAILS:**
 - Access to Tempe Supplement to the M.A.G. Uniform Standard Details and Specifications for Public Works Construction, at this link: <http://www.tempe.gov/city-hall/public-works/engineering/standards-details> or purchase book from the Public Works Engineering Division.
 - Access to refuse enclosure details an all other Development Services forms at this link: <http://www.tempe.gov/city-hall/community-development/building-safety/applications-forms>. The enclosure details are under Civil Engineering & Right of Way.
- **BASIS OF BUILDING HEIGHT:** Measure height of buildings from top of curb at a point adjacent to the center of the front property line.
- **HISTORIC PRESERVATION:** State and federal laws apply to the discovery of features or artifacts during site excavation (typically, the discovery of human or associated funerary remains). Contact the Historic Preservation Officer with general questions. Where a discovery is made, contact the Arizona State Historical Museum for removal and repatriation of the items.
- **ENGINEERING:**
 - Underground utilities except high-voltage transmission line unless project inserts a structure under the transmission line.
 - Coordinate site layout with Utility provider(s) to provide adequate access easement(s).
 - Clearly indicate property lines, the dimensional relation of the buildings to the property lines and the separation of the buildings from each other.
 - Verify location of any easements, or property restrictions, to ensure no conflict exists with the site layout or foundation design.
 - 100 year onsite retention required for this property, coordinate design with requirements of the Engineering Department.
 - Curb and sidewalk adjacent to the property may be required to be replaced.

HISTORY & FACTS:

1930-1949	Aerial photography indicates the site was native desert until removal of vegetation in the 1940s.								
1969	Aerial photography shows single family houses to the west of McKemy and the apartments to the east of this lot.								
1979	Aerial photography shows commercial development to the south and the development of Clark Park and swimming pool. This site has never been developed.								
November 26, 2013	Development Review Commission approved a request for MCKEMY TOWNHOMES for a proposed new multi-family development on a vacant lot at the south east corner of 19 th and McKemy streets. The two and three bedroom townhome units were to be for sale product on fee simple lots sharing common landscape area, retention and pool amenities. Parking was accessed from the alley and includes secured garages. The entitlement included: <table border="0" style="margin-left: 40px;"> <tr> <td>ZUP13107</td> <td>Use Permit Standard to reduce the front yard setback from 20' to 16'</td> </tr> <tr> <td>ZUP13108</td> <td>Use Permit Standard to reduce the side yard setback from 10' to 8'</td> </tr> <tr> <td>ZUP13109</td> <td>Use Permit Standard to reduce the street side yard setback from 15' to 12'</td> </tr> <tr> <td>DPR13219</td> <td>Development Plan Review including site plan, building elevations, and landscape plan</td> </tr> </table>	ZUP13107	Use Permit Standard to reduce the front yard setback from 20' to 16'	ZUP13108	Use Permit Standard to reduce the side yard setback from 10' to 8'	ZUP13109	Use Permit Standard to reduce the street side yard setback from 15' to 12'	DPR13219	Development Plan Review including site plan, building elevations, and landscape plan
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ZUP13109	Use Permit Standard to reduce the street side yard setback from 15' to 12'								
DPR13219	Development Plan Review including site plan, building elevations, and landscape plan								

August 25, 2015 Development Review Commission is scheduled for a meeting for the Development Plan Review and Preliminary Subdivision Plat of the four single-family homes on a .56 acre lot zoned R-3 Multi-family, in compliance with all required development standards.

September 10, 2015 City Council is scheduled for a meeting for an Amended Subdivision Plat for four lots.

ZONING AND DEVELOPMENT CODE REFERENCE:

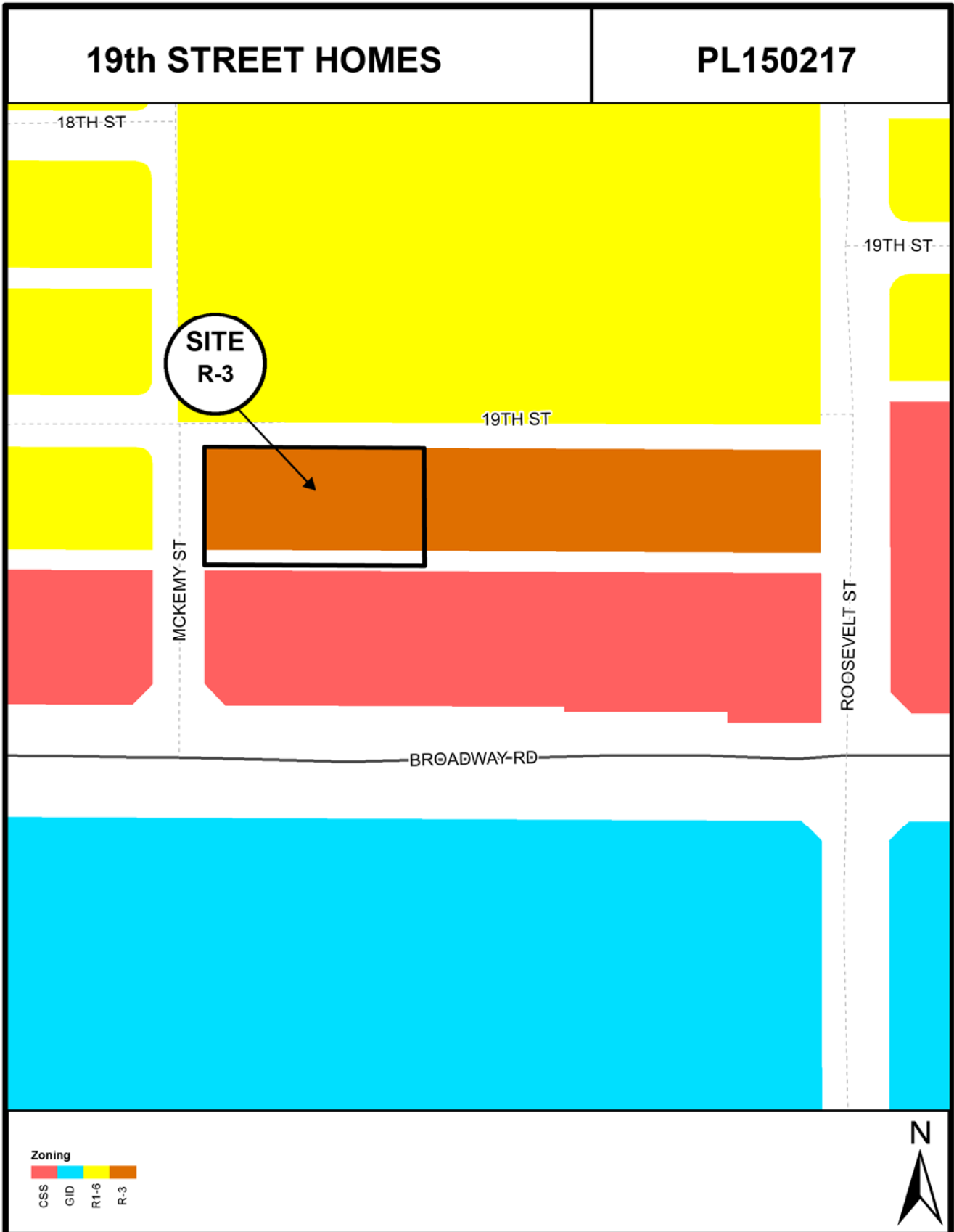
Section 6-306, Development Plan Review



DEVELOPMENT PROJECT FILE
for
19th Street Homes

ATTACHMENTS:

1. Location Map
2. Aerial
3. Letter of Explanation
4. Site Plan
- 5-7. Building Floor Plan, Roof Plan & Elevations House Type A
- 8-10. Building Floor Plan, Roof Plan & Elevations House Type B
- 11-15. Color Renderings
16. Landscape Plan
- 17-18. Subdivision Plat



Location Map

19th STREET HOMES	PL150217
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Aerial Map

Letter of Explanation for Development Plan at
647 W. 19th Street
Tempe, Arizona 85281
APN # 124-63-011-Q

On April 13, 2015 MGJ Homes, LLC purchased 647 w. 19th street Tempe, AZ with intention to subdivide the 1/2 acre lot into four separate parcels. The owner also planned to spec build four energy efficient single family homes with an architectural style of modern Spanish. Each home will be 2,000 square feet with three bed rooms, two and one half baths, extra-large double garage, energy star appliances and drought resistant landscaping.

1. Each home is situated on the lot staggered to provide relief in addition we have alternated the garages and main entrances.
2. All four homes are a modern Spanish style architecture facing north to reduce heat and make for more human comfort and energy conservation. The homes provide a variation of landscape design changing from grass lawn to a natural desert. Each lot will have 1 or 2 shade trees and sufficient shrubs and other Arizona native vegetation.
3. The front view of two of the homes will have quality stack stone veneer while the other two homes will have smooth stucco. The east west and south walls will be smooth sand finish stucco.
4. Building structure has a lot coverage of 48% of the allowed 50% with a height 25' with the max height 30'. All trees and shrubs were appropriately picked and placed on lot to insure maximum spacing and function of the planned area.
5. By alternating driveways and having varied setbacks we have created an enhanced pedestrian experience and harmony at street level for this four home project. The neighborhoods flows nicely from the 2 level apartments on the east boarded into the single story homes on the west boarder.
6. The front view of each home is esthetically appealing because of the quality design, second story deck and stylish entry way facing Clark Park.
7. The city of Tempe has a light rail that runs through down town and heads north and our homes are 1.5 miles to the south. Our project is located on the ASU bike path to ASU corridor and we are surrounded by free ways which include: I-10 to the west, 60 to the south, 101 to the east, 202 to the north, and the 143 to the west. In addition we will provide wheel chair access across driveways.
8. These homes all have a 2 car garage in the front of the homes (on 19th street). Each home has is accessible to the ally on the south boarder.
9. Garages will have remote access and security systems will be an option for buyers. Attention was provided to design the landscaping to eliminate dark locations or excessive bushes which could provide shelter to an attacker.
10. Our landscape plan accents and provides delineation from parking, the homes and sidewalks. We have a man gate in the front of house next to garage with a 4' sidewalk to drive way for trash cans, no trees and shrubs block this pathway.
11. The property address will be placed in a visible location near a light so it's easy to read during the day or nighttime.
12. The homes will feature wall mount lights at all exterior doors. These lights will be energy efficient and have no negative effect on any surrounding homes or pedestrians.

**SITE PLAN
OF
19TH STREET HOMES**

A PROPOSED SUBDIVISION OF A PORTION OF THE
SOUTHEAST QUARTER OF SECTION 21, TOWNSHIP 1
NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER
BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA



Scale: 1"=40'

19th Street

SITE DATA

GROSS AREA: 33,446 S.F.
0.768 ACRES

NET AREA: 24,608 S.F.
0.565 ACRES

ZONING: R-3

MAX. LOT: 6,152 S.F.

MIN. LOT 6,041 S.F.

AVG. LOT: 6,124 S.F.

DENSITY: 0.19 LOTS/GR. AC.

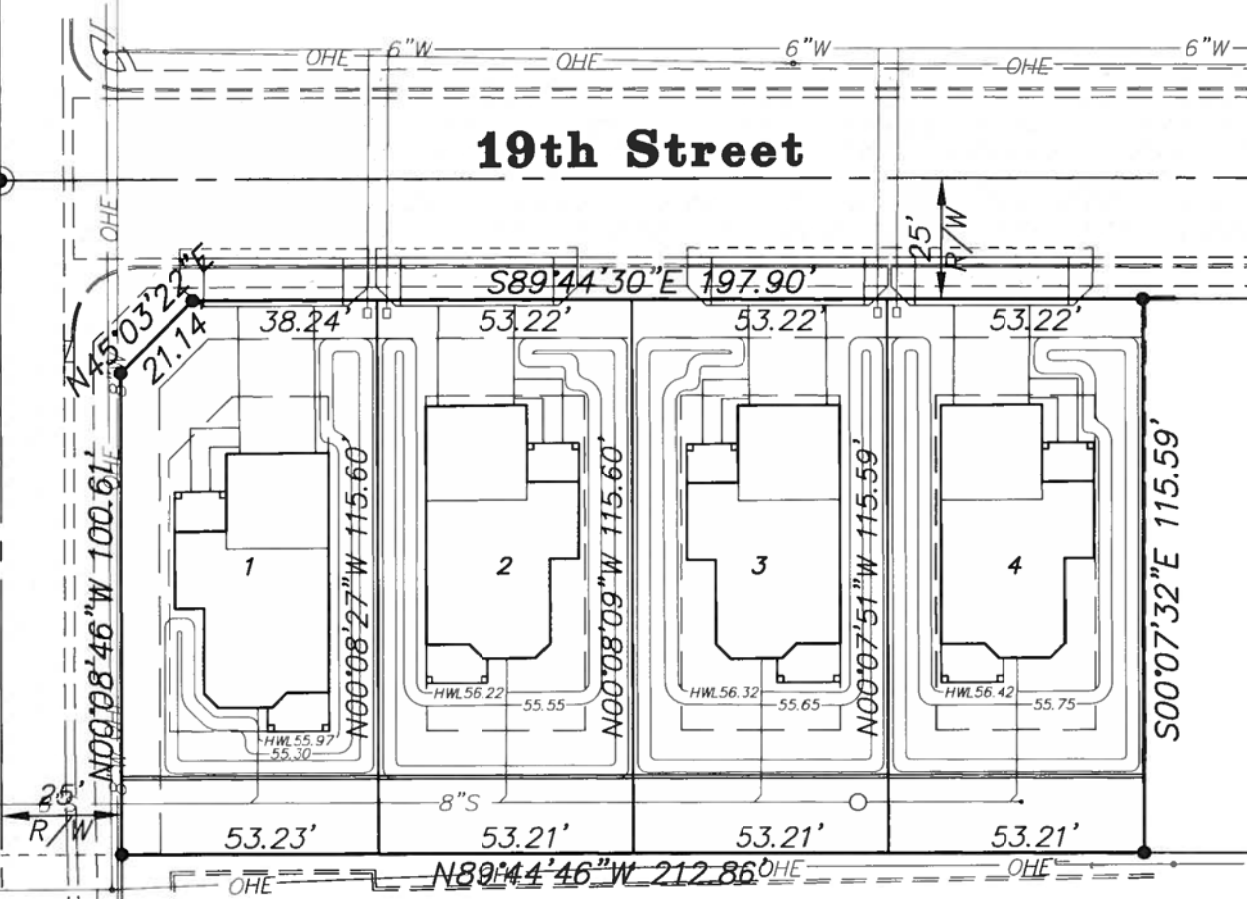
BUILDING SETBACKS:

FRONT = 20'

REAR = 10'

SIDE = 10'

McKemy Street



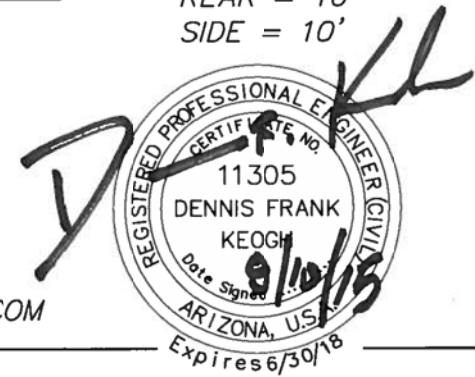
SITE ADDRESS

647 WEST 19TH STREET
TEMPE, ARIZONA 85281

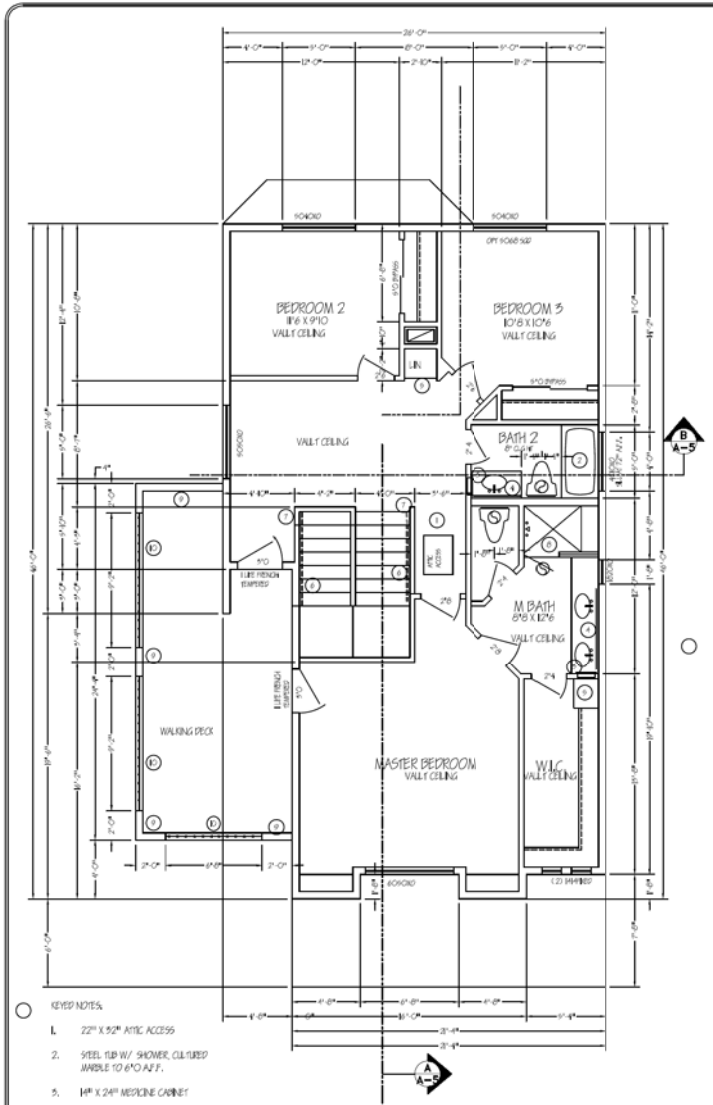
OWNER/DEVELOPER

MGJ HOMES, LLC
1553 EAST DRAKE DRIVE
TEMPE, ARIZONA 85283
PHONE: 480-313-5353
CONTACT: MARCUS JACOBSON
EMAIL: MARCUSJACOBSON09@GMAIL.COM

ATTACHMENT 4

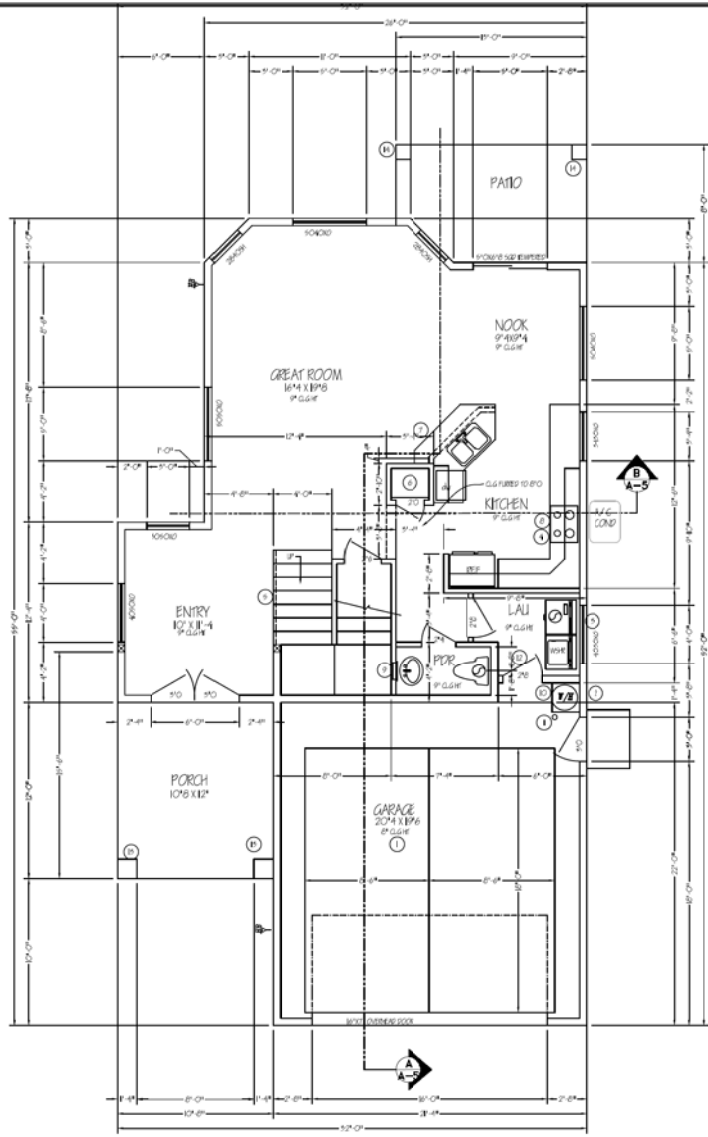


Expires 6/30/18



KEYED NOTES

1. 22" X 52" ATIC ACCESS
2. STEEL TUB W/ SHOWER CULTURED MARBLE TO 6" O.A.F.F.
3. 14" X 24" MEDICINE CABINET
4. 1/2" PLATE GLASS MIRROR
5. SHELVES W/ FACE FRAME
6. HANDRAIL @ 56" ABOVE REAR NOSE
7. GUARDWALL 56" HIGH
8. CERAMIC TILE SHOWER TO MIN 6" AFF W/ TEMPERED GLASS ENCLOSURE
9. GUARD WALL 44" HIGH, STUCCO FINISH
10. WROUGHT IRON RAILING, AT 56" HIGH W/ BALUSTERS @ 4" O.C.



KEYED NOTES

1. 5/8" TYPE 1/4" DRYWALL AT GARAGE CEILING AND 1/2" DRYWALL ON WALLS
2. 5/4" COPPER TEMPERATURE AND PRESSURE RELIEF LINE TO EXTERIOR TERMINATING IN A DOWNWARD POSITION BETWEEN 6" AND 24" ABOVE GRADE
3. VENT DROVE THROUGH WALL PER SEC. MISC.2
4. VENT RANGERHOOD THROUGH WALL
5. HANDRAIL @ 56" ABOVE REAR NOSE W/ BALUSTERS @ 4" O.C. MAX.
6. 9 SHELVES
7. RAISED BAK TOP
8. SLIDE IN DUNGE
9. MEDICINE CABINET 14" X 24" H.D.
10. 12" HIGH PLATFORM AT WATER HEATER
11. 4" X 6" 56" HIGH STEEL PIPE BOLLARD CONCRETE FILLED IN 24" DEEP FOOTING
12. TIGHT FITTING 1 1/2" SOLID CORE DOOR W/ SELF CLOSER
13. 16" 50 BOX COLUMN
14. 12" 50 BOX COL.

NOTE:
NO FIRE SPRINKLERS TO BE INSTALLED

AREA TABULATION	
LIVING AREA	1959
MAIN FLOOR	888
UPSTAIRS	1071
GARAGE	477
PATIOS	96
ENTRY PORCH	128
STORAGE	0
TOTAL UNDER ROOF	2900
TOTAL FOOTPRINT	1599
LOT AREA	6156
LOT COVERAGE	25.81%

REVISIONS	

PLAN 1959
ELEVATION A

MCJ HOMES LLC

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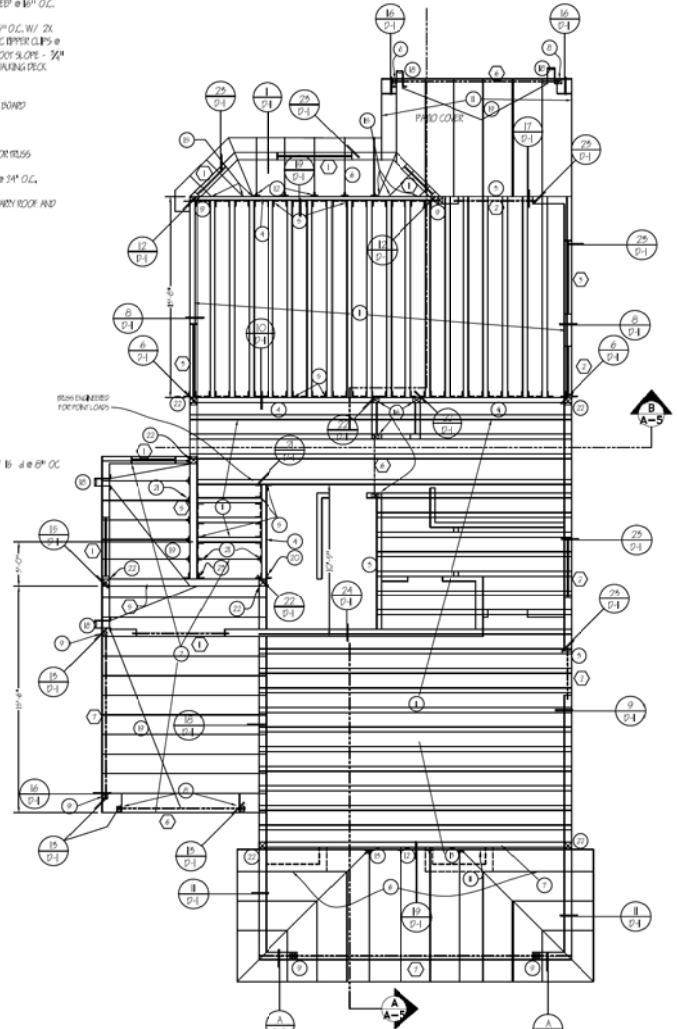
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FLOOR FRAMING NOTES:

1. ENGINEERED FLOOR TRUSS - 18" DEEP @ 18" O.C.
2. 11-7/8" I-JOIST FLOOR JOIST @ 16" O.C. W/ 2X MEMBERS ATTACHED W/ SIMPSON RC TYPERS CLIPS @ 4" O.C. TO PROVIDE MINIMUM PER FOOT SLOPE - 2" PER FOOTING W/ DECKING OVER HANGING DECK SURFACE I.C. = 1/8" MIN
5. 1 1/2" X 16" DIMENSIONAL L.S. RM BOARD
4. GIDER FLOOR TRUSS
5. SIMPSON TH422 HANGER EA FLOOR TRUSS
6. ENGINEERED ROOF JACK TRUSSES @ 24" O.C.
7. DESIGN FLOOR GIDER TRUSS TO CARRY ROOF AND WALL LOADS
8. (2) 2X6 POST
9. (5) 2X6 POST
10. N/A
11. ENGINEERED GIDER TRUSS
12. SIMPSON L224 HANGERS
13. SIMPSON L311 HANGER
14. SIMPSON L226 HANGERS
15. SIMPSON L1521 CONNECTORS
16. 4X6 DF, #2 POST UNDER GIDER
17. 2X6 LEDGER, NAILED TO TRUSS W/ 16 #4 @ 8" OC
18. 6"X6" GALV METAL SCUPPER
19. GROUT FOR DRAINAGE
20. SIMPSON HLC412 HANGER
21. SIMPSON L226L11/122 HANGER
22. 6X6 DF, #2 POST
23. SIMPSON HLC612 505 HANGER

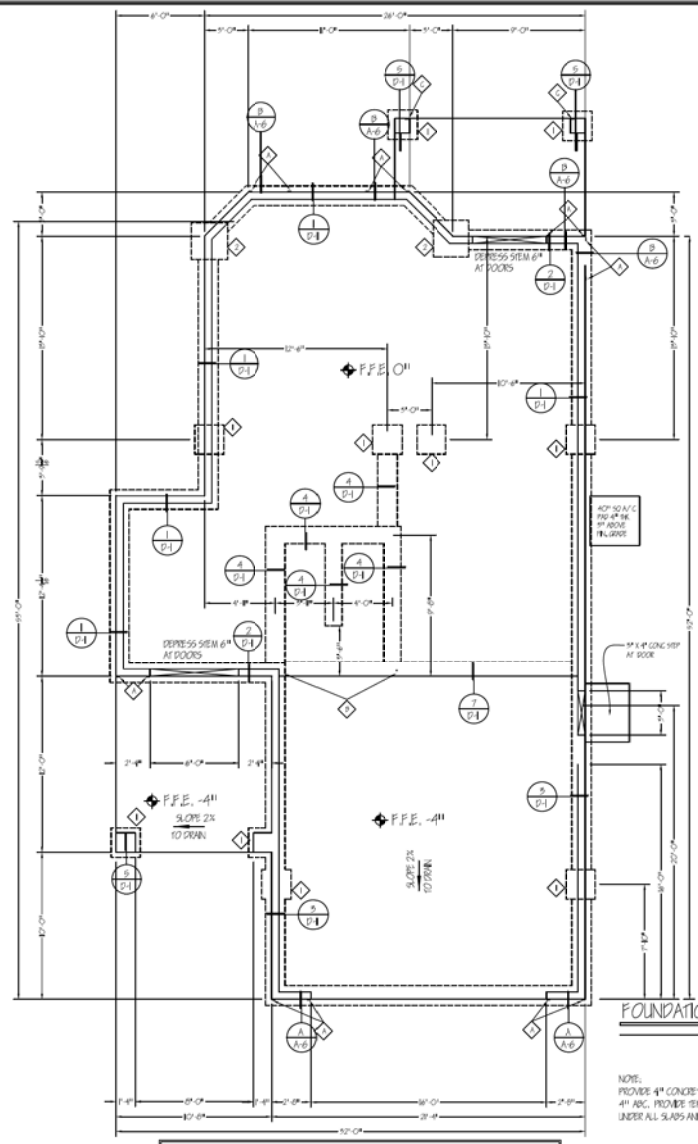


FLOOR FRAMING PLAN

TYPICAL FLOOR DIMENSION LIND.
 2" COX T&G PLYWOOD OR OSB GLED TO ALL SUPPORTS, NAILED W/ 6X LONG SPAN NAILS @ 6" O.C. EDGE AND 12" O.C. INTERIOR.
 FLOOR DESIGN LOADS
 15 PSF DEAD LOAD
 40 PSF LIVE LOAD

BEAM AND HEADER SCHEDULE

1. (2) 2X6 DF, #2 HEADER
2. (2) 2X6 DF, #2 HEADER
3. (2) 2X2 DF, #2 HEADER
4. 2X26" X 16" PARALLAM 2.0C BEAM
5. 5-25" X 11-7/8" PARALLAM 2.0C BEAM
6. 4X2 DF, #2 BEAM
7. 5 1/2" X 12" GULAM BEAM 24F-V4



FOUNDATION PLAN

SCALE 1/4" = 1'

NOTE: PROVIDE 4" CONCRETE SLABS (MIN. THICKNESS 3/4" 2" OVER 4" ABC. PROVIDE REMOTE TREATMENT PER HAZARD REQUIREMENTS UNDER ALL SLABS AND AT FOUNDATIONS

NO SITE SPECIFIC SOILS REPORT PROVIDED TO DESIGNER BY OWNER OR BUILDER. FOUNDATION DESIGN ASSUMES 1500 PSF ALLOWABLE SOIL BEARING STRESS ON UNDISTURBED NATURAL SOIL (NOT FILL) AT A MINIMUM 18" BELOW EXTERIOR FINISH GRADE. DESIGNER HAS NO KNOWLEDGE OF AND THEREFORE ASSUMES NO RESPONSIBILITY FOR SOIL CONDITIONS AND ABILITY OF SITE SOILS TO SUPPORT STRUCTURE BEYOND THE ASSUMED ALLOWABLE SOIL BEARING STRESS ONLY. DESIGNER ASSUMES NO RESPONSIBILITY FOR CRACKED FOUNDATIONS, SLABS, STILTS, ETC. DUE TO UNKNOWN SOIL CONDITIONS WHEN NO SPECIFIC SOILS REPORT IS MADE AVAILABLE TO DESIGNER PRIOR TO FOUNDATION DESIGN.

FOOTING NOTES

- ◆ SIMPSON S18M ANCHOR TO FILL W/ DOUBLE STEPS. VERIFY LOCATION WITH FLOOR PLAN
- ◆ SIMPSON HT16 HOLD-DOWN TO FILL W/ DOUBLE STEPS W/ #4 EXPANSION ANCHORS. 7" MIN EMBEDMENT
- ◆ 24" SQUARE FOOTING, 10" SHAL, 18" DEEP W/ (3) #4 REBAR EA WAY
- ◆ 30" SQUARE FOOTING, 10" SHAL, 18" DEEP W/ (4) #4 REBAR EA WAY

REVISIONS	

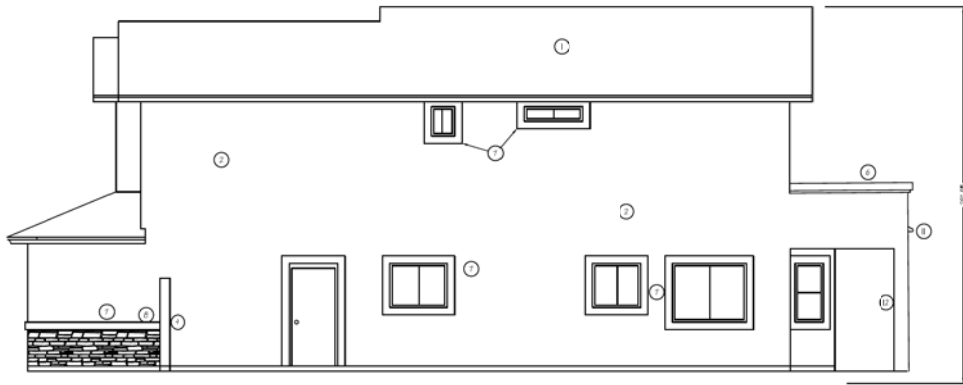
PLAN 1959
 ELEVATION A

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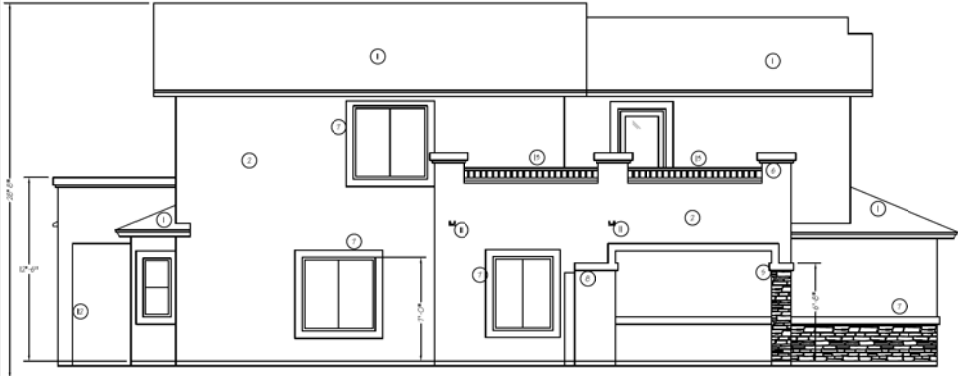
WEST ELEVATION

SCALE 1/4" = 1'



SOUTH ELEVATION

SCALE 1/4" = 1'



EAST ELEVATION

SCALE 1/4" = 1'



NORTH ELEVATION

SCALE 1/4" = 1'

KEYED ELEVATION NOTES

1. MONER CONCRETE TILE
E.C. SHELFPOST # ESKM47 OR
EQUVA.
2. WESTERN ONE KOYE STUCCO
SYSTEM E.C. ER # ESKM07
3. METAL OVERHEAD DOOR
4. (4) 6"X9 CLAY TILE DISCONNET IN
STUCCO
5. 16"X 50 BOX COLUMN STUCCO
FINISH
6. PINKNET WALL
7. 2"X6" POPOUT
8. EXTEND WINDSCOT DETAIL TO
FENCELINE
9. 6" OAK FENCE
10. METAL GABLE VENT PER PLAN
11. GALV METAL SCUPPERS
12. 12" X 50 BOX COL., STUCCO FINISH
13. 12" HIGH WROUGHT IRON RAILING
W/ BALUSTERS @ 4" O.C., TOP
RAIL AT 56" ABOVE FINISHED DECK
SURFACE.

REVISIONS	

PLAN 1959
ELEVATION A

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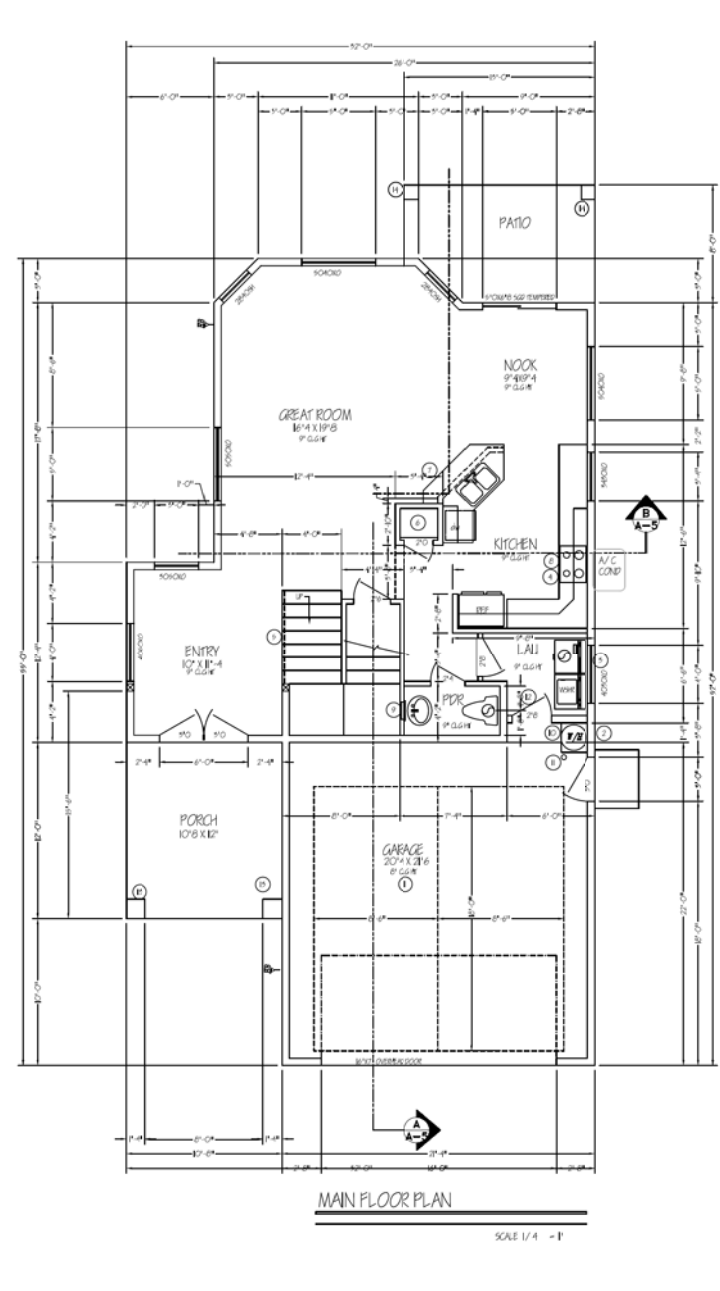
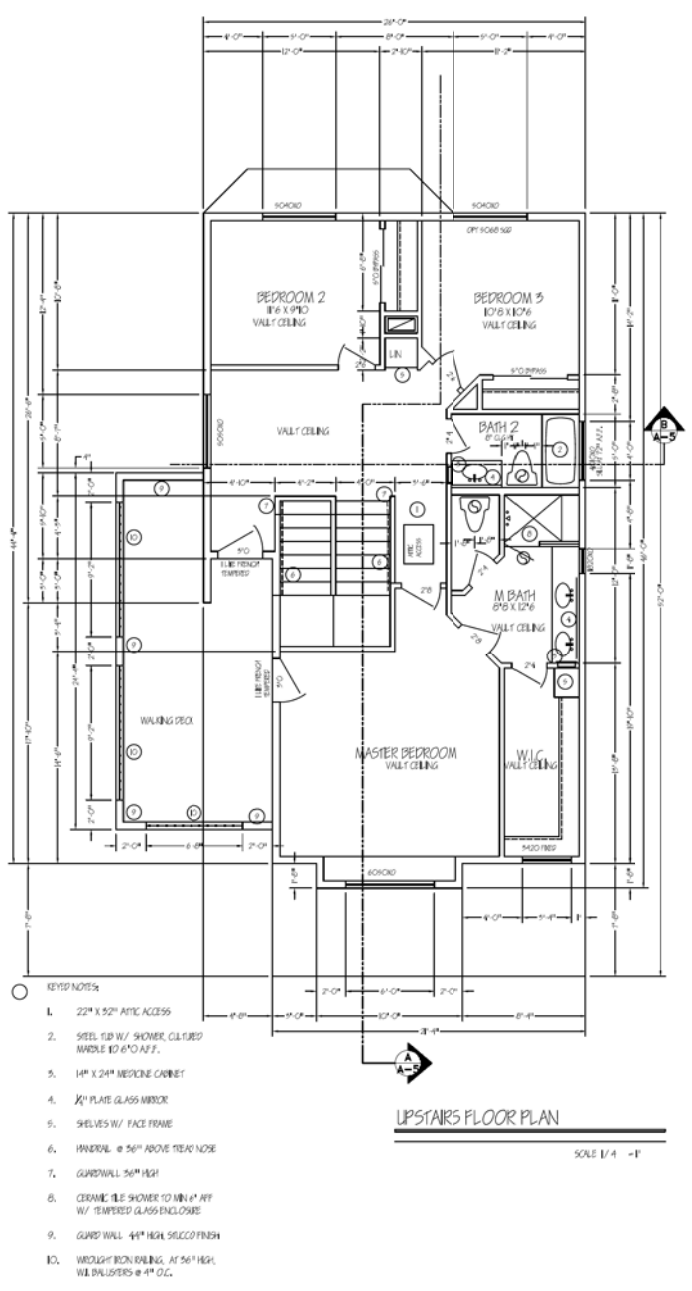
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- KEY NOTES**
- 5/8" TYPE 100 DRYWALL AT GARAGE CEILING AND 1/2" DRYWALL ON WALLS
 - 5/4" COPPER TEMPERATURE AND PRESSURE RELIEF LINE TO EXTERIOR TERMINATING IN A DOWNWARD POSITION BETWEEN 6" AND 24" ABOVE GRADE
 - VENT DROPPERS THROUGH WALL PER SEC MB02
 - VENT RAZORHOOD THROUGH WALL
 - HANDRAIL @ 56" ABOVE TREAD NOSE W/ BALUSTERS @ 4" O.C. MAX
 - 9 SHELVES
 - ROVED BAR TOP
 - SLIDE IN RANGE
 - MEDICINE CABINET 14" X 24" H.O.
 - 36" HIGH PLATFORM AT WATERHEATER
 - 4 1/2" 56" HIGH STEEL PIPE BOLLARD CONCRETE FILLED IN 24" DEEP FOOTING
 - 1/2" FITTING 1 1/2" SOLID CORE DOOR W/ SELF CLOSER
 - 16" SQ BOX COLUMN
 - 12" SQ BOX COL

NOTE:
NO FIRE SPRINGERS TO BE INSTALLED

AREA TABULATION	
LIVING AREA	1900
MAN FLOOR	388
UPSTAIRS	1972
GARAGE	477
PATIOS	96
ENTRY PORCH	128
STORAGE	0
TOTAL UNDER ROOF	2061
TOTAL FOOTPRINT	1569
LOT AREA	6156
LOT COVERAGE	25.81%

REVISIONS	

PLAN 1959
ELEVATION B

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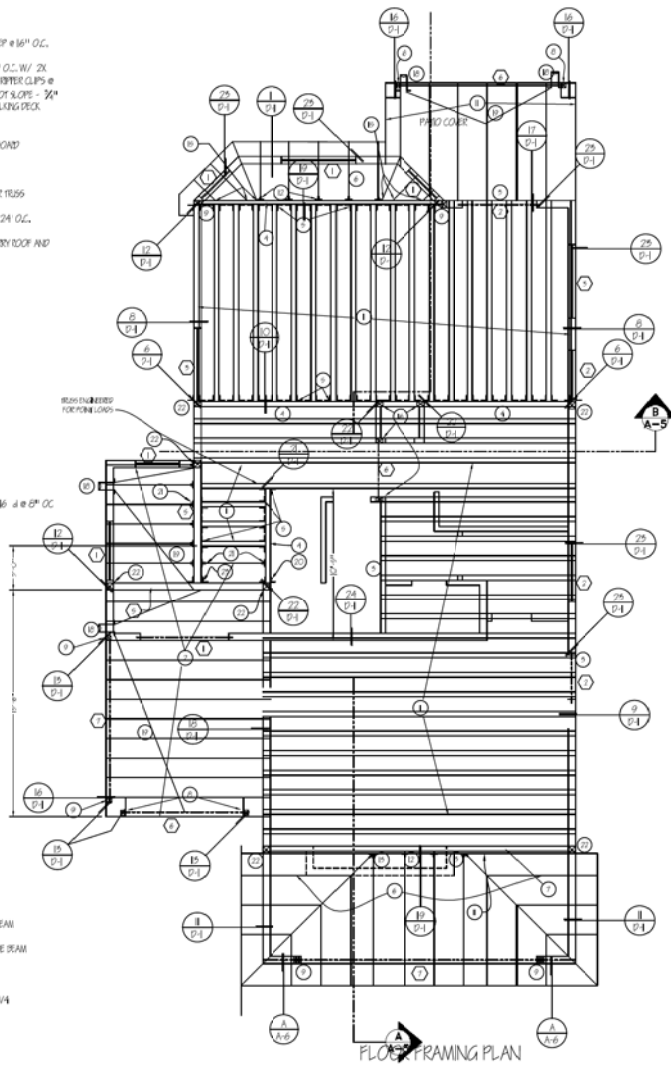
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FLOOR FRAMING NOTES:

1. ENGINEER FLOOR JOISS - 10" DEEP @ 16" O.C.
2. II-77 8" FLND FLOOR JOIST @ 16" O.C. W/ 2X DIMBS ATTACHED W/ SIMPSON RC FIFTER CLIPS @ 4" O.C. TO PROVIDE MINUM PER FOOT SLOPE - 3/4" TEG DECKING W/ 25000 OETS WALKING DECK SURFACE ICG # 154 BELL
3. 1 1/2" X 10" UNBERSHARD LSL 10M BOARD
4. GIDER FLOOR JOISS
5. SIMPSON 19422 HANDEEA FLOOR JOISS
6. ENGINEER ROOF JACK JOISS @ 24" O.C.
7. DESIGN FLOOR GIDER JOISS TO CARRY ROOF AND WALL LOADS
8. (2) 2X6 POST
9. (5) 2X6 POST
10. N/A
11. ENGINEER GIDER JOISS
12. SIMPSON L104 HANGERS
13. SIMPSON L104 HANGER
14. SIMPSON L102 HANGERS
15. SIMPSON L101 CONNECTORS
16. 4X6 DF, #2 POST UNDER GIDER
17. 2X6 LEDGER, NAILED TO JOISS W/ 16" @ 8" O.C
18. 6"X6" GALV METAL SCUPPER
19. ORDER FOR DRAINAGE
20. SIMPSON HLC42 HANGER
21. SIMPSON HLC40 HANGERS
22. 6X6 DF, #2 POST
23. SIMPSON HLC612 505 HANGER

BEAM AND HEADER SCHEDULE

1. (2) 2X6 DF, #2 HEADER
2. (2) 2X6 DF, #2 HEADER
3. (2) 2X2 DF, #2 HEADER
4. 2X25" X 16" PARALLAM 2.0E BEAM
5. 5.25" X 11-7/8" PARALLAM 2.0E BEAM
6. 4X2 DF, #2 BEAM
7. 5/8" X 12" GLULAM BEAM 24F-V4

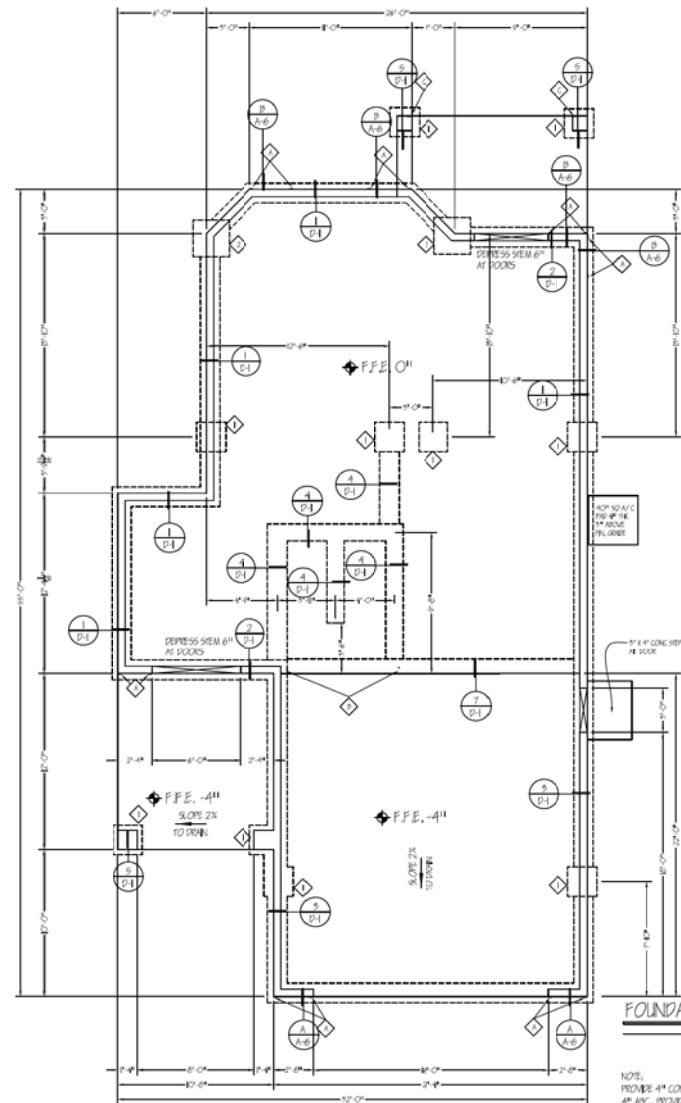


FLOOR FRAMING PLAN

SCALE 1/4" = 1'

TYPICAL FLOOR DIAGRAM INFO:
 3/4" COX TEG PLWOOD OR OSB GLED TO ALL SUPPORTS, NAILED W/ 6X BRNG SHANK NAILS @ 6" O.C. EDGE AND 12" O.C. INTERIOR.
 2X6 LEDGER @ 16" O.C. TEG NAILED

FLOOR DESIGN LOADS
 15 PSF DEAD LOAD
 40 PSF LIVE LOAD



FOUNDATION PLAN

SCALE 1/4" = 1'

NOTE:
 PROVIDE 4" CONCRETE SLABS (MIN. THICKNESS 3-1/2") OVER 4" ABC. PROVIDE THERM TREATMENT PER HUD REQUIREMENTS UNDER ALL SLABS AND AT FOUNDATIONS

NO SITE SPECIFIC SOILS REPORT PROVIDED TO DESIGNER BY OWNER OR BUILDER. FOUNDATION DESIGN ASSUMES 1500 PSF ALLOWABLE SOIL BEARING STRESS ON UNDISTURBED NATURAL SOIL (NOT FILL) AT A MINIMUM DEPTH ON EXTERIOR FINISH GRADE. DESIGNER HAS NO KNOWLEDGE OF AND THEREFORE ASSUMES NO RESPONSIBILITY FOR SOIL CONDITIONS AND ABILITY OF SITE SOILS TO SUPPORT STRUCTURE BEYOND THE ASSUMED ALLOWABLE SOIL BEARING STRESS ONLY. DESIGNER ASSUMES NO RESPONSIBILITY FOR CRACKED FOUNDATIONS, SLABS, STUCCO, ETC. DUE TO UNKNOWN SOIL CONDITIONS WHEN NO SPECIFIC SOILS REPORT IS MADE AVAILABLE TO DESIGNER PRIOR TO FOUNDATION DESIGN.

FOOTING NOTES

- ◆ SIMPSON SHEET ANCHOR TO FILL THE DOUBLE STUDS. VERIFY LOCATION WITH FLOOR PLAN
- ◆ SIMPSON HITME HOLDDOWN TO FILL HT DOUBLE STUDS W/ EXPANSION ANCHORS, 7" MIN. EMBEDMENT
- ◆ 24" SQUARE FOOTING 10" THICK, 18" DEEP W/ (.5) #4 REBAR EA WAY
- ◆ 30" SQUARE FOOTING 10" THICK, 18" DEEP W/ (.4) #4 REBAR EA WAY

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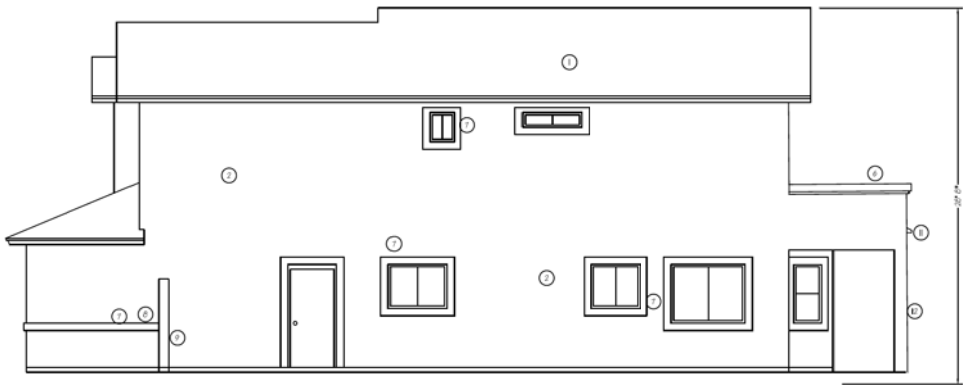
PLAN 1959
 ELEVATION B

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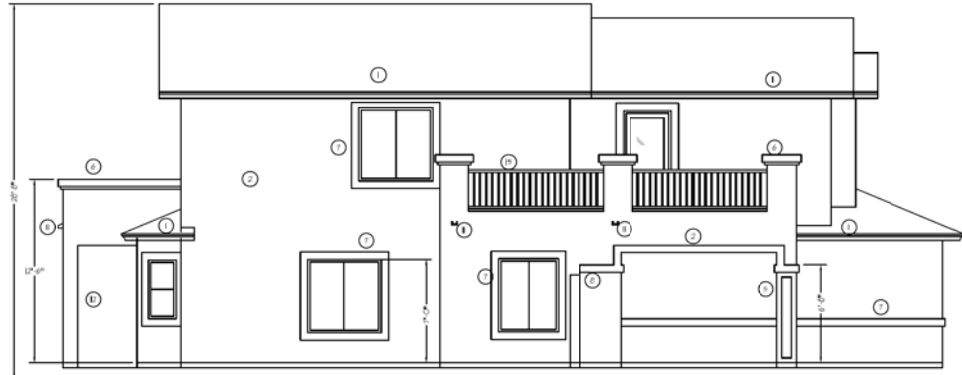
WEST ELEVATION

SCALE 1/4" = 1'



SOUTH ELEVATION

SCALE 1/4" = 1'



EAST ELEVATION

SCALE 1/4" = 1'



NORTH ELEVATION

SCALE 1/4" = 1'

KEYED ELEVATION NOTES

1. MONIER CONCRETE TILE
ICC-ES REPORT # ESR-1647 OR
EQU.
2. WESTERN ONE COAT STUCCO
SYSTEM ICC-ES # ESR-1607
3. METAL OVERHEAD DOOR
4. WROUGHT IRON DECO PER OWNER
5. 1 1/2" SQ BOX COLUMN STUCCO
FINISH
6. PARAPET WALL
7. 2" DIA ROPOUT
8. EXTEND WINDCOT DETAIL TO
FENCELINE
9. 6' CONFERENCE
10. METAL GABLE VENT PER PLAN
11. 6/16 GALV METAL SCUPPERS
12. 12" SQ BOX COL. STUCCO FINISH
13. 5/8" HIGH WROUGHT IRON RAILING
W/ BALUSTERS @ 4" O.C., TOP
RAIL AT 56" ABOVE FINISHED DECK
SURFACE

REVISIONS	

PLAN 1959
ELEVATION B

MLG HOMES LLC

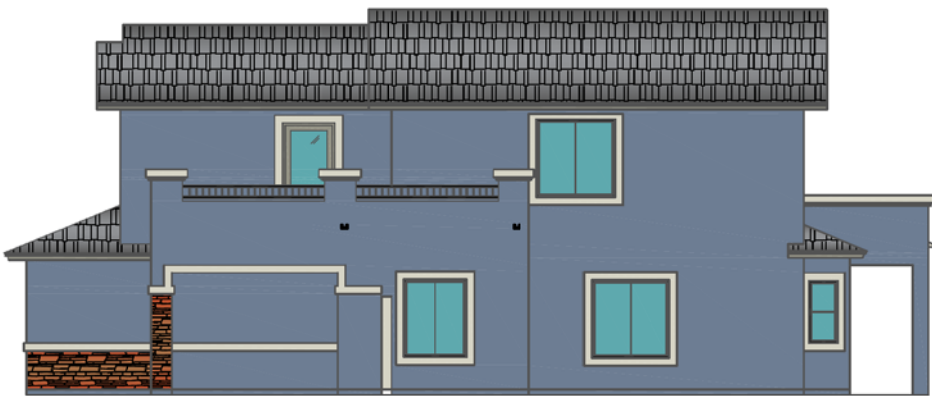
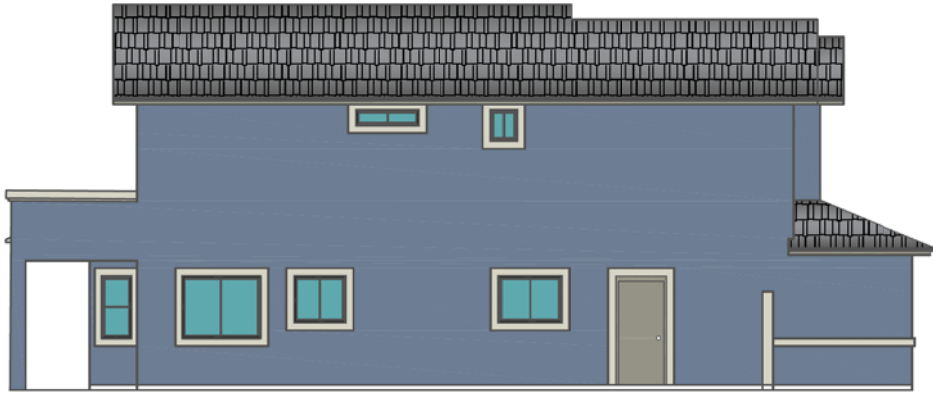
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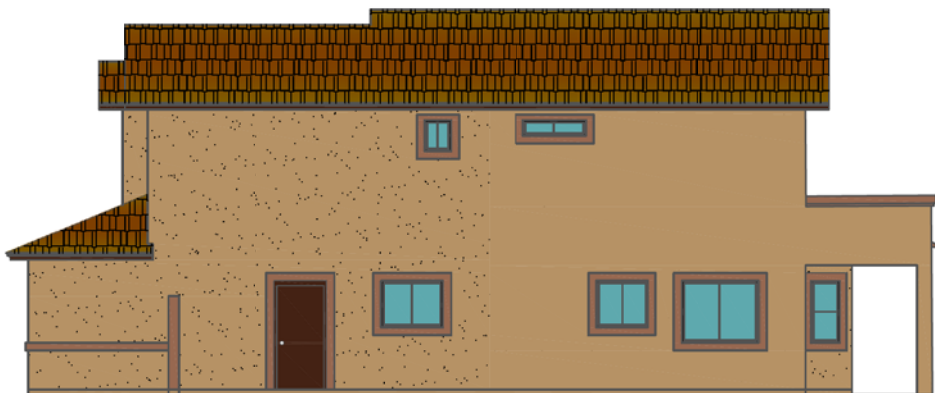
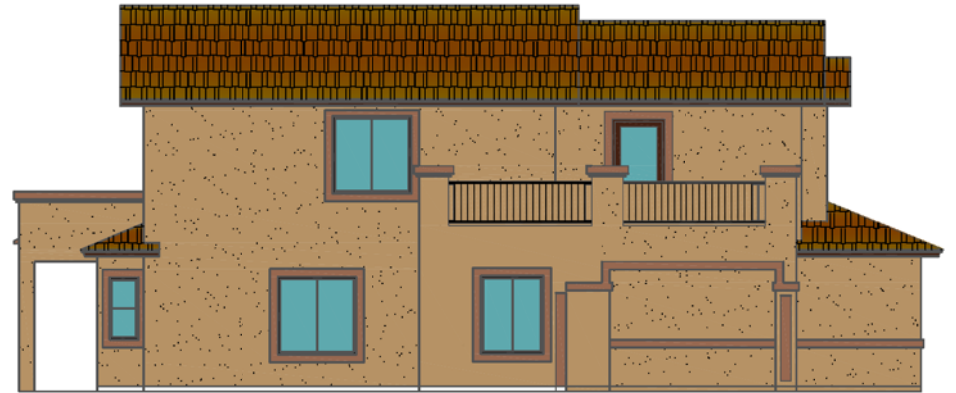
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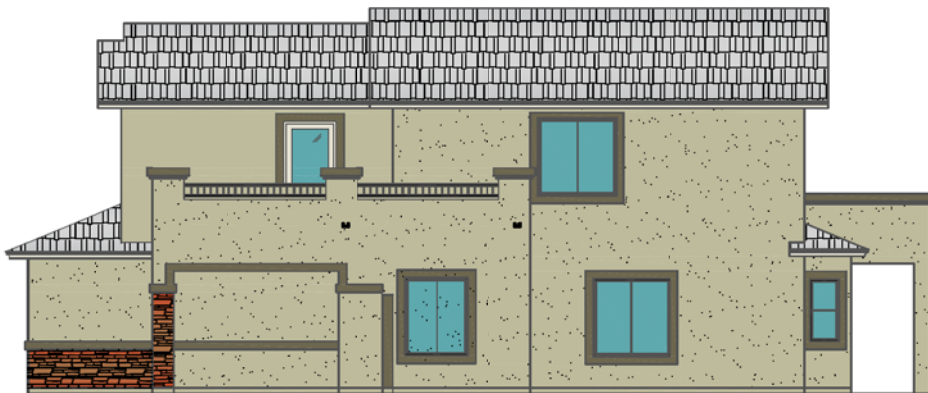
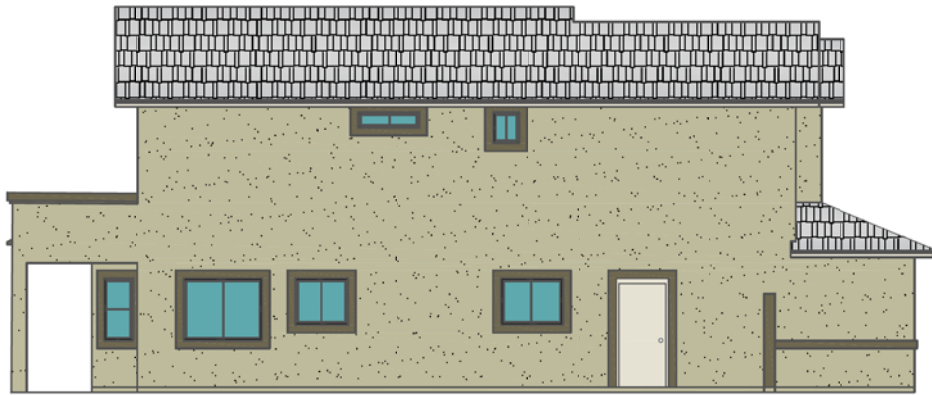
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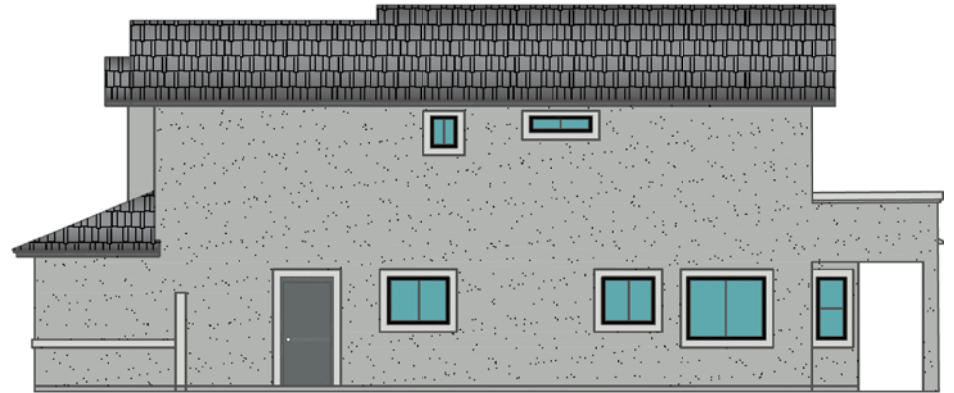
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LOT 2



LOT 3



LOT 4

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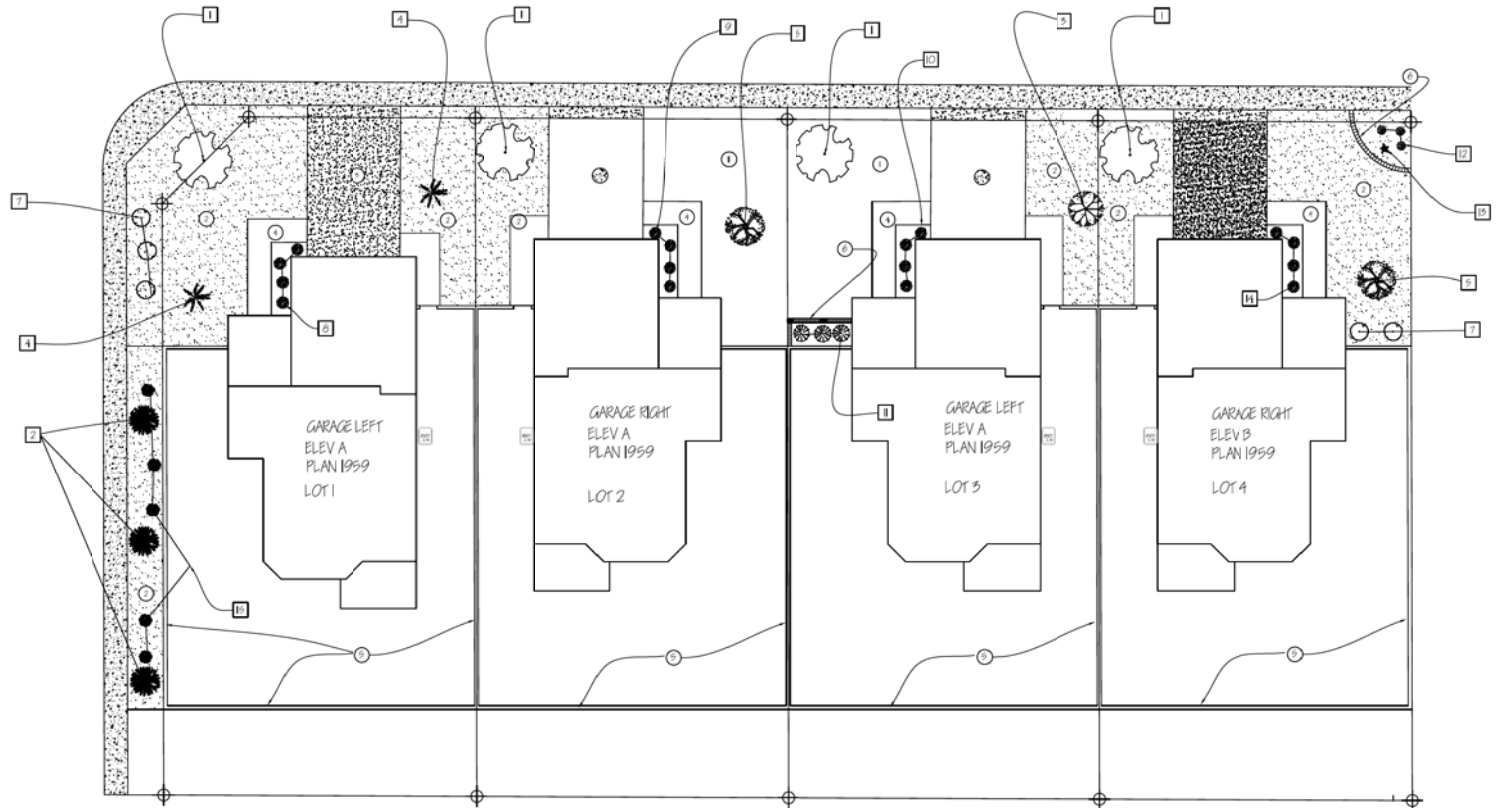
LANDSCAPE PLAN

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- KEYED LANDSCAPE NOTES
- 1. 1/2" BERMUDA GRASS - 100/100
 - 2. 1/2" PLOWPOSSO GRASS
 - 3. 1/2" CONCRETE PAVE
 - 4. 4" CONCRETE WALK
 - 5. 6" CALIFORNIA FENCE
 - 6. CONCRETE CURB

KEY	QTY	COMMON NAME	SCIENTIFIC NAME	QUANTITY
1	1	1/2" PLOWPOSSO	PROSTRAE GALEANUS	4
2	1	1/2" BERMUDA GRASS	PROSTRAE GALEANUS	4
3	1	1/2" CONCRETE PAVE	PROSTRAE GALEANUS	4
4	1	1/2" CONCRETE WALK	PROSTRAE GALEANUS	4
5	1	1/2" CALIFORNIA FENCE	PROSTRAE GALEANUS	4
6	1	1/2" CONCRETE CURB	PROSTRAE GALEANUS	4
7	1	1/2" BERMUDA GRASS	PROSTRAE GALEANUS	4
8	1	1/2" PLOWPOSSO GRASS	PROSTRAE GALEANUS	4
9	1	1/2" CONCRETE PAVE	PROSTRAE GALEANUS	4
10	1	1/2" CONCRETE WALK	PROSTRAE GALEANUS	4

LANDSCAPE PLAN
 SCALE 1" = 10'



FINAL PLAT OF 19TH STREET HOMES

A PLAT OF A PORTION OF THE SOUTHEAST QUARTER OF SECTION 21, TOWNSHIP 1 NORTH,
RANGE 4 EAST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA

DEDICATION

STATE OF ARIZONA } s.s.
COUNTY OF MARICOPA }

KNOW ALL MEN BY THESE PRESENTS:

THAT MGJ HOMES, L.L.C., AN ARIZONA LIMITED LIABILITY COMPANY AS OWNER HAS SUBDIVIDED UNDER THE NAME OF "19TH STREET HOMES", A PORTION OF THE SOUTHEAST QUARTER OF SECTION 21, TOWNSHIP 1 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, AS SHOWN PLATTED HEREON AND HEREBY PUBLISHES THIS PLAT AS AND FOR THE PLAT OF "19TH STREET HOMES", AND HEREBY DECLARES THAT SAID PLAT SETS FORTH THE LOCATION AND GIVES THE DIMENSIONS OF EACH LOT, PUBLIC EASEMENT, AND STREET CONSTITUTING SAME, AND THAT EACH LOT AND STREET SHALL BE KNOWN BY THE NUMBER OR NAME GIVEN EACH, RESPECTIVELY, ON SAID PLAT. MGJ HOMES, L.L.C., AN ARIZONA LIMITED LIABILITY COMPANY, AS OWNER DEDICATES TO THE PUBLIC THE EASEMENTS AS SHOWN ON SAID PLAT AND INCLUDED IN THE ABOVE PREMISES.

IN WITNESS THEREOF:

MGJ HOMES, L.L.C., AN ARIZONA LIMITED LIABILITY COMPANY HAS HERELIANTO CAUSED ITS NAME TO BE SIGNED AND THE SAME ATTESTED BY THE SIGNATURE OF THE UNDERSIGNED OFFICER, THEREUNTO DULY AUTHORIZED THIS _____ DAY OF _____, 2015.

MGJ HOMES, L.L.C., AN ARIZONA LIMITED LIABILITY COMPANY

BY: _____ DATE: _____

ITS: _____

ACKNOWLEDGEMENT

STATE OF ARIZONA } s.s.
COUNTY OF MARICOPA }

ON THIS _____ DAY OF _____, 2015, BEFORE ME THE UNDERSIGNED, PERSONALLY APPEARED _____, WHO ACKNOWLEDGED HIMSELF TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE INSTRUMENT WITHIN, AND WHO EXECUTED THE FOREGOING INSTRUMENT FOR THE PURPOSES THEREIN CONTAINED.

IN WITNESS WHEREOF: I HAVE HERELIANTO SET MY HAND AND OFFICIAL SEAL.

BY: _____ NOTARY PUBLIC MY COMMISSION EXPIRES _____

LEGAL DESCRIPTION (PRIOR TO SUBDIVISION)

THE SOUTH HALF OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 21, TOWNSHIP 1 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

EXCEPT THE SOUTH 190 FEET, AND EXCEPT THE EAST 420 FEET.

OWNER/DEVELOPER

MGJ HOMES, L.L.C., AN ARIZONA LIMITED LIABILITY COMPANY
1553 EAST DRAKE DRIVE
TEMPE, ARIZONA 85283
PHONE: 480-313-5333
CONTACT: MARCUS JACOBSON
EMAIL: MARCUS.JACOBSON@MGJMAIL.COM

BENCHMARK

ARIZONA HIGHWAY DEPT. BRASS CAP IN HANDHOLE AT THE SOUTH 1/4 CORNER OF SECTION 21, TOWNSHIP 1 NORTH, RANGE 4 EAST, G&SR&M, MARICOPA COUNTY ARIZONA.
ELEVATION = 1154.681
(NAVD88 DATUM)

BASIS OF BEARINGS

SOUTH 89°44'43" EAST (CALCULATED) ALONG THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 21, TOWNSHIP 1 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA PER UNRECORDED MAP ENTITLED "TEMPE, ARIZONA SURVEY CONTROL" SHOWN IN MAP ON FILE WITH THE MARICOPA COUNTY DEPARTMENT OF TRANSPORTATION DIN NO. 36929-1 AND SHOWN ON RESULTS OF SURVEY IN BOOK 062 OF MAPS, PAGE 27, MCR.

PROJECT DATA

GROSS AREA = 33,446 S.F. = 0.768 ACRES
NET AREA = 24,495 S.F. = 0.562 ACRES

STATEMENT OF OWNERS

WE HAVE REVIEWED THIS PLAN AND APPROVED THE DEVELOPMENT AS SHOWN, SIGNED THIS _____ DAY OF _____, 2015 BY _____ AS _____ OF MGJ HOMES, L.L.C., AN ARIZONA LIMITED LIABILITY COMPANY

APPROVALS

APPROVED BY THE CITY OF TEMPE, CITY COUNCIL OF THIS _____ DAY OF _____, 2015

BY: _____ MAYOR, DATE: _____

ATTEST: _____ CITY CLERK, DATE: _____

BY: _____ CITY ENGINEER, DATE: _____

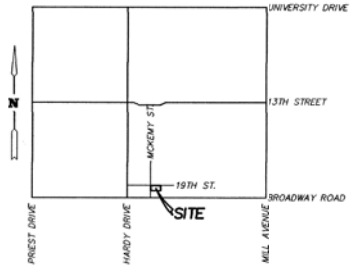
BY: _____ COMMUNITY DEVELOPMENT, DATE: _____

CERTIFICATION

I DENNIS F. KEOGH HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR IN THE STATE OF ARIZONA; THAT THIS MAP, CONSISTING OF 2 SHEETS, CORRECTLY REPRESENTS A SURVEY DONE UNDER MY SUPERVISION DURING THE MONTH OF APRIL, 2015; THAT THE SURVEY IS TRUE AND COMPLETE AS SHOWN; THAT THE MONUMENTS SHOWN ACTUALLY EXIST AS SHOWN OR WILL BE SET; THAT THEIR POSITIONS ARE CORRECT AND ACCURATE AS SHOWN; AND THAT SAID MONUMENTS ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.

D. F. Keogh
REGISTERED LAND SURVEYOR
DENNIS F. KEOGH
14150 WEST WOODWELL ROAD
GOODYEAR, ARIZONA 85395
REG. NO. 10846

8/11/15
DATE



LOCATION MAP

Not to Scale

LEGEND

MCR	MARICOPA COUNTY RECORDER
PUE	PUBLIC UTILITY EASEMENT
R/W	RIGHT OF WAY
⊙	BRASS CAP FOUND
⊙	BRASS CAP TO BE SET PER
⊙	MAG DET. 120-1, TYPE B.
□	PROPERTY BOUNDARY CORNER
•	SET 1/2" REBAR WITH CAP LS10846
—	SUBDIVISION BOUNDARY LINE
—	LOT LINE
- - -	EASEMENT LINE
- - -	STREET CENTERLINE

FLOOD PLAIN CERTIFICATION:

THIS PARCEL IS LOCATED WITHIN ZONE X AS DELINEATED ON THE MARICOPA COUNTY, ARIZONA AND INCORPORATED FLOOD INSURANCE RATE MAP/FLOOD HAZARD BOUNDARY MAP PANEL NO. 04013C2240L DATED OCTOBER 16, 2013, AND PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY. ZONE X IS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY AS AREAS 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN ONE (1) FOOT OR WITH DRAINAGE AREAS LESS THAN ONE (1) SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.

NOTE:

NO MODIFICATION TO LOT GRADING AND DRAINAGE PLANS SHALL BE ALLOWED UNLESS AN INDIVIDUAL GRADING AND DRAINAGE PLAN IS SUBMITTED AND APPROVED BY THE CITY OF TEMPE.

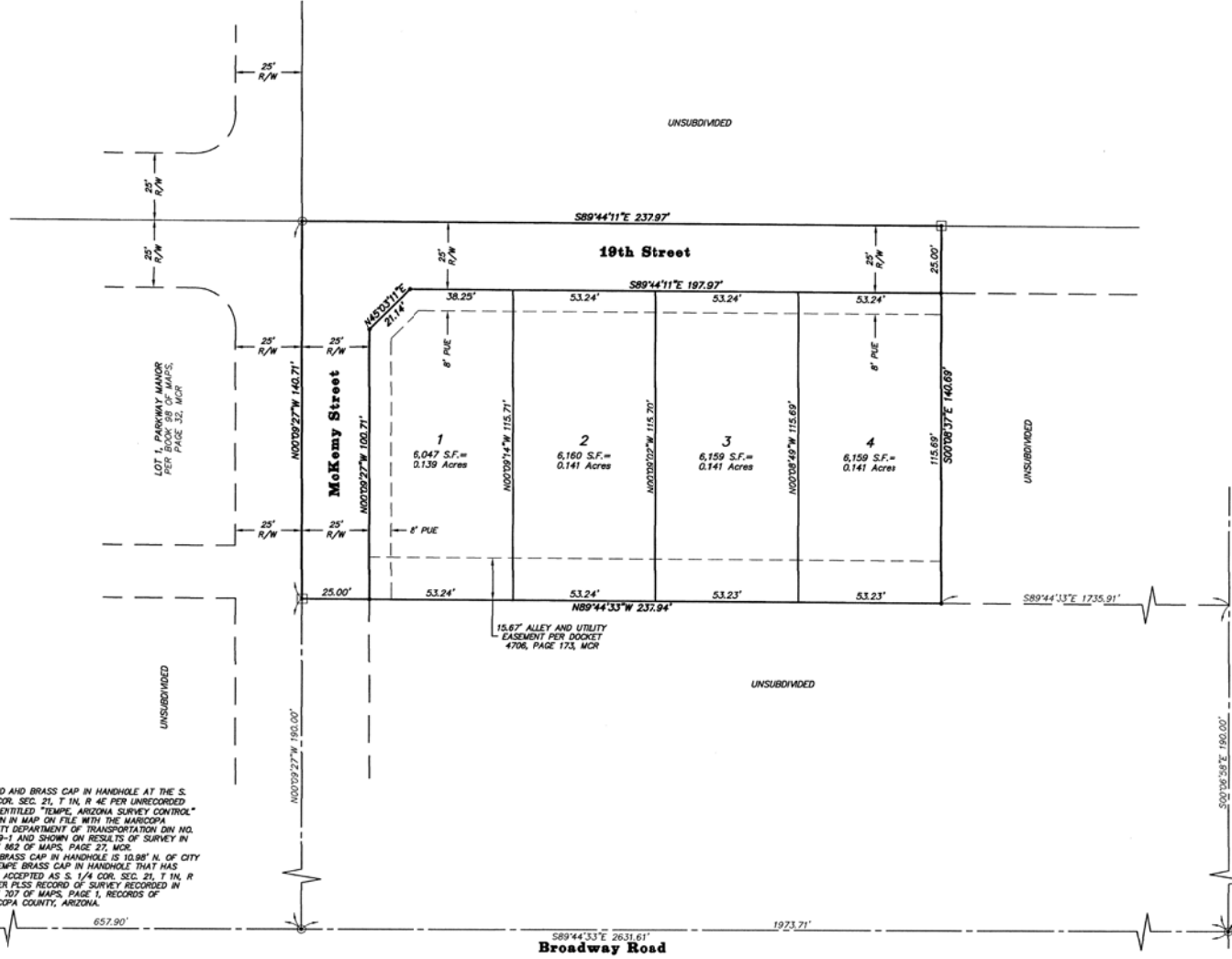
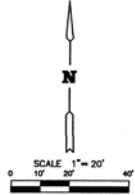
SHEET 1 OF 2

		PREPARED FOR MGJ Homes, LLC	
FINAL PLAT OF 19TH STREET HOMES		A PORTION OF THE SOUTHEAST QUARTER OF SECTION 21, TOWNSHIP 1 NORTH, RANGE 4 EAST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA	
DRAWN BY: SPK CHECKED BY: DFK FIELD WORK BY: CJJ			
DATE: APRIL, 2015		JOB NO. 20899 MAP NO. E-20899	

DS150471

PL150217

REC15052



FOUND A BRASS CAP IN HANDHOLE AT THE S. 1/4 COR. SEC. 21, T. 1N, R. 4E PER UNRECORDED MAP ENTITLED "TEMP. ARIZONA SURVEY CONTROL" SHOWN IN MAP ON FILE WITH THE MARICOPA COUNTY DEPARTMENT OF TRANSPORTATION DIV. NO. 38329-1 AND SHOWN ON RESULTS OF SURVEY IN BOOK 862 OF MAPS, PAGE 27, MCR. AND BRASS CAP IN HANDHOLE IS 10.98' N. OF CITY OF TEMPE BRASS CAP IN HANDHOLE THAT HAS BEEN ACCEPTED AS S. 1/4 COR. SEC. 21, T. 1N, R. 4E PER P.L.S. RECORD OF SURVEY RECORDED IN BOOK 707 OF MAPS, PAGE 1, RECORDS OF MARICOPA COUNTY, ARIZONA.

Plot Date / Time: 08/11/15 03:46pm Layout Name: Sheet 2
 Full File Path: L:\2015\Prod\Plat\15-1-2.dwg
 AutoCad Version: 16.0 Login Name: SHAWN

REC15052
 PL150217
 DS150471

DS150471 PL150217 REC15052

SHEET 2 OF 2

	PREPARED FOR	MGJ Homes, LLC
	FINAL PLAT OF 19TH STREET HOMES <small>A PORTION OF THE SOUTHEAST QUARTER OF SECTION 21, TOWNSHIP 1 NORTH, RANGE 4 EAST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA</small>	
DRAWN BY: SPK CHECKED BY: DFK FIELD WORK BY: GJ	Keogh Engineering, Inc. <small>1410 S. MICHELL ROAD • COVINGTON, ARIZONA 85306 PHONE: (520) 226-7966 FAX: (520) 226-7242 EMAIL: keogh@keoghsurvey.com</small>	
DATE: APRIL, 2015	JOB NO. 20899	MAP NO. E-20899