

**CITY OF TEMPE
DEVELOPMENT REVIEW COMMISSION**

Meeting Date: 08/25/2015
Agenda Item: 5

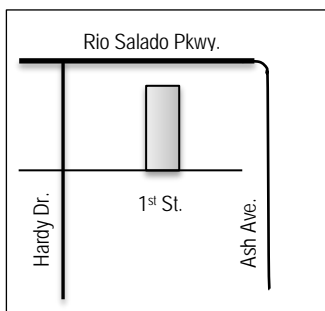
ACTION: Requests for a General Plan Projected Density Map Amendment from Medium to High Density (up to 25 du/ac) to High Density-Urban Core (more than 65 du/ac), a Zoning Map Amendment from GID to MU-4, a Planned Area Development Overlay, and a Development Plan Review for a new four-story mixed-use development containing 168 units and co-work office space for **BROADSTONE LAKESIDE**, located at 500 West 1st Street. The applicant is Huellmantel & Affiliates.

FISCAL IMPACT: While this ordinance change does not directly impact revenue, the planned development will result in collection of the standard development fees, calculated according to the approved fee structure at the time of permit issuance.

RECOMMENDATION: Staff – Continuance.

BACKGROUND INFORMATION: **BROADSTONE LAKESIDE (PL150188)** is a proposed four-story, mixed-use development containing 168 dwelling units and 2,053 square feet of co-work office space. AN AFFIRMATIVE VOTE BY AT LEAST TWO-THIRDS (2/3) OF THE CITY COUNCIL IS REQUIRED TO APPROVE THE GENERAL PLAN DENSITY MAP AMENDMENT. The request includes the following:

1. General Plan Projected Density Map Amendment from Medium to High Density (up to 25 du/ac) to High Density-Urban Core (more than 65 du/ac).
2. Zoning Map Amendment from GID RSOD (General Industrial District, Rio Salado Overlay District) to MU-4 (Mixed-Use, High Density) RSOD
3. Planned Area Development Overlay to establish development standards for a new mixed-use project with a density of 70 du/ac, a maximum 60' building height, 55% lot coverage, and 20% landscape area, with defined setbacks and parking ratios.
4. Development Plan Review including site plan, building elevations, and landscape plan.



Existing Property Owner	Rio Salado Enterprises, LLC Town Lake Properties, LLC City of Tempe
Future Property Owner	Alliance Residential Co.
Applicant	Charles Huellmantel, Huellmantel & Affiliates
Zoning District (current/proposed)	GID RSOD/ MU-4 PAD RSOD
Gross/Net site area	2.40 acres
Proposed Density / Units	70 du/ac / 168 units (no standard) (GID, n/a)
Unit Types	32 Studio 63 one bedroom 71 two bedroom 2 three bedroom
Total Building area	279,855 s.f.
Lot Coverage	55% (no standard) (GID, no standard)
Building Height	60' (no standard) (GID, 35')
Building Setbacks	11'-1" front (south), 6'-8" east side, 6'-10" west side, 11'-9" north (rear) (GID, 25' front, 0' sides, 0' rear)
Landscape area	20% (no standard) (GID, 10%)
Vehicle Parking	269 spaces (314 min. required by code)
Bicycle Parking	148 spaces (160 min. required by code)

ATTACHMENTS: Development Project File

STAFF CONTACT(S): Karen Stovall, Senior Planner (480) 350-8432

Department Director: Dave Nakagawara, Community Development Director

Legal review by: N/A

Prepared by: Karen Stovall, Senior Planner

COMMENTS:

Due to the timing of revisions provided by the applicant, missing information, and many discrepancies found among the submitted items, staff is recommending a continuance.

This site is located on the north side of 1st Street and on the south of Lakeside Drive (south of Rio Salado Parkway). It is east of Hardy Drive and west of Farmer Avenue. The property is currently zoned GID and is within the Rio Salado Overlay district. It is located approximately 430 feet west of the Transportation Overlay District Corridor Area and approximately 1,500 feet from the nearest light rail station.

The site currently contains office, manufacturing, and industrial buildings. To the east are the Regatta Pointe condominiums, and to the west are the 525 Town Lake condominiums. The far north portion of the site, along Lakeshore Drive, is identified to be developed with a sidewalk and parking spaces. Though functioning as a street, Lakeside Drive is actually a city-owned parcel that runs along the south side of Rio Salado Parkway. The property containing approximately the north 15' of the development identified on the plan is owned by the City of Tempe; the city has authorized the applicant to obtain an easement for access and development of the parking spaces.

This request includes the following:

1. General Plan Projected Density Map Amendment from Medium to High Density (up to 25 du/ac) to High Density-Urban Core (more than 65 du/ac).
2. Zoning Map Amendment from GID RSOD (General Industrial District, Rio Salado Overlay District) to MU-4 (Mixed-Use, High Density) RSOD
3. Planned Area Development Overlay to establish development standards for a new mixed-use project with a density of 70 du/ac, a maximum 60' building height, 55% lot coverage, and 20% landscape area, with defined setbacks and parking ratios.
4. Development Plan Review including site plan, building elevations, and landscape plan for a four-story, mixed use development containing 168 dwelling units and 2,053 square feet of co-work office space

The applicant is requesting the Development Review Commission provide recommendations to City Council for the four items listed above. For further processing, the applicant will need approval for Preliminary and Final Subdivision Plats to combine the four existing lots into one and an easement on City of Tempe owned property for access, sidewalks, parking, and landscaping.

PRELIMINARY SITE PLAN REVIEW

- May 13, 2015: Preliminary Site Plan Review (site plan only) was completed. Project data was not provided. Site plan identified a parking garage and four-story residential. Primary comment made by staff was to provide live-work units along 1st Street, similar to what occurs to west and east. Staff stated that a second Preliminary Site Plan Review was required.
- June 17, 2015: Formal application was submitted. Plans identified 168 units, an unidentified area of "co-working" along 1st Street, and 275 parking spaces. Comments made by staff included: reduce number of dwelling units to result in a density more consistent with the General Plan and other properties in the immediate area; explain the "co-working" area; increase the office (co-work) component of the project; provide a parking analysis to justify reduction in parking; provide parking for the commercial component; provide a traffic impact study; submit a Use Permit application and justification for tandem parking spaces within the garage; continue use of limestone on all elevations, not just street frontages; incorporate shade devices for windows; use wider canopy shade trees along the west side of the parking lot; consider increasing side building setbacks or providing breaks in the building to allow a wider landscape buffer and growth area

for trees between building and property line.

- July 16, 2015: Third Site Plan Review was completed. Comments made by staff included: reduce density to no greater than 65 du/ac; concern with viability of co-working area if renters do not choose to use office space; provide a parking analysis to justify reduction in parking; provide parking for the commercial component of the mixed-use project; provide a traffic impact study; submit a Use Permit application and justification for tandem parking spaces within the garage; provide details of canopies over windows; identify score lines or reveals on elevations; provide designated turn-around spaces at end of dead-end drive aisles in garage; and to measure the building height from grade.
- July 31, 2015: Applicant provided a parking analysis and traffic impact statement. Staff comments were provided to the applicant, and those pertaining to the parking analysis have been addressed in this report.
- August 6, 2015: Applicant provided 1) a revised site plan with a reduced north building setback and increased south building setback and 2) revised building elevations with modified stucco colors, introduction of wood panels, and glass panels on north and south balconies. Staff has not had adequate time to complete full review these revised plans or confirm that the data on all plans are consistent and correct.
- August 10, 2015: Applicant provided revised elevations to reflect the building height measured from grade.

PUBLIC INPUT

A neighborhood meeting was held on June 24, 2015. In addition to the applicant's team members, approximately four individuals were in attendance. An attendee expressed concerns regarding the proposed building height and setback along 1st Street. The applicant's meeting summary is attached.

Staff received one phone call and follow-up e-mail from a resident of the Regatta Pointe condominiums to the east of the project. She expressed concerns with the narrow building setbacks adjacent to the east property line and the setback between the parking spaces along Lakeside Drive and the units. The e-mail is attached.

PROJECT ANALYSIS

GENERAL PLAN

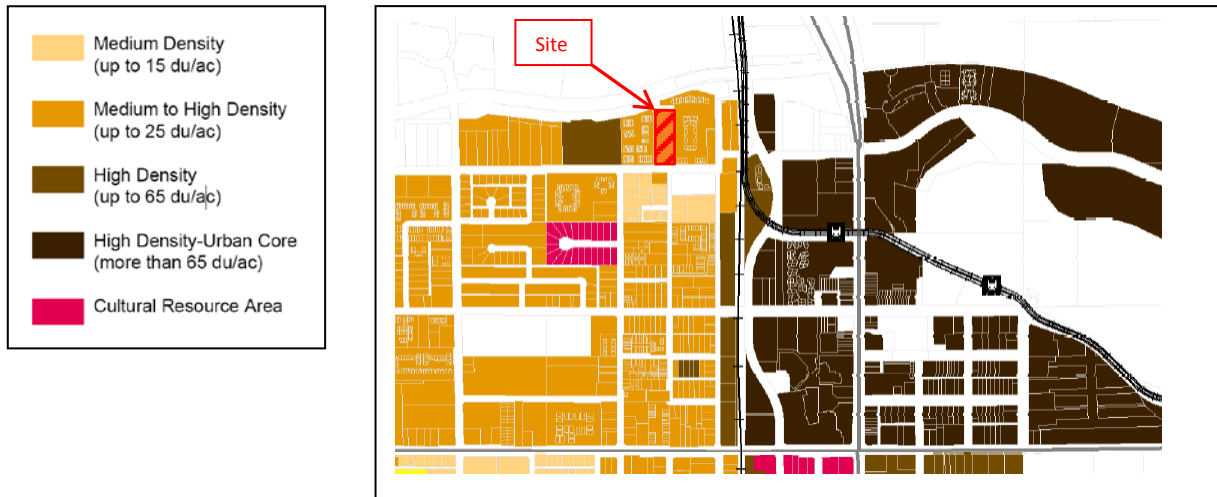
The General Plan 2040 projects this property as "Mixed-Use, Medium to High Density" (up to 25 du/ac). The applicant proposes to modify the Projected Density map from "Medium to High Density" (up to 25 du/ac) to "High Density-Urban Core" (more than 65 du/ac).

Surrounding governmental agencies and utilities have been notified by the City of Tempe of this proposed General Plan Amendment. As of the completion of this report, there have been no responses.

The project complies with the existing Mixed-Use projected land use of the General Plan 2040. This category encourages creatively designed developments which create a living environment, reflective of a village concept, in which there is the opportunity to live, work and recreate in the same development or within the area. The MU-4 zoning district allows the mix of uses being proposed. This request complies with the projected land use with the integration of a small co-work office space.

The existing General Plan projected residential density for this site is Medium to High Density (up to 25 du/ac). See the existing General Plan 2040 Projected Density Map of the area below.

Existing General Plan 2040 Project Density Map:



The requested density of 70 du/ac would require an amendment to the High Density-Urban Core category (greater than 65 du/ac). The Projected Density map identifies areas intended for High Density-Urban Core development as generally south of the Loop 202, north of Apache Boulevard, east of the railroad tracks, and west of Dorsey Lane. These areas are along the Light Rail Transit corridor and within a Land Use Hub that includes the Town Lake District, Downtown/Mill Avenue District, and ASU/Stadium District. See Attachment 3 for General Plan 2040 Figure 3 Land Use Hubs.

The proposed density is not aligned with the General Plan objectives. Land Use Goal Objective LU1 is to “Establish development of multiple hubs with higher density cores serving the surrounding neighborhoods as its mixed-use urban activity center.” The first strategy of this objective is to “Intensify higher density mixed-use redevelopment within hubs.” The request ignores the intent of the land use hubs to encourage that the highest density developments be concentrated in the downtown. Objective LU3 is “seek balance and compatibility of new land use development with established residential neighborhoods.” No properties along 1st Street and west of Ash Avenue are designated as greater than 65 du/ac. The majority of properties on the north and south sides of 1st Street are designated as up to either 15 du/ac or 25 du/ac. Developments directly adjacent to this site are the 525 Town Lake Condominiums to the west and Regatta Pointe Condominiums to the east, both with a density category of up to 25 du/ac. The only exception along 1st Street is Skywater at Town Lake (formerly Argo at Town Lake), located two lots to the west, which has a density of 63 du/ac and is designated as High Density (up to 65 du/ac). Though all sites are reviewed on a case-by-case basis, approval of a development on 1st Street with a density greater than 65 du/ac could encourage higher density developments in the future and lose track of the intended mid-range residential density planned for this neighborhood.

In order to redevelop the site with a density that is compatible with the established residential neighborhood, staff recommends denial of the requested High Density-Urban Core (more than 65 du/ac) and approval of High Density (up to 65 du/ac). This would require a decrease of the proposed density from 70 du/ac to a maximum of 65 du/ac for a total of 12 fewer units (168 down to 156).

Section 6-303 D. Approval criteria for General Plan amendment (*in italics*):

1. *Appropriate short and long term public benefits.* While the General Plan 2040 encourages redevelopment of this site as mixed-use that includes a residential component, the proposed density is out of character with the expected density of the neighborhood. Approval of a lower density will allow redevelopment of the site while maintaining the desired character.
2. *Mitigates impacts on land use, water infrastructure or transportation.* The development will intensify the use of water infrastructure and transportation, but this is expected in this corridor and the intensification is within design limits.
3. *Helps the city attain applicable objectives of the General Plan.* Development of the site at the recommended density (up to 65 du/ac) will help attain several objectives of the General Plan, including: seeking balance and compatibility

- of new land use development within established neighborhoods and promoting compact, efficient infill development.
4. *Provides rights-of-way, transit facilities, open space, recreational amenities or public art.* The proposed project does not require additional rights-of-way or transit facilities. Improvements adjacent to 1st Street include voluntary public art in the form of artistic bicycle racks near the co-work area.
 5. *Potentially negative influences are mitigated and deemed acceptable by the City Council.* While the recommended density category is higher than both of the categories on either side of the site, the density will result in a development that is not significantly different in character than the adjacent properties. The requested height of 60' will result in a four-story development. Developments on either side range from three-stories to the west and two- to four-stories on the east.
 6. *Judgment of the appropriateness of the amendment with regard to market demands, and impacts on surrounding area, service, fiscal, traffic, historic properties, utilities and public facilities.* The request meets the demand for increased multi-family housing in an area close to the downtown. The applicant will bear all costs related to a need for increased infrastructure capacity adjacent to the site.

ZONING

The proposed Zoning Map Amendment from GID to a mixed use district conforms to the existing General Plan Projected Land Use category of Mixed-Use. The zoning is appropriate to the surrounding sites, which are zoned mixed-use to the east and west along the north side of 1st Street. While the applicant could request the MU-3 district, which permits a density up to 25 du/ac, a density of 63 du/ac was most recently approved for the Skywater development to the west. This neighborhood is adjacent to the downtown and within reasonable proximity to a light rail corridor, where an increased number of residents would have access to employment, services, and transit.

Section 6-304 C.2. Approval criteria for Zoning amendment (*in italics*):

1. *The proposed zoning amendment is in the public interest,* because it will eliminate the existing industrial uses in an area intended for mixed-use development and enhance the street frontage along 1st Street.
2. *The proposed zoning amendment conforms with and facilitates implementation of the General Plan,* as it is necessary to implement the existing Land Use category.

PLANNED AREA DEVELOPMENT

The applicant requests a Planned Area Development (PAD) Overlay consisting of 168 dwelling units and 2,053 square feet of co-work office space within a 60-foot high building. The table below shows a comparison of the development standards for the GID zoning district and the proposed MU-4 zoning with PAD Overlay.

BROADSTONE LAKESIDE – PAD Overlay			
Standard	GID	PROPOSED MU-4 PAD	Change
Residential Density (du/ac)	n/a	70	Increase
Building Height (feet) [Exceptions, see Section 4-205(A)]			
Building Height Maximum	35'	60'	Increase
Building Height Step-Back Required Adjacent to SF or MF District [Section 4-404, Building Height Step-Back]	Yes	Yes	n/a
Maximum Lot Coverage (% of net site area)	40%	55%	Increase
Minimum Landscape Area (% of net site area)	10%	28%	Increase
Setbacks (feet) (a) [Exceptions, see Section 4-205(B)]			
Front (south, 1 st St.)	25'	20'-5"	Decrease
West Side	0'	6'-10"	Increase
East Side	0'	6'-8"	Increase
Rear (north)	0'	11'-9"	Increase

The table below is a comparison of other PADs approved along 1st Street:

PAD Overlay Comparison			
Standard	Regatta Pointe Condominiums (2001)	Residences at Town Lake Condominiums (2005)	Skywater (Argo) Apartments (2012)
Zoning	MG (prior to MU)	MU-2	MU-4
Acres	5.49 acres	3.3 acres	5.72 acres
Number of Units	136	67	328
Residential Density	25 du/ac	20 du/ac	63 du/ac
Building Height (feet)			
Building Height Maximum	64'(3-4 stories over garages)	35' (3 stories)	90' (units over podium parking structure)
Maximum Lot Coverage (% of net site area)	20%	26%	75%
Minimum Landscape Area (% of net site area)	25%	49%	43% (including podium amenity deck)
Setbacks (feet) (a) [Exceptions, see Section 4-205(B)]			
South (1 st Street)	10'	20'	0'
Side (east side)	Approx. 12' (not specified in PAD)	12'	34'
Side (west side)	Approx. 8' garage, 40' units (not specified in PAD)	19'	34'
Rear (north)	Approx. 27' (not specified in PAD)	25'	0'
Studio	0	0	32
1 Bedroom	22	0	135
2 Bedroom	106	60	136
3 Bedroom	0	0	16
Live Work	8	7	9
Commercial space	0	0	2,647 s.f.
Vehicle Parking Required	307	148	664
Vehicle Parking Provided	277	148	559
Bicycle Parking Required	162	34	250
Bicycle Parking Provided	148	79 (1 per garage + 12 in racks)	250

The recommendation to approve a General Plan Projected Density Map Amendment to a lower residential density category leads to a recommendation to reduce the proposed PAD density from 70 du/ac to no greater than 65 du/ac.

A building height of 60' is consistent with other developments on the north side of 1st Street. The 525 Town Lake Condominiums to the west are 35' high (three stories), and the Regatta Pointe Condominiums to the east are 64' high (two to four stories). Skywater at Town Lake, two lots to the west, is 90' high (six stories).

The lot coverage of 55% is consistent with typical multi-family coverage maximums and with other developments in the area. On-site landscape area is 28%, which is average for a mid-range multi-family project (typically minimum of 25%).

The Zoning and Development Code (ZDC) requires a building height step-back when adjacent to a single-family or multi-family zoning district. This would require an additional one-foot building setback for each one-foot of building height over 30'. The developments to the west and east are zoned mixed-use, so no step-back is required. This project takes advantage of the existing side building setbacks provided on the developments to the west and east, proposing narrow setbacks of just less than seven feet on both sides of the site. While increased setbacks or additional breaks in the building would be preferred, parking spaces and drive aisles exist to the west and east, allowing adequate air space between units on adjacent parcels.

The ZDC requires resident and guest parking spaces based on the number of units and bedrooms within a project. This project does not use the ZDC ratios to determine vehicle parking and instead uses a flat 1.11 parking space per bedroom ratio, without separate consideration for guest or office parking. The applicant has provided a parking study for justification of this reduction, which is included in the attachments. A discrepancy exists in the study, which identifies a 1.11 spaces per bedroom ratio but states that the result is 269 spaces; at 1.11 spaces per bedroom, 270 spaces would be required. A condition is included to require the minimum 270 spaces, per the study. The table below summarizes the required and proposed *vehicle* parking for the project.

Unit Type	Unit Quantity / SF	Ratio	Parking Required per ZDC	Proposed Parking per PAD (1.11/bedroom ratio)
Studio	32	1 space per unit	32	35.5
1 bedroom	63	1.5 space per unit	94.5	69.9
2 bedroom	71	2 spaces per unit	142	157.6
3 bedroom	2	2.5 spaces per unit	5	6.7
Guest		.2	33.6	0 (none proposed)
Co-Work	2,053 s.f.	1/300 s.f.	7	0 (none proposed)
TOTAL	168		314	270

The parking analysis does not account for the co-work (office) component of the project, and none is identified on the site plan. The applicant intends that the co-working area be used by residents of the community; however, provisions should be made to provide parking for customers of the office during normal business hours. Additionally, if the co-working component is converted to a typical office use in the future, adequate parking should be provided. A condition is included to require a minimum of 7 vehicle parking spaces for the office use.

No justification for a reduction in the required number of bicycle parking spaces has been provided. In fact, the parking analysis states that the site's "proximity to Arizona State University, the new State Farm Complex, and other offices within Marina heights" will create a higher percentage of walking and bicycle trips than anticipated..." by the code. With the intent of this project to encourage a community that is less reliant on vehicle transport, the development should provide the minimum number of bike spaces required by code. The plan does not indicate the number of bike spaces exterior to the building or interior to the garage. A condition is included to require that adequate bicycle parking is provided either exterior to the building, interior to the building in a common room, or interior to the units.

A draft traffic impact statement was provided by the applicant (see attached), and the Public Works Department has provided comments regarding this draft. Public Works has stated that the transportation infrastructure can support the proposed increase of residential units and can, therefore, support the request. A condition is included that the traffic statement is revised to address staff's comments and a final statement is submitted and approved prior to issuance of the first building permit.

Section 6-305 D. Approval criteria for P.A.D. (*in italics*):

1. *The development fulfills certain goals and objectives in the General Plan and the principles and guidelines of other area policy plans. Performance considerations are established to fulfill those objectives. With the reduced density recommended by staff, the development will fulfill the goals of the General Plan by creating a mixed-use project on a parcel identified as mixed-use on the Projected Land Use Map. The recommended density will be more consistent with other projects in the area and will encourage higher density developments to occur where identified*

- as preferred locations in the General Plan.
2. *Standards requested through the PAD Overlay district shall take into consideration the location and context for the site for which the project is proposed.* The requested development standards take the site context into consideration. The setback along the south property line aligns with the building to the west and provides an opportunity for a patio adjacent to 1st Street. A parking reduction is requested, accounting for the site's location near the downtown and a public transit corridor.
 3. *The development appropriately mitigates transitional impacts on the immediate surroundings.* The setback and patio along 1st Street will allow a more pleasant pedestrian experience.

DEVELOPMENT PLAN REVIEW

Site Plan

The property is 2.4 acres and is rectangular in shape. The project is designed as two L-shaped buildings that are joined together by a central open corridor and outdoor amenity area. A new sidewalk is proposed along Lakeshore Drive, which will connect existing sidewalks on the north end of 525 Town Lake Condominiums to the west and Regatta Pointe Condominiums to the east. Vehicular access is provided by a driveway on 1st Street and another one on Lakeshore Drive. The driveway on 1st Street leads to a porte-cochere and a small (nine space) parking lot. The driveway on Lakeshore leads to another porte-cochere, a surface parking lot, and a below-grade parking garage. Access to the garage is only provided via Lakeshore Drive.

The site design does not include a driveway through the site, from 1st Street to Lakeshore Drive. The Fire Department has expressed concern with the availability of ladder truck access interior to the site. To allow adequate room for a ladder truck to park and service the site, Fire has stated that the landscape island in the center of the north parking lot be eliminated. A condition is included to require the elimination. Fire has also requested the addition of a fire hydrant internal to the site, and a condition addresses this. To increase the amount of landscaping within the parking lot and comply with the code requirement of one planter per 10 parking spaces, a condition is also included to add a landscape island near the center of the row of 11 parking spaces in the north surface parking lot.

Discrepancies exist with the building setbacks noted within letter of explanation, the project data tables, and the revised site plan (received August 6, 2015). The letter of explanation and data tables note the south setback as 11'-1" and the north setback as 16'-11". The site plan identifies a south setback of 20'-5" and a north setback of 11'-9". Staff supports a 20'-5" south setback; however, the revised north setback places the dwelling units closer to the proposed sidewalk and vehicle parking spaces, resulting in a minimum separation between sleeping area and sidewalk of approximately 4' and between sleeping area and parking spaces of approximately 10'. ZDC Section 4-503.E, Design and Construction Standards for Pathways and Access Ways, requires that pathways be separated a minimum of 10' from sleeping areas on the ground floor to provide privacy. Staff recommends a condition to require a minimum 10' separation between the sidewalk and sleeping area of the units and a minimum 14' separation between parking spaces and sleeping area. This could be addressed by either modifying the floor plan/unit plan to locate non-livable areas along the north end of the building or shifting/eliminating the units closest to the sidewalk and parking.

Building Elevations

The building design is contemporary with flat roofs, and parapets to screen rooftop mechanical equipment. Metal roofs and stone trim finish off the top. The majority of the building is finished with stucco. Stone veneer is on the north and south elevations and wraps around the corners. Wood panels are proposed on the north and south elevations. There is concern with the longevity of the wood panels. Staff research has identified an approximate ten year lifespan for the Trespa Meteon panels. A condition is included to require the replacement of the panels if significant weathering occurs. The south and north balconies are enclosed with glass panels within metal railing. No details of the glass have been provided, but a condition is included to require that the glass be laminated for safety and security. The elevations identify three stucco colors on the east and west elevations, which are shades of gray, but only two colors are identified in the material/color key notes. The elevations should be revised to identify the third color.

Discrepancies exist with the maximum proposed building height identified in the project data tables, the height identified on

the most recent elevations (received August 10, 2015), and the building sections. These show 60', 57'-4", and 60', respectively. The applicant should revise the elevations and sections to match.

Landscape Plan

On-site landscaping totals 20%. The design incorporates a comfortable pedestrian environment along 1st Street. This includes a landscape buffer with shade trees and landscaping and patio space between the sidewalk and building. Landscaping along both side property lines is significant with Willow Acacia adjacent to building walls and Desert Museum Palo Verde in the parking lot. Ash trees provide shade along 1st Street while Date Palms will create a sense of arrival.

Section 6-306 D Approval criteria for Development Plan Review (*in italics*):

1. *Placement, form, and articulation of buildings and structures provide variety in the streetscape;* the building is designed with variation in materials, colors, fenestration, and wall planes. The design provides variety in the streetscape.
2. *Building design and orientation, together with landscape, combine to mitigate heat gain/retention while providing shade for energy conservation and human comfort;* metal shades are provided above west-facing windows, and balconies are recessed to provide shade for residents. Shade trees planted along all building sides will mitigate heat retention.
3. *Materials are of a superior quality, providing detail appropriate with their location and function while complementing the surroundings;* materials provide detail appropriate with their location and function. A condition will be included to address the longevity of the proposed wood panels.
4. *Buildings, structures, and landscape elements are appropriately scaled, relative to the site and surroundings;* the proposed building height is no higher than other structures in the immediate area. The street frontage and landscape elements are designed appropriately to encourage a better pedestrian environment along 1st Street.
5. *Large building masses are sufficiently articulated so as to relieve monotony and create a sense of movement, resulting in a well-defined base and top, featuring an enhanced pedestrian experience at and near street level;* variation is provided in wall planes, materials, and building height to relieve monotony. Use of materials along the street frontages varies from stone veneer and wood panels at the base to stucco at the top.
6. *Building facades provide architectural detail and interest overall with visibility at street level (in particular, special treatment of windows, entries and walkways with particular attention to proportionality, scale, materials, rhythm, etc.) while responding to varying climatic and contextual conditions;* design elements at the street level include stone veneer-clad columns, wood panels, and a significant amount of glazing to create interest. Architectural details also shade windows and entrances.
7. *Plans take into account pleasant and convenient access to multi-modal transportation options and support the potential for transit patronage;* the project provides clear pedestrian access from the site to sidewalks on the north and south sides of the project.
8. *Vehicular circulation is designed to minimize conflicts with pedestrian access and circulation, and with surrounding residential uses;* vehicular circulation is clearly delineated and separated from pedestrian pathways.
9. *Plans appropriately integrate Crime Prevention Through Environmental Design principles such as territoriality, natural surveillance, access control, activity support, and maintenance;* the majority of parking spaces will be behind a primary gated entrance off of Lakeshore Drive. The parking garage will also be gated, restricting access to resident-only parking spaces. Building access will be restricted by key, and mailboxes will be provided interior to the building. The height of proposed landscaping adjacent to pedestrian paths and lighting requirements both outside and within the parking garage will comply with CPTED principles.
10. *Landscape accents and provides delineation from parking, buildings, driveways and pathways;* landscaping along the building perimeter will accent the development and is used to delineate pedestrian areas and pathways.

11. *Signs have design, scale, proportion, location and color compatible with the design, colors, orientation and materials of the building or site on which they are located; signs are subject to separate development plan review.*
12. *Lighting is compatible with the proposed building(s) and adjoining buildings and uses, and does not create negative effects.* Lighting will comply with current code requirements to meet the minimum illumination levels and be non-intrusive to adjacent properties.

Conclusion

Due to the timing of revisions provided by the applicant and the many discrepancies found among the submitted items, staff is recommending a continuance. Should an affirmative action be taken on this request, the following conditions of approval shall apply, but may be amended by the decision-making body.

REASONS FOR DENIAL OF GENERAL PLAN PROJECTED DENSITY MAP AMENDMENT:

1. The project does not fulfill the goals and objectives of the General Plan.
2. Approval of a lower density will allow redevelopment of the site while maintaining the desired character of this area of the city.

REASONS FOR APPROVAL OF ZONING MAP AMENDMENT, PLANNED AREA DEVELOPMENT OVERLAY, AND DEVELOPMENT PLAN REVIEW:

3. With recommended conditions, the project will meet the development standards required under the Zoning and Development Code.
4. The PAD overlay process was specifically created to allow for greater flexibility, alternate setbacks, building heights, and landscape design.
5. With recommended conditions, the proposed project meets the approval criteria for a Planned Area Development Overlay and Development Plan Review.

GENERAL PLAN AMENDMENT

CONDITION OF APPROVAL:

1. The General Plan Projected Density Map Amendment from Medium to High Density (up to 25 du/ac) to High Density-Urban Core (more than 65 du/ac) is denied; instead an amendment to High Density (up to 65 du/ac) is approved.

ZONING AMENDMENT AND PLANNED AREA DEVELOPMENT

CONDITIONS OF APPROVAL:

EACH NUMBERED ITEM IS A CONDITION OF APPROVAL. THE DECISION-MAKING BODY MAY MODIFY, DELETE OR ADD TO THESE CONDITIONS.

1. A building permit application shall be made on or before two years from the date of City Council approval, or the zoning of the property may revert to that in place at the time of application. Any reversion is subject to a public hearing process as a zoning map amendment.
2. The property owner(s) shall sign a waiver of rights and remedies form. By signing the form, the Owner(s) voluntarily waive(s) any right to claim compensation for diminution of Property value under A.R.S. §12-1134 that may now or in the future exist, as a result of the City's approval of this Application, including any conditions, stipulations and/or modifications imposed as a condition of approval. The signed form shall be submitted to the Community Development Department no later than October 12, 2015, or the General Plan Map Amendment, Zoning Map Amendment, and PAD approval shall be null and void.
3. An easement on the parcel owned by the City of Tempe must be obtained from the Public Works Department prior to submittal of construction documents for a building permit. The easement shall include a driveway to provide ingress and egress, parking, sidewalks, landscaping, and irrigation.

4. The Planned Area Development Overlay for Broadstone Lakeside shall be put into proper engineered format with appropriate signature blanks and kept on file with the City of Tempe's Community Development Department prior to issuance of building permits.
5. The maximum density shall be no greater than 65 du/ac.
6. The developer must receive approval of the revised parking analysis prior to submittal for a building permit.
7. The developer must receive approval of the final Traffic Impact Study from the Traffic Engineering prior to issuance of a building permit.
8. Use of the co-work office area is limited to non-residential activities; the co-work space may not be occupied for residential use.

DEVELOPMENT PLAN REVIEW CONDITIONS OF APPROVAL:

General

1. Except as modified by conditions, development shall be in substantial conformance with the site plan, building elevations dated August 3, 2015 and landscape plan dated July 22, 2015. Minor modifications may be review through the plan check process of construction documents; major modifications will require submittal of a Development Plan Review.

Site Plan

2. Provide a minimum 10' separation between the sidewalk and sleeping area of the units and a minimum 14' separation between parking spaces and sleeping area.
3. Add a landscape island near the center of the row of 11 parking spaces in the north surface parking lot. The island shall comply with ZDC Section 4-704.C.
4. Remove the landscape island in the center of the north parking lot to allow clear fire access. Alternatives may be approved by the Fire Department.
5. Provide a fire hydrant in the vicinity of the refuse enclosure. If a hydrant is provided in the landscape island south of the enclosure, the island must be modified to permit room for a hydrant and required landscaping. Final hydrant location shall be approved by the Fire Department.
6. Indicate on the site plan and garage floor plan the number of bicycle parking spaces provided in each area where bicycle racks are identified on the plans. Additional bicycle parking shall be provided interior to the building, either in a common bike parking area(s) or within individual units in order to comply with the required number of spaces.
7. Provide service yard and mechanical (cooling tower/generator) yard walls that are at least 8'-0" tall as measured from adjacent grade and are at least the height of the equipment being enclosed, whichever is greater. Verify height of equipment and mounting base to ensure that wall height is adequate to fully screen the equipment. Locate electrical service entrance sections inside the service yard, as indicated.
8. Provide gates of steel vertical picket, steel mesh, steel panel or similar construction. Where a gate has a screen function and is completely opaque, provide vision portals for visual surveillance. Provide gates of height that match that of the adjacent enclosure walls. Review gate hardware with Building Safety and Fire staff and design gate to resolve lock and emergency ingress/egress features that may be required.
9. Utility equipment boxes for this development shall be finished in a neutral color (subject to utility provider approval) that compliments the coloring of the buildings.

10. Place exterior, freestanding reduced pressure and double check backflow assemblies in pre-manufactured, pre-finished, lockable cages (one assembly per cage). If backflow prevention or similar device is for a 3" or greater water line, delete cage and provide a masonry or concrete screen wall following the requirements of Standard Detail T-214.

Floor Plans

11. Exit Security:
 - a. Provide visual surveillance by means of fire-rated glazing assemblies from office stair towers into adjacent circulation spaces.
 - b. In instances where an elevator or stair exit in the office or garage is within 21'-0" of an alcove, corner or other potential hiding place, position a refracting mirror to allow someone in the exit doorway to observe in the mirror the area around the corner or within the alcove that is adjacent to the doorway.
12. Garage Security:
 - a. Minimize interior partitions or convert these to semi-opaque screens to inhibit hiding behind these features.
 - b. Provide exit stairs that are open to the exterior as indicated.
 - c. Paint interior wall and overhead surfaces in garage floor levels with a highly reflective white color, minimum LRV of 75 percent.
 - d. Maximize openness at the elevator entrances and stair landings to facilitate visual surveillance from these pedestrian circulation areas to the adjacent parking level.
13. Parking Garage:
 - a. Minimum required parking dimensions shall be clear of any obstructions.
 - b. At the ends of dead-end drive aisles, provide a designated turn-around space, minimum 8'-6" clear in width (locate on left side if available), including 3'-0" vehicular maneuvering area for exiting. Turn-around area shall be clearly demarcated.
 - c. Provide a minimum 2'-0" of additional width for parking spaces when adjacent to a continuous wall.

Building Elevations

14. The materials and colors are approved as presented:
 - Stucco building colors – Dunn Edwards – Cold Morning DE6365
Jet DE6378
 - Stone veneer – Coronado French Limestone – French White
 - Wood panels – Trespa Meteon – Milano Terra
 - Stone roof cap – Dunn Edwards – Covered in Platinum DE6367
 - Metal roof – Dunn Edwards – Wharf View DEC799
 - Metal balcony railing – Dunn Edwards – Wharf View DEC799
 - Window, door frames, and storefront system – Anodized aluminum – dark bronze
 - Metal window shade – Dunn Edwards – Wharf View DEC799

Provide primary building colors and materials with a light reflectance value of 75 percent or less. Specific colors and materials exhibited on the materials sample board are approved by planning staff. Additions or modifications may be submitted for review during building plan check process.

15. Identify the third, medium gray, stucco color shown on the east and west elevations.
16. Glass panels at balconies shall be laminated.
17. The property owner shall replace the wood panels on the north and south elevations when weathering occurs. Replacement shall be like-for-like or, with approval of a Development Plan Review, another approved material.
18. Provide secure roof access from the interior of the building. Do not expose roof access to public view.
19. Conceal roof drainage system within the interior of the building.

20. Incorporate lighting, address signs, and incidental equipment attachments (alarm klaxons, security cameras, etc.) where exposed into the design of the building elevations. Exposed conduit, piping, or related materials is not permitted.
21. Locate the electrical service entrance section (S.E.S.) inside the building or inside a secure yard that is concealed from public view.
22. Upper/lower divided glazing panels in exterior windows at grade level, where lower glass panes are part of a divided pane glass curtain-wall system, shall be permitted only if laminated glazing at these locations is provided.

Lighting

23. This project shall follow requirements of ZDC Part 4, Chapter 8, Lighting.
24. Illuminate building entrances and underside of open stair landings from dusk to dawn to assist with visual surveillance.

Landscape

25. The plant palette is generally approved as proposed and specified on the landscape plan. Any additions or modifications may be submitted for review during building plan check process.
26. Irrigation notes:
 - a. Provide dedicated landscape water meter.
 - b. Provide pipe distribution system of buried rigid (polyvinylchloride), not flexible (polyethylene). Use of schedule 40 PVC mainline and class 315 PVC ½" feeder line is acceptable. Class 200 PVC feeder line may be used for sizes greater than ½". Provide details of water distribution system.
 - c. Locate valve controller in a vandal resistant housing.
 - d. Hardwire power source to controller (a receptacle connection is not allowed).
 - e. Controller valve wire conduit may be exposed if the controller remains in the mechanical yard.
27. Include requirement to de-compact soil in planting areas on site and in public right of way and remove construction debris from planting areas prior to landscape installation.
28. Top dress planting areas with a rock or decomposed granite application. Provide rock or decomposed granite of 2" uniform thickness. Provide pre-emergence weed control application and do not underlay rock or decomposed granite application with plastic.
29. Trees shall be planted a minimum of 20'-0" from any existing or proposed public water or sewer lines. The tree planting separation requirements may be reduced from the waterline upon the installation of a linear root barrier, a minimum of 6'-0" parallel from the waterline, or around the tree. The root barrier shall be a continuous material, a minimum of 0.08" thick, installed 0'-2" above finish grade to a depth of 8'-0" below grade. Final approval subject to determination by the Public Works, Water Utilities Division.

Signage

30. Provide an address sign on the building elevation facing the street to which the property is identified.
 - a. Conform to the following for building address signs:
 - 1) Provide street number only, not the street name
 - 2) Compose of 12" high, individual mount, metal reverse pan channel characters.
 - 3) Self-illuminated or dedicated light source.
 - 4) Coordinate address signs with trees, vines, or other landscaping, to avoid any potential visual obstruction.
 - 5) Do not affix number or letter to elevation that might be mistaken for the address.
 - b. Utility meters shall utilize a minimum 1" number height in accordance with the applicable electrical code and utility company standards.

CODE/ORDINANCE REQUIREMENTS:

THE BULLETED ITEMS REFER TO EXISTING CODE OR ORDINANCES THAT PLANNING STAFF OBSERVES ARE PERTINENT TO THIS CASE. THE BULLET ITEMS ARE INCLUDED TO ALERT THE DESIGN TEAM AND ASSIST IN OBTAINING A BUILDING PERMIT AND ARE NOT AN EXHAUSTIVE LIST.

- Development plan approval shall be void if the development is not commenced or if an application for a building permit has not been submitted, whichever is applicable, within twelve (12) months after the approval is granted or within the time stipulated by the decision-making body. The period of approval is extended upon the time review limitations set forth for building permit applications, pursuant to Tempe Building Safety Administrative Code, Section 8-104.15. An expiration of the building permit application will result in expiration of the development plan.
- Specific requirements of the **Zoning and Development Code (ZDC)** are not listed as a condition of approval, but will apply to any application. To avoid unnecessary review time and reduce the potential for multiple plan check submittals, become familiar with the ZDC. Access the ZDC through www.tempe.gov/zoning or purchase from Community Development.
- **SITE PLAN REVIEW:** Verify all comments by the Public Works Department, Community Development Department, and Fire Department given on the Preliminary Site Plan Review. If questions arise related to specific comments, they should be directed to the appropriate department, and any necessary modifications coordinated with all concerned parties, prior to application for building permit. Construction Documents submitted to the Building Safety Division will be reviewed by planning staff to ensure consistency with this Design Review approval prior to issuance of building permits.
- **STANDARD DETAILS:**
 - Access to Tempe Supplement to the M.A.G. Uniform Standard Details and Specifications for Public Works Construction, at this link: <http://www.tempe.gov/city-hall/public-works/engineering/standards-details> or purchase book from the Public Works Engineering Division.
 - Access to refuse enclosure details and all other Development Services forms at this link: <http://www.tempe.gov/city-hall/community-development/building-safety/applications-forms>. The enclosure details are under Civil Engineering & Right of Way.
- **BASIS OF BUILDING HEIGHT:** Measure height of buildings from top of curb at a point adjacent to the center of the front property line.
- **COMMUNICATIONS:**
 - Provide emergency radio amplification for the combined building and garage area in excess of 50,000 sf. Amplification will allow Police and Fire personnel to communicate in the buildings during a catastrophe. Refer to this link: www.tempe.gov/index.aspx?page=949. Contact the Information Technology Division to discuss size and materials of the buildings and to verify radio amplification requirements.
 - For building height in excess of 50'-0", design top of building and parapet to allow cellular communications providers to incorporate antenna within the building architecture so future installations may be concealed with little or no building elevation modification.
- **WATER CONSERVATION:** Under an agreement between the City of Tempe and the State of Arizona, Water Conservation Reports are required for landscape and domestic water use for the non-residential components of this project. Have the landscape architect and mechanical engineer prepare reports and submit them with the construction drawings during the building plan check process. Report example is contained in Office Procedure Directive # 59. Refer to this link: www.tempe.gov/modules/showdocument.aspx?documentid=5327. Contact Public Works Department, Water Conservation Division with questions regarding the purpose or content of the water conservation reports.
- **HISTORIC PRESERVATION:** State and federal laws apply to the discovery of features or artifacts during site excavation (typically, the discovery of human or associated funerary remains). Contact the Historic Preservation Officer with general questions. Where a discovery is made, contact the Arizona State Historical Museum for removal and

repatriation of the items.

- SECURITY REQUIREMENTS:
 - Design building entrance(s) to maximize visual surveillance of vicinity. Limit height of walls or landscape materials, and design columns or corners to discourage opportunity for ambush opportunity. Maintain distances of 20'-0" or greater between a pedestrian path of travel and any hidden area to allow for increased reaction time and safety.
 - Follow the design guidelines listed under appendix A of the Zoning and Development Code. In particular, reference the CPTED principal listed under A-II Building Design Guidelines (C) as it relates to the location of pedestrian environments and places of concealment.
 - Provide method of override access for Police Department (punch pad or similar) to controlled access areas including pool, clubhouse or other gated common areas.
 - Provide a security vision panel at service and exit doors (except to rarely accessed equipment rooms) with a 3" wide high strength plastic or laminated glass window, located between 43" and 66" from the bottom edge of the door.
- FIRE:
 - Clearly define the fire lanes. Ensure that there is at least a 20'-0" horizontal width, and a 14'-0" vertical clearance from the fire lane surface to the underside of tree canopies or overhead structures. Layout and details of fire lanes are subject to Fire Department approval.
 - Provide a fire command room(s) on the ground floor of the building(s). Verify size and location with Fire Department.
- ENGINEERING:
 - Underground utilities except high-voltage transmission line unless project inserts a structure under the transmission line.
 - Coordinate site layout with Utility provider(s) to provide adequate access easement(s).
 - Clearly indicate property lines, the dimensional relation of the buildings to the property lines and the separation of the buildings from each other.
 - Verify location of any easements, or property restrictions, to ensure no conflict exists with the site layout or foundation design.
 - 100 year onsite retention required for this property, coordinate design with requirements of the Engineering Department.
- REFUSE:
 - Enclosure indicated on site plan is exclusively for refuse. Construct walls, pad and bollards in conformance with standard detail DS-116.
 - Contact Public Works Sanitation Division to verify that vehicle maneuvering and access to the enclosure is adequate.
 - Develop strategy for recycling collection and pick-up from site with Sanitation. Roll-outs may be allowed for recycled materials. Coordinate storage area for recycling containers with overall site and landscape layout.
 - Gates for refuse enclosure(s) are not required, unless visible from the street. If gates are provided, the property manager must arrange for gates to be open from 6:00am to 4:30pm on collection days.
- DRIVEWAYS:
 - Construct driveways in public right of way in conformance with Standard Detail T-320. Alternatively, the installation of driveways with return type curbs as indicated, similar to Standard Detail T-319, requires permission of Public Works, Traffic Engineering.
 - Correctly indicate clear vision triangles at both driveways on the site and landscape plans. Identify speed limits for adjacent streets at the site frontages. Begin sight triangle in driveways at point 15'-0" in back of face of curb. Consult Intersection Sight Distance memo, available from Traffic Engineering if needed www.tempe.gov/index.aspx?page=801 . Do not locate site furnishings, screen walls or other visual obstructions over 2'-0" tall (except canopy trees are allowed) within each clear vision triangle.

- **PARKING SPACES:**
 - Verify conformance of accessible vehicle parking to the Americans with Disabilities Act and the Code of Federal Regulations Implementing the Act. Refer to Building Safety ADA Accessible Parking Spaces Marking/Signage on Private Development details.
 - At parking areas, provide demarcated accessible aisle for disabled parking.
 - Distribute bike parking areas nearest to main entrance(s). Provide parking loop/rack per standard detail T-578. Provide 2'-0" by 6'-0" individual bicycle parking spaces. One loop may be used to separate two bike parking spaces. Provide clearance between bike spaces and adjacent walkway to allow bike maneuvering in and out of space without interfering with pedestrians, landscape materials or vehicles nearby.

- **LIGHTING:**
 - Design site security light in accordance with requirements of ZDC Part 4 Chapter 8 (Lighting) and ZDC Appendix E (Photometric Plan).
 - Indicate the location of all exterior light fixtures on the site, landscape and photometric plans. Avoid conflicts between lights and trees or other site features in order to maintain illumination levels for exterior lighting.

- **LANDSCAPE:**
 - Prepare an existing plant inventory for the site and adjacent street frontages. The inventory may be prepared by the Landscape Architect or a plant salvage specialist. Note original locations and species of native and "protected" trees and other plants on site. Move, preserve in place, or demolish native or "protected" trees and plants per State of Arizona Agricultural Department standards. File Notice of Intent to Clear Land with the Agricultural Department. Notice of Intent to Clear Land form is available at www.azda.gov/ESD/nativeplants.htm . Follow the link to "applications to move a native plant" to "notice of intent to clear land".

- **SIGNS:** Separate Development Plan Review process is required for signs in accordance with requirements of ZDC Part 4 Chapter 9 (Signs). Obtain sign permit for identification signs. Directional signs (if proposed) may not require a sign permit. Directional signs are subject to review by planning staff during plan check process.

HISTORY & FACTS:

500 W. 1st Street

- May 19, 1983 Design Review Board approved site plan, building elevations, and landscape plan for McKinley Fence Company located at 500 W. 1st Street.

- September 28, 1983 Board of Adjustment approved a variance to reduce the required percentage of on-site landscaping from 10% to 5% for McKinley Fence Company located at 500 W. 1st Street.

- December 4, 1985 Design Review Board approved a building addition for Johnson Office, located at 500 W. 1st Street.

- January 27, 1987 Certificate of Occupancy granted for the warehouse building located at 500 W. 1st Street.

506-508 W. 1st Street

- September 26, 1978 Certificate of Occupancy granted for the warehouse building located at 506 W. 1st Street.

- August 19, 1998 Design Review Board approved site plan, elevations, and landscape plan for Northstar Pipeline located at 506 W. 1st Street.

- October 16, 2013 Certificate of Occupancy granted for the office building located at 508 W. 1st Street, Ste. 101.

October 16, 2013 Certificate of Occupancy granted for a manufacturing (distillery) building located at 508 W. 1st St., Ste. 102.

May 8, 2015 Certificate of Occupancy granted for an office, warehouse, and factory (distillery) located at 508 W. 1st Street, Ste. 102.

August 25, 2015 This request is scheduled for the Development Review Commission public hearing.

August 27, 2015 This request is scheduled for the first City Council public hearing.

September 10, 2015 This request is scheduled for the second City Council public hearing.

ZONING AND DEVELOPMENT CODE REFERENCE:

Section 6-302, General Plan Amendment
Section 6-304, Zoning Map Amendment
Section 6-305, Planned Area Development (PAD) Overlay districts
Section 6-306, Development Plan Review

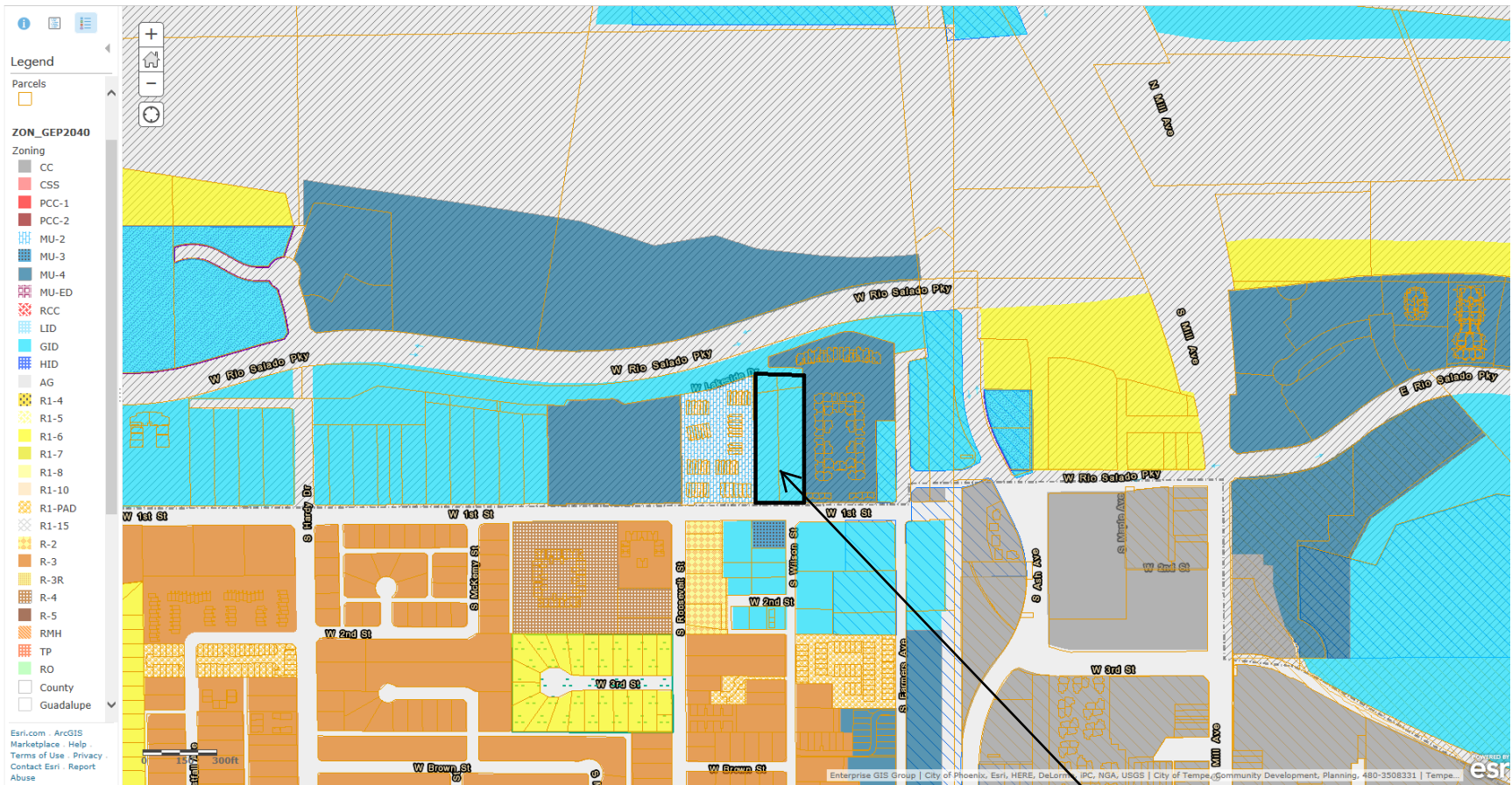


DEVELOPMENT PROJECT FILE
for
BROADSTONE LAKESIDE
(PL150188)

ATTACHMENTS:

1. Location Map
2. Aerial
3. General Plan 2040 Figure 3 Land Use Hubs
- 4-16. Letter of Explanation
- 17-22. Site Photos
- 23-25. Proposed PAD Cover Sheet and Site Plan for Broadstone Lakeside
26. Context Plan
27. Site Plan
28. Black & White Building Elevations
29. Colored Elevations
30. Building Sections
31. Landscape Planting Plan
32. Colored Landscape Plan
- 33-35. Floor Plans
36. Roof Plan

- 37. Enlarged Rec/Leasing & Co-Work Plan
- 38-40. Unit Plans
- 41. Perspective
- 42. Material & Color Board
- 43-44. Summary of Neighborhood Meeting
- 45-54. Parking Study
- 55-58. Draft Traffic Statement
- 59-60. Letter of concern and exhibit highlighting setbacks

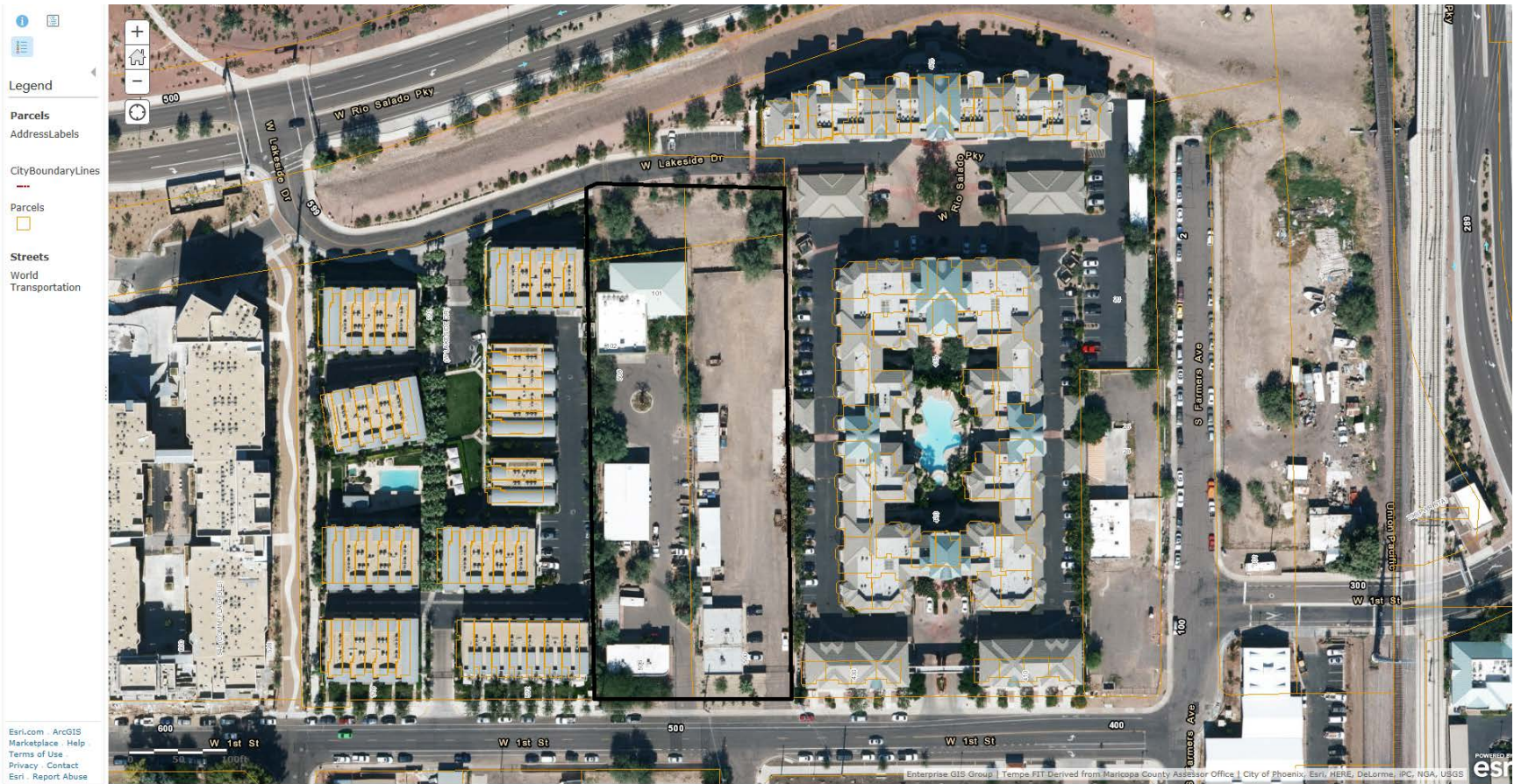


GID / RSOD

LOCATION MAP

BROADSTONE LAKESIDE

PL150188



AERIAL MAP

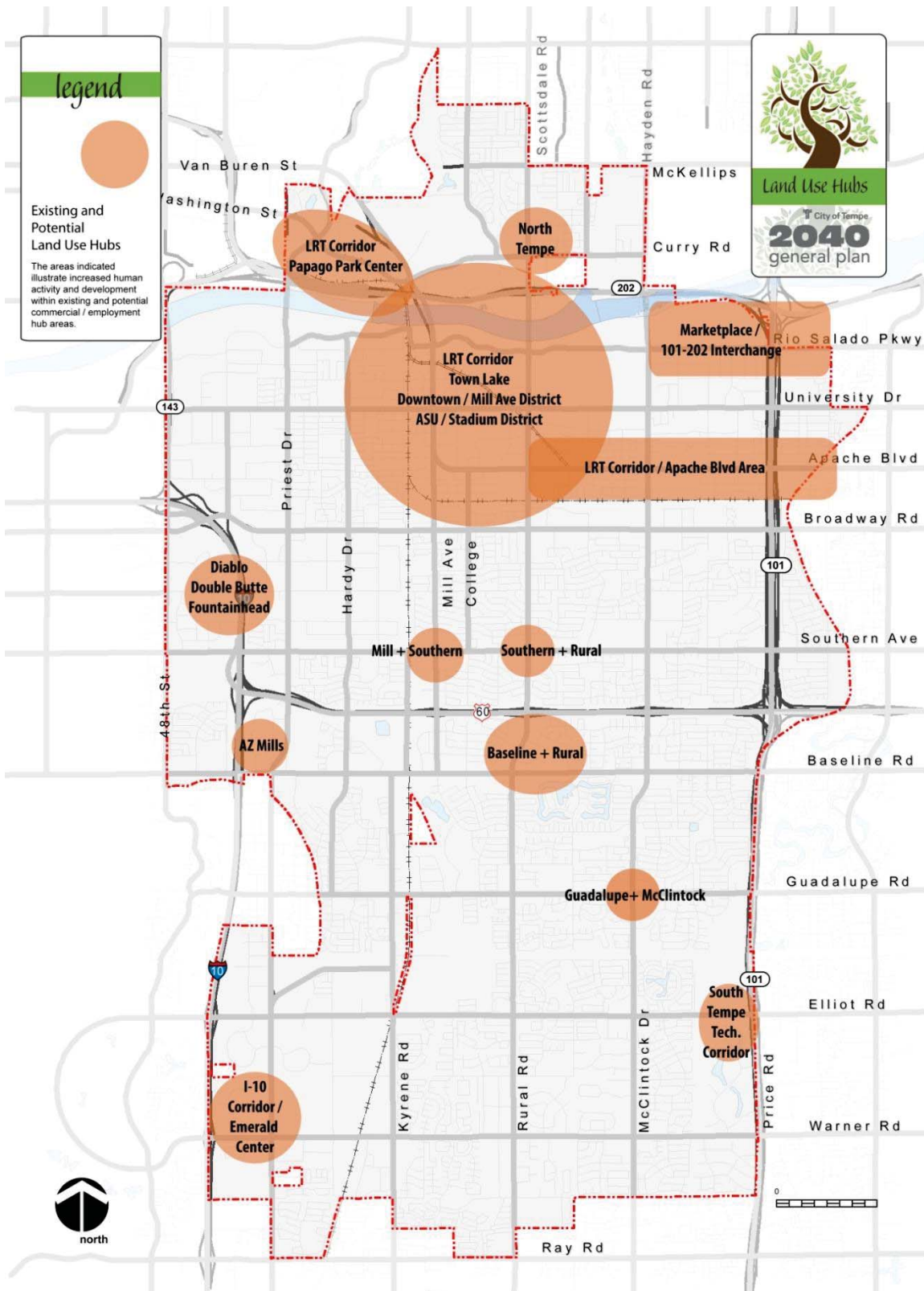


Figure 3 Land Use Hubs



BROADSTONE LAKESIDE

500 WEST 1ST STREET

LETTER OF EXPLANATION AND REQUEST FOR GENERAL PLAN AMENDMENT, ZONING MAP AMENDMENT, PAD OVERLAY AND DEVELOPMENT PLAN REVIEW



HUELLMANTEL
AFFILIATES

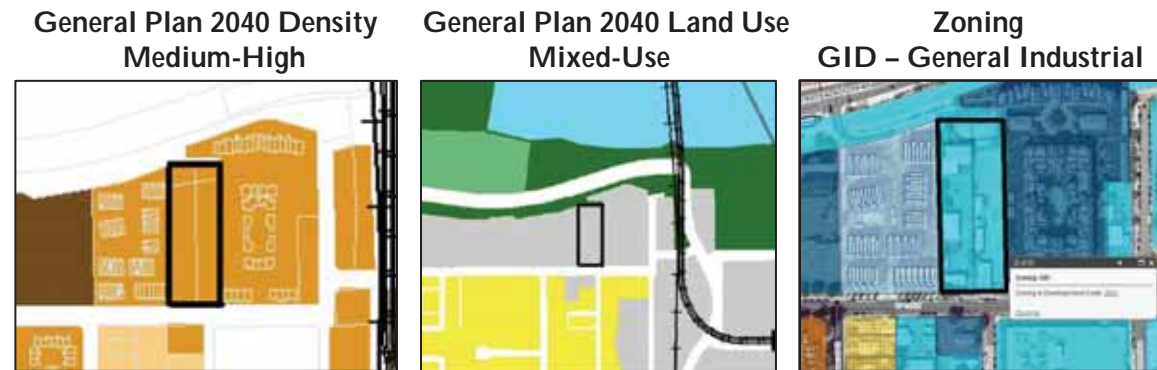
PO Box 1833, Tempe, AZ 85280-1833

P.O. Box 1833 - Tempe, Arizona 85280-1833 – 480.921.2800 - charles@huellmantel.com

SUMMARY

Alliance Residential, an Arizona based company, is proposing an exciting new downtown urban mixed-use project on 1st Street and Wilson Street just west of the Farmer Arts District. Alliance is proposing the development on approximately two and a half acres (APNs: 124-24-009, 124-24-008, 124-24-243 and 124-24-242). The site is neighbored by the Pulte 525 development to the west and the Picerne Regatta Point development to the east. These neighboring projects have set the tone for the north side of 1st Street by creating residential projects with live work components facing 1st Street and with well designed landscaped areas to clearly identify the residential nature in an otherwise industrial area which has now turned to into Tempe’s most mixed-use neighborhood. The Alliance Broadstone Lakeside building will expand on the activation of 1st Street with a office/co-working use for residents. The goal is to keep the space more active than if the space was used for live-work. We have taken this tone to heart and designed a well-scaled residential building with office component along 1st Street that will function as a co-working space for residents of this building. We would like to work to make the office space available to residents of neighboring projects as well and we can do so without adding additional parking into the project.

The voter approved General Plan 2040 is in concert with our proposal, but not in full compliance and so we will seek to amend it. The site is located within the Rio Salado Overlay District and in the General Industrial (GID) zoning district and has a General Plan 2040 Projected Density of Medium-High (up to 25 dwelling units per acre) and a General Plan 2040 Projected Land Use of Mixed-Use as indicated on the exhibits below:



We are requesting a General Plan Amendment to the Projected Density Map from Medium-High (up to 25 du/ac) to Urban Core (up to 70 du/ac), a Zoning Map Amendment from GID to MU-4 (Mixed-Use, High Density), a Planned Area Development Overlay to establish standards in a Mixed-Use zoning district, and a Development Plan Review for a new development to accommodate the proposed project.

Alliance Residential’s Broadstone is proposed as a 168-unit urban multi-family residential project. Lushly landscaped courtyards will separate the buildings and ground-level amenities built over an underground parking garage containing 227 spaces. The street-level ground floor of the project will include a pool, fitness center, cabanas, game court and

parking, along with the leasing office and residential units. The building will also have office/co-working space fronting 1st Street. The co-working and the leasing office will ground the building onto 1st Street which will be supported by a strong landscape and hardscape treatment of 1st Street. More than half of the ground level will consist of open space as Alliance is proposing 55% building lot coverage. The proposed density will be 70 dwelling units per acre.

The Alliance Broadstone Lakeside development will consist of 32 studio units, 63 one-bedroom units, 71 two-bedroom units and 2 three-bedroom units for a total 168 residential units.

	Required	Provided
Vehicular Parking	307 spaces	269 spaces (1.60 per unit)
Bicycle Parking	161 spaces	148 spaces (.88 per unit)

As shown above, Alliance Broadstone is requesting a reduction in the vehicular parking spaces from the required 307 to the provided 269. This reduction is justified by the proposed developments proximity to the Valley Metro light rail – less than half a mile from the development and the proximity to Mill Avenue, Tempe Town Lake and the future Tempe Streetcar. In addition to the light rail and future Tempe Streetcar, the Valley Metro bus line Route 62 on the south end on 1st Street and the Route 48 bus line on the north side on Rio Salado Parkway service the Broadstone Lakeside site. These ample public transportation options for residents more than justify the proposed reduction in vehicular parking spaces.

GENERAL PLAN AMENDMENT

1. Written justification for the amendment should consider long-term and short-term public benefit and how the amendment, considering Land Use Principles, will help the city attain applicable objectives of the General Plan.

Increasing the density of the project site conforms to the principles of the General Plan 2040. The Tempe Town Lake district is a beautiful gathering point for citizens of Tempe and the site, as it currently is built, does not take advantage of one of the best aspects of living in Tempe. Changing these lots from industrial use to mixed-use, as the General Plan 2040 Land Use assumes the parcel will be used in a residential and commercial approach. For the site to reach its full potential, Alliance would like to increase the allowed density from Medium-High to Urban Core. This change will help further develop the retail uses along Tempe Town Lake, such as the Farmer Arts District and Mill Avenue.

2. If the proposed amendment is only to the General Plan's text, there should be objective discussion of the amendment's long-term and short-term public benefit and the larger issue of its impact on the city attaining applicable objectives of the General Plan.

One of the principals of the General Plan 2040 is to make Tempe an urban core with housing that is walking or biking distance to many different necessary destinations – ASU, Mill Avenue restaurants and shopping, Farmer Arts District and Tempe Town Lake.

“Enables residents to comfortably and safely walk, bike, or take transit within a 20-minute distance to access any of the daily necessities within Tempe, and to also access many quality of life attributes such as parks, preserves, theaters, museums, library, public art or special events and festivals;”

The finished Alliance Broadstone project will fulfill this City of Tempe General Plan 2040 principle. The proposed site is walking distance to Tempe Town Lake and the Tempe Center for the Arts and it also provides walking access to public transportation such as the Valley Metro Light Rail and the proposed Tempe Streetcar.

Broadstone Lakeside will follow the Tempe General Plan 2040 Guiding Principles. The proposed development will create a sense of Balanced Land Use. The site is currently being used as industrial – a waste of land when considering the lakefront quality of the site. The site will be an appropriate mixed-use development that will bring commercial foot traffic to the Tempe Town Lake area.

Alliance Broadstone will support Tempe General Plan 2040 Guiding Principle #3:

“Increased Economic Vitality” by creating more residential and retail opportunities in a transportation, recreation and residential hub of Tempe. It will also support Principle #4, “Sustained Mobility/Greater Accessibility” by providing residential and retail near the light rail, within walking distance of a light rail stop, and close to the proposed Tempe Streetcar. There are also many different entertainment and shopping destinations within the area that are accessible by walking, biking or public transportation.

~~3. If the proposed amendment impacts the General Plan's Projected Land Use Map only, there should be objective discussion of the amendment's impact on the projected land use within a minimum of a half-mile of the property.~~

4. With a proposed amendment to the General Plan Projected Land Use Map, the applicant/developer's written discussion on the proposed amendment should respond to the Land Use Principles in the Land Use Element of the General Plan. The principles are presented below, in a generalized request/response format:

- a. Describe the public benefit of the proposed amendment in terms of increase/decrease in intensity and its impact on adjacent land uses versus the impact of the present land use designation
- b. Describe the public benefit of the proposed amendment in terms of impact on the city's infrastructure (i.e. water, sewer, utilities, streets, in terms of anticipated traffic generation, projected carrying capacity, projected volume, availability of transit, need for additional access, or city services such as fire and police staffing and response times, etc.) versus the impact of the present land use designation
- c. Describe the proposed development quality of life in terms of how its components reflect unique site design, building design, landscaping and parking; integrate or provide access between varied uses; deal creatively with multi-modal transportation; and reduce/eliminate physical barriers, as well as provide residential, employment, shopping and local services
- d. Describe the use of open space, parks or green belts, and how the development separates, as well as links, residential and nonresidential components, if the proposed development incorporates a residential component. If applicable, describe how the proposed development impacts existing parks
- e. Describe the proposed development in terms of supporting regional and local transit objectives for arterial streets; implementing the goals and objectives of the transit plan; describe the internal street system in terms of supporting the above goals and objectives and incorporating uniquely designed transit facilities along the arterial streets
- f. Describe the proposed amendment in terms of effects on the school districts (enrollments and facilities)
- g. Identify additional quality of life components of the proposal to justify an Amendment

ZONING MAP AMENDMENT

Alliance would like to rezone the subject site from General Industrial to Urban Core Density Mixed-Use based on a finding of consistency and conformance with the General Plan Goals and Objectives, and implementation of the Elements:

Land Use Element

The proposed rezone of the Alliance Broadstone project is in conformance with the General Plan 2040 Proposed Land Use of Mixed-Use for the site. The rezone from General Industrial (GID) to High-Density Mixed-Use (MU-4) will create cohesion between the General Plan and the Zoning Code.

Community Design Element

The Alliance Broadstone project can be considered “infill development” or “redevelopment.” Rezoning the site will allow for integration of a mixed-use project into a residential and entertainment/park and recreation district will help build the character area and integrate more residential life into the Tempe Town Lake area. Broadstone will integrate art into their proposed bicycle parking that will help define the character area with regards to Tempe Center for the Arts and Tempe Town Lake.

Historic Preservation Element

Rezoning the subject site from GID to MU-4 will not affect the Historic Preservation Element of the General Plan 2040.

Neighborhood Preservation and Revitalization Element

The Lakeshore Drive and 1st Street neighborhood has been established as a high-density residential area with the construction of Regatta Point and Pulte 525 on the east and west sides of the subject parcels. Including more residents and retail into this established neighborhood will help boost lakeside, Farmer and Mill Avenue economies while respecting the small amount of single family housing across the street.

Redevelopment Element

The Redevelopment Element goal is to “Sustain or maximize the efficiency of land uses within areas of stagnation or decline by promoting the greatest economic, social and cultural potential.” Redeveloping the site, currently a large parking area for industrial uses to a mixed-use residential/retail development will maximize the efficiency of use for the land by providing an inviting retail atmosphere near Tempe Town Lake, close to Mill Avenue and the Farmer Arts District.

Housing Element

In order for Tempe to fulfill the housing needs of the city, housing options in varied price ranges should be offered. Alliance Broadstone will offer multi-family housing that is considered both luxury and affordable for Mill Avenue, Sky Harbor, Fox Restaurants and the Yard on Farmer and north Tempe employees and ASU students. With 58% of the land in Tempe already built for single-family residential and only 33% of land built as multi-family residential, there is a need for more multi-family housing options. As stated by the

General Plan 2040, “Tempe is dedicated to preserving existing affordable housing in the community and creating new housing opportunities for residents with low and moderate incomes.” Alliance Broadstone will provide housing to moderate income Tempe residents.

General Plan Amendment (note the criteria)

Please see the General Plan Amendment section above.

Economic Development Element

The development of the Broadstone project will create jobs in the mixed-use co-working space and increase residents’ quality of life. Co-working space will also foster “an innovative business climate” where the retail will attract visitors to Tempe Town Lake and the Tempe Center for the Arts.

Growth Area Element

The proposed site is located in the Rail Corridor Growth Area and the Rio Salado Growth Area. Rezoning the site from GID to MU-4 will help the City of Tempe reach their goal to build the area as an employment, retail and high-density residential hub. The Tempe General Plan 2040, in the Growth Area Element section, projects increased employment and population while keeping the amount of housing low. In order to fulfill this goal, high-density housing will need to be built – Broadstone will create a high-density residential/retail environment to meet the anticipated housing and employment needs of the Tempe. The development of the site will bring residents to the cultural destinations in the area, such as Tempe Town Lake, Tempe Center for the Arts and the historic and cultural destination of Mill Avenue. The rezoning from GID to MU-4 will also fulfill the Growth Area goal to foster transit-oriented development in the area.

Cost of Development Element

The development of the Alliance Broadstone project will not put any excess stress on the existing infrastructure that will not be covered by development taxes. The area is highly accessible by an arterial street – Rio Salado Parkway – and many different public transportation opportunities that will lessen the impact of new residents on the infrastructure.

Pedestrian and Bicycle Element

Alliance Broadstone Lakeside will be mixed-use and high density near the Tempe urban core. The proximity to many different public transportation options will embrace the objectives of the General Plan 2040, such as improving the pedestrian network by providing retail/office/commercial uses on the ground floor and encouraging bicycle and pedestrian traffic near, through, to and from the development.

Transit Element

The proposed project is located near the Potential Commuter Station where the future Streetcar and existing light rail will meet and is serviced by the Orbit buses, and local Valley Metro buses. This site is near a valuable transportation and should be rezoned from General Industrial to High Density Mixed-Use (MU-4) to take advantage of the transportation opportunities.

Travelways Element

The proposed site will back an arterial street – Rio Salado Parkway and front a collector street – 1st Street. The Broadstone site is also very close to the Freeway 202 and Sky Harbor Airport. There are multiple transportation options for the traffic drawn to the mixed-use retail element of the Broadstone project.

Parking and Access Management

As stated by the General Plan 2040, “An ample and easily accessible supply of parking, such as that found in typical office parks, encourages auto use and reduces attractiveness to transit riders.” We will supply a reduced number of vehicular parking spots for residents to promote transit ridership and help Tempe reach their parking and access management goals.

Aviation Element

Alliance Broadstone is in close proximity to Phoenix Sky Harbor Airport and the key location will provide residents many different options for public transportation to the airport. The site is less than half a mile from the light rail which provides direct transit to the airport. A rezoning is appropriate for the Alliance Broadstone project as it is a prime area that would benefit from a high-density transit oriented development.

Conservation Element

Broadstone Lakeside will be built pursuant to industry “green” standards; Alliance Residential Company established a “Focus Green” program (<http://www.liveatalliance.com/focus-green>) that identifies best practices and energy-reducing & air quality features to be utilized in new developments and existing communities. Alliance Broadstone Lakeside will utilize triple pane low-E glass windows, increased insulation, low-flow water fixtures and high efficiency heat pumps. In addition, the landscaping will be watered using computerized water efficient irrigation systems. Recycling will be provided for residents and co-working customers.

Environmental Planning Element

The proposed Alliance Broadstone Lakeside project will help Tempe meet their Environmental Planning Element goal by utilizing objective two – to reduce the number of vehicle miles traveled locally and regionally. The location of the site near downtown Tempe, Farmer Arts District, Tempe Town Lake and the light rail and ASU will help residents chose environmentally friendly transit options, such as walking, biking and public transit.

The rezoning of this parcel from GID to MU-4 will also help control the ambient temperature of the site. The increased landscaping percentage and reduced ground level parking will help ease the urban heat island effect. Alliance will utilize many different desert trees and conserve water and provide shade, such as Willow Acadia, Yellow Bird of Paradise and Desert Museum Palo Verde – these trees will help reduce ambient temperature.

Water Resources Element

At this time, Broadstone Lakeside will not be utilizing stormwater saving.

Open Space Element

The Alliance Broadstone Lakeside will not negatively affect the amount of public or private open space in Tempe.

Recreation Element

Alliance Broadstone Lakeside development will provide recreation for residents in the form of a swimming pool, fitness center and game court that will alleviate additional stress on the Tempe public parks with the increase of residents in the area.

Public Art and Cultural Amenities Element

Our commercial front (1st Street) will be designed to provide an attractive introduction to the community leasing area and commercial space. These designs are intended to include an art-based aesthetic on traditional elements such as resident and guest bike parking. Rezoning the site from GID to MU-4 will increase interest in the Tempe Center for the Arts and Tempe Town Lake and the corresponding public art in the area. The increase in revenue and interest provided by adding residential and co-working office space to the lake will be beneficial to the City of Tempe.

Public Buildings and Facilities Element

Not applicable to the Alliance Broadstone Lakeside rezoning.

Public Services Element

Not applicable to the Alliance Broadstone Lakeside rezoning.

Municipal Court Element

Not applicable to the Alliance Broadstone Lakeside rezoning.

Safety Element

The new development will be in conformance with Fire Code, Building Codes and Tempe Safety Codes.

PLANNED AREA DEVELOPMENT OVERLAY

A. Identify and provide justification for the specific modification(s) to the general development standards;

As required by the City of Tempe Zoning Code, any rezone to the Mixed-Use High Density (MU-4) zoning district requires a PAD Overlay to provide development standards. The proposed Broadstone Lakeside has a proposed density of 70 dwelling units per acre and a maximum building height of 60 feet. We feel this is an appropriate building height given the heights of the surrounding buildings. We feel the proposed density is appropriate for the size of the parcels and the proximity to Tempe Town Lake and Mill Avenue.

Alliance is proposing a maximum lot coverage of 55%. The parking will predominantly be underground and the ground level of the development will include the pool, fitness center and entertainment area for residents. The landscaping will be more than adequate for the site, lush, desert and water sensible. The setbacks are appropriate for a mixed-use development. With residential/businesses on the ground floor, the setbacks should be less than usual to allow for pedestrian and bicycle traffic.

The decrease in vehicular parking from the required 307 spaces to the provided 269, a reduction of 39 spaces, is appropriate and supported by the Tempe General Plan 2040, in both the Parking and Access Management Element and the Environmental Planning Element. The reduced vehicular parking available will help residents and retail customers embrace walking, biking and the multitude of public transit options available.

The reduction in bicycle parking can be justified in by recognizing that most residents park their bicycles in their units, especially during the summer months. This reduces wear and tear and theft for bicycle owners.

B. Explain how the PAD Overlay District accommodates, encourages, and promotes innovatively designed developments involving residential and/or nonresidential land uses, which form an attractive and harmonious unit of the community; and

The proposed PAD Overlay development standards will help create a high-quality, urban residential project that redevelops 1st Street with an appropriate commercial feel in this transitioning part of the city. The project will manage to keep the industrial/commercial atmosphere while giving residents an urban residential living environment.

C. Describe how the PAD Overlay District is deemed appropriate or necessary, and traditional zoning regulations are replaced by performance considerations to fulfill the objectives of the General Plan.

The PAD Overlay will be appropriate and will follow the General Plan 2040. The side is designated Mixed-Use so the rezoning will be in compliance with the General Plan. MU-4 requires applicants to create their own standards. Alliance Broadstone Lakeside will blend the urban and residential into an area with rich industrial history.

	GID Standards	MU-4 Standards	PAD Overlay Standards
Density	No Standard	No Standard	70 du/acre
Building Height	35 feet	No Standard	60 feet
Maximum Lot Coverage	No Standard	No Standard	55%
Minimum Landscape Area	10%	No Standard	30%
Front Setback	25 feet	No Standard	11 feet (south side)
Front Parking Setback	20 feet	20 feet	NA
Side Building Wall Setback	10 feet	No Standard	6 feet, 8 inches (east side)
Side Building Wall Setback	25 feet	No Standard	6 feet, 10 inches (west side)
Side Street Parking Setback	20 feet	20 feet	NA
Rear Building Wall Setback	0 feet	No Standard	16 feet, 11 inches (north side)

DEVELOPMENT PLAN REVIEW

1. Placement, form, and articulation of buildings and structures provide variety in the streetscape;

The placement of the two separate buildings that will make up Alliance Broadstone Lakeside will create a variety of streetscape. The project will provide two, front (south side) co-working spaces that will create an articulated building form. As shown on the rendering and elevations, the Lakefront side of the building will have square entrances, pillars and an archway inviting residents and customers into the building.

2. Building design and orientation, together with landscape, combine to mitigate heat gain/retention while providing shade for energy conservation and human comfort;

The proposed building hats will provide shade to residents without looking ostentatious. The recessed patios and balconies will also create shaded resting areas and the abundant, desert landscaping will help the building conserve energy. The desert landscaping palate will be water conscientious and create an urban environment.

3. Materials are of a superior quality, providing detail appropriate with their location and function while complementing the surroundings;

The materials will be high quality and include a stucco finish with metal roofing accents, metal balconies, stone veneer, anodized aluminum in two different finishes. The Dunn Edwards colors Cold Morning, Legendary Gray, Covered in Platinum, and Warf View will create a modern palate that will draw residents and visitors from along Tempe Town Lake and will complement the surrounding buildings and neighborhood.

4. Buildings, structures, and landscape elements are appropriately scaled, relative to the site and surroundings;

The Alliance Broadstone project will incorporate lakefront appropriate colors that will help give the two separate buildings scale. The two separate buildings will break up inappropriate building massing and will help create a sense of flow between the front of the property facing Tempe Town Lake and the rear of the building, facing 1st Street.

5. Large building masses are sufficiently articulated so as to relieve monotony and create a sense of movement, resulting in a well-defined base and top, featuring an enhanced pedestrian experience at and near street level;

The lakeside, northern front of the building, visible from Rio Salado Parkway, will consist of many different variations in heights, with balconies, windows, hats, and different materials of fronting that will not create a sense of monotony but will create a well-defined base and top of the building and "sense of movement."

6. Building facades provide architectural detail and interest overall with visibility at street level (in particular, special treatment of windows, entries and walkways with particular attention to proportionality, scale, materials, rhythm, etc.) while responding to varying climatic and contextual conditions;

The variations in windows, building fronts, railings, arches and building hats in context with the abundant and varied landscaping will create a beautiful, aesthetically pleasing atmosphere.

7. Plans take into account pleasant and convenient access to multi-modal transportation options and support the potential for transit patronage;

As shown on the Alliance Broadstone Lakeside plans, there will be pedestrian access on both the north and south sides of the building to allow and encourage residents and the mixed-use retail customers to enter and exit the development on foot or by bicycle. The important of the existing light rail less than half a mile away – walking distance - will not be downplayed by this proposed development.

8. Vehicular circulation is designed to minimize conflicts with pedestrian access and circulation, and with surrounding residential uses;

All residential vehicular parking will be in an underground parking garage that will eliminate pedestrian conflict with vehicles. The vehicular entry ways will be located on Lakeside Drive and on 1st Street and some ground level parking is proposed for the east side of the property. The residential parking will be behind a code controlled gate. These dedicated vehicular entries are separated from pedestrian walkways and will not cause circulation or pedestrian conflict.

9. Plans appropriately integrate Crime Prevention Through Environmental Design principles such as territoriality, natural surveillance, access control, activity support, and maintenance;

The landscaping and residential pathways and parking area will integrate all Tempe Crime Prevention principles to cut down on crime and promote safety.

10. Landscape accents and provides delineation from parking, buildings, driveways and pathways;

The proposed desert landscaping will be water consciences and will also help define pedestrian walkways, the parking lot, building frontages and bases and drive lanes. Alliance would like to use Medicinal Aloe, Topaz Aloe, Yellow Bird of Paradise, Cape Plumbago and Purple Trailing Lantana shrub, bush and vine varieties that will be maintained to form clear delineation for residents and retail customers.

11. Signs have design, scale, proportion, location and color compatible with the design, colors, orientation and materials of the building or site on which they are located; and

The signs attached to the building will follow Tempe Code and the way finding sign will be appropriate in scale and material.

12. Lighting is compatible with the proposed building(s) and adjoining buildings and uses, and does not create negative effects.

The lighting from streetlights, parking lot lights and pedestrian walkways will not negatively impact the surrounding buildings. The lighting will comply with Tempe City Code and the Building Code.



Broadstone Lakeside

Applicant: ALLIANCE RESIDENTIAL
Tom Lewis
2425 E. Camelback Road
Suite 600
Phoenix, AZ 85016

Site: Broadstone Lakeside
Tempe, AZ

Architect: ORB Architecture, LLC
Rich Barber
2944 N. 44th Place
Suite 101
Phoenix, AZ 85018



North



East



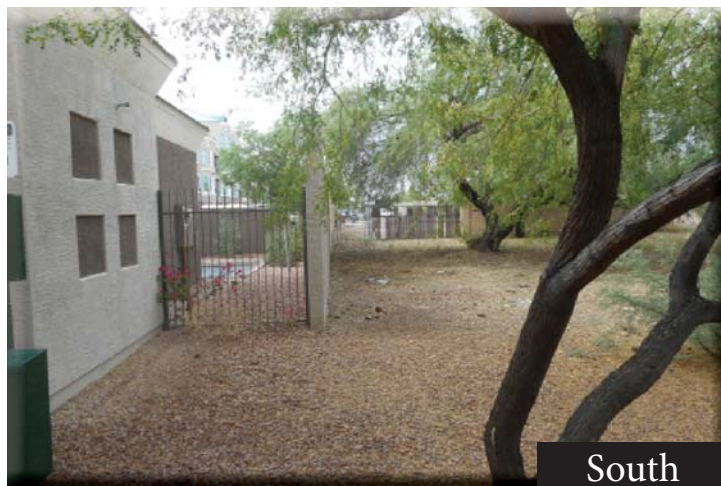
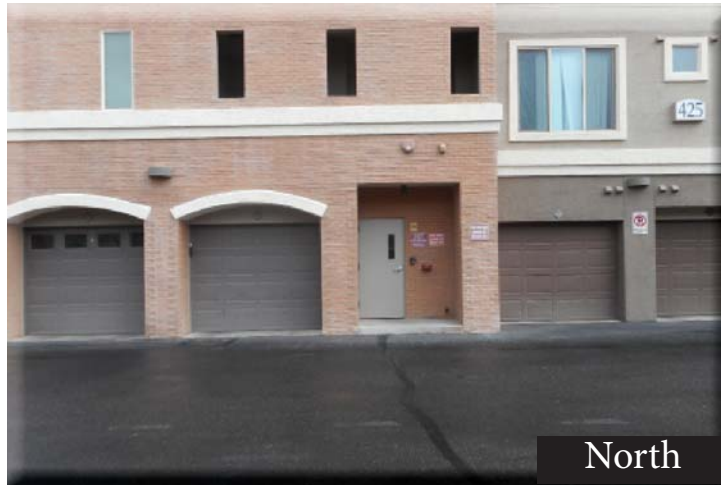
South



West

Broadstone Lakeside Apartments - Site/Context Photographs

Position 1





North



East



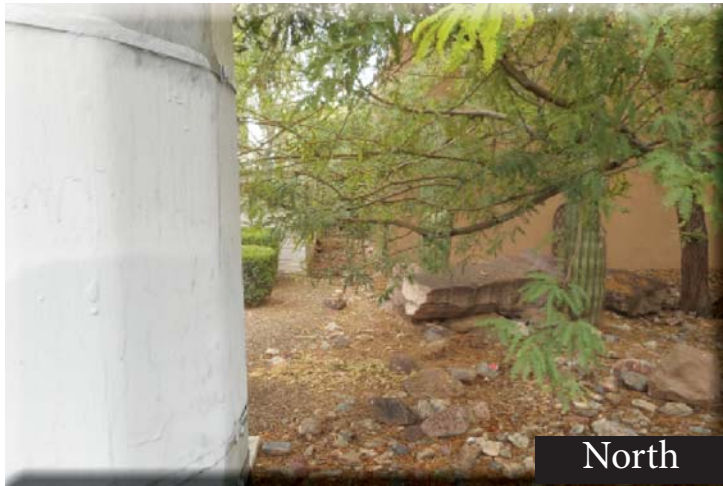
South



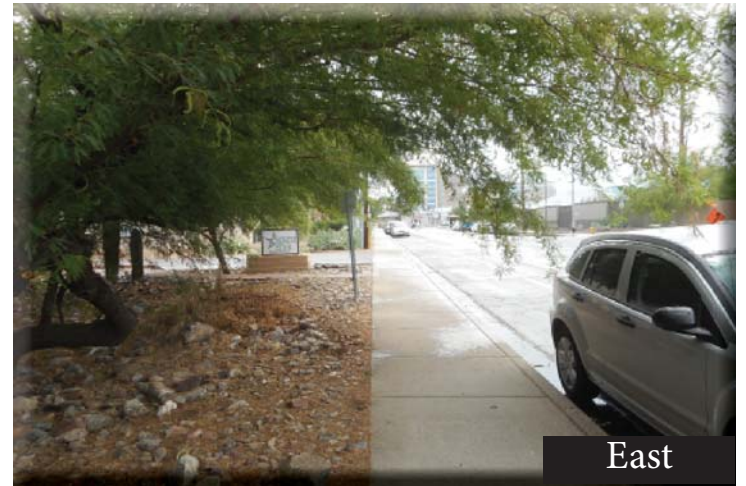
West

Broadstone Lakeside Apartments - Site/Context Photographs

Position 3



North



East



South



West

Broadstone Lakeside Apartments - Site/Context Photographs

Position 4



North



East



South



West

PLANNED AREA DEVELOPMENT OVERLAY FOR BROADSTONE LAKESIDE

A PORTION OF THE NORTHEAST QUARTER OF SECTION 16, TOWNSHIP 1 NORTH,
RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA

ACKNOWLEDGEMENT

ON THIS ____ DAY OF _____, 201__ BE-
FORE ME, THE UNDERSIGNED, PERSONALLY APPEARED TOM LEWIS,
WHO ACKNOWLEDGED HIMSELF TO BE THE PERSON
WHOSE NAME IS SUBSCRIBED TO THE INSTRUMENT WITHIN,
AND WHO EXECUTED THE FOREGOING INSTRUMENT FOR THE
PURPOSES THEREIN CONTAINED.

IN WITNESS WHEREOF; I HEREUNTO SET MY HAND AND OFFICIAL
SEAL

ALLIANCE RESIDENTIAL CO.

BY: _____ DATE _____
OWNER

BY: _____ MY COMMISSION EXPIRES _____
NOTARY PUBLIC

LEGAL DESCRIPTION

SEE CS.2

APPROVAL

APPROVED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF
TEMPE ON THIS ____ DAY OF _____
201__.

DS150410

OWNER/DEVELOPER

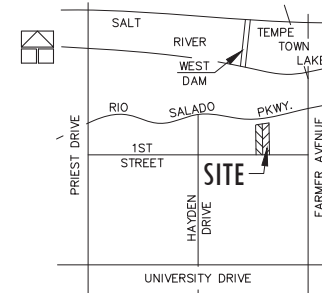
ALLIANCE RESIDENTIAL CO.
2415 E. CAMELBACK RD., STE 600
PHOENIX, AZ 85016
PH: 602-778-2800
CONTACT: TOM LEWIS

PROJECT DATA

MU-4 PAD RSOD (RIO SALADO OVERLAY DISTRICT)	PROVIDED PAD
GENERAL PLAN LAND USE	MIX-USE
GENERAL PLAN DENSITY	HIGH
SITE AREA	104,711 SQ.FT. 2.404 ACRES
DWELLING QUANTITY	
STUDIO	32
1 BEDROOM	63
2 BEDROOM	71
3 BEDROOM	2
TOTAL	168
DENSITY (DU/ACRE)	70
BUILDING HEIGHT	60 FT
BUILDING SETBACKS	
FRONT (SOUTH)	11'-1"
SIDE (EAST)	6'-8"
SIDE (WEST)	6'-10"
REAR (NORTH)	16'-11"
LOT COVERAGE	55 %
LANDSCAPE AREA (% OF NET AREA)	
R.O.W.	2 %
ON-SITE GROUND	20 %
ON-SITE DECK	8 %
TOTAL	30 %
VEHICLE PARKING REQUIRED	307
STUDIO (1 PER UNIT)	32
1 BED (1.5 PER UNIT)	94.5
2 BED (2 PER UNIT)	142
3 BED (2.5 PER UNIT)	5
GUEST (0.2 PER UNIT)	33.6
ACCESSIBLE PARKING REQUIRED (2%)	6
VEHICLE PARKING PROVIDED	269
OPEN ON SITE (UNRESERVED)	42
GARAGE P1	227
ACCESSIBLE PARKING PROVIDED (INCLUDED IN COUNT ABOVE)	6
BICYCLE PARKING REQUIRED	160
STUDIO (0.75 PER UNIT)	24
1 BED (0.75 PER UNIT)	47.25
2 BED (0.75 PER UNIT)	53.25
3 BED (1 PER UNIT)	2
GUEST (0.2 PER UNIT)	33.6
BICYCLE PARKING PROVIDED	148
USES	
GARAGE (S-2)	80,981 SQ.FT.
RESIDENTIAL (R-2)	188,571 SQ.FT.
REC (A-3)	2,918 SQ.FT.
FITNESS (A-3)	3,650 SQ.FT.
LEASING (B)	947 SQ.FT.
DECK (B)	735 SQ.FT.
CO-WORK (B)	2,053 SQ.FT.

PL150188

SITE VICINITY MAP



CONDITIONS OF APPROVAL:

GENERAL NOTES

**BROADSTONE
LAKESIDE**
500 WEST 1ST STREET
TEMPE, ARIZONA

Office of Rich Barber
ORB
Architecture, LLC
WorldHQ@ORBArch.com



**ALLIANCE
RESIDENTIAL COMPANY**

REC000000

PL150188

DS150410

DATE: JULY 6, 2015 ORB # 14-214

CS.1

COVER SHEET
1 OF 2

REC00000

PLANNED AREA DEVELOPMENT OVERLAY FOR BROADSTONE LAKESIDE

A PORTION OF THE NORTHEAST QUARTER OF SECTION 16, TOWNSHIP 1 NORTH,
RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA

LEGAL DESCRIPTION

TITLE COMMITMENT NO. NCS-716353-PHX1:

PARCEL NO. 1:

LOT 4E, BEING IN PART OF SECTION 16, TOWNSHIP 1 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, AS SHOWN ON STATE PLAT NO. 12 AMENDED, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 69 OF MAPS, PAGE 38;

EXCEPTING AN UNDIVIDED 1/16 OF ALL GAS, OIL, METALS AND MINERAL RIGHTS AS RESERVED TO THE STATE OF ARIZONA IN PATENT OF SAID LAND.

PARCEL NO. 2:

A PORTION OF STATE PLAT NO. 12 AMENDED, AS RECORDED IN BOOK 69 PORTION OF THE NORTHEAST QUARTER OF SECTION 16, TOWNSHIP 1 OF MAPS, PAGE 38, MARICOPA COUNTY RECORDS, LOCATED IN A NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE FOUND 1/2" REBAR MARKING THE EAST QUARTER CORNER OF SAID SECTION 16, FROM WHICH THE BRASS CAP FLUSH MARKING THE CENTER OF SAID SECTION 16 BEARS SOUTH 89 DEGREES 28 MINUTES 08 SECONDS WEST 2674.79 FEET, SAID LINE BEING THE SOUTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 16, AND THE BASIS OF BEARING FOR THIS DESCRIPTION;
THENCE SOUTH 89 DEGREES 28 MINUTES 08 SECONDS WEST 617.23 FEET ALONG SAID SOUTH LINE TO ITS INTERSECTION WITH THE SOUTHERLY PROLONGATION OF THE EAST LINE OF SAID LOT 4E;
THENCE NORTH 00 DEGREES 59 MINUTES 55 SECONDS WEST 513.10 FEET ALONG SAID EAST LINE TO THE NORTHEAST CORNER OF SAID LOT 4E AND THE POINT OF BEGINNING;
THENCE SOUTH 82 DEGREES 00 MINUTES 16 SECONDS WEST 100.88 FEET TO THE NORTHWEST CORNER OF SAID LOT 4E;
THENCE NORTH 01 DEGREES 00 MINUTES 55 SECONDS WEST 63.34 FEET ALONG THE NORTHERLY PROLONGATION OF THE WEST LINE OF SAID LOT 4E;
THENCE SOUTH 88 DEGREES 22 MINUTES 55 SECONDS EAST 100.25 FEET TO THE NORTHERLY PROLONGATION OF THE EAST LINE OF SAID LOT 4E;
THENCE SOUTH 00 DEGREES 59 MINUTES 55 SECONDS EAST 46.47 FEET ALONG SAID NORTHERLY PROLONGATION TO THE POINT OF BEGINNING.

TITLE COMMITMENT NO. NCS-716363-PHX1:

PARCEL NO. 1:

LOT 5E, STATE PLAT NO. 12 AMENDED, ACCORDING TO BOOK 69, OF MAPS, PAGE 38, RECORDS OF MARICOPA COUNTY, ARIZONA.

PARCEL NO. 2:

A PORTION OF STATE PLAT NO. 12 AMENDED, AS RECORDED IN BOOK 69 OF MAPS, PAGE 38, MARICOPA COUNTY RECORDS, LOCATED IN A PORTION OF THE NORTHEAST QUARTER OF SECTION 16, TOWNSHIP 1 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE FOUND 1/2" REBAR MARKING THE EAST QUARTER CORNER OF SAID SECTION 16, FROM WHICH THE BRASS CAP FLUSH MARKING THE CENTER OF SAID SECTION 16 BEARS SOUTH 89 DEGREES 28 MINUTES 08 SECONDS WEST 2674.79 FEET, SAID LINE BEING THE SOUTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 16, AND THE BASIS OF BEARING FOR THIS DESCRIPTION;
THENCE SOUTH 89 DEGREES 28 MINUTES 08 SECONDS WEST 717.22 FEET ALONG SAID SOUTH LINE TO ITS INTERSECTION WITH THE SOUTHERLY PROLONGATION OF THE EAST LINE OF SAID LOT 5E;
THENCE NORTH 00 DEGREES 01 MINUTE 55 SECONDS WEST 499.99 FEET ALONG SAID EAST LINE TO THE NORTHEAST CORNER OF SAID LOT 5E AND THE POINT OF BEGINNING;
THENCE SOUTH 82 DEGREES 00 MINUTES 16 SECONDS WEST 100.87 FEET TO THE NORTHWEST CORNER OF SAID LOT 5E;
THENCE NORTH 01 DEGREE 01 MINUTE 55 SECONDS WEST 75.81 FEET ALONG THE NORTHERLY PROLONGATION OF THE WEST LINE OF SAID LOT 5E;
THENCE NORTH 71 DEGREE 06 MINUTES 05 SECONDS EAST 12.53 FEET;
THENCE SOUTH 88 DEGREES 22 MINUTES 55 SECONDS EAST 88.32 FEET TO THE NORTHERLY PROLONGATION OF THE EAST LINE OF SAID LOT 5E;
THENCE SOUTH 01 DEGREE 00 MINUTES 55 SECONDS EAST 63.34 FEET ALONG SAID EAST LINE TO THE POINT OF BEGINNING.

DS150410

PL150188

REC00000

**BROADSTONE
LAKESIDE**
500 WEST 1ST STREET
TEMPE, ARIZONA



REC000000

PL150188

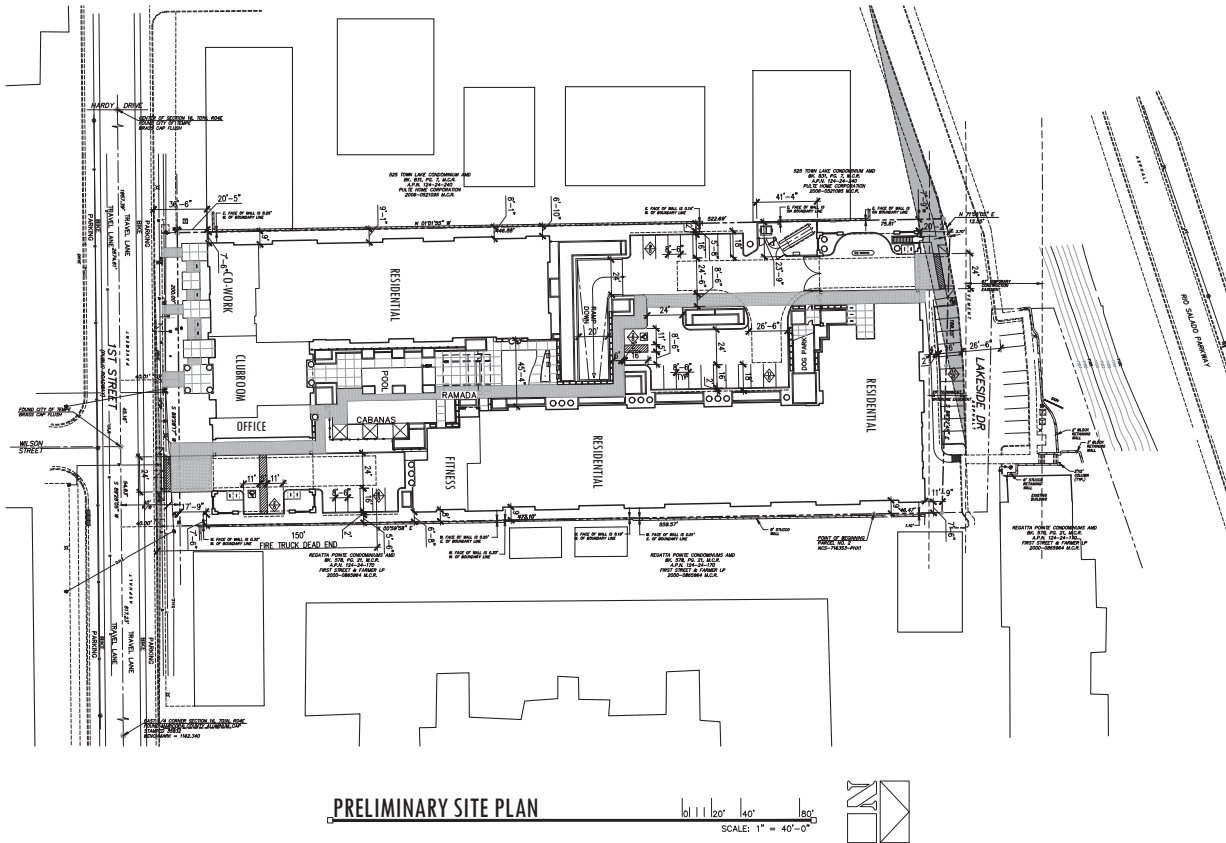
DS150410

DATE: JULY 6, 2015 ORB # 14-214

CS.2

COVER SHEET
2 OF 2

PLANNED AREA DEVELOPMENT OVERLAY FOR BROADSTONE LAKESIDE SITE PLAN



DS150410

PL150188

REC00000

PROJECT DATA

MU-4 PAD RSOD (RIO SALADO OVERLAY DISTRICT)	PROVIDED PAD
GENERAL PLAN LAND USE	MIX-USE
GENERAL PLAN DENSITY	HIGH
SITE AREA	104,711 SQ.FT. 2.404 ACRES
DWELLING QUANTITY	
STUDIO	32
1 BEDROOM	63
2 BEDROOM	71
3 BEDROOM	2
TOTAL	168
DENSITY (DU/ACRE)	70
BUILDING HEIGHT	60 FT
BUILDING SETBACKS	
FRONT (SOUTH)	11'-1"
SIDE (EAST)	6'-8"
SIDE (WEST)	6'-10"
REAR (NORTH)	16'-11"
LOT COVERAGE	55 %
LANDSCAPE AREA (% OF NET AREA)	
R.O.W.	2 %
ON-SITE GROUND	20 %
ON-SITE DECK	8 %
TOTAL	30 %
VEHICLE PARKING REQUIRED	307
STUDIO (1 PER UNIT)	32
1 BED (1.5 PER UNIT)	94.5
2 BED (2 PER UNIT)	142
3 BED (2.5 PER UNIT)	5
GUEST (0.2 PER UNIT)	33.6
ACCESSIBLE PARKING REQUIRED (2%)	6
VEHICLE PARKING PROVIDED	268
OPEN ON SITE (UNRESERVED)	41
GARAGE P1	227
ACCESSIBLE PARKING PROVIDED (INCLUDED IN COUNT ABOVE)	6
BICYCLE PARKING REQUIRED	160
STUDIO (0.75 PER UNIT)	24
1 BED (0.75 PER UNIT)	47.25
2 BED (0.75 PER UNIT)	53.25
3 BED (1 PER UNIT)	2
GUEST (0.2 PER UNIT)	33.6
BICYCLE PARKING PROVIDED	148
USES	
GARAGE (S-2)	80,981 SQ.FT.
RESIDENTIAL (R-2)	188,571 SQ.FT.
REC (A-3)	2,918 SQ.FT.
FITNESS (A-3)	3,650 SQ.FT.
LEASING (B)	947 SQ.FT.
DECK (B)	735 SQ.FT.
CO-WORK (B)	2,053 SQ.FT.

REC000000

PL150188

DS150410

**BROADSTONE
LAKESIDE**
500 WEST 1ST STREET
TEMPE, ARIZONA

Office of Rich Barber
ORB
Architecture, LLC

WorldHQ@ORBArch.com



**ALLIANCE
RESIDENTIAL COMPANY**

Architect
ORB ARCHITECTURE, LLC
2944 North 42nd St., SUITE 101
Phoenix, Arizona 85018
Tel: 602.957.4530
Fax: 602.717.4020
Contact: Rich Barber

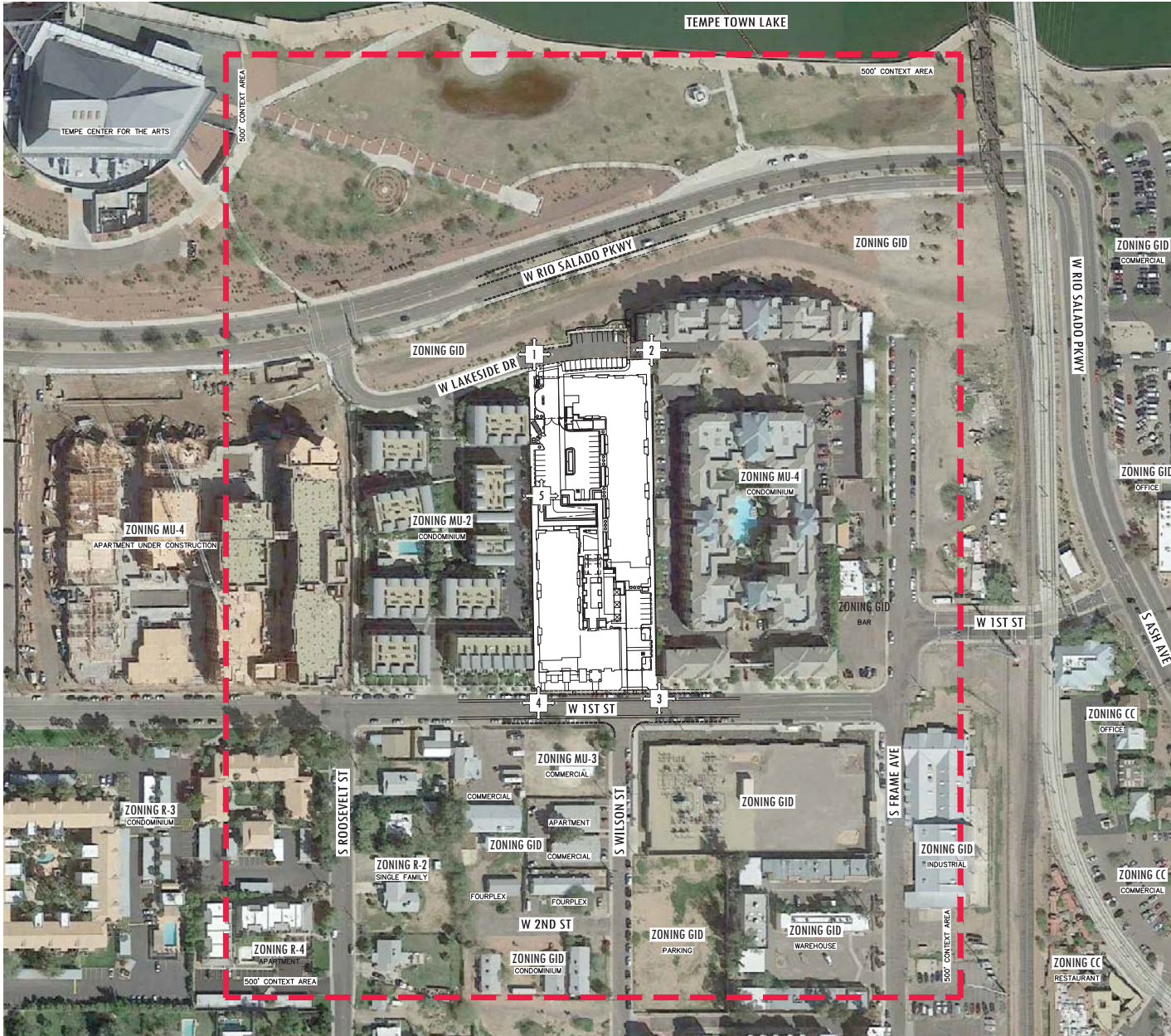
Owner/Developer
ALLIANCE RESIDENTIAL CO.
2415 E. Camelback Rd., Suite 400
Phoenix, Arizona 85016
Tel: 602.778.2800
Fax: 602.778.2850
Contact: Tom Lewis

DATE: AUGUST 03, 2015 ORB # 14-214

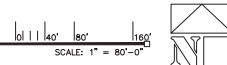
A1.10

SITE PLAN
PRELIMINARY

FILE: \\c:\p\orb\job_files\14-214_AR_Lakeside\CAD_files\preliminary\A1.111_Context_Plan.dwg USDRS.plt DATE: Aug. 03 2015 TIME: 08:54 am

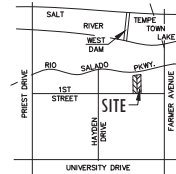
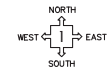


PRELIMINARY CONTEXT PLAN



LOT AREA:	ACRES	SQ. FEET
GROSS:	2.404	104,711
NET:	2.404	104,711
ZONING:		
EXISTING:	GID	
PROPOSED:	MU-4 PAD (R50D)	

PHOTOS KEY



VICINITY MAP
NOT TO SCALE

BROADSTONE LAKESIDE
500 WEST 1ST STREET
TEMPE, ARIZONA

Office of Rich Barber
ORB
Architecture, LLC

WorldHQ@ORBarch.com



ALLIANCE
RESIDENTIAL COMPANY

DATE: AUGUST 03, 2015 ORB # 14-214

A1.11

CONTEXT PLAN
PRELIMINARY

KEYNOTES

- 0.5'x10' PARKING SPACE WITH 2' OVERHANG, TYPICAL.
- 11'x4'5" AISLE X 18' ACCESSIBLE PARKING SPACE WITH 2' OVERHANG.
- TRASH YARD AREA WITH COMPACTOR AND BIN FOR RECYCLING WITH 8" H. CURB ENCLOSURE WITH STUCCO FINISH PAINTED DAWN EDWARDS DE 6385 COLD MORNING.
- ELECTRONIC VEHICULAR GATE TO BE EQUIPPED FOR FIRE DEPARTMENT ACCESS.
- NEW DRIVEWAY PER COT STD. DET. T-320.
- SIGHT VISIBILITY LINE, HATCHED AREA MUST BE CLEAR OF OBSTRUCTIONS.
- EXISTING PERIMETER WALL, PAINT DUNN EDWARDS DE 6385 COLD MORNING.
- 6" H. TUBULAR STEEL VEW FENCE.
- PODS/FRAM ENTRY GATE.
- POOL FENCE.
- POOL GATE.
- FIRE TRUCK ACCESS.
- HATCHED AREA INDICATES ENHANCED PAVING, TYPICAL.
- EXISTING SIDEWALK.
- REMOVE AND REPLACE EXISTING AND UNUSED DRIVEWAYS.
- CALL BOX AND DIRECTORY.
- BICYCLE PARKING.
- ARTIFICIAL TURF WITH CONCRETE CURBING AROUND IN DOO PARK.
- RAISED PLANTER WITH STUCCO FINISH AND PRECAST CAP.
- PODS.
- EXISTING (TO REMAIN) POWER POLE.
- EXISTING (TO REMAIN) STREET LIGHT MOUNTED ON POWER POLE.
- EXISTING (TO REMAIN) DECORATIVE STREET LIGHTING.
- NEW DECORATIVE STREET LIGHT TO MATCH EXISTING.
- POOL LIFT.
- EXISTING FIRE HYDRANT.
- NEW FIRE HYDRANT.

DEVELOPMENT DATA

LOT AREA:
ACRES: 2.404
SQ. FEET: 104,711
NET: 2,404

GROSS:
ACRES: 2.404
SQ. FEET: 104,711
NET: 2,404

ZONING:
EXISTING: CD
PROPOSED: MU-4 PAD (R500)

STANDARDS:

MU-4 PAD ZONE (NO SALADO OVERLAY DISTRICT)	PROVIDED PAD
GENERAL PLAN LAND USE	MIX-USE
DENSITY (DU/ACRE)	70
GENERAL PLAN DENSITY	HIGH
BUILDING HEIGHT	60 FT
MAX. LOT COVERAGE (% OF NET AREA)	55 %
MIN. LANDSCAPE AREA (% OF NET AREA)	28 %
R.O.W. (2,050 SF)	2 %
ON-SITE GRASS (21,050 SF)	20 %
ON-SITE DECK (8,275 SF)	8 %
SETBACKS	
FRONT (SOUTH)	11'-1"
SIDE (EAST)	6'-8"
SIDE (WEST)	6'-10"
REAR (NORTH)	16'-11"

SPRINKLERS & FIRE ALARMS:

TO BE PROVIDED PER APPLICABLE CODES

CONSTRUCTION TYPE:
TYPE IA - LEVEL P1 (GARAGE UNDERGROUND)
OCCUPANCY S-2 405 OCCUPANTS

TYPE VA - LEVELS L1, L2, L3, L4
OCCUPANCY R-2 845 OCCUPANTS
OCCUPANCY A-3 222 OCCUPANTS
OCCUPANCY B 67 OCCUPANTS

BUILDING AREAS:

LEVEL	S-2	R-2	A-3 ASSEMBLY	B	B	B	TOTAL	
	LEVEL	RES.	REC	FITNESS	TOTAL	LEASING	CO-WORK	DECK
P1	80,981	-	-	-	-	-	-	80,981
L1	-	30,016	2,918	2,174	5,092	947	2,053	-
L2	-	41,231	-	1,476	1,476	-	-	-
L3	-	54,777	-	-	-	-	-	-
L4	-	53,547	-	-	-	-	-	-
TOTAL	80,981	188,571	2,918	3,650	6,568	947	2,053	735

UNIT MIX:

LEVEL	STUDIO	1-BED	2-BED	3-BED	TOTAL
L1	8	12	15	-	35
L2	8	13	16	-	37
L3	8	21	21	-	50
L4	8	17	19	2	46
TOTAL	32	63	71	2	168

VEHICLE PARKING:

REQUIRED:

STUDIO	SPACES/UNIT	SPACES REQ.
STUDIO	0.75	24.00
1 BEDROOM	0.75	47.25
2 BEDROOM	0.75	53.25
3 BEDROOM	1	2.00
GUEST	0.2	33.60
TOTAL REQUIRED		160

PROVIDED:

ON SITE	SPACES/UNIT	SPACES REQ.
ON SITE	2	26
GARAGE P1	2	58
STORAGE IN RESIDENTIAL AREAS	4	64
TOTAL PROVIDED		148

ACCESSIBLE PARKING (INCLUDED IN COUNT ABOVE):
REQUIRED: (28) 6 P.S.
PROVIDED: 6 P.S.

BICYCLE PARKING:

REQUIRED:

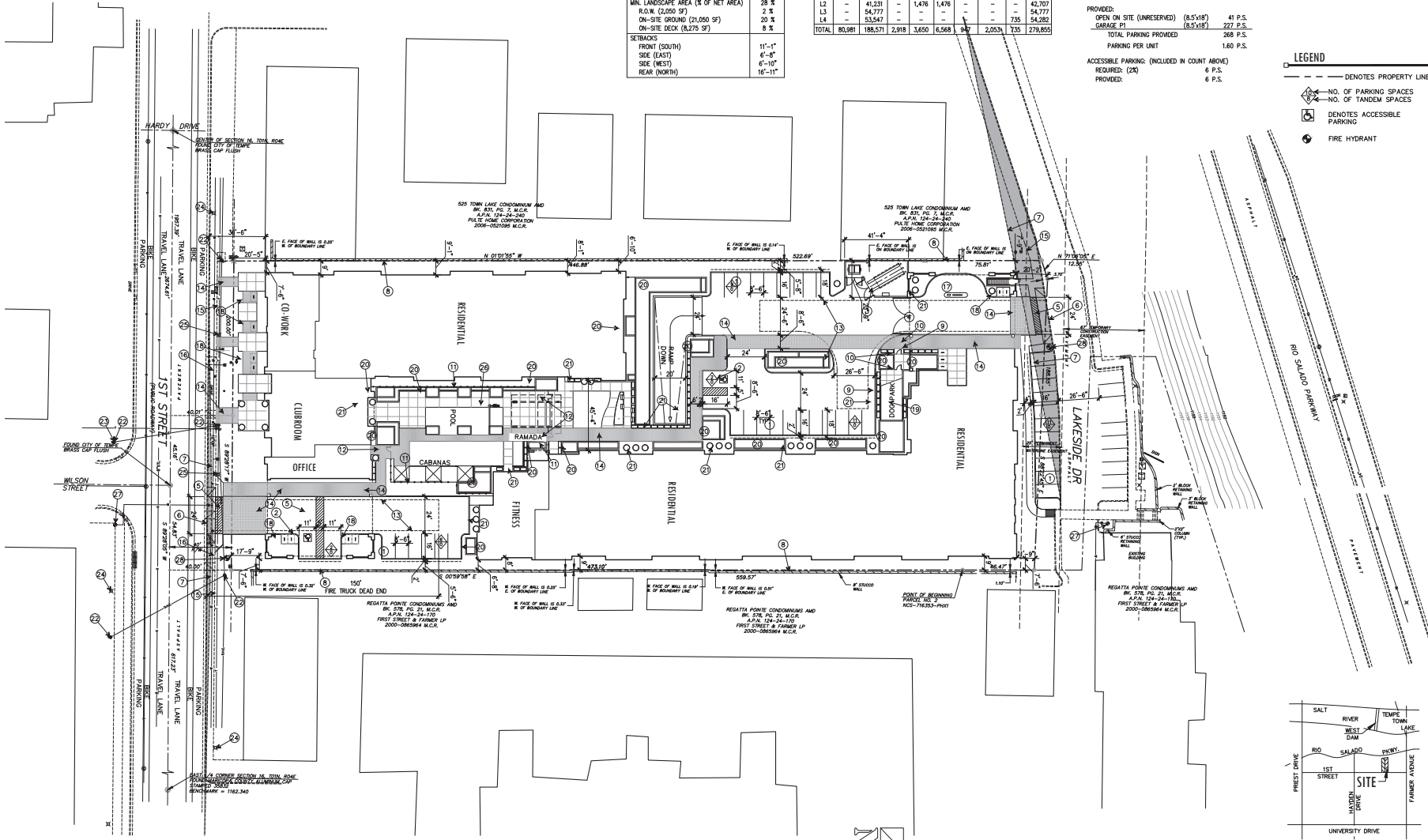
STUDIO	SPACES/UNIT	SPACES REQ.
STUDIO	0.75	24.00
1 BEDROOM	0.75	47.25
2 BEDROOM	0.75	53.25
3 BEDROOM	1	2.00
GUEST	0.2	33.60
TOTAL REQUIRED		160

PROVIDED:

ON SITE	SPACES/UNIT	SPACES REQ.
ON SITE	2	26
GARAGE P1	2	58
STORAGE IN RESIDENTIAL AREAS	4	64
TOTAL PROVIDED		148

LEGEND

- DENOTES PROPERTY LINE
- ◇ NO. OF PARKING SPACES
- ◇ NO. OF TANDEM SPACES
- ◇ DENOTES ACCESSIBLE PARKING
- FIRE HYDRANT



PRELIMINARY SITE PLAN
SCALE: 1" = 30'-0"

BROADSTONE LAKESIDE
500 WEST 1ST STREET
TEMPE, ARIZONA

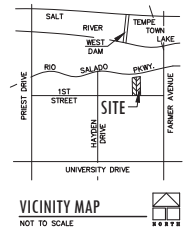
Office of Rich Barber
ORB
Architecture, LLC
WorldHQ@ORBArch.com



ALLIANCE RESIDENTIAL COMPANY

Architect
ORB ARCHITECTURE, LLC
2944 North 42nd St., SUITE 101
Phoenix, Arizona 85018
Tel: 602.957.4530
Fax: 602.717.4028
Contact: Rich Barber

Owner/Developer
ALLIANCE RESIDENTIAL CO.
2415 E. Camelback Rd., Suite 400
Phoenix, Arizona 85016
Tel: 602.778.2800
Fax: 602.778.2850
Contact: Tom Lewis



DATE: AUGUST 03, 2015 ORB # 14-214
A1.10
SITE PLAN
PRELIMINARY

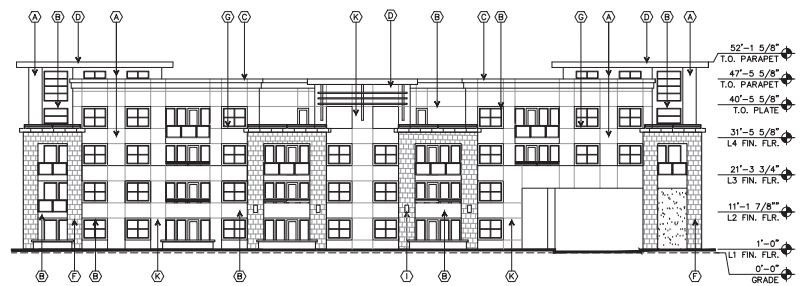


MATERIAL/COLOR KEY NOTES:

- | | | |
|--|---|--|
| (A) STUCCO FINISH: DUNN EDWARDS DE366 "COLD MORNING" | (E) BALCONY METAL RAILING: DUNN EDWARDS DEC799 "WHARF VIEW" | (I) WALL MTD. LIGHT FIXTURE: |
| (B) STUCCO FINISH: DUNN EDWARDS DE6378 "JET" | (F) STONE VENEER: CORONADO FRENCH LIMESTONE, FRENCH WH. | (J) METAL WINDOW SHADE: DUNN EDWARDS DEC799 "WHARF VIEW" |
| (C) PRECAST CAP: DUNN EDWARDS DE3667 "COVERED IN PLATINUM" | (G) ANODIZED ALUMINUM FRAME WINDOW/DOOR DARK BRONZE | (K) WOOD PANELS: TRESPA METEON "MLAND TERRA" |
| (D) MTL. ROOF: DUNN EDWARDS DEC799 "WHARF VIEW" | (H) ANODIZED ALUMINUM FRAME STOREFRONT SYSTEM - DARK BRONZE | |

NOTES:

- COLOR/MATERIAL RETURNS BACK TO WALL ON TOP/SIDES/BOTTOM. COLOR/MATERIAL CHANGES @ INSIDE CORNER - TYP.
- WINDOWS/DOOR AND STOREFRONT SYSTEM SHALL HAVE CLEAR NON-REFLECTIVE LOW-E INSULATED GLASS
- PAIN'T ALL EXTERIOR MOUNTED ELECTRICAL AND MECHANICAL EQUIPMENT TO MATCH BUILDING



NORTH ELEVATION

Scale: 1/16" = 1'-0"



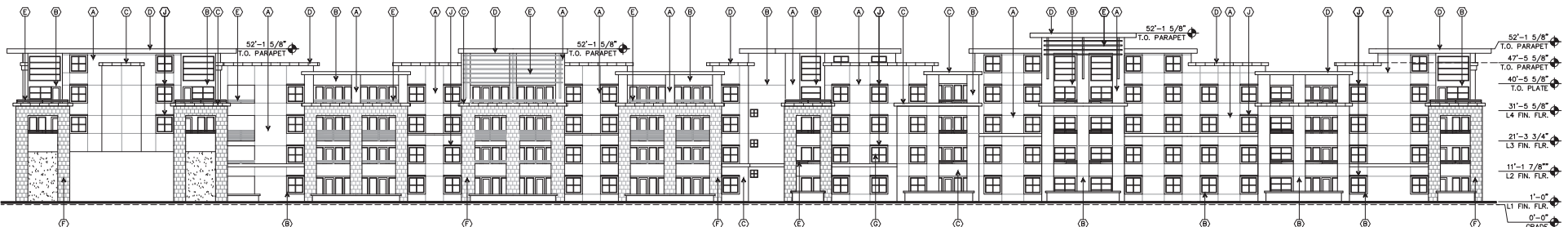
SOUTH ELEVATION

Scale: 1/16" = 1'-0"



EAST ELEVATION

Scale: 1/16" = 1'-0"



WEST ELEVATION

Scale: 1/16" = 1'-0"



MATERIAL/COLOR KEY NOTES:

- | | | |
|--|---|--|
| (A) STUCCO FINISH: DUNN EDWARDS DE3365 "COLD MORNING" | (E) BALCONY METAL RAILING: DUNN EDWARDS DEC799 "WHARF VIEW" | (I) WALL MTD. LIGHT FIXTURE: |
| (B) STUCCO FINISH: DUNN EDWARDS DE6378 "LEIT" | (F) STONE VENEER: CORONADO FRENCH LIMESTONE, FRENCH WH. | (J) METAL WINDOW SHADE: DUNN EDWARDS DEC799 "WHARF VIEW" |
| (C) STONE CAP: DUNN EDWARDS DE6367 "COVERED IN PLATINUM" | (G) ANODIZED ALUMINUM FRAME WINDOW/DOOR DARK BRONZE | (K) WOOD PANELS: TRESPA METEON "MILANO TERRA" |
| (D) MTL. ROOF DUNN EDWARDS DEC799 "WHARF VIEW" | (H) ANODIZED ALUMINUM FRAME STOREFRONT SYSTEM - DARK BRONZE | |

- NOTES:**
- COLOR/MATERIAL RETURNS BACK TO WALL ON TOP/SIDES/BOTTOM. COLOR/MATERIAL CHANGES @ INSIDE CORNER - TYP.
 - WINDOWS/DOOR AND STOREFRONT SYSTEM SHALL HAVE CLEAR NON-REFLECTIVE LOW-E INSULATED GLASS
 - PAIN'T ALL EXTERIOR MOUNTED ELECTRICAL AND MECHANICAL EQUIPMENT TO MATCH BUILDING



NORTH ELEVATION



SOUTH ELEVATION

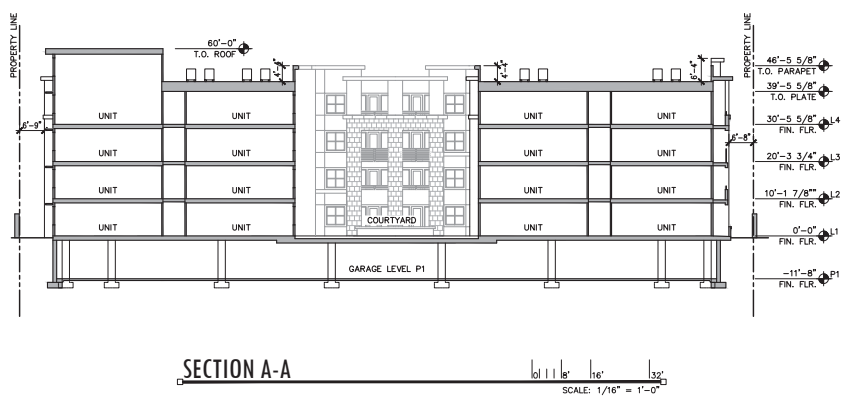


EAST ELEVATION

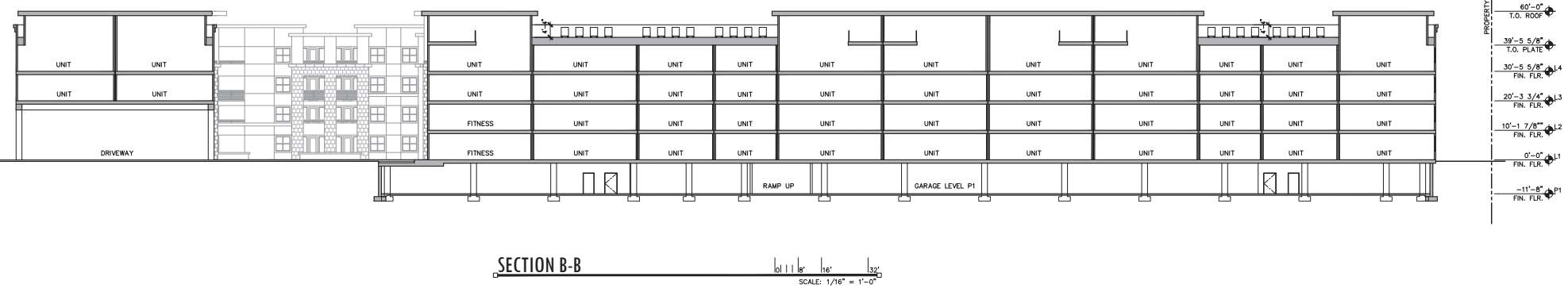
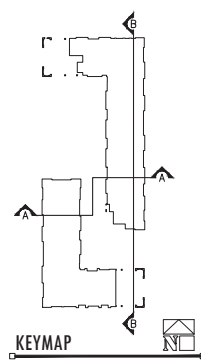


WEST ELEVATION

FILE C:\Users\RichBarber\OneDrive\Documents\Projects\Broadstone Lakeside\Arch\Drawings\29 - Exterior Elevations\A3.40 - Exterior Elevations Preliminary.dwg (2015) (Rich Barber) (1/16" = 1'-0") (A3.40) (10/23/2015)



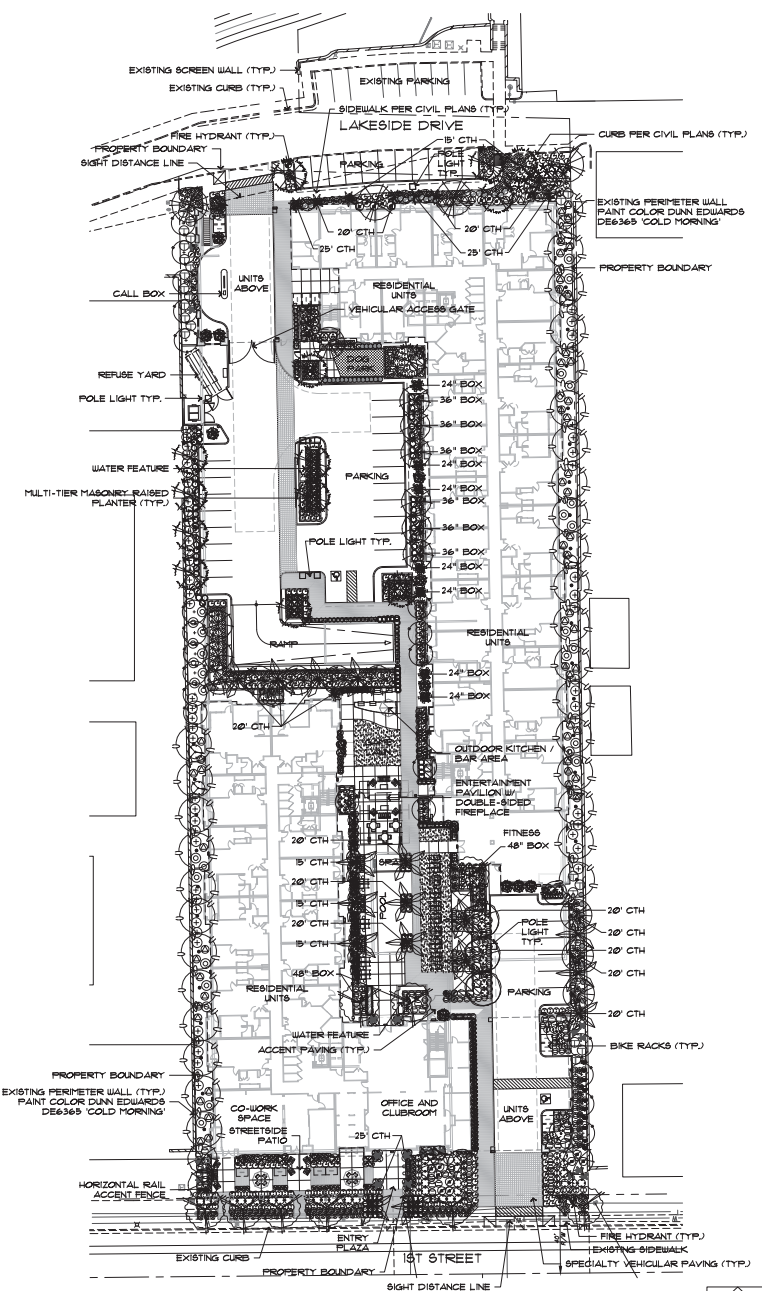
SECTION A-A



SECTION B-B

FILE: T:\091\098 Job Files\14-214_AR_Lakeside\CAD Files\Prelim\A4.10 Building Sections.dwg USER: jpa DATE: Aug. 03 2015 TIME: 09:55 am

FILE: \\minnie\landscape\Broadstone Lakeside\PRS_Submitted\PRS_LandScape-LS.ENG (USER: collaboration) DATE: Jul, 31, 2015, TIME: 08:06 AM



PLANT LEGEND

BOTANICAL NAME	COMMON NAME	QTY	PLANTING SIZE	MATURE SIZE
TREES				
Acacia salicina	Willow Acacia	20	25" Cal. (36" Box)	15' Canopy
Caesalpinia gilliesii	Yellow Bird of Paradise	16	2" Cal. (36" Box)	10' Canopy
Cercidium hybrid 'Desert Museum'	Desert Museum Palo Verde	14	4" Cal. (48" Box)	35' Canopy
Chenarops humilis	Mediterranean Fan Palm	7	(24" Box) (36" Box)	10' Canopy
Delbergia eliseo	Eliseo	4	22 1/2" Cal. (36" Box)	35' Canopy
Ebonopsis ebano	Texas Ebony	6	2" Cal. (36" Box)	15' Canopy
Property Live Tree	Willow Acacia or Ghost Gum	13	2" Cal. (36" Box)	30' Canopy
Fraxinus Fan West'	Fan West Ash	6	25" Cal. (36" Box)	35' Canopy
Lagerstroemia Indica 'Fauria/Makogae'	Crape Myrtle	6	3" Cal. (24" Box)	15' Canopy
Phoenix japonicum	Japanese Privet	15	15" Cal. (5 Gallon)	15' Canopy
Phoenix decussata 'Medjool'	Medjool Date Palm	2	15" CTH 20" CTH 25" CTH	18' Canopy
Prunus caroliniana	Purple Leaf Plum	5	25" Cal. (36" Box)	15' Canopy
Quercus virginiana	Southern Live Oak	4	25" Cal. (36" Box)	30' Canopy
Schinus terebinthifolius	Brazilian Pepper	3	35" Cal. (48" Box)	30' Canopy
Washingtonia robusta	Mexican Fan Palm	2	15" CTH 20" CTH 25" CTH	10' Canopy
ACCENTS/VINES				
Aloe barbadensis	Medicinal Aloe	21	5 Gal.	2' H.
Aloe x Topaz	Topaz Aloe	66	5 Gal.	2' H.
Banana multiplax	Golden Goddess	11	15 Gal.	15' H.
Bougainvillea 'Barbara Karst'	Vine Bougainvillea	2	15 Gal.	20' H.
Bougainvillea 'Torch Glow'	Torch Glow Bougainvillea	21	15 Gal.	8' H.
Cycas revoluta	Sago Palm	22	15 Gal.	5' H.
Daylily acrostichum	Green Spoon	42	15 Gal.	5' H.
Dianthus vegeta	Butterfly Iris	15	5 Gal.	3' H.
Ficus pumila	Creeping Fig Vine	8	5 Gal.	30' H.
Daylily quadrangulum	Toothless Spoon	52	15 Gal.	5' H.
Hesperaloe parviflora	Brake Lights Red Yucca	98	5 Gal.	2' H.
Medinilla macrocarpa	Lady Slipper Plant	14	15 Gal.	3' H.
Phoenix roebelenii	Flying Date Palm	25	24" Box	10' H.
Podansea racemosa	Pink Trumpet Vine	10	15 Gal.	20' H.
Rosa banksiae	Lady Banks Rose	33	5 Gal.	20' H.
Streptocarpus reginae	Tropical Bird of Paradise	15	15 Gal.	5' H.
SHRUBS				
Caesalpinia gilliesii	Yellow Bird of Paradise	14	24" Box	10' H.
Plumbago auriculata	Cape Plumbago	21	5 Gal.	3' H.
Dodonaea viscosa 'Purpurea'	Purple Hopseed Bush	71	5 Gal.	10' H.
Eremophila hygrophana	Blue Bells	134	5 Gal.	6' H.
Eremophila glabra	Winter Blaze	60	5 Gal.	3' H.
Hypericum rose-stemata	Dwarf Hibiscus	40	15 Gal.	6' H.
Ruellia peninsularis	Baja Ruellia	61	5 Gal.	5' H.
Myrica communis 'Compacta'	Dwarf Myrtle	101	5 Gal.	3' H.
Rhaphiostyle Indica	Indian Hawthorn	39	5 Gal.	6' H.
Tacoma hybrid 'Bells of Fire'	Bells of Fire	34	5 Gal.	5' H.
Tacoma stans	Yellow Bells	25	15 Gal.	8' H.
Tacoma stans	Orange Jubilee	35	15 Gal.	8' H.
GROUND COVERS				
Asparagus densiflorus 'Tyfer'	Myers Fern	22	3 Gal.	2' H.
Lantana hybrid 'Sensational'	Red Lantana	19	3 Gal.	2' H.
Lantana hybrid 'New Gold'	New Gold Lantana	89	1 Gal.	2' H.
Lantana montevidensis	Purple Trailing Lantana	234	1 Gal.	12" H.
Litsea muscari	Lily Turf	36	5 Gal.	12" H.
Lonicera japonica 'Halliana'	Hall's Honeysuckle	60	5 Gal.	2' H.
Hyppocrepis parviflora	Trailing Hyppocrepis	322	5 Gal.	12" H.
Teucrium chamaedrys	Germander	37	5 Gal.	12" H.
Trachelospermum asiaticum	Asiatic Jasmine	18	5 Gal.	12" H.
Mandevilla 'Suntory'	Red Mandevilla	56	5 Gal.	18" H.
Mandevilla 'Suntory'	White Mandevilla	19	5 Gal.	18" H.
Wedelia trilobata	Wedelia	90	3 Gal.	18" H.
Seasonal Annule	Seasonal Annuals	120	4" Pots	12" H.
MISCELLANEOUS				
Decomposed Granite - Color and Size to be determined				
2" Depth in All Planting Areas (Typ.) - 22,863 SQ. FT.				
Synthetic Turf - EasyTurf Revolution Olive Lush or equal - 1,888 SQ. FT.				
Synthetic Pet. Turf - EasyTurf Pedigree or equal - 343 SQ. FT.				
Notes: * Indicates species not on the Arizona Department of Water Resources 'Low Water Use Plant List'				

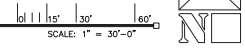
PROJECT INFORMATION

PROJECT ADDRESS: 1600 WEST 1ST STREET
 SITE AREA: 2.404 NET ACRES (104,711 SQ. FT.)
 ON-SITE LANDSCAPE AREA: 20.1% NET LOT (21,050 SQ. FT.)
 OFF-SITE LANDSCAPE AREA: 2,050 SQ. FT.

CONCEPTUAL GENERAL NOTES

- CONCEPTUAL LANDSCAPE PLAN IS SCHEMATIC IN NATURE. AT THE TIME OF LANDSCAPE CONSTRUCTION DRAWS ACTUAL LOCATIONS, QUANTITIES, SIZES, AND SPECIES SHALL BE DETERMINED AND WILL BE PER CITY CODES.
- ALL TREES USED WITHIN THIS PROJECT SHALL BE NURSERY GROWN. EXACT LOCATIONS AND QUANTITIES SHALL BE DETERMINED ON LANDSCAPE CONSTRUCTION DRAWINGS.
- ALL LANDSCAPE AREAS SHALL RECEIVE AN AUTOMATIC IRRIGATION SYSTEM.
- ALL PLANT MATERIAL SHALL BE INSTALLED PER CITY REQUIREMENTS. PLANT MATERIAL INSTALLED WITHIN SIGHT DISTANCE TRIANGLES SHALL BE OF A SPECIES THAT DOES NOT GROW TO A HEIGHT OF MORE THAN 30" AND SHALL BE MAINTAINED PER CITY REQUIREMENTS.
- ALL NON-TURF AREAS SHALL RECEIVE A 2" DEPTH OF DECOMPOSED GRANITE.
- THE RETENTION SHOWN ON THE PLANS IS CONCEPTUAL IN NATURE. REFER TO THE ENGINEERING PLANS FOR ACTUAL GRADING AND DRAINAGE CONFIGURATIONS.
- ALL EARTHWORK WILL BE DONE TO DRAIN AWAY FROM SIDEWALKS AND STRUCTURES.
- ADDITIONAL PLANT MATERIAL MAY BE INTRODUCED AS DIFFERENT VARIETIES BECOME AVAILABLE THROUGH LOCAL NURSERIES AND IF THEY ARE CONSISTENT WITH THE OVERALL THEME OF THIS PROJECT.

CONCEPTUAL LANDSCAPE PLAN



BROADSTONE LAKESIDE
 500 WEST 1ST STREET
 TEMPE, ARIZONA

Office of Rich Barber
ORB
 Architecture, LLC
 WorldHQ@ORBArch.com

PRELIMINARY
 NOT FOR
 CONSTRUCTION

ALLIANCE
 RESIDENTIAL COMPANY

COLLABORATIVE V
 DESIGN STUDIO INC.
 7116 EAST 1ST AVENUE, SUITE 103
 SCOTTSDALE, ARIZONA 85231
 OFFICE: 480-347-0390
 FAX: 480-656-6012

Contractor must verify all dimensions at project before proceeding with this work. Do not retrace these grades and quantities. Without the approved written permission of the Architect, the drawings and specifications are the property of the Architect and shall not be used for any other project, in whole or in part, without the written permission of the Architect.

Notice of alternate billing (or payment) cycle: This contract does (only does) the owner to require the retention of billing or retention in billing cycle other than thirty days. This contract may also allow the owner to make payment in some alternate schedule after verification and approval of billing and estimates. A written description of such alternate billing cycle(s) shall be included in the project to be included from the architect's approved project of 2400 East 1st Street, Phoenix, AZ 85004. (02) 718-2023

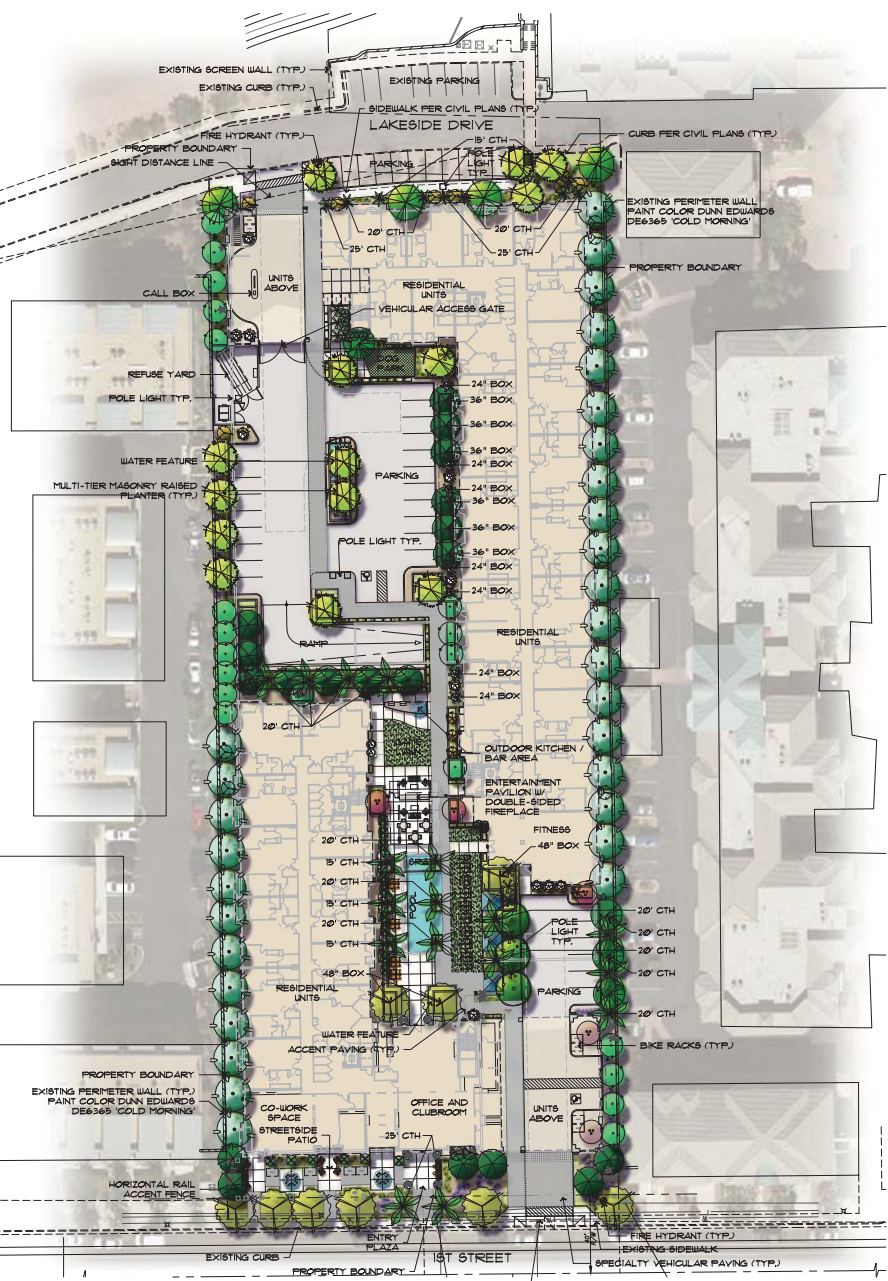
© ORB Architecture, LLC 2014

REVISIONS
△ 01-26-15 CITY COMMENTS
△ 01-31-15 CITY COMMENTS
△
△
△

DATE: JULY 22, 2015 ORB # 14-214

LS.10
 LANDSCAPE PLAN
 PRELIMINARY

FILE: \\alliance\landscape\Broadstone Lakeside\PLN_Submittal\BBS_LandScape-LS.dwg (USER: collaboration) DATE: Jul, 31 2015, TIME: 08:06 am



PLANT LEGEND

BOTANICAL NAME	COMMON NAME	QTY	PLANTING SIZE	MATURE SIZE
TREES				
Acacia salicina	Willow Acacia	20	25" Cal. (36" Box)	15' Canopy
Cassia gilliesii	Yellow Bird of Paradise	16	2" Cal. (36" Box)	10' Canopy
Cercidium hybrid 'Desert Museum'	Desert Museum Palo Verde	14	4" Cal. (48" Box)	35' Canopy
Chamaecyparis humilis	Mediterranean Fan Palm	7	(34" Box)	14'
Dalbergia sissoo	Sissoo	4	225" Cal. (36" Box)	35' Canopy
Ebenopsis albon	Texas Ebony	6	2" Cal. (36" Box)	15' Canopy
Property Line Tree	Willow Acacia or Ghost Gum	13	3.5" Cal. (48" Box)	30' Canopy
Fraxinus 'Fan West'	Fan West Ash	6	25" Cal. (36" Box)	35' Canopy
Lagerstroemia indica 'X fauriei' 'Makogee'	Crape Myrtle	6	3" Cal. (24" Box)	15' Canopy
Ligustrum japonicum	Japanese Privet	15	15" Cal. (5 Gallon)	15' Canopy
Phoenix dactylifera 'Medjool'	Medjool Date Palm	3	5" CTH 20" CTH 25" CTH	18' Canopy
Prunus cerasifera	Purple Leaf Plum	5	25" Cal. (36" Box)	15' Canopy
Quercus virginiana	Southern Live Oak	4	25" Cal. (36" Box)	30' Canopy
Schinus terebinthifolius	Brazilian Pepper	3	3.5" Cal. (48" Box)	30' Canopy
Washingtonia robusta	Mexican Fan Palm	2	5" CTH 25" CTH	10' Canopy
ACCENTS/VINES				
Aloe barbadensis	Medicinal Aloe	21	5 Gal.	2' H.
Aloe x 'Topaz'	Topaz Aloe	66	5 Gal.	2' H.
Bananas multiplex	Golden Goddess	11	15 Gal.	15' H.
Bougainvillea 'Etoile de Hollande'	Vine Bougainvillea	12	15 Gal.	20' H.
Bougainvillea 'Topaz Glow'	Topaz Glow Bougainvillea	21	15 Gal.	8' H.
Cycas revoluta	Sago Palm	22	15 Gal.	5' H.
Dasylirion acrostichum	Green Spoon	42	15 Gal.	5' H.
Diatraea vegeta	Butterfly Iris	15	5 Gal.	3' H.
Ficus pumila	Creeping Fig Vine	8	5 Gal.	30' H.
Dasylirion quadrangulum	Toothless Spoon	52	15 Gal.	5' H.
Hesperaloe parviflora	Brakeleights Red Yucca	28	5 Gal.	2' H.
Pachira macrocarpa	Lady Slipper Plant	14	15 Gal.	3' H.
Phoenix roebelenii	Pygmy Date Palm	25	24" Box	10' H.
Podocarpus neriifolia	Pink Trumpet Vine	10	15 Gal.	20' H.
Rosa banksiae	Lady Banks Rose	33	5 Gal.	20' H.
Stereosia reginae	Tropical Bird of Paradise	15	15 Gal.	5' H.
SHRUBS				
Cassia gilliesii	Yellow Bird of Paradise	14	24" Box	10' H.
Plumbago auriculata	Cape Plumbago	21	5 Gal.	3' H.
Dodonaea viscosa 'Turkana'	Purple Hopseed Bush	71	5 Gal.	10' H.
Eremophila hygrophana	Blue Belle	134	5 Gal.	6' H.
Eremophila glabra	Winter Blaze	60	5 Gal.	3' H.
Hibiscus rosa-sinensis	Dwarf Hibiscus	40	15 Gal.	6' H.
Ruellia pauciflora	Baja Ruellia	61	5 Gal.	5' H.
Myrica communis 'Compacta'	Dwarf Myrtle	101	5 Gal.	3' H.
Mesquite indica	Indian Hasbom	39	5 Gal.	6' H.
Tecoma hybrid 'Bells of Fire'	Bells of Fire	34	5 Gal.	5' H.
Tecoma stans	Yellow Bells	29	5 Gal.	8' H.
Tecoma citrina 'Orange Jubilee'	Orange Jubilee	32	15 Gal.	8' H.
GROUND COVERS				
Asparagus densiflorus 'Fischer'	Myers Fern	22	3 Gal.	2' H.
Lantana hybrid	Red Lantana	19	3 Gal.	2' H.
Lantana hybrid	New Gold Lantana	89	1 Gal.	2' H.
Lantana hybrid 'New Gold'	Purple Trailing Lantana	234	1 Gal.	12" H.
Lilypoa muscari	Lilly Turf	36	5 Gal.	12" H.
Lonicera japonica 'Hall's Honeyuckle'	Halls Honeyuckle	60	5 Gal.	2' H.
Myoporum parviflorum	Trailing Myoporum	322	5 Gal.	12" H.
Teucrium chamaedrys	Germander	36	5 Gal.	12" H.
Trachelospermum asiaticum	Asiatic Jasmine	18	5 Gal.	12" H.
Mandevilla 'Surtory'	Red Mandevilla	56	5 Gal.	18" H.
Mandevilla 'Surtory'	White Mandevilla	19	5 Gal.	18" H.
Wedelia trilobata	Wedelia	50	3 Gal.	18" H.
Seasonal Annuals	Seasonal Annuals	120	4" Pots	12" H.
MISCELLANEOUS				
Decomposed Granite - Color and Size to be determined 2" Depth in All Planting Areas (Typ.) - 22,863 SQ. FT.				
Synthetic Turf - EasyTurf Revolution Olive Lush or equal - 1,588 SQ. FT.				
Synthetic Pet Turf - EasyTurf Pedigree or equal - 243 SQ. FT.				
Notes: * Indicates species not on the Arizona Department of Water Resources' Low Water Use Plant List.				

PROJECT INFORMATION

PROJECT ADDRESS: 500 WEST 1ST STREET
 SITE AREA: 2.04 NET ACRES (104,711 SQ. FT.)
 ON-SITE LANDSCAPE AREA: 20% NET LOT (21,050 SQ. FT.)
 OFF-SITE LANDSCAPE AREA: 2,050 SQ. FT.

CONCEPTUAL GENERAL NOTES

- CONCEPTUAL LANDSCAPE PLAN IS SCHEMATIC IN NATURE. AT THE TIME OF LANDSCAPE CONSTRUCTION DRAWINGS ACTUAL LOCATIONS, QUANTITIES, SIZES, AND SPECIES SHALL BE DETERMINED AND WILL BE PER CITY CODES.
- ALL TREES USED WITHIN THIS PROJECT SHALL BE NURSERY GROWN. EXACT LOCATIONS AND QUANTITIES SHALL BE DETERMINED ON LANDSCAPE CONSTRUCTION DRAWINGS.
- ALL LANDSCAPE AREAS SHALL RECEIVE AN AUTOMATIC IRRIGATION SYSTEM.
- ALL PLANT MATERIAL SHALL BE INSTALLED PER CITY REQUIREMENTS. PLANT MATERIAL INSTALLED WITHIN EIGHT DISTANCE TRIANGLES SHALL BE OF A SPECIES THAT DOES NOT GROW TO A HEIGHT OF MORE THAN 30" AND SHALL BE MAINTAINED PER CITY REQUIREMENTS.
- ALL NON-TURF AREAS SHALL RECEIVE A 2" DEPTH OF DECOMPOSED GRANITE.
- THE RETENTION SHOWN ON THE PLANS IS CONCEPTUAL IN NATURE. REFER TO THE ENGINEERING PLANS FOR ACTUAL GRADING AND DRAINAGE CONFIGURATIONS.
- ALL EARTHWORK WILL BE DONE TO DRAIN AWAY FROM SIDEWALKS AND STRUCTURES.
- ADDITIONAL PLANT MATERIAL MAY BE INTRODUCED AS DIFFERENT VARIETIES BECOME AVAILABLE THROUGH LOCAL NURSERIES AND IF THEY ARE CONSISTENT WITH THE OVERALL THEME OF THIS PROJECT.

BROADSTONE LAKESIDE
 500 WEST 1ST STREET
 TEMPE, ARIZONA

Office of Rich Barber
ORB
 Architecture, LLC
 WorldHQ@ORBArch.com

PRELIMINARY
 NOT FOR
 CONSTRUCTION

ALLIANCE
 RESIDENTIAL COMPANY

COLLABORATIVE V
 DESIGN STUDIO INC.
 7116 EAST 1ST AVENUE, SUITE 103
 SCOTTSDALE, ARIZONA 85251
 OFFICE: 480-347-0390
 FAX: 480-656-6012

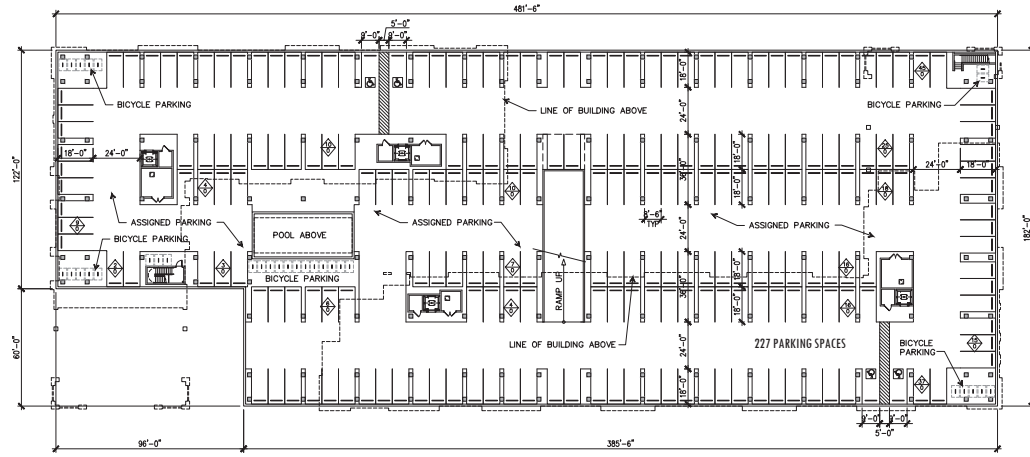
Contractor must verify all dimensions of project before proceeding with this work.
 Do not retrace these drawings and specifications without the approved written permission of the Architect. The drawings and specifications are the property of the Architect and shall not be used for any other project or for the reproduction of any part of these drawings or specifications without the written consent of the Architect.
 © ORB Architecture, LLC 2014

Notice of alternate billing (or payment) cycle
 This contract does not contain any provision for alternate billing cycle. The contractor shall be responsible for obtaining the necessary approvals from the Architect for any alternate billing cycle. A written description of such an alternate billing cycle shall be included in the contract documents and shall be approved in writing by the Architect. If such an alternate billing cycle is not approved in writing by the Architect, the contractor shall be deemed to have accepted the original terms of the contract.

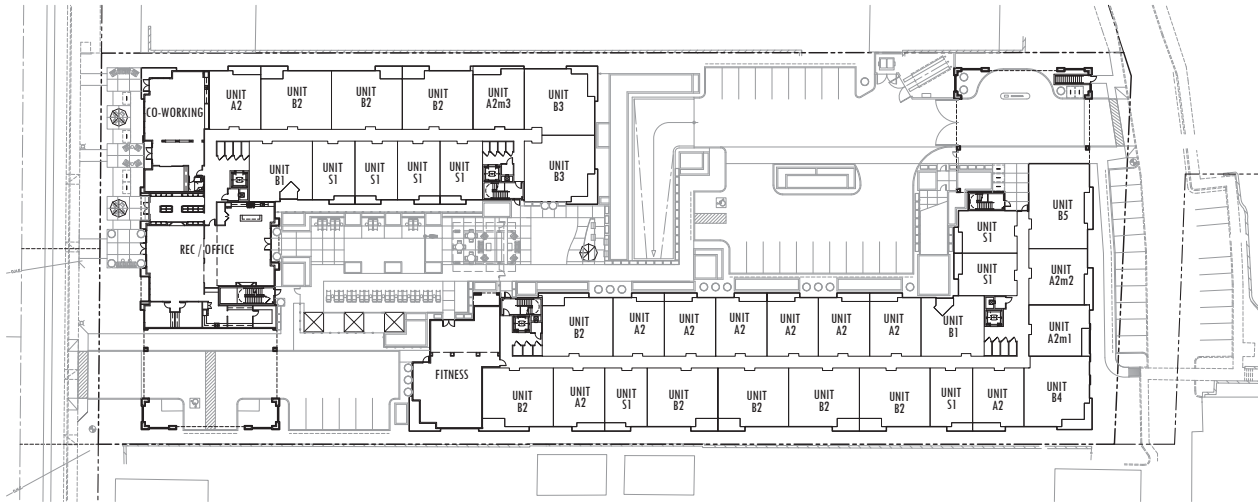
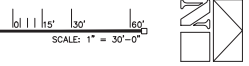
REVISIONS
△ 01-26-15 CITY COMMENTS
△ 01-31-15 CITY COMMENTS
△
△
△
△

DATE: JULY 22, 2015 ORB# 14-214

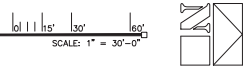
LS.10
 LANDSCAPE PLAN
 PRELIMINARY



FLOOR PLAN - LEVEL P1



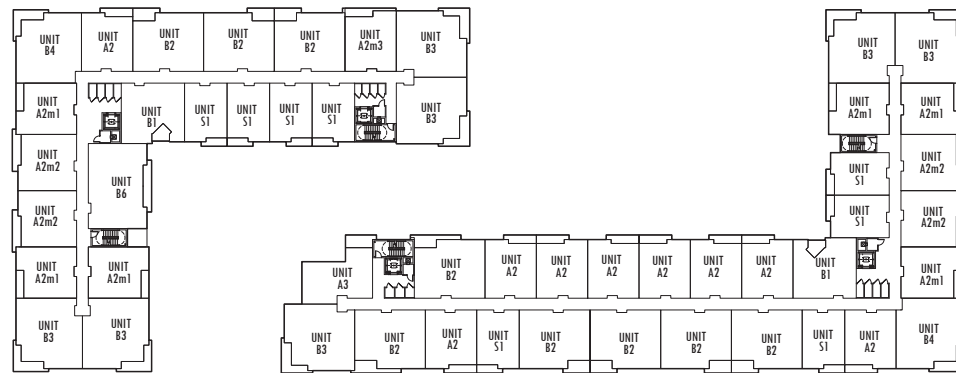
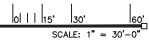
FLOOR PLAN - LEVEL L1



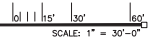
FILE: I:\csh\ORB Job Files\14-214_ORB_Lakeside\CAD Files\Preliminary\A3.10 A3.10 Blog P1-L1.dwg USER: jco DATE: Aug. 03. 2015 TIME: 09:54 am



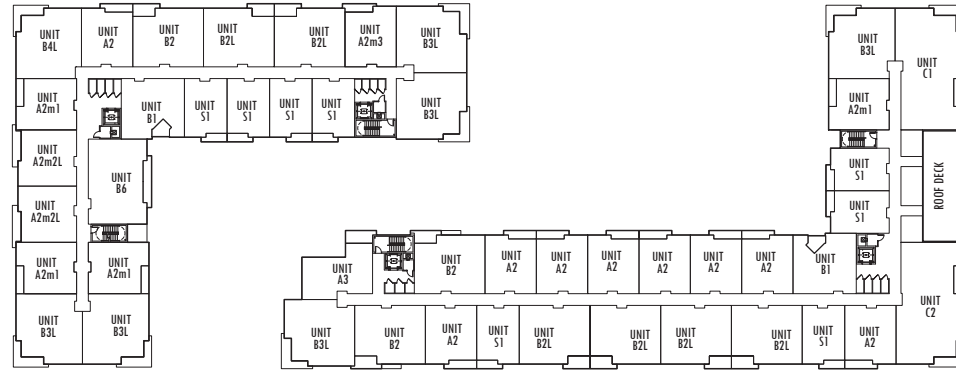
FLOOR PLAN - LEVEL L2



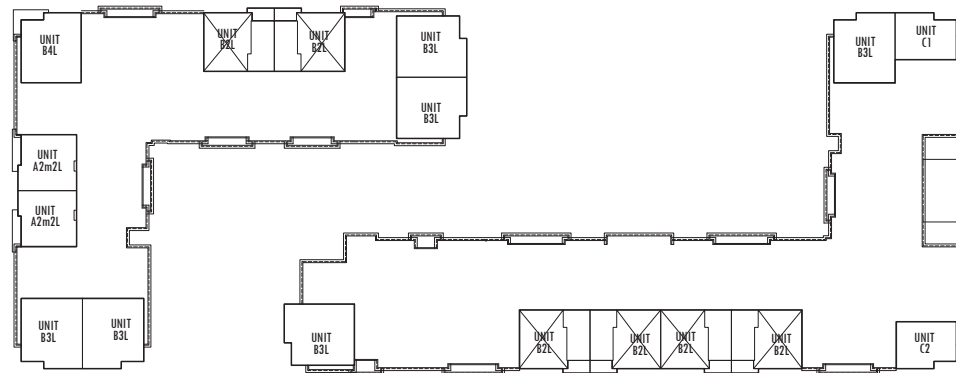
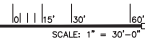
FLOOR PLAN - LEVEL L3



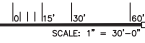
FILE: I:\csh\ORB Job Files\14-214_ORB_Lakeside\CAD Files\Preliminary\A3.11_Bldg L2-L3.dwg USER: jco DATE: Aug 03 2015 TIME: 09:54 am



FLOOR PLAN - LEVEL L4



FLOOR PLAN - LEVEL MEZZANINE

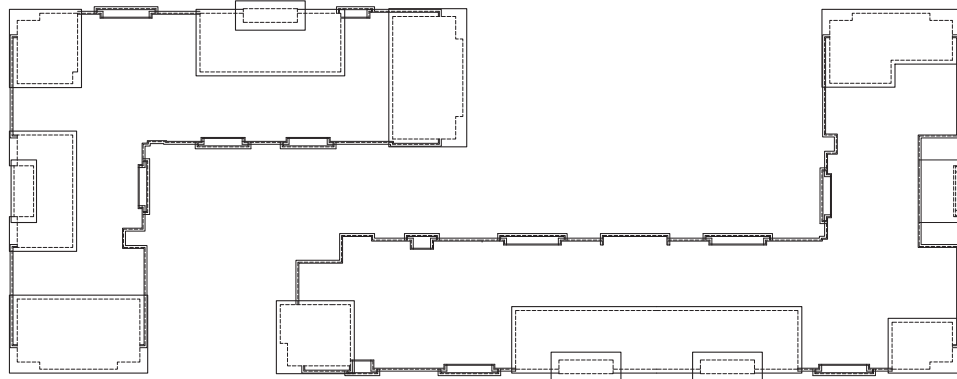


FILE: I:\Cah\ORB Job Files\14-214_LR_Lakeside\CAO Files\Prelim\14214_A320_Bldg_roof.dwg USER: jca DATE: Aug, 03 2015 TIME: 09:54 am

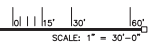
**BROADSTONE
LAKESIDE**
500 WEST 1ST STREET
TEMPE, ARIZONA



WorldHQ@ORBArch.com



ROOF PLAN

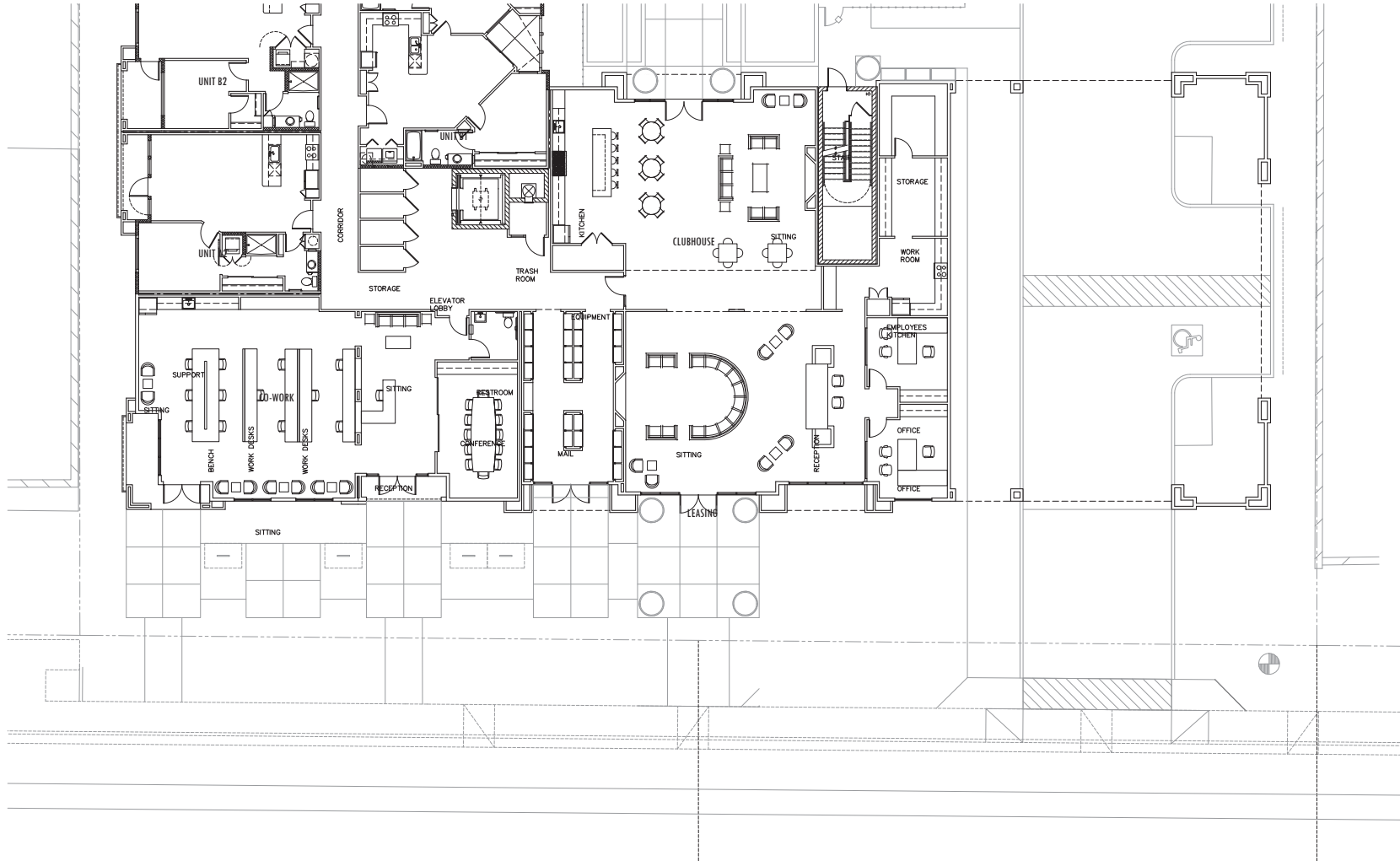


DATE: AUGUST 03, 2015 ORB # 14-214

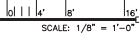
A3.20

PRELIMINARY ROOF PLAN

FILE: I:\Arch\ORB Job Files\14-214_ORB_Lakeside\CAD Files\Preliminary\A5.10 A5.10 Enlarged Rec.dwg USER: jso DATE: Aug. 03 2015 TIME: 09:55 am



REC/LEASING AND CO-WORK PLAN



**BROADSTONE
LAKESIDE**
500 WEST 1ST STREET
TEMPE, ARIZONA



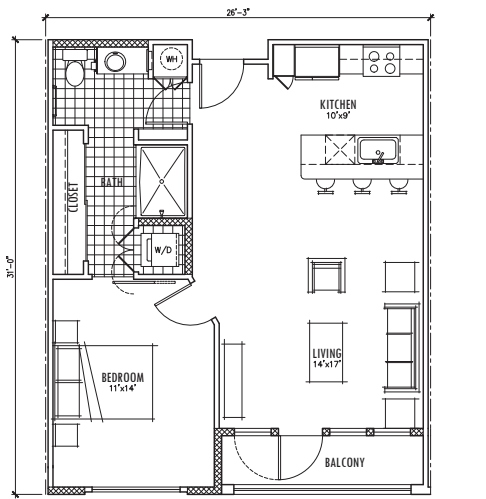
WorldHQ@ORBArch.com



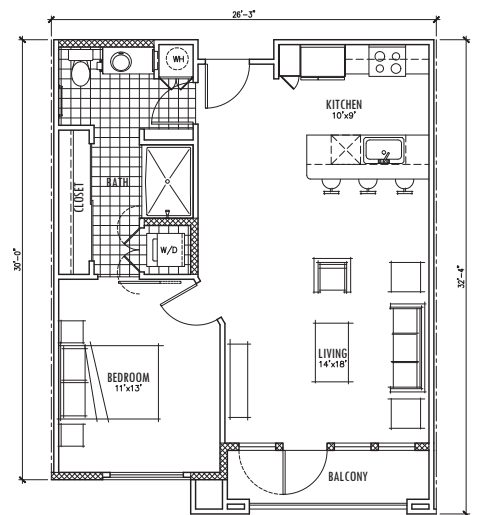
DATE: AUGUST 03, 2015 ORB # 14-214

A5.10

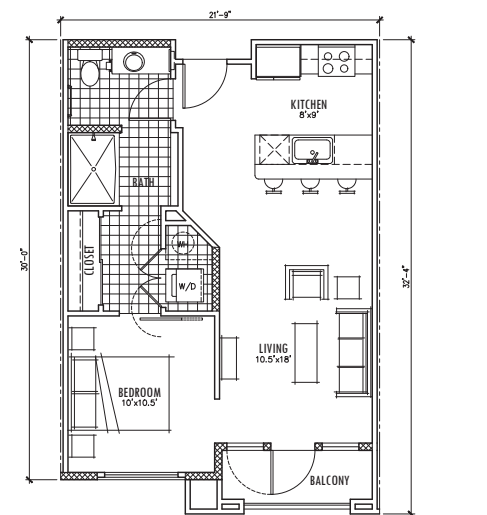
ENLARGED PLAN
REC/LEASING & CO-WORK



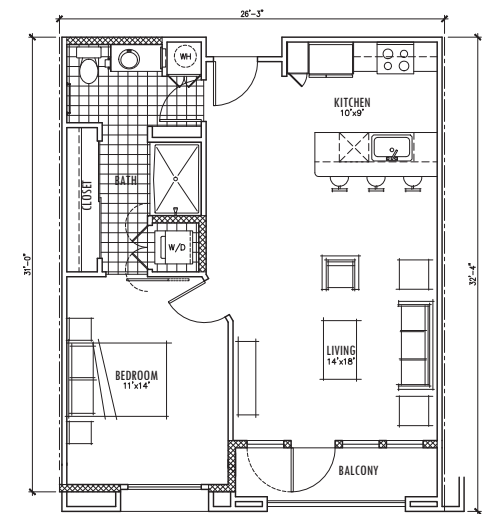
UNIT PLAN A2m1
750 S.F. LIVABLE
57 S.F. PATIO/BALCONY
807 S.F. GRAND TOTAL
SCALE: 1/4" = 1'-0"



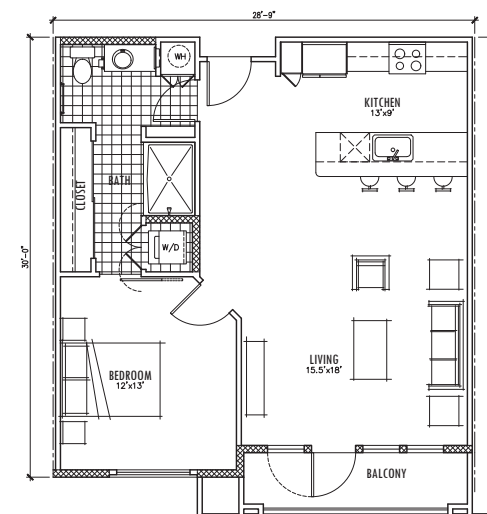
UNIT PLAN A2
752 S.F. LIVABLE
63 S.F. PATIO/BALCONY
815 S.F. GRAND TOTAL
SCALE: 1/4" = 1'-0"



UNIT PLAN S1
624 S.F. LIVABLE
47 S.F. PATIO/BALCONY
671 S.F. GRAND TOTAL
SCALE: 1/4" = 1'-0"

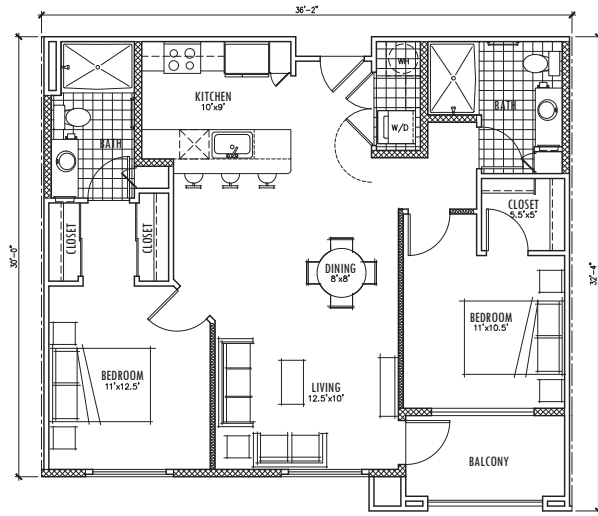


UNIT PLAN A2m3
764 S.F. LIVABLE
62 S.F. PATIO/BALCONY
826 S.F. GRAND TOTAL
SCALE: 1/4" = 1'-0"



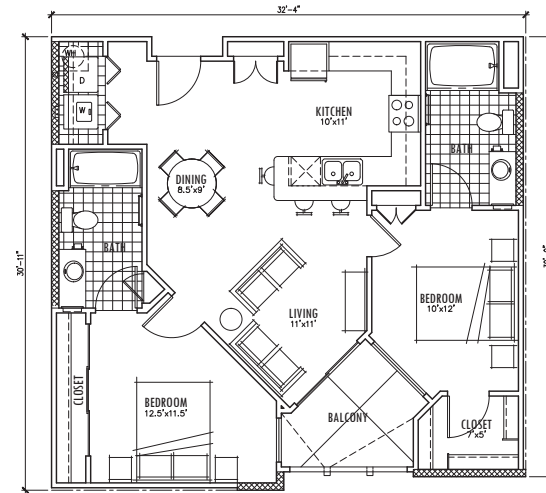
UNIT PLAN A2m2
829 S.F. LIVABLE
72 S.F. PATIO/BALCONY
901 S.F. GRAND TOTAL
SCALE: 1/4" = 1'-0"

FILE: I:\Arch\ORB - Job Files\14-214_ORB_Lakeside\CAD Files\Preliminary\A210 Unit Plans.dwg USER: jpa DATE: Aug. 03, 2015 TIME: 09:54 am



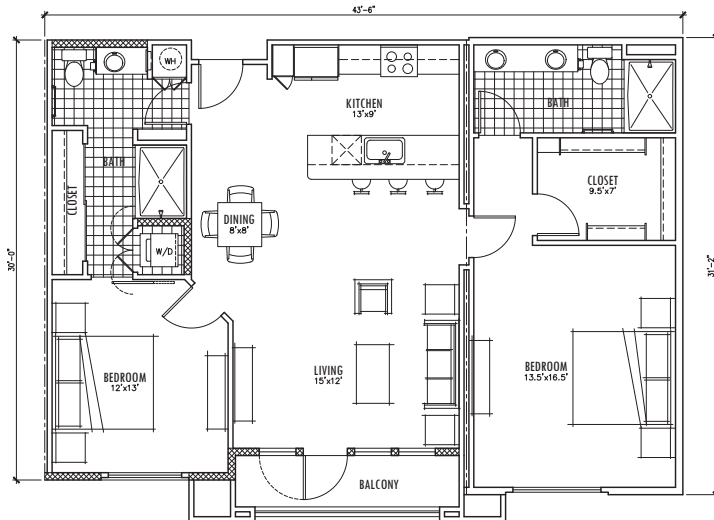
UNIT PLAN B2

1,031 S.F. LIVABLE
75 S.F. PATIO/BALCONY
1,106 S.F. GRAND TOTAL



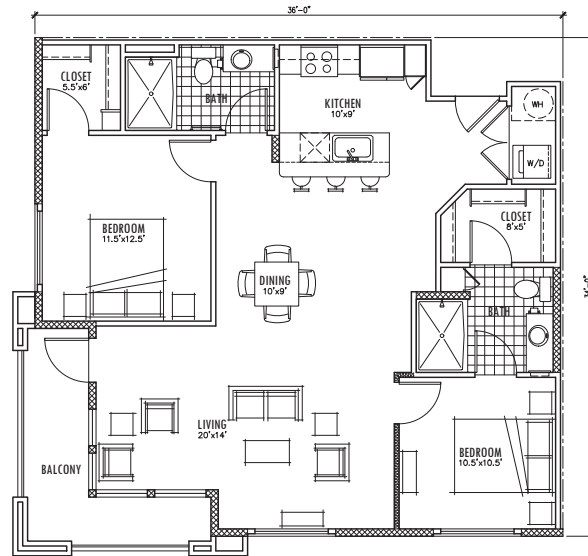
UNIT PLAN B1

914 S.F. LIVABLE
61 S.F. PATIO/BALCONY
975 S.F. GRAND TOTAL



UNIT PLAN B5

1,289 S.F. LIVABLE
72 S.F. PATIO/BALCONY
1,361 S.F. GRAND TOTAL



UNIT PLAN B3

1,118 S.F. LIVABLE
115 S.F. PATIO/BALCONY
1,233 S.F. GRAND TOTAL

**BROADSTONE
LAKESIDE**
500 WEST 1ST STREET
TEMPE, ARIZONA

Office of Rich Barber
ORB
Architecture, LLC

WorldHQ@ORBArch.com



**ALLIANCE
RESIDENTIAL COMPANY**

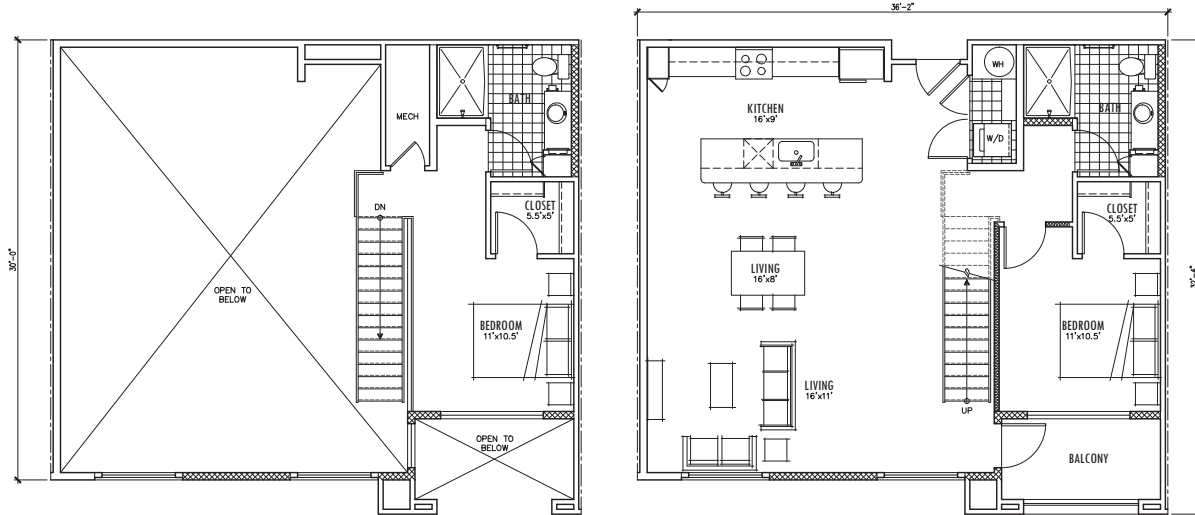
FILE: I:\Arch\ORB - Job Files\14-214_AR_Lakeside\CAD Files\Preliminary\A2.20_Unit_Plans.dwg USER: jpa DATE: Aug. 03, 2015 TIME: 09:54 am

DATE: AUGUST 03, 2015 ORB # 14-214

A2.20

UNIT PLANS
PRELIMINARY

FILE: I:\Arch\ORB - Job Files\14-214_AR_Lakeside\CAD Files\Preliminary\14214_A210_Unit_Plans.dwg USER: jpa DATE: Aug. 03, 2015 TIME: 09:54 am

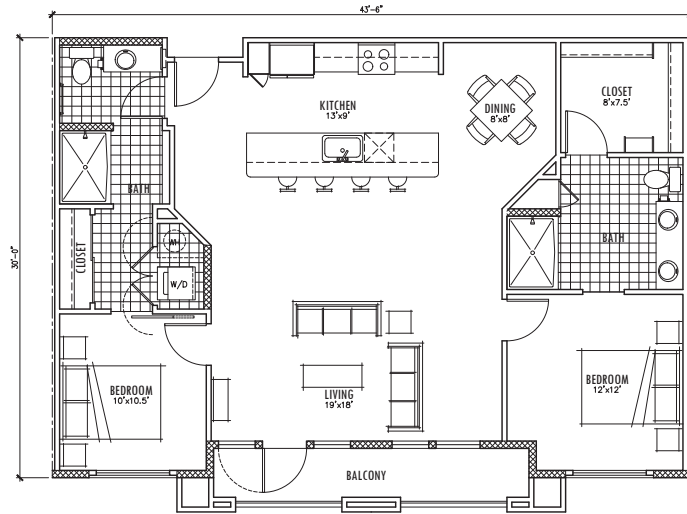


UNIT PLAN B2L

1,031 S.F. LIVABLE
 231 S.F. MEZZANINE
 75 S.F. PATIO/BALCONY
 1,337 S.F. GRAND TOTAL

MEZZANINE CALCULATIONS:
 LOWER FLOOR OPEN AREA = 693
 ALLOWABLE MEZZANINE AREA
 = 693/3= 231 S.F.

SCALE: 1/4" = 1'-0"



UNIT PLAN B6

1,255 S.F. LIVABLE
 95 S.F. PATIO/BALCONY
 1,350 S.F. GRAND TOTAL

SCALE: 1/4" = 1'-0"

**BROADSTONE
 LAKESIDE**
 500 WEST 1ST STREET
 TEMPE, ARIZONA

Office of Rich Barber
ORB
 Architecture, LLC

WorldHQ@ORBArch.com



**ALLIANCE
 RESIDENTIAL COMPANY**

DATE: AUGUST 03, 2015 ORB # 14-214

A2.30

UNIT PLANS
 PRELIMINARY



PEDESTRIAN PAVERS ACKER-STONE

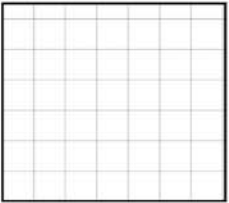


PATTERN



COLOR PEWTER

VEHICULAR PAVERS ACKER-STONE



PATTERN



COLOR ANTIQUE PEWTER

MEDIUM STUCCO TEXTURE



(F) STONE VENEER



METAL ROOF DUNN EDWARDS
DEC799 "WHARF VIEW"



MATERIAL/COLOR KEY NOTES

- (A) STUCCO FINISH DUNN EDWARDS DE 6365 "COLD MORNING"
- (B) STUCCO FINISH DUNN EDWARDS DE 6378 "JET"
- (C) PRECAST CAP DUNN EDWARDS DE 6367 "COVERED IN PLATINUM"
- (D) METAL ROOF DUNN EDWARDS DEC799 "WHARF VIEW"
- (E) BALCONY METAL RAILING: DUNN EDWARDS DEC799 "WHARF VIEW"
- (F) STONE VENEER: CORONADO FRENCH LIMESTONE, "FRENCH WH."
- (G) ANODIZED ALUMINUM FRAME WINDOW/DOOR DARK BRONZE
- (H) ANODIZED ALUMINUM FRAME STOREFRONT SYSTEM DARK BRONZE
- (I) WALL MTD. LIGHT FIXTURE:
- (K) WOOD PANELS TRESPA METEON "MILANO TERRA"

BROADSTONE LAKESIDE
COLORBOARD

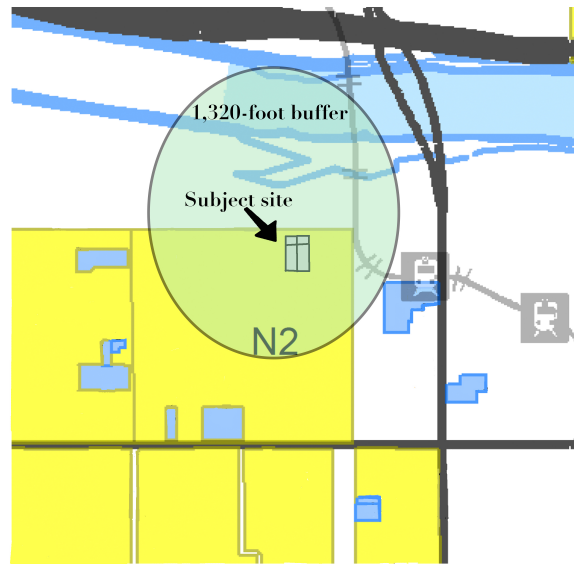
ORB # 14-214

08/03/2015



FINAL REPORT

Huellmantel & Associates mailed out the neighborhood notification letters on June 9, 2015. The notification sign was posted on June 9, 2015 by Dynamite Signs. The letters were mailed out to the nearly 300 listed property owners within the required 600-foot radius and Riverside NA, the only registered Homeowners Associations or registered Neighborhood Associations listed within the required 1,320-foot notification radius, per the July 2014 City of Tempe Neighborhood Directory, sent to Huellmantel & Associates by planners Ryan Levesque and Larry Tom:



On June 12, 2015, at 9:31 a.m. Huellmantel & Associates received a call from Sally Clements requesting more information. On Saturday, June 13, 2015, at 10:50 a.m. Charles Huellmantel received an e-mail from Jennifer Spade, a homeowner at the Regatta Pointe Condominiums. Jennifer requested additional information about the project including whether it would be apartments or condos, how the units would be situated, the height and parking provided. Charles Huellmantel responded on June 15, 2015, at 10:06 a.m. requesting a time to meet and providing his telephone number for Jennifer Spade to call so they could discuss the proposed project. Charles Huellmantel also offered to attend a meeting of the Regatta Pointe HOA's board. Jennifer Spade did not call or respond to the e-mail but e-mailed again on June 30, 2015, requesting that Charles Huellmantel answer her questions. Charles Huellmantel responded on July 1, 2015, with a copy of the rendering and landscape plan and again offered to speak at a board meeting or via telephone with Ms. Spade. As of the filing of this Final Public Involvement Plan, no response to the e-mail has been received. On June 17, 2015, Huellmantel & Associates received a phone call from Denise Dobson, indicating that she received a neighborhood notification letter and did not know what property she owned in Tempe and asking if we could tell her what she owned.

On June 24, 2015, the neighborhood meeting for Broadstone Lakeside occurred as schedule at Hatton Hall in downtown Tempe. The neighborhood meeting was held in an open house style format to accommodate the various arrival times of neighbors. Huellmantel & Associates representatives and Rich Barber, the project's architect, arrived at 4:45 p.m., approximately 45 minutes prior to the official start of the meeting time to set up presentation boards at various stations within the building. Representatives from Alliance Residential Company arrived shortly after. The open house-style format allows each person to receive personalized attention and have individual

questions answered as opposed to starting a formal presentation at a specified time. Inevitably, a presentation-style neighborhood meeting would either require some neighbors to be inconvenienced and wait or some would miss the presentation entirely. Only 4 members of the public attended the meeting. Karen Stovall and Obenia Kingsby II from the City of Tempe also attended.

The first member of the public, Mitch Van Horn, arrived at 5:26 p.m. Mr. Van Horn lives at Regatta Pointe Condominiums directly next door to the proposed project and serves as on the homeowners association board for the condominium association. Charles Huellmantel offered to attend a board meeting to present information and explained to Mr. Van Horn that the project would be high-end apartments with condominium-quality finishes. Mr. Van Horn expressed that he generally has a favorable opinion of the proposed project and added that Regatta Pointe is 80%+ rental.

One attendee inquired about the distance of the proposed project from the property line. Other inquiries concerned fire circulation and access, and we have consulted with the Fire Department regarding any potential issues with circulation and access.

One neighbor, Suzanne Reimolds, who lives in one of the live/work units at 430 West 1st Street voiced her support of the project saying that the proposed building is a “beautiful building” and expressed her desire to have a residential development next door instead of the current industrial uses. Suzanne also inquired about the potential relocation of the Arizona Distilling Company restaurant, which is currently located on the site the proposed Broadstone Lakeside would be constructed.

At approximately 5:40 p.m., Development Review Commissioner Linda Spears, who lives next door to the proposed project, arrived. Ms. Spears expressed concerns about the façade along 1st Street and specifically the height along 1st Street and setback along 1st Street, which she desired to match the setback of 525 Town Lake where she resides. Ms. Spears also indicated she desired a more urban appearance. Charles Huellmantel explained that the majority of the parking for the project would be underground, that most of the pedestrian traffic would be directed towards 1st Street and that the residential uses face the interior of the development. Ms. Spears requested revised elevations. Alliance is currently working on possible changes to elevations, building footprint and 1st Street frontages to comply with Ms. Spears’ requests.

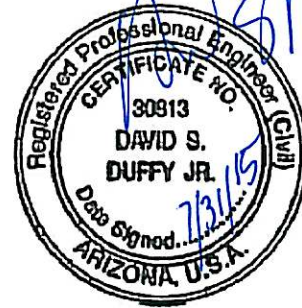
The last neighbor left the meeting at 6:03 p.m., the City of Tempe left at approximately 6:05 p.m. and Alliance and Huellmantel & Affiliates left Hatton Hall at approximately 6:15 p.m.

Following the hearing, Charles Huellmantel and Linda Spears have had numerous conversations regarding her comments at the neighborhood meeting. Rich Barber, the project’s architect, has been revising the plans and Charles Huellmantel will meet with Ms. Spears to present the revised plans once they are ready.



July 31, 2015

Charles Huellmantel
P.O. Box 1833
Tempe, Arizona 85280
Phone: (480) 921-2800
Email: charles@huellmantel.com



Expires 12/31/2017

RE: Parking Study for Broadstone Lakeside - 500 West 1st Street, Tempe, Arizona

Dear Mr. Huellmantel:

CivTech is pleased to provide this parking for the proposed Broadstone Lakeside apartment development to be located at 500 West 1st Street in the City of Tempe, Arizona. The project is proposed with 168 dwelling units consisting of 243 total bedrooms. Per the proposed site plan (dated July 6, 2015), 269 parking spaces will be provided.

A detailed parking analysis has been requested by the City of Tempe to fulfill the application for development. The project's proximity to Arizona State University will create a higher percentage of walking and bicycle trips than anticipated by Tempe's parking requirement.

This parking study documents CivTech's findings and clarifies any disparity between the number of spaces required and the number of spaces provided. The parking study has been completed in accordance with the City of Tempe standards as presented in their Zoning and Development Code.

The analyses for reductions to the residential component of the building are warranted based upon comparison to other methods of calculation as well as Tempe's own Transportation Overlay District parking standards, which more accurately reflect this site's location and parking needs based on its location near a variety of alternative transportation methods other than vehicle usage. Therefore, a reduction from the Tempe Zoning and Development Code requirement of 314 vehicular parking spaces to 269 vehicular parking spaces is appropriate.

PROPOSED DEVELOPMENT

The proposed location for the apartment community is at 500 West 1st Street, on the north side of 1st Street between two existing residential developments. Access to the development is provided from 1st Street and Lakeside Drive. A total of 269 parking spaces are proposed on-site. The mixture of apartment types is summarized in

Table 1, and the proposed site plan is attached to this letter statement.

Table 1: Proposed Residential Units

Apartment Type	Number of Units	Number of Bedrooms
Studio	32	32
One-Bedroom	63	63
Two-Bedroom	71	142
Three-Bedroom	2	6
TOTAL	168	243

CITY OF TEMPE PARKING REQUIREMENTS

Parking requirements are specified in Section 4-603 of the Tempe Zoning Code. **Table 2** summarizes the requirements per the City of Tempe’s parking ratios based on the proposed development with 168 apartment units.

Table 2: Required Parking Spaces per City of Tempe

Apartment Type	Number of Units	Requirement Per Code ⁽¹⁾	Required Parking Spaces	Required Bicycle Parking ⁽³⁾
Studio	32	1.0 space per unit 0.75 bicycle per unit	32.00	24.00
One-Bedroom	63	1.5 spaces per unit 0.75 bicycle per unit	94.50	47.25
Two-Bedroom	71	2 spaces per unit 0.75 bicycle per unit	142.00	53.25
Three-Bedroom	2	2.5 spaces per unit 1.0 bicycle per unit	5.00	2.00
Guest Parking ⁽²⁾	168	0.2 space per unit ⁽²⁾ 0.2 bicycle per unit ⁽²⁾	33.60	33.60
Total Residential Parking			308	161
Mixed-use (Spaces can be shared with Guest Parking)	Intensity	Requirement Per Code	Required Parking Spaces	Required Bicycle Parking
Leasing Office	947 SF	1.0 space per 300 SF 1.0 bicycle/8,000 SF ⁽⁴⁾	3	4
Clubroom/Rec/Fitness	3,568 SF	Included with residential	0	0
Co-Work	2,053 SF	1.0 space per 300 SF 1.0 bicycle/4,000 SF ⁽⁴⁾	7	4
Total Mixed-Use Parking			10	8
Total Parking Required			318	169

1. The parking and bicycle ratios are from Table 4-603E of the City of Tempe’s Zoning Code.
2. The guest parking ratio is based on the total number of units.
3. The bicycle parking ratios are based on those required for the ‘Bicycle Commute Area.’
4. The parking ordinance requires a minimum parking of four bicycles within the ‘Bicycle Commute Area.’

Based on the City of Tempe’s parking ratios, 318 parking spaces and 169 bicycle spaces are required.

The site also contains a 947 square foot leasing office, 3,568 square feet of clubroom/fitness space, and 2,053 square feet of co-work office space. The mixed-use commercial has a parking

requirement of 10 parking spaces per the City of Tempe. However, within mixed-use developments, the parking for non-residential uses may be shared with the guest parking. Since the required parking spaces for guest parking (34) is greater than the non-residential use required parking (10), the parking could be shared thus reducing the City of Tempe's requirements to 308 parking spaces and 161 bicycle spaces.

TRANSPORTATION OVERLAY DISTRICT PARKING REQUIREMENTS

The City of Tempe Zoning and Development Code §§4-601 – 4-606 provides general parking standards. Standards vary for areas of the city within the Transportation Overlay District. Although the Broadstone Lakeside project falls outside of the Transportation Overlay District, the proximity of the proposed project is one parcel away from being able to opt into the applicable standards. Additionally, its location near light rail and future streetcar make these standards relevant for considering the appropriateness of the parking ratios required versus provided.

The City of Tempe's Transportation Overlay District establishes reduced parking standards intended to "encourage appropriate land development and redevelopment that is consistent with and complementary to the community's focused investment in transit, bicycle and pedestrian infrastructure in certain geographic areas of the City." The Transportation Overlay District allows property owners who are adjacent to the Transportation Overlay District to opt-in to the standards, and the Broadstone Lakeside project is one parcel outside of being able to opt-in, shown in the **Figure 1** below. The proximity of Broadstone Lakeside to the TOD boundary map is indicated below:

Figure 1 – Location of Parcel related to the Tempe TOD



However, because Broadstone Lakeside is located near where the future Tempe streetcar line will run along Ash Avenue, a redesigned Transportation Overlay District Map would likely include this parcel. Therefore, an analysis using the Transportation Overlay District Standards in analyzing the parking necessary for this site has been included in **Table 3**.

Table 3: Required Parking Spaces per City of Tempe Transportation Overlay District Reductions

Apartment Type	Number of Units	Requirement Per Code ⁽¹⁾	Required Parking Spaces
Studio	32	0.75 space per unit	24
One-Bedroom	63	0.75 space per unit	47.25
Two-Bedroom	71	0.75 space per unit	106.5
Three-Bedroom	2	0.75 space per unit	4.5
Guest Parking ⁽²⁾	168	0.2 space per unit ⁽²⁾ 0.2 bicycle per unit ⁽²⁾	33.60
Total Residential Parking			216
Mixed-use (Spaces can be shared with Guest Parking)	Intensity	Requirement Per Code	Required Parking Spaces
Leasing Office	947 SF	1.0 space per 375 SF	2.5
Clubroom/Rec/Fitness	6,568 SF	Included with residential	0
Co-Work	2,053 SF	1.0 space per 375 SF	5.5
Total Mixed-Use Parking			8
Total Parking Required			224

1. The parking and bicycle ratios are from Table 4-603E of the City of Tempe’s Zoning Code.
2. The guest parking ratio is based on the total number of units.’

Per the Tempe Zoning and Development Code Transportation Overlay District reduced parking calculations, Broadstone Lakeside would require 224 parking spaces. This standard requires 45 spaces less than Broadstone Lakeside is currently proposing to provide

PARKING DEMAND BASED ON PER BEDROOM RATIOS

The City of Tempe’s parking ratios are based on unit type rather than per bedroom. As a result, the apartment communities comprising of 3 and 4 bedroom units are required to provide less parking per bedroom than those comprising of mostly 1 and 2 bedroom units. Within the vicinity of downtown Tempe, several of the apartment communities are occupied by students and professionals rather than families. As a result, a comparison of per bedroom ratios for existing apartment communities in the vicinity of downtown Tempe and the ASU campus has been conducted and is summarized in

Table 4.

As

summarized

in

Table 4, when comparing the parking ratios per bedroom for already entitled apartment communities, the parking ratio of 1.11 parking spaces per bedroom is greater than two of the existing communities (Archstone and Lofts) and slightly less than the third community (Argo). Because the demographics of these communities are expected to be young professionals, it is reasonable to assume that the parking demand based on per bedroom ratios would be consistent. As a result, the parking ratio of 1.11 parking spaces per bedroom for the proposed Broadstone Lakeside apartment community is reasonable when compared to the similar apartment communities in the area.

Table 4: Comparison of Parking Ratios

Tempe Apartment Community	Apartment Unit Counts							Parking Counts				
	Live/Work	Studio	1-BR ⁽¹⁾	2-BR	3-BR	4-BR	Total		Parking		Parking Ratio	
							Units	BR ⁽¹⁾	Required by Code	Provided	Per Unit	Per BR ⁽¹⁾
Argo (2012)	9	32	135	136	16	0	328	504	630	564 ⁽²⁾	1.72	1.12 ⁽²⁾
Archstone, Camden (2011)	0	0	96	114	24	0	234	396	479	432	1.85	1.09
Lofts, Oliver McMillan (2012)	0	15	102	121	26	0	264	437	528	459	1.74	1.05
Proposed Broadstone Lakeside	0	32	63	71	2	0	168	243	308	269	1.60	1.11

1. BR=Bedroom
2. Guests parked at 0.2 per unit.

TEMPE PARKING APPROVAL OF SIMILAR PROJECTS

The City of Tempe has recently approved similar projects with comparable reductions in parking.

- *Jefferson Town Lake*, located along the north shore Tempe Town Lake. 466 vehicular parking spaces required and the project was approved with a reduction of 9.7 percent for a total of 421 vehicular parking spaces.
- *The Lofts at Hayden Ferry Lakeside*, located near Mill Avenue and Rio Salado Parkway. 511 vehicular parking spaces were required and the project was approved with a reduction of 11.2 percent for a total of 459 vehicular parking spaces.
- *Alta Tempe*, located near University Drive and Dorsey Lane. 506 vehicular parking spaces were required and the project was approved with a reduction of 14.5 percent for a total of 433 vehicular parking spaces.

These projects averaged a reduction of 12 percent in line with the reduction Alliance Residential is requesting for its Broadstone Lakeside.

PEDESTRIAN, TRANSIT, AND BICYCLE FACILITIES

Per the Tempe General Plan 2040, “Tempe’s vision for itself in the year 2040 is one of livability: a city with a diverse, active and engaged community; a city that is visually attractive and accessible by multiple modes of transportation.” And consisting of “revitalized neighborhoods that are walkable, pleasant and safe, and connected within a 20-minute walk, bike or transit ride.”

The proposed site at 500 West 1st Street is located near the ASU campus making pedestrian and bicycle activity convenient for accessing the ASU campus. The majority of the ASU campus is reached within 30 minutes when walking. The area around the ASU campus is designed to be pedestrian friendly.

The proximity to Arizona State University, the new State Farm complex, the offices at Marina Heights and other job opportunities just ½ -mile from the site, will create a higher percentage of walking and bicycle trips than anticipated by Tempe’s parking requirement.

The proposed site is located within 0.5 miles from the nearest light rail station at Mill Avenue and 3rd Street. The route for the proposed Tempe Street Car travels along Ash Avenue within close proximity to the proposed site. The proposed site is directly serviced by the Valley Metro bus service. Valley Metro route 62 is located on 1st Street with bus stops within 500 feet of the proposed site. The site is also located within one mile of the Tempe Transportation Center, which is a major multi-model transportation hub. The Tempe Transportation Center can also be accessed via light-rail. Dozens of bus routes serve the center including the free Orbit local shuttle.

The availability of non-automobile transportation near the proposed site promotes less reliance of car use, thus reducing the need for parking spaces. The proposed Broadstone Lakeside residential development is designed for tenants without a reliance on cars including ASU students and employees of businesses in downtown Tempe.

CONCLUSIONS


- The project is proposed with 168 dwelling units consisting of 243 total bedrooms with 2,053 SF co-work space, 947 SF office and 3,568 SF fitness/clubhouse. Per the proposed site plan (dated July 6, 2015), 269 parking spaces will be provided.
- Based on the City of Tempe’s parking ratios, 318 parking spaces and 169 bicycle spaces are required.
- The site is located one parcel away from the Transportation Overlay District. Once the Tempe Trolley is constructed it is likely the Transportation Overlay District Map will be redesigned. Per the Tempe Zoning and Development Code Transportation Overlay District reduced parking calculations, Broadstone Lakeside would require 224 parking spaces. Broadstone Lakeside is currently proposing to provide 45 spaces *more* than the Transportation Overlay District requirement.
- Previously approved parking studies indicate an average reduction of 12% in required parking.
- A reduced parking provision was requested as part of the site plan approval process with the City of Tempe. The proximity to Arizona State University, the new State Farm complex, the offices at Marina Heights and other job opportunities just ½ -mile from the site, will create a higher percentage of walking and bicycle trips than anticipated by Tempe’s parking requirement.
- When comparing the parking ratios per bedroom for already entitled apartment communities, the proposed parking ratio of 1.11 parking spaces per bedroom is greater than two of the existing communities (Archstone and Lofts) and slightly less than the third community (Argo). Because the demographics of these communities are expected to be young professionals, it is reasonable to assume that the parking demand based on per bedroom ratios would be consistent. As a result, the parking ratio of 1.11 parking spaces per bedroom for the proposed Broadstone Lakeside apartment community is reasonable when compared to the similar apartment communities in the area.

- Using the overall parking ratio of 1.11 parking spaces per bedroom, the provided 269 parking spaces is adequate for the proposed project based on 168 units with 243 total bedrooms.

Should you wish to discuss this information further, please contact me at (480) 659-4250.

Sincerely,

CivTech



David Duffy, P.E.
Project Engineer



July 27, 2015

Charles Huellmantel
605 South Ash Avenue
Tempe, AZ 85281
Email: charles@huellmantel.com

Re: Tempe Alliance Residential Traffic Statement – 500 West 1st Street, Tempe, Arizona

Dear Mr. Huellmantel:

CivTech Inc. was retained to provide traffic engineering services for the Tempe Alliance Residential development in Tempe, Arizona. The proposed multi-family development is planned to occupy 2.4 acres located north of 1st Street, west of Farmer Avenue, east of Roosevelt Street and south of Rio Salado Parkway. Access to the residential site is provided via 1st Street.

EXISTING ROADWAY CONDITIONS

The existing parcel is currently developed with office/industrial use providing access to 1st Street only. The existing site provides two (2) full movement driveways along 1st Street. The study area includes Rio Salado Parkway, 1st Street, University Drive, Hardy Drive, Roosevelt Street, Wilson Street, Farmer Avenue and Ash Avenue. **Exhibit A** illustrates existing conditions and the proposed site location.

Rio Salado Parkway serves as an east-west four (4) lane roadway with two (2) through lanes in each direction of travel and a raised median. Rio Salado Parkway is an arterial roadway that begins to the west at Ash Avenue and continues east terminating at Country Club Drive. Rio Salado Parkway provides direct access to Price Freeway (LOOP 101) and Country Club Drive (SR-87). The current posted speed limit within the study area is 35-mph on Rio Salado Parkway.

1st Street is an east-west two (2) lane roadway with one (1) travel lane, on street parking and bike lane in each direction of travel. 1st Street begins to the west at Rio Salado Parkway and continues east terminating just north of Ash Avenue/Rio Salado Parkway intersection. The current posted speed limit is 35-mph within the vicinity of the site.

University Drive is an east-west four (4) lane roadway with a center raised median providing two (2) travel lanes and a bike lane in each direction of travel. University Drive is an arterial roadway that begins to the west in Phoenix at Interstate I-10 and continues east transitioning into Superstition Boulevard in Apache Junction. University Drive provides direct access to Interstate 10 (I-10), Price Freeway (Loop 101) and Red Mountain Freeway (Loop 202). The current posted speed limit within the study area is 45-mph.

Hardy Drive is a north-south two (2) lane roadway with a center two-way left-turn lane, providing one (1) lane and bike lane in each direction of travel. Hardy Drive begins to the north at Rio Salado Parkway and continues south terminating just south of Guadalupe Road. The current posted speed limit along Hardy Drive is 30-mph within the vicinity of the site.

Roosevelt Street is a north-south two (2) lane roadway with on street parking in each direction of travel. Roosevelt Street begins to the north at 1st Street and continues south transitioning into Manhattan Drive just south of Southern Avenue. The current posted speed limit along Roosevelt Street is 25-mph within the vicinity of the site.

Wilson Street is a north-south two (2) lane roadway with on street parking in each direction of travel. Wilson Street begins to the north at 1st Street and continues south at 7th Street. The current posted speed limit along Wilson Street is 25-mph within the vicinity of the site.

Farmer Avenue is a north-south two (2) lane roadway with on street parking in each direction of travel. Farmer Avenue begins just north of 1st Street and continues south terminating at Broadway Road. The current posted speed limit along Farmer Avenue is 25-mph within the vicinity of the site.

Ash Avenue serves as a north-south roadway providing access from Hudson Street and continuing north to Rio Salado Parkway. Ash Avenue provides one lane in each direction of travel with access to existing commercial and office complexes. It currently operates with a posted speed limit of 30 mph. The Union Pacific Railroad parallels Ash Avenue on the west.

TRIP GENERATION

The trip generation for the vacant parcels and buildings was estimated utilizing the Institute of Transportation Engineers (ITE) *Trip Generation 9th Edition*. *Trip Generation* contains data collected by various transportation professionals for a wide range of different land uses. The data summarized in the report includes average rates and equations that have been established correlating the relationship between an independent variable that describes the development size and generated trips for each categorized land use. The report provides information for daily and peak hour trips.

A multimodal reduction of twenty (20) percent was applied to the site generated trips to account for the pedestrian/bike friendly neighborhood, close proximity to the Light Rail Transit (LRT) and future Tempe Street Car program. The new alignment of the Tempe Street Car will provide high capacity transit services along Rio Salado Parkway and Ash Avenue within the vicinity of the proposed site.

Table 1 summarizes the weekday trip generation for the proposed multi-family residential development.

Table 1: Weekday Trip Generation

Land Use	ITE LUC	Quantity	Daily Total	AM Peak Hour - Weekday			PM Peak Hour - Weekday		
				Enter	Exit	Total	Enter	Exit	Total
Apartments	220	168	1,118	17	69	86	68	37	105
20% Multimodal Reduction			224	3	14	17	14	7	21
TOTAL			894	14	55	69	54	30	84

TRIP DISTRIBUTION AND ASSIGNMENT

A single trip distribution pattern was assumed for the proposed residential land use. It is expected that the proposed development will generate trips based on future employment within a 7-mile radius of the site. Future total employment within a 7-mile radius of the site, as predicted by the 2020/2030 socio-economic data compiled by the Maricopa Association of Governments (MAG), was used as a basis to estimate trip distribution. The resulting trip distribution over each of the cardinal directions is shown in **Table 2**.

Table 2 – Trip Distribution by Percentage

Direction	Trip Distribution
Rio Salado Parkway – West	35%
Rio Salado Parkway – East	10%
University Drive – West	15%
University Drive - East	15%
Hardy Drive - South	25%
Total	100%

Exhibit B illustrates the trip distribution percentages shown in **Table 2** on the existing roadway network within the study area.

The percentages presented in **Exhibit B** were applied to the site trips generated to determine the AM, PM and ADT site traffic at each study intersection within the study area. **Exhibit C** presents the resulting site generated traffic for the proposed development.

TURN LANES

While the City of Tempe does not have published standards/warrants for right-turn lanes, a quick evaluation of right turning ingress traffic was performed to determine a possible need for deceleration lanes. As shown in **Exhibit A**, none of the turning movements into the site warrant a turn lane per ADOT methodology. The maximum number of vehicles anticipated to negotiate a right turn unto either driveway is 9 over the course of the highest hour. Therefore right turn deceleration lanes are not recommended at either Driveway A or Driveway B.

Sincerely,

CivTech

Dawn Cartier, P.E.
Project Engineer

Attachments:
Exhibits

DRAFT

Stovall, Karen

From: Debbie Hill <debbie@lpmd-architects.com>
Sent: Monday, August 10, 2015 4:09 PM
To: Stovall, Karen
Subject: RE: PL150188: Broadstone Lakeside, 500 W. 1st St.

Dear Karen:

I wanted to get some comments/concerns out prior to the issuance of your staff report. I hope this email can be considered a letter to attach to Staff Report.

I would like to speak as a homeowner at Regatta Pointe and a member of the Regatta Pointe Home Owners Association that I do take objection to the narrow setback of the project along the East facing Property line. 6'-8" may be per building code (have not seen their calculations for % of openings adjacent to property line for fire rating) nor can I speak for 525 but would assume they have the same issue with setback from property lines along the West facing Property line.

I am surprised that there is not a concern from developer for Fire Department access and rescue to the units facing East and West. The only Fire Department access it appears is from Lakeside and First Street and I do see the Fire Department turnaround dashed onto site plan.

An example of a respectful setback for neighbors and Fire Department access is at the new apartment project just completed at Skywater at Town Lake.

It appears that all Resident access will be coming in from Lakeside Drive to the underground parking. Regatta, 525 and Skywater all have access from both First Street and Lakeside. I understand there is a short parking area off First but does not continue or maybe it is not clear on the drawings since they are Schematic if form. Not sure about the parking along Lakeside drive. Guest Parking? If you look at setback at Skywater and 525 they show a more respectful and appropriate setback to Lakeside drive with a landscape buffer in front on units.

Please feel free to contact me and as a current President of the HOA I wanted you to know we are very interested and concerned about the future of the entire neighborhood and uses.

Thank you

Debbie Hill and Mark Ackerman
425 W. Rio Salado Parkway, unit 318
Tempe, AZ 85281
408-242-5315

KEYNOTES

1. 8.5'x16' PARKING SPACE WITH 2' OVERHANG, TYPICAL.
2. 11'x15' WALK X (IF ACCESSIBLE PARKING SPACE WITH 2' OVERHANG).
3. TRASH YARD AREA (WITH COMPACTOR AND BIN FOR RECYCLING) WITH 8' X 4' GARD ENCLASURE WITH STUCCO FINISH PAINTED DAWN EDWARDS OF IDEAS COLD MORNING.
4. ELECTRICAL REGULAR GATE TO BE EQUIPPED FOR FIRE DEPARTMENT ACCESS.
5. PEDESTRIAN CIRCULAR.
6. NEW DRIVEWAY PER COT STD. DET. T-300.
7. SIGHT VISIBILITY LINE. HATCHED AREA MUST BE CLEAR OF OBSTRUCTIONS.
8. EXISTING FORMERLY WALL. PAINT DAWN EDWARDS OF IDEAS COLD MORNING.
9. 6" H TUBULAR STEEL NEW FENCE.
10. PEDESTRIAN ENTRY GATE.
11. POOL FENCE.
12. POOL GATE.
13. FIRE TRUCK ACCESS.
14. HATCHED AREA INDICATES ENHANCED PAVING. EXISTING SIDEWALK.
15. REMOVE AND REPLACE CURBING AND UNPAVED DRIVEWAYS.
16. BIKEWAY PARKING.
17. CALL BOX AND DIRECTORY.
18. BIKEWAY PARKING.
19. ARTIFICIAL TURF WITH CONCRETE CURBING AROUND IN COC PARK.
20. RAISED PLANTER WITH STUCCO FINISH AND PRECAST CAP.
21. POTS.
22. EXISTING (TO REMAIN) POWER POLE.
23. EXISTING (TO REMAIN) STREET LIGHT MOUNTED ON POWER POLE.
24. EXISTING (TO REMAIN) DECORATIVE STREET LIGHT.
25. NEW DECORATIVE STREET LIGHT TO MATCH EXISTING.
26. POOL LIFT.
27. EXISTING FIRE HYDRANT.
28. NEW FIRE HYDRANT.

DEVELOPMENT DATA

LOT AREA: ADDRESS: 50. FEET: 2404 104,711 2404 104,711

ZONING: EXISTING: MU-4 PAD (R500) PROVIDED: MU-4 PAD (R500)

STANDARDS:

MIN-4 PAD ROAD (NO SALADO OVERLAY DISTRICT)	PROVIDED
GENERAL PLAN LAND USE	RES-HSR
GENERAL PLANNING DENSITY	100
DENSITY (DU/ACRE)	30
BUILDING HEIGHT	60 FT
MAX. LOT COVERAGE (% OF NET AREA)	35 %
MIN. LANDSCAPE AREA (% OF NET AREA)	20 %
I.R.O.M. (2,000 SF)	3 %
ON-SITE GROUND (21,000 SF)	20 %
ON-SITE DECK (8,170 SF)	8 %

TRACKS:

FRONT (DOUTH)	17'-11"
SIDE (EAST)	4'-8"
SIDE (WEST)	6'-10"
REAR (NORTH)	16'-11"

SPRINKLERS & FIRE ALARMS:

TO BE PROVIDED FOR APPLICABLE CODES

CONSTRUCTION TYPE:

TYPE IA - LEVEL P1 (GARAGE UNDERGROUND)
OCCUPANCY I-2 - 400 OCCUPANTS
TYPE IA - LEVELS L1, L2, L3, L4

OCCUPANCY A-2 - 840 OCCUPANTS
OCCUPANCY A-3 - 222 OCCUPANTS
OCCUPANCY B - 87 OCCUPANTS

BUILDING AREAS:

LEVEL	GRACE	RES.	REC.	FITNESS	TOTAL	LEASING	CO-WORK	DECK	TOTAL
P1	80,800	-	-	-	-	-	-	-	80,800
L1	-	20,818	2,818	2,174	5,092	947	2,053	-	41,108
L2	-	14,228	-	1,476	1,476	-	-	-	17,180
L3	-	34,777	-	-	-	-	-	-	34,777
L4	-	53,547	-	-	-	-	-	-	53,547
TOTAL	80,800	118,373	2,818	3,650	6,568	947	2,053	735	279,865

UNIT MIX:

LEVEL	STUDIO	1-BED	2-BED	3-BED	TOTAL
L1	6	12	15	-	33
L2	6	12	18	-	36
L3	6	21	21	-	48
L4	6	17	19	2	46
TOTAL	24	62	71	2	168

VEHICLE PARKING:

REQUIRED:	SPACES/UNIT	SPACES REQ.
STUDIO	1.5	32.0
1 BEDROOM	1	16.8
2 BEDROOM	2	142.0
3 BEDROOM	2.5	5.0
GUEST	0.2	33.8
TOTAL PARKING REQUIRED		307

PROVIDED: OPEN ON SITE (UNRESERVED) (85 P.S.) 41 P.S.
GARAGE P1 (85 P.S.) 227 P.S.
TOTAL PARKING PROVIDED: 288 P.S.

PARKING PER UNIT: 1.69 P.S.

ACCESSIBLE PARKING (INCLUDED IN COUNT ABOVE)
REQUIRED: (24) 8 P.S.
PROVIDED: (24) 8 P.S.

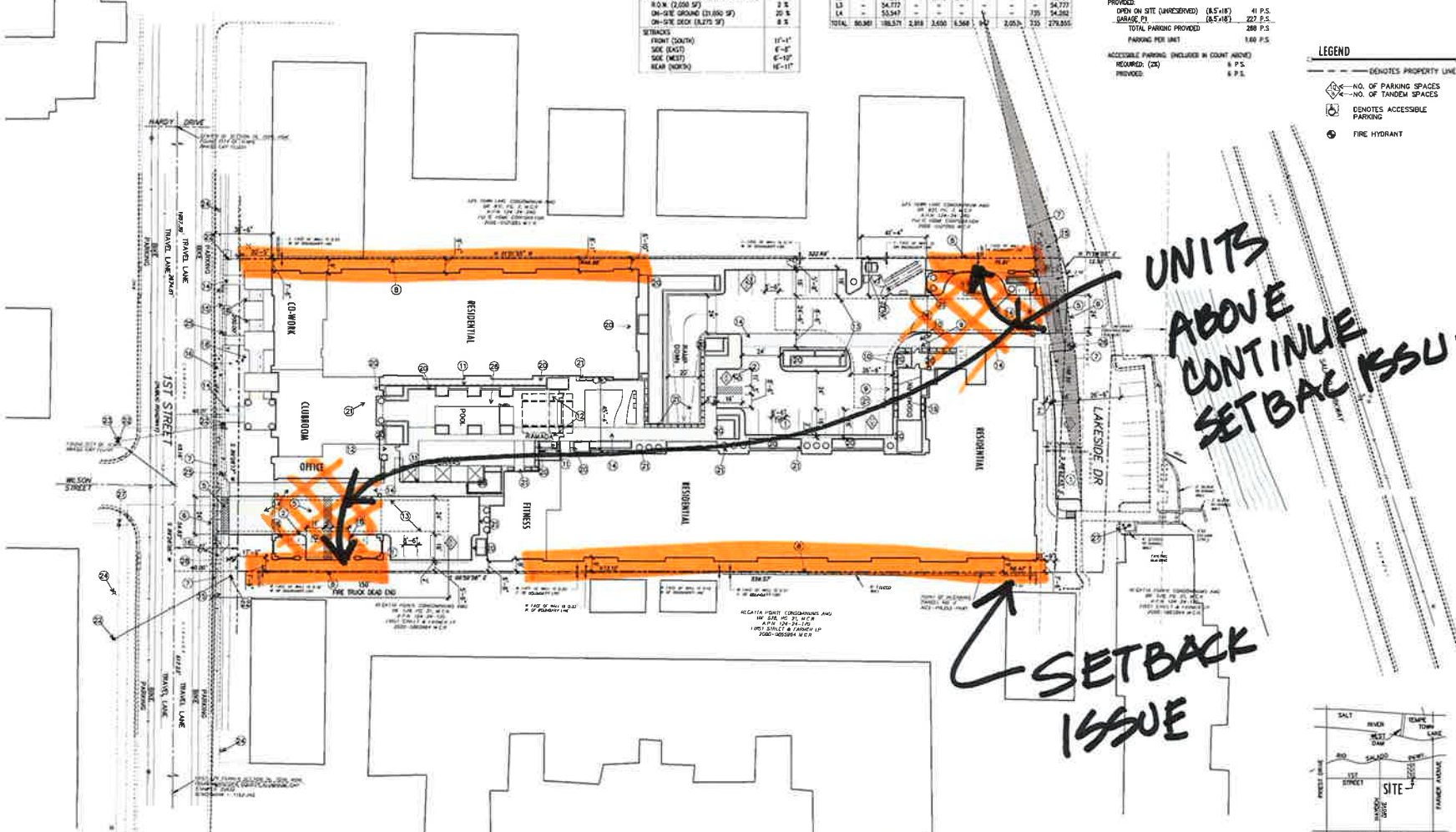
BIKEWAY PARKING:

REQUIRED:	SPACES/UNIT	SPACES REQ.
STUDIO	0.75	24.00
1 BEDROOM	0.25	42.25
2 BEDROOM	0.75	33.25
3 BEDROOM	1	2.00
GUEST	0.2	23.80
TOTAL REQUIRED		160

PROVIDED: ON SITE 26
GARAGE P1 58
TOTAL PROVIDED 148

LEGEND

- DENOTES PROPERTY LINE
- NO. OF PARKING SPACES
- NO. OF TANDEM SPACES
- DENOTES ACCESSIBLE PARKING
- FIRE HYDRANT



PRELIMINARY SITE PLAN
SCALE: 1" = 30'-0"

UNITS ABOVE CONTINUE SETBACK ISSUE

SETBACK ISSUE

BROADSTONE LAKESIDE
500 WEST 1ST STREET
TEMPE, ARIZONA

Office of Rich Barber
ORB
Architecture, LLC
WorldHQ@ORBArch.com



ALLIANCE
RESIDENTIAL COMPANY

Architect
ORB ARCHITECTURE, LLC
2944 North 42nd Ave., Suite 101
Phoenix, Arizona 85018
Tel: 480.717.4538
Fax: 480.717.4038
Contact: Rich Barber

Owner/Developer
ALLIANCE RESIDENTIAL CO.
2413 E. Camelback Rd., Suite 600
Phoenix, Arizona 85016
Tel: 602.778.2800
Fax: 602.778.2810
Contact: Tom Lewis



VICINITY MAP
NOT TO SCALE

DATE: AUGUST 03, 2015 DRAW: 14-214

A1.10
SITE PLAN
PRELIMINARY