

**CITY OF TEMPE
DEVELOPMENT REVIEW COMMISSION**

Meeting Date: 02/09/2016
Agenda Item: 9

ACTION: Request for an Amended Planned Area Development Overlay consisting of a 5-story mixed-use development to increase the number of units from 395 units to 399 for **THE MOTLEY** (formerly THE HAYDEN AT DORSEY STATION), located at 1221 East Apache Boulevard. The applicant is Charles Huellmantel, Huellmantel & Affiliates.

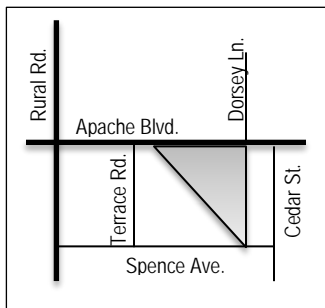
FISCAL IMPACT: While this ordinance change does not directly impact revenue, the planned development will result in collection of the standard development fees, calculated according to the approved fee structure at the time of permit issuance.

RECOMMENDATION: Staff – Approval, subject to conditions

BACKGROUND INFORMATION: THE MOTLEY (PL150521) consists of redevelopment of an existing apartment complex and a 1970's motel site from the corner of Apache Boulevard & Terrace Road, extending to Cedar Street. The applicant conducted a neighborhood meeting on December 15, 2015. The request includes the following:

- Planned Area Development Overlay to increase the number of units from 395 to 399 and maintain the already established development standards as approved by City Council on October 2, 2014.

On September 15, 2014, City Council approved an ordinance for PAD Reform that stated that “any increase in the amount of approved residential units” is considered a major modification to the approved plans and therefore requires processing through the original decision-making body. The addition of four units to the total building count does not add any bedrooms to the project. Therefore, it does not have any effect on the required parking, as approved.



Property Owner	Sonoran Apache, LLC
Applicant	Charles Huellmantel, Huellmantel & Affiliates
Current Zoning District	R-4, Multi-Family Residential District CSS, Commercial Shopping and Services District Transportation Overlay District (Station Area)
Gross/Net site area	6.70 acres
Total Building area	600,417 sf.
Residential Density	59 du/ac (General Plan Projected: up to 65 du/ac)
Lot Coverage	52% (NS)
Building Height	65 ft. (NS)
Building Setbacks	0' front, 20' east side, 0' west side, 0' rear (20' max front.)
Landscape area	10% (NS)
Vehicle Parking	607 spaces (523 min. required)
Bicycle Parking	250 spaces (386 min. required)

ATTACHMENTS: Development Project File, Original Project File

STAFF CONTACT(S): Suparna Dasgupta, Principal Planner (480-350-8562)

Department Director: Dave Nakagawara, Community Development Director
Legal review by: N/A
Prepared by: Suparna Dasgupta, Deputy Community Development Director

COMMENTS:

This site is located on the south side of Apache Boulevard, between Terrace Road to the west and Cedar Street to the east. The site has direct access to the Dorsey Light Rail Station. To the north of the site, across Apache Boulevard, is existing commercial. To the west of the site are remnant industrial space and an abandoned car wash. To the south is the Jen Tilly Terrace Neighborhood, consisting of a combination of older multi-family properties and newer single-family homes. Directly east and southeast of the site is the Hudson Manor, an established single-family subdivision.

This request includes the following:

1. A Planned Area Development Overlay (required for MU-4 designation) with modified number of units from 395 to 399.

PUBLIC INPUT

A neighborhood meeting is required for an Amendment to a Planned Area Development Overlay. The applicant held the neighborhood meeting on December 15, 2015 from 5:30 pm at the Apache Police Substation. Notification was sent to all residents and tenants on the site, as well as property owners within a 600' radius and neighborhood associations within 1,320 foot radius of the vicinity. The site was also posted along Apache Boulevard and Spence Avenue, at least 15 days in advance of the meeting. No individual from the public attended the neighborhood meeting.

See summary of meeting provided by the applicant, located within the Development Project File attachments.

PROJECT ANALYSIS

ZONING

The property is zoned MU-4, Mixed-Use High Density District and a Planned Area Development Overlay, while retaining the Transportation Overlay.

The General Plan 2040, ratified by the voters on May 20, 2014, projects this site with a Projected Land Use of "Mixed-Use" and Projected Residential Density of High Density (up to 65 dwelling units per acre). This projects zoning request and density for the site is consistent with the General Plan maps.

PLANNED AREA DEVELOPMENT OVERLAY

The Amendment to the Planned Area Development increases the total number of units from 395 to 399 but maintains the already established specific development standards as approved by City Council on October 2, 2014.

Conclusion

Based on the information provided and the above analysis, staff recommends approval of the requested Amendment to the Planned Area Development.

REASONS FOR APPROVAL:

1. The project meets the General Plan Projected Land Use and Projected Residential Density for this site.
2. The Amended PAD overlay does not change the preciously approved development standards established.

CONDITIONS OF APPROVAL:

1. A building permit application shall be made on or before ~~October 2, 2016~~ March 17, 2018, or the zoning of the property may revert to that in place at the time of application. Any reversion is subject to a public hearing process as a zoning map amendment.
2. All other conditions of approval for Zoning Map Amendment and Planned Area Development Overlay for THE HAYDEN AT DORESEY STATION (PL140078) as approved by City Council on October 2, 2014, except condition #1 stated above, will remain in full force and effect.

HISTORY & FACTS:

- December 20, 1974 City Council approved the Development Plan for VAGABOND MOTOR HOTEL, located at 1221 East Apache Boulevard.
- July 21, 1983 Design Review Board approved building elevations, site plan, and landscape plan for SPENCE VILLA APARTMENTS, in the R-3 multi-family district.
- August 26, 1983 City Council approved a rezoning from C-2 and R1-6 to R-3 for C & F PROPERTIES for 1.85 acres, and approved a Site Plan for Spence Villa Apartments consisting of 78 units on 3.67 acres, and variances to reduce the require RV spaces from 16 to 0, increase compact spaces from 30 to 42 spaces, and decrease guest parking from 16 to 15 spaces.
- August 6, 2014 Neighborhood meeting conducted by the applicant for this request. Meeting was held at the Apache Police Substation at 5:30 pm.
- August 25, 2014 Development Review Commission hearing for this request.
- September 11, 2014 City Council introduction and first public hearing for this request.
- October 2, 2014 City Council second and final public hearing for this request.

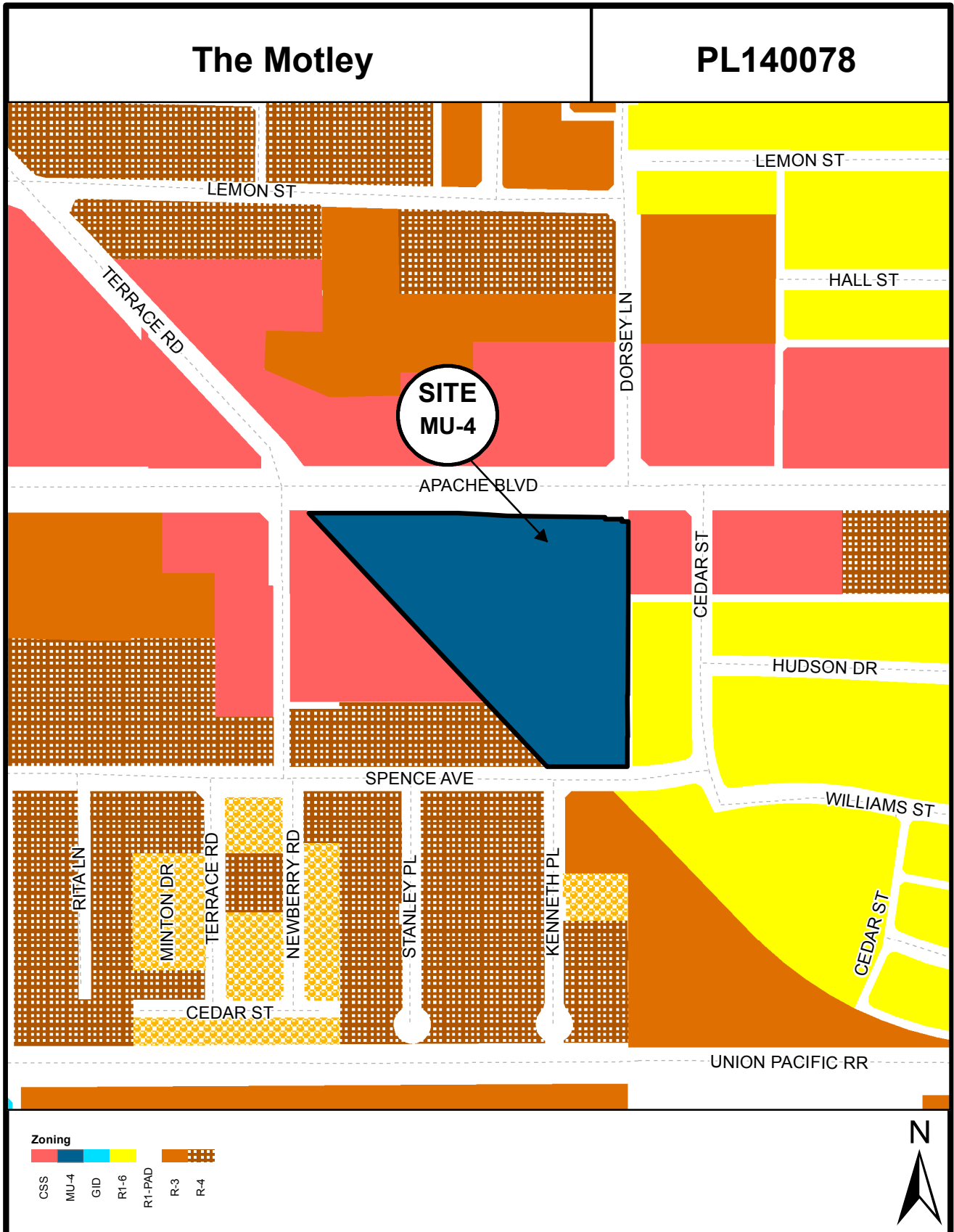


DEVELOPMENT PROJECT FILE

for
THE MOTLEY
(PL150521)

ATTACHMENTS:

1. Location Map
2. Aerial Photo
3. Letter of Explanation
4. Proposed Cover Sheet for 1st Amended PAD Overlay for The Hayden at Dorsey Station
5. Proposed Site Plan for 1st Amended PAD Overlay for The Hayden at Dorsey Station
6. Enlarged Floor Plan
- 7-10. Overall Floor Plans



Location Map

The Motley

PL140078



Aerial Map

SUMMARY

On October 2, 2014, Lennar Multifamily Communities received approval from the City Council for a Zoning Map Amendment and Planned Area Development Overlay to allow for The Motley (formerly The Hayden at Dorsey Station) a mixed-use project consisting of 395 residential units and commercial space. (The Development Plan Review was approved by the Development Review Commission on August 25, 2014)

As the Lennar team developed construction documents for building permits a potential building code issue was uncovered with the configuration of two-bedroom units located near an elevator core. The same issues occur in the same way on all four residential levels (thus, the issue occurs four times). Lennar attempted to solve this issue a number of ways, but ultimately concluded that the best way to reconfigure the elevator core area was to break each two-bedroom unit into two one-bedroom units. This change resulted in the addition of 4 units, bringing the total number from 395 to 399. **It should be noted that addition of four units to the total building unit count will not add any bedrooms to the project.** Given that the bedroom count of the project is not altered by this request, it appears the changes are minor. However, because splitting the same bedroom technically add units (into the same amount of space), Lennar is required to go back through the PAD process due to recent revisions to the Tempe ZDC. Revised Section 6-312(c) that requires that any increase in the approved number of units go through the major modification process.

Lennar is requesting the approval of the increase in dwelling units from 395 to 399 to allow for 4 two-bedroom units to be reconfigured into 8 one-bedroom units to accommodate design challenges that arose during the building plan process.

AMENDED PLANNED AREA DEVELOPMENT OVERLAY FOR THE HAYDEN AT DORSEY STATION

A PORTION OF THE NORTH HALF OF THE SOUTHWEST QUARTER, SECTION 23, TOWNSHIP 01 NORTH, RANGE 04 EAST, GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA

ACKNOWLEDGEMENT

ON THIS _____ DAY OF _____, 201_____, BEFORE ME, THE UNDERSIGNED, PERSONALLY APPEARED _____, OWNER, WHO ACKNOWLEDGED HIMSELF TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE INSTRUMENT WITHIN, AND WHO EXECUTED THE FOREGOING INSTRUMENT FOR THE PURPOSES THEREIN CONTAINED.

IN WITNESS WHEREOF, I HEREBY SET MY HAND AND OFFICIAL SEAL.

BY: _____ NOTARY PUBLIC MY COMMISSION EXPIRES _____

LMC APACHE TERRACE HOLDINGS, LLC, A DELAWARE LIMITED LIABILITY COMPANY:

BY: LENNAR MF HOLDINGS, LLC, A DELAWARE LIMITED LIABILITY COMPANY, ITS SOLE MEMBER:

BY: LENNAR MULTIFAMILY COMMUNITIES, LLC, A DELAWARE LIMITED LIABILITY COMPANY, ITS SOLE MEMBER:

BY: _____ REPRESENTATIVE VICE PRESIDENT DATE _____

LEGAL DESCRIPTION

A portion of land located in the Southwest quarter of Section 23, Township 1 North, Range 4 East of the Gila and Salt River Base and Meridian, Maricopa County, Arizona, more particularly described as follows: COMMENCING at the Northeast corner of the Southwest quarter of said Section 23;

thence South 89 degrees 30 minutes 44 seconds West, along the North line of said Southwest quarter, a distance of 340.00 feet to a point which bears North 89 degrees 30 minutes 44 seconds East from an iron pin in hand hole on the North line of said Southwest quarter and the centerline of Terrace Road, a distance of 500.37 feet;

thence South 0 degrees 28 minutes 17 seconds East parallel to the East line of said Southwest quarter, a distance of 50.00 feet to a point on the South right of way line of Apache Blvd. and the TRUE POINT OF BEGINNING;

thence South 89 degrees 30 minutes 44 seconds West along the aforementioned right of way line, a distance of 436.35 feet to a point on the Northeast corner of Lot 18, of JEN TILLY TERRACE, according to the plat of record in the office of the County Recorder of Maricopa County, Arizona, recorded in Book 28 of Maps Page 40;

thence South 43 degrees 32 minutes 02 seconds East along the Northeastly line of said Lot 18, which line is also the Southwestly right of way line of the Phoenix and Eastern Railroad as shown on the map of JEN TILLY TERRACE, a distance of 836.55 feet to a point on the North right of way line of Spence Avenue, said point being the Southeast corner of Lot 9, of ATTERBERY TRACT, according to the plat of record in the office of the County Recorder of Maricopa County, Arizona, recorded in Book 56 of Maps, Page 19;

thence North 89 degrees 32 minutes 12 seconds East along the North right of way line of Spence Avenue, a distance of 205.08 feet to a point on the East line of the Southwest quarter of said Section 23;

thence North 0 degrees 28 minutes 17 seconds West along the East line of the Southwest quarter of said Section 23, a distance of 169.54 feet to the Northwest corner of that parcel described in Docket 13501, Page 751, records of Maricopa County, Arizona;

thence South 89 degrees 32 minutes 12 seconds West along the North line of said parcel and parallel with the North right of way line of Spence Avenue, a distance of 226.66 feet to a point on the Northeastly right of way line of the Phoenix and Eastern Railroad as shown in Book 28 of Maps, Page 40, records of Maricopa County, Arizona;

thence North 43 degrees 32 minutes 02 seconds West parallel to and 100.00 feet Northeastly of the Northeastly line of Lot 18, of JEN TILLY TERRACE, according to the plat of record in the office of the County Recorder of Maricopa County, Arizona, recorded in Book 28 of maps, Page 40, a distance of 166.00 feet;

thence North 0 degrees 28 minutes 17 seconds West parallel to the East line of said Southwest quarter and along the East line of that parcel described in Docket 11527, Page 163, records of Maricopa County, Arizona, a distance of 320.56 feet to the TRUE POINT OF BEGINNING;

EXCEPT COMMENCING at the Northeast corner of the Southwest quarter of said Section 23;

thence South 00 degrees 28 minutes 17 seconds East along the East line of said Southwest quarter, a distance of 491.97 feet to the TRUE POINT OF BEGINNING;

thence continuing South 00 degrees 28 minutes 17 seconds East, a distance of 169.54 feet to a point on the North right of way line of Spence Avenue;

thence North 89 degrees 32 minutes 12 seconds West along the aforementioned right of way line, a distance of 2.00 feet;

thence North 00 degrees 28 minutes 17 seconds West parallel to and 2.00 feet West of the East line of said Southwest quarter, a distance of 169.54 feet;

thence North 89 degrees 32 minutes 12 seconds East, a distance of 2.00 feet to the TRUE POINT OF BEGINNING, as Quilt Claimed to the City of Tempe in 84-464943, of Official Records thru 84-464945, of Official Records, records of Maricopa County, Arizona; and

EXCEPT a strip of land 5.00 feet in width located in the Southwest quarter of Section 23, Township 1 North, Range 4 East of the Gila and Salt River base and Meridian, Maricopa County, Arizona, more particularly described as follows: COMMENCING at the Northeast corner of the Southwest quarter of said Section 23;

thence South 89 degrees 30 minutes 44 seconds West along the North line of the Southwest quarter, a distance of 340.00 feet to a point which bears North 89 degrees 30 minutes 44 seconds East from an iron pin in the _____ on the North line of said Southwest quarter being the centerline of Terrace Road (to the South), a distance of 500.37 feet;

thence South 00 degrees 28 minutes 17 seconds East parallel to the East line of said Southwest quarter, a distance of 50.00 feet to a point on the South right of way line of Apache Boulevard and the TRUE POINT OF BEGINNING;

thence South 89 degrees 30 minutes 44 seconds West parallel to and 50.00 feet South of the North line of said Southwest quarter, a distance of 436.35 feet to a point on the Northeast corner of Lot 18, of JEN TILLY TERRACE, according to the plat of record in the office of the County Recorder of Maricopa County, Arizona, recorded in Book 28 of Maps, Page 40;

thence South 43 degrees 32 minutes 02 seconds East along the Northeastly line of said Lot 18 to an intersection with a line parallel to and 55.00 feet South of the North line of said Southwest quarter;

thence North 89 degrees 30 minutes 44 seconds East parallel to and 55.00 feet South of the North line of said Southwest quarter, a distance of 431.68 feet from which the POINT OF BEGINNING bears North 00 degrees 28 minutes 17 seconds West, 5.00 feet;

thence North 00 degrees 28 minutes 17 seconds West, a distance of 5.00 feet to the POINT OF BEGINNING, as Quilt Claimed to the City of Tempe in 83-463051, of Official Records thru 83-463053, Official Records, records of Maricopa County, Arizona.

APPROVAL

ORIGINAL PAD OVERLAY APPROVED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF TEMPE ON THIS 2ND DAY OF OCTOBER, 2014.

DS140208

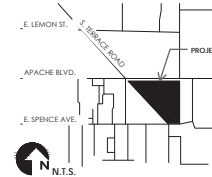
OWNER / DEVELOPER

LMC APACHE TERRACE HOLDINGS, LLC
7150 EAST CAMELBACK ROAD, SUITE 425
SCOTTSDALE, ARIZONA 85250
480.718.1381

PROJECT DATA

ZONING DISTRICT(S) AND OVERLAY(S) TABLE 4-203B	APPROVED PAD 14010	PROPOSED PAD
GENERAL PLAN LAND	MIXED USE	MIXED USE
GENERAL PLAN DENSITY USE	UP TO 65 DU/AC	UP TO 65 DU/AC
SITE AREA	292,021 S.F. (6.70 ACRES)	292,021 S.F. (6.70 ACRES)
DWELLING QUANTITY	395 DU	399 DU
DENSITY	59.0 DU/AC	59.5 DU/AC
Dwelling quantity/gross site area	395 DU / 6.70 ACRES	399 DU / 6.70 ACRES
BUILDING HEIGHT	65' / 5 LEVELS, 70' FOR ARCHITECTURAL CORNICE AND NORTHEAST CORNER OF BUILDING	65' / 5 LEVELS, 70' FOR ARCHITECTURAL CORNICE AND NORTHEAST CORNER OF BUILDING
BUILDING STEPCBACK	YES, SHEET A1.1-DETAIL 2.	YES, SHEET A1.1-DETAIL 2.
BUILDING LOT COVERAGE	52% (152,220 SF/292,021 SF)	53% (155,744 SF/292,021 SF)
SITE LANDSCAPE COVERAGE	10% (30,112 SF/292,021 SF)	10% (30,112 SF/292,021 SF)
BUILDING SEIBACKS		
FRONT (APACHE BLVD.) / PARKING	BLDG: 0', 20' MX, PRKG: 5'-0"	BLDG: 0', 20' MX, PRKG: 5'-0"
SIDE (EAST PROPERTY LINE)	BLDG: 20'-0", PRKG: 5'-0"	BLDG: 20'-0", PRKG: 5'-0"
SIDE (WEST PROPERTY LINE)	BLDG: 0'-0", PRKG: 5'-0"	BLDG: 0'-0", PRKG: 5'-0"
REAR (SPENCE AVE.)	BLDG: 0'-0", PRKG: 5'-0"	BLDG: 0'-0", PRKG: 5'-0"
VEHICLE PARKING QUANTITY		
COMMERCIAL PARKING: RETAIL, RESTAURANT, BAR, ETC.: 1,000 S.F. PARKING WANTED FOR 50% OF FLOOR AREA, NOT TO EXCEED 30,000 S.F. OF FLOOR AREA.	RETAIL SURFACE: 14 P.S. RES. SURFACE: 179 P.S. GARAGE: 412 P.S. GRAND TOTAL = 607 P.S.	RETAIL SURFACE: 33 P.S. RES. SURFACE: 163 P.S. GARAGE: 386 P.S. GRAND TOTAL = 582 P.S.
RESIDENTIAL PARKING: RESIDENTIAL PARKING RATIO = 0.7 OF BR + 0.75 OF D.U. RATIO PER T.O.D.U. / GUEST PARKING = 4 OF D.U. x 0.2 P.S.		
BICYCLE PARKING QUANTITY		
RETAIL: (1 B.P.S./7,500 S.F. = 4 SPACES MIN.)	RETAIL: 15 P.S. RESIDENTIAL: 235 P.S. GRAND TOTAL = 250 P.S.	RETAIL: 15 P.S. RESIDENTIAL: 235 P.S. GRAND TOTAL = 250 P.S.
RESIDENTIAL: STUDIO = .75 SPACES PER UNIT 1 BEDROOM = .75 SPACES PER UNIT 2 BEDROOM = .75 SPACES PER UNIT 3 BEDROOM = 1.00 SPACES PER UNIT GUEST = .20 SPACES PER UNIT		
USES	RETAIL: 16,616 S.F. PARKING: 142,262 S.F. RESIDENTIAL: 452,660 S.F.	RETAIL: 16,616 S.F. PARKING: 142,262 S.F. RESIDENTIAL: 466,640 S.F.

SITE /VICINITY MAP



CONDITIONS OF APPROVAL: PAD14010

- A building permit application shall be made on or before October 2, 2016, or the zoning of the property may revert to that in place at the time of application. Any revision is subject to a public hearing process as a zoning map amendment.
- The property owner(s) shall sign a waiver of rights and remedies form. By signing the form, the Owner(s) voluntarily waive(s) any right to claim compensation for diminution of Property value under A.R.S. 12-1134 that may now or in the future exist, as a result of the City's approval of this Application, including any conditions, stipulations and/or modifications imposed as a condition of approval. The signed form shall be submitted to the Community Development Department no later than November 1, 2014 or the Zoning Map Amendment and Planned Area Development Overlay approval shall be null and void.
- The Planned Area Development Overlay shall be put into proper engineered format with appropriate signature blanks and kept on file with the City of Tempe's Community Development Department prior to issuance of building permits.
- The maximum building height shall be sixty-five (65) feet, measured from midpoint top of sidewalk curb. This will exclude the architectural cornice detail, extending no more than one hundred feet from the northeast corner of the building, which shall be a maximum height of seventy (70) feet.
- The minimum vehicle parking for the site shall calculate all parking requirements for commercial use (retail, restaurant, bar, etc.) at a ratio of one vehicle per three hundred square feet of area (1/300 S.F.). All residential tenant and commercial tenant parking spaces shall be designated within the secured parking area. The 17 unsecured spaces, located at the western entrance from Apache Boulevard, shall remain available for temporary visitor/customer parking. Spaces shall be signed accordingly.
- The developer must receive approval of the final Traffic Impact Study from the Traffic Engineering prior to issuance of a building permit.
- The building shall be "solar-ready". Construction documents for permitting shall identify rooftop area(s) dedicated for future PV solar panels and install the dedicated electrical conduit pathway (two 2" diameter conduits) to the appropriate SES room to service the panels. A structural engineer shall account for 3 pounds per square foot of load for future PV solar panels at the identified rooftop area.
- The building shall incorporate art in the approximately 100 ft. section of ground floor building facade just east of the bike room. The art shall be facing Apache and clearly visible to the public. The artwork shall be a minimum of \$60,000. This budget will cover the artist fees, materials and installation.
- The building shall be constructed in a manner to maximize the opportunity to expand street-side retail. In order to accommodate this, all or a portion of the 100 ft. section east of the bike room/streetfront area along Apache Boulevard shall be designed in a way to allow for the potential conversion to retail space in the future. The building design and construction shall include the placement of utilities (water, sewer, electrical) located near the 100-foot area so that connection to these utilities can be made without major installation of new lines. Additionally, while some mechanical/electrical equipment may need to be installed in this area, the developer should limit the amount of this equipment, as is practical, and locate it near the west side of the area.
- The developer shall install ten (or more) level-one electric car-charging stations that operate at 220V.
- Balconies on the 4th and 5th floors that are across from the single-family homes on the east side of the building shall be removed. Planning Staff shall approve the design of the building after the removal prior to submitting for building permits. In lieu of removing the balconies, louvers may be installed on these same 4th and 5th floor balcony railings (up to approximately 5 ft. from the balcony floor) that will limit the view to the backyards of the adjacent homeowners.

GENERAL NOTES

- IN PARKING STRUCTURES, 2'-0" ADDITIONAL SEPARATION SHALL BE PROVIDED WHEN ADJACENT TO A WALL TO ACCOMMODATE VEHICLE EXITS.
- COLUMNS AND CEILINGS OF A PARKING PODIUM TO BE PAINTED WHITE EXTERIOR.
- SECURITY PLAN REQUIRED. PROVIDE CCTV IN ALL ELEVATORS AS REQUIRED BY DEPARTMENT. PROVIDE ACCESS TO ANY GATE CODES AND IN-BOX BOX CONTROLS.
- EXISTING SEWER MAINS TO BE REPLACED WITH 7" THICK CONCRETE PER 1.300.
- CROSS ACCESS AGREEMENT REQUIRED AT ENTRY. ALL DRIVeways TO BE PER CITY OF TEMPE DESIGN 1.320.
- IDC LOCATION ARE PRELIMINARY. THE ACTUAL LOCATION OF THE IDC WILL BE SHOWN ON THE APPROVED SPROKELER PLANS.
- ADDITIONAL TRAFFIC SIGNAL POLE AND MAST ARM WILL NEED TO BE INSTALLED ON THE CORNER OF DORSEY AND APACHE.
- EMERGENCY ACCESS ONTO SPENCE AVE WILL NEED LOCKBOX PER FIRE DEPARTMENT STANDARDS. WITH TO BE 24 HOUR ACCESS TO THE CITY OF TEMPE.
- RF COMMUNICATIONS: WE WILL NEED TO COMPLY WITH ARTICLE 1 OF THE CITY OF TEMPE COMMUNICATIONS CODE.
- www.tempe.gov/Modules/ShowDocuments.aspx?documentid=884. A NOTICE OF CODE COMPLIANCE FOR PUBLIC SAFETY RISK AMPLIFICATION SYSTEM - www.tempe.gov/index.aspx?page=949 AND www.tempe.gov/Modules/ShowDocuments.aspx?documentid=2835 WILL NEED TO BE SENT TO THE DEVELOPER.
- ALL CORRIDORS ARE OPEN AND ALL RAILING IS 48" HIGH MINIMUM.

REC14024

PROJECT

OWNER

SEAL

CONTACT

PAD14010

DATA

DS140208

NO. 13-2067-02

The Hayden
at Dorsey
Station

1221 E. Apache Blvd
Tempe, Arizona

LENNAR

MULTIFAMILY COMMUNITIES
7150 East Camelback Road #425
Phoenix, Arizona 85251
480-718-1381 (p)



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Landscape Architecture

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1-04-2016

Proj Mgr. BAF
Dwn By: BAF

Rev. Date: Descrptor:



PAD/DPR COVER

A0.0

AMENDED PLANNED AREA DEVELOPMENT OVERLAY FOR THE HAYDEN AT DORSEY STATION

- SYMBOLS**
- ACCESSIBLE PARKING SPACE
 - FIRE TRUCK TURNING RADIUS - INSIDE TURNING RADIUS 35'-0", OUTSIDE TURNING RADIUS 55'-0"
 - PRIVATE ACCESSIBLE ROUTE WITH MIN. CLEAR WIDTH OF 3'-6". MAX. SLOPE OF 5% AND MAX. CROSS SLOPE OF 2%
 - FIRE HYDRANT LOCATIONS
 - FIRE LANE SIGNAGE
 - ACCESSIBLE PARKING SIGN
 - BUILDING SIGNAGE LOCATION
 - TRANSFORMER

2 STEPBACK REQUIREMENT ALONG EAST PL.
T = 40'-0"

PROJECT DATA

ZONING DISTRICT(S) AND OVERLAY(S) TABLE 4-203B	MU-4	MU-4 (TOD)	APPROVED PAD 14010	PROPOSED PAD
GENERAL PLAN LAND USE			MIXED-USE UP TO 65 DU/AC	MIXED-USE UP TO 65 DU/AC
GENERAL PLAN DENSITY USE				
SITE AREA			292,021 S.F. (6.70 ACRES)	292,021 S.F. (6.70 ACRES)
DWELLING QUANTITY			395 DU	399 DU
DENSITY	NS	NS	59.0 DU/AC	59.5 DU/AC
Dwelling quantity/gross site area			395 DU / 6.70 ACRES	399 DU / 6.70 ACRES
BUILDING HEIGHT	NS	NS	65' / 5 LEVELS, 70' FOR ARCHITECTURAL CORNICE AND NORTHEAST CORNER OF BUILDING	65' / 5 LEVELS, 70' FOR ARCHITECTURAL CORNICE AND NORTHEAST CORNER OF BUILDING
BUILDING STEPBACK	YES	YES	YES. DETAIL 2.	YES. DETAIL 2.
BUILDING LOT COVERAGE	NS	NS	52% (152,220 SF/292,021 SF)	53% (155,764 SF/292,021 SF)
SITE LANDSCAPE COVERAGE	NS	NS	10% (30,112 SF/292,021 SF)	10% (30,112 SF/292,021 SF)
BUILDING SETBACKS				
FRONT (APACHE BLVD) / PARKING	NS/20'	20' MX	BLDG: 0'-0", PRKG: 5'-0"	BLDG: 0'-0", 20' MX, PRKG: 5'-0"
SIDE (EAST PROPERTY LINE)	NS	20' MX	BLDG: 20'-0", PRKG: 5'-0"	BLDG: 20'-0", PRKG: 5'-0"
SIDE (WEST PROPERTY LINE)	NS	20' MX	BLDG: 0'-0", PRKG: 5'-0"	BLDG: 0'-0", PRKG: 5'-0"
REAR (SPENCE AVE)	NS	20' MX	BLDG: 0'-0", PRKG: 5'-0"	BLDG: 0'-0", PRKG: 5'-0"
VEHICLE PARKING QUANTITY				
COMMERCIAL PARKING: (RETAIL, RESTAURANT, BARI) PARKING: 1200 S.F. PARKING SPACES FOR 50% OF FLOOR AREA, NOT TO EXCEED 30,000 S.F. OF FLOOR AREA			RETAIL SURFACE: 16 P.S. RES. SURFACE: 179 P.S. GARAGE: 412 P.S. GRAND TOTAL = 607 P.S.	RETAIL SURFACE: 33 P.S. RES. SURFACE: 163 P.S. GARAGE: 386 P.S. GRAND TOTAL = 582 P.S.
RESIDENTIAL PARKING: RESIDENTIAL PARKING RATIO # OF BR / 0.75 P.S. RATIO PER T.O.D. / GUEST PARKING + # OF D.U. 1.0 P.S.				
BICYCLE PARKING QUANTITY			RETAIL: 15 P.S. RESIDENTIAL: 235 P.S. GRAND TOTAL = 250 P.S.	RETAIL: 15 P.S. RESIDENTIAL: 235 P.S. GRAND TOTAL = 250 P.S.
RESIDENTIAL: STUDIO = 75 SPACES PER UNIT 1 BEDROOM = 75 SPACES PER UNIT 2 BEDROOM = 75 SPACES PER UNIT 3 BEDROOM = 120 SPACES PER UNIT GUEST = 20 SPACES PER UNIT				
USES			RETAIL: 16,616 S.F. PARKING: 142,262 S.F. RESIDENTIAL: 452,660 S.F.	RETAIL: 16,616 S.F. PARKING: 142,262 S.F. RESIDENTIAL: 466,640 S.F.

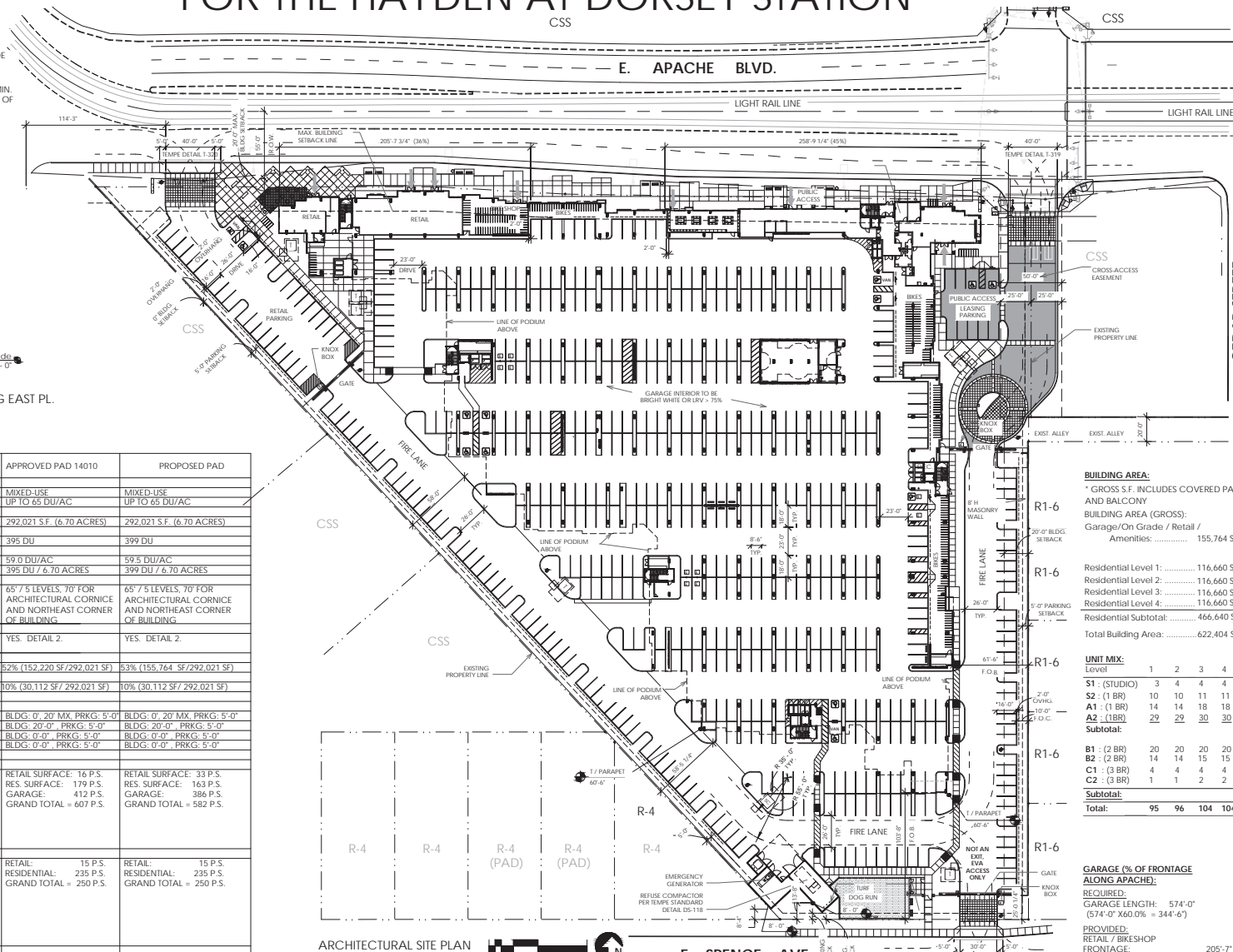
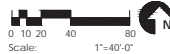
DS140208

PAD14010

REC14024

HUDSON PARK

ARCHITECTURAL SITE PLAN
1" = 40'-0"



BUILDING AREA:
* GROSS S.F. INCLUDES COVERED PATIO AND BALCONY
BUILDING AREA (GROSS):
Garage/On Grade / Retail / Amenities: 155,764 SF

Residential Level 1: 116,640 SF
Residential Level 2: 116,640 SF
Residential Level 3: 116,640 SF
Residential Level 4: 116,640 SF
Residential Subtotal: 466,640 SF
Total Building Area: 622,404 SF

UNIT MIX:

Level	1	2	3	4	Total
S1 : (STUDIO)	3	4	4	4	15 (04%)
S2 : (1 BR)	10	10	11	11	42 (11%)
A1 : (1 BR)	14	14	18	18	64 (16%)
A2 : (3 BR)	29	29	30	30	118 (29%)
Subtotal:					231 (60%)
B1 : (2 BR)	20	20	20	20	80 (20%)
B2 : (2 BR)	14	14	15	15	58 (14%)
C1 : (3 BR)	4	4	4	4	16 (04%)
C2 : (3 BR)	1	2	2	2	6 (02%)
Subtotal:					164 (40%)
Total:	95	96	104	104	399 (100%)

GARAGE (% OF FRONTAGE ALONG APACHE):
REQUIRED:
GARAGE LENGTH: 574'-0"
(574'-0" x 60.0% = 344'-6")

PROVIDED:
RETAIL / BIKESHOP FRONTAGE: 205'-7" (36%)
MAIL/BUSINESS/LEASING: 258'-9" (45%)
GRAND TOTAL: 465'-4" (81%)

PROJECT: REC14024
OWNER: LENNAR
SEAL: [Professional Seal]
CONTACT: TODD & ASSOCIATES, INC.
DATA: PAD14010
DS140208

NO. 13-2067-01
The Hayden at Dorsey Station
1221 E. Apache Blvd
Tempe, Arizona

LENNAR
MULTIFAMILY CORPORATE
7150 East Camelback Road #425
Phoenix, Arizona 85251
480-718-1381 (p)

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10-2-2014

Prj Mgr: Author
Dwn By: Author

- Rev. Date: Description
- △
 - △
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ARCHITECTURAL
SITE PLAN

A1.1

THE MOTLEY
1221 E APACHE BLVD
TEMPE, ARIZONA

LENNAR
7150 EAST CAMELBACK ROAD #320
PHOENIX, ARIZONA 85251
480-718-1381 p

SEAL
SCHEMATIC NOT FOR CONSTRUCTION OR RECORDING

CONTACT
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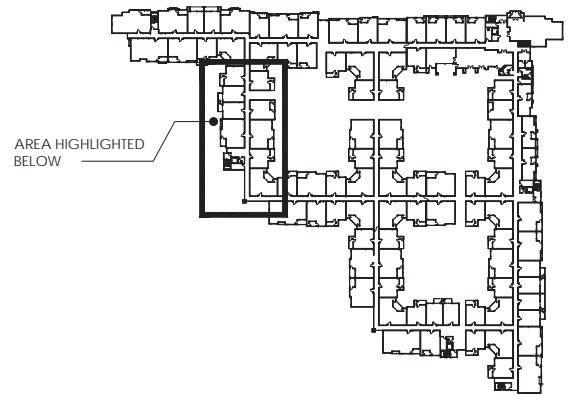
DATA
DATE 09/22/15
NOTICE OF ALTERNATIVE BILLING CYCLE
This Agreement allows the Owner to require the submission of billings or estimates in billing cycles other than thirty (30) days. Billings or estimates for this Agreement shall be submitted as follows. The period covered by each Application for Payment shall be one calendar month.
NOTICE OF EXTENDED CERTIFICATION AND APPROVAL PERIOD PROVISION
This Agreement allows the Owner to certify and approve billings and estimates for progress payments within 20 days after the billings and estimates are received from Contractor, for release of retention within 20 days after the billings and estimates are received from Contractor and for final payment within 20 days after the billings and estimates are received from Contractor.
NOTICE OF EXTENDED PAYMENT PROVISION
This Agreement allows the Owner to make payment within 14 days after certification and approval of billings and estimates for progress payments, within 14 days after certification and approval of billings and estimates for release of retention and within 14 days after certification and approval of billings and estimates for final payment.
NOTICE OF ALTERNATIVE ARRANGEMENTS
This Agreement allows the Owner to make alternative arrangements for the occurrence of Substantial Completion and Final Completion. The definition of Substantial Completion and Final Completion are located on sheet No. C1 0018 and 21 of these plans.

Proj Mgr: BAF
Dwn By: BAF
Rev. Date: Description:
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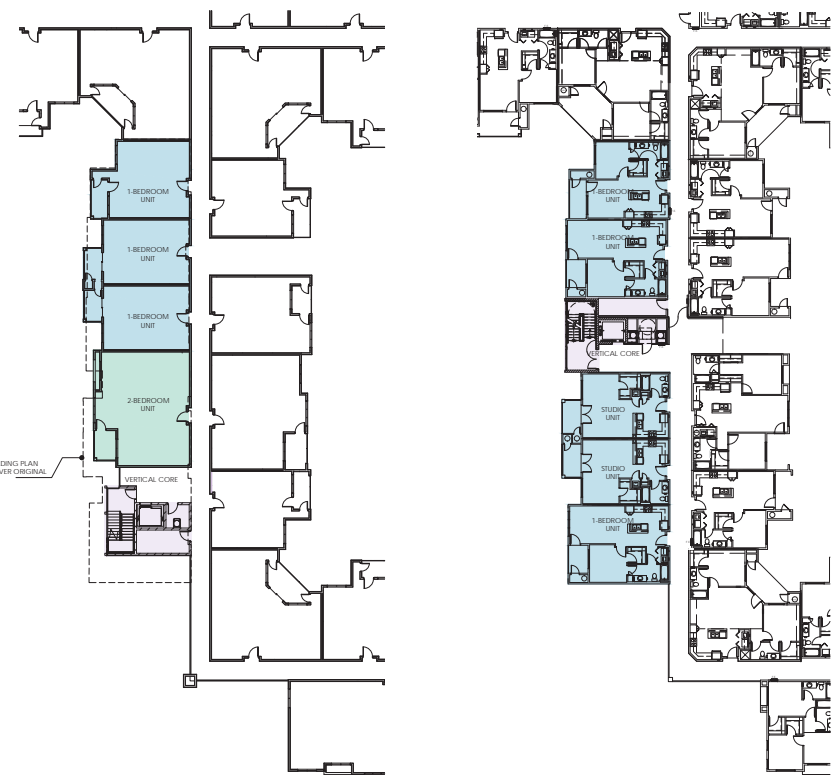
PAD MODIFICATION

SECOND FLOOR PLAN

EXH-1



OVERALL BUILDING PLAN
PODIUM LEVEL SCALE: 1/8" = 1'-0"



PRELIMINARY BUILDING PLAN
ORIGINAL SCHEMATIC PLAN SCALE: 1/16" = 1'-0"

FINAL BUILDING PLAN
CONSTRUCTION DOCUMENT PLAN SCALE: 1/16" = 1'-0"



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DATE
05/15/15

NOTICE OF ALTERNATIVE BILLING CYCLE
This Agreement allows the Owner to require the submission of billings or estimates in billing cycles other than thirty (30) days. Billings or estimates for this Agreement shall be submitted as follows. The period covered by each Application for Payment shall be one calendar month.

NOTICE OF EXTENDED CERTIFICATION AND APPROVAL PERIOD PROVISION
This Agreement allows the Owner to certify and approve billings and estimates for progress payments within 20 days after the billings and estimates are received from Contractor. For release of retention within 20 days after the billings and estimates are received from Contractor and for final payment within 20 days after the billings and estimates are received from Contractor.

NOTICE OF EXTENDED PAYMENT PROVISION
This Agreement allows the Owner to make payment within 14 days after certification and approval of billings and estimates for progress payments, within 14 days after certification and approval of billings and estimates for release of retention and within 14 days after certification and approval of billings and estimates for final payment.

NOTICE OF ALTERNATIVE ARRANGEMENTS
This Agreement allows the Owner to make alternative arrangements for the occurrence of Substantial Completion and Final Completion. The submission of Substantial Completion and Final Completion and their completion are not to be construed as a release of the Contractor's obligations under this Agreement.

Proj Mgt: BAF
Dwn By: BAF
Rev. Date: Description:
07/20/15 10 CITY COMMENTS

CONSTRUCTION SET

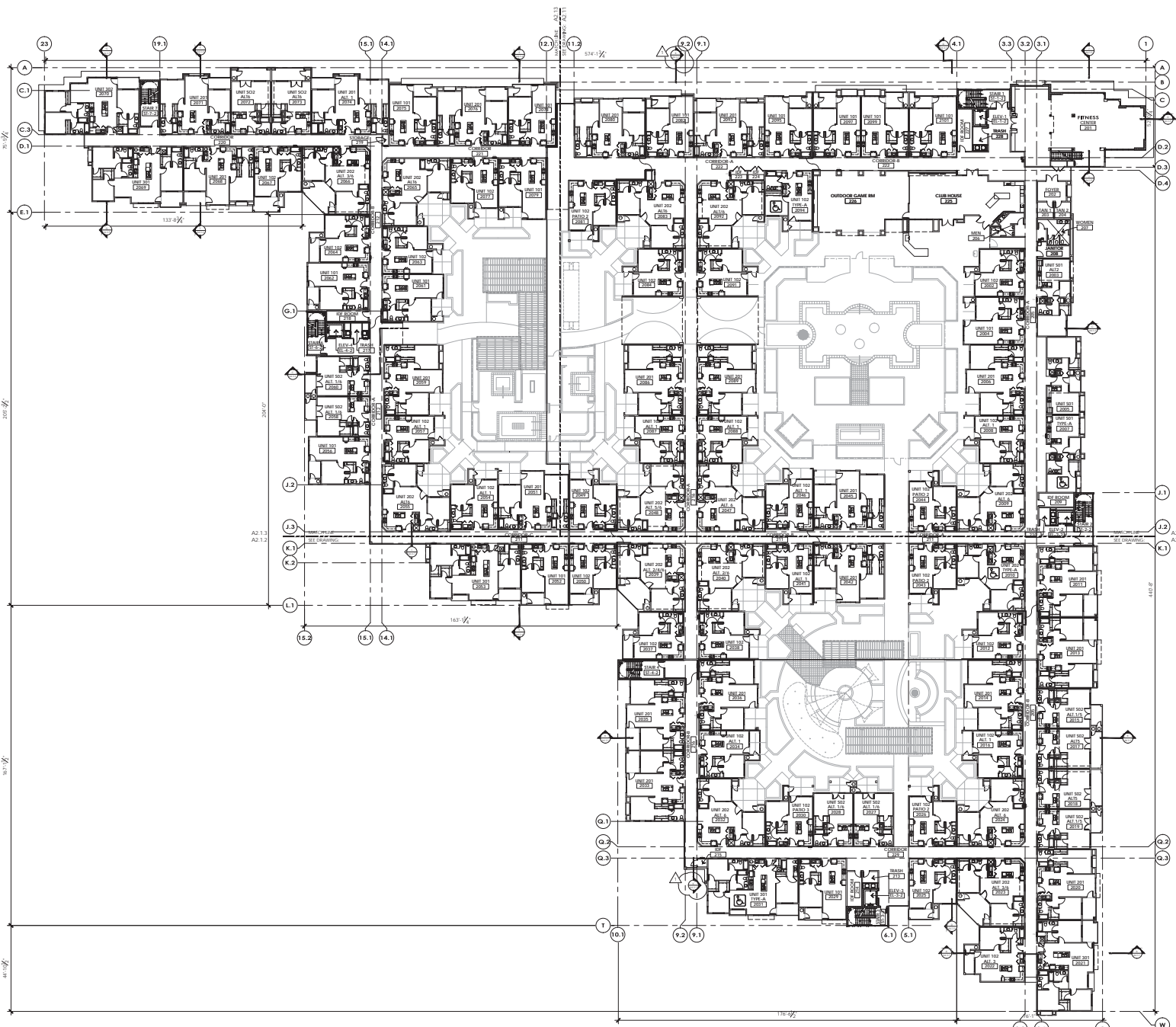
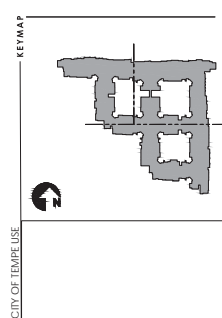
FIRST FLOOR PLAN

A2.1.0

- KEYNOTES
1. ALL KEYNOTES MAY NOT BE USED
 2. LOAD METERS: SEE SEE PLAN FOR FINAL LOCATION
 3. POWER METERS: SEE SEE PLAN FOR FINAL LOCATION
 4. FIRE SPRINKLER RISER
 5. FDC CONNECTION FOR SPRINKLER SYSTEM
 6. PRE-CAST CONCRETE TRUSS ROOF TO STEEL CHANNEL STRONGS: SEE ENLARGED PLANS AT 11. SEE ENLARGING SCHEDULE
 7. ORNAMENTAL SILING: SEE EXTERIOR ELEVATIONS & SILING SCHEDULE
 8. ROOF OVERHANG ABOVE
 9. ROOF BELOW
 10. FLOOR DRAIN
 11. 2" x 4" ATIC SCUTILE INTO ATIC SPACE HEAD ROOM MUST BE GREATER THAN 30" ABOVE THE SCUTILE. SEE DETAIL 11A3.4.1.

- GENERAL NOTES
1. DIMENSIONS ARE TO FACE OF FRAMING UNLESS NOTED OTHERWISE
 2. REFER TO ENLARGED PLANS FOR ALL DIMENSIONS AND NOTES
 3. REFER TO ENLARGED PLANS FOR ALL INTERIOR WALL/FARTITION TYPES
 4. CIVIL PLAN COVERING FINAL LOCATIONS OF ALL METERS, FIRE PERMITS, AND HANGERS/NOYD SPANS
 5. REFER TO DRAWINGS A2.1 THRU A2.4 FOR FIRE RATINGS & CODE INFORMATION
 6. PROVIDE W/P CEILING BOARD TO KNOCK DOWN TEXTURE @ EXTERIOR BREAKWAY AND BALCONIES
 7. LIGHT FIXTURES ARE FOR REFERENCE ONLY. REFER TO ELECTRICAL FOR TYPE AND LOCATION OF FIXTURES. LOCATIONS WITH ELECTRICAL, MECHANICAL, AND FIRE SPRINKLER DESIGN FOR TYPE AND LOCATION OF FIXTURES
 8. SPECIAL INSPECTIONS TO BE PROVIDED FOR THE FOLLOWING:
 - a. SPRAYED ON CEILING/ROOF WATERPROOFING
 - b. SUBMERGIBLE FIRE RESISTIVE COATINGS
- SPECIAL INSPECTION IS TO BE PROVIDED IN ADDITION TO THE INSPECTIONS CONDUCTED BY THE BUILDING SAFETY DIVISION AND SHALL NOT BE CONSIDERED TO RELIEVE THE OWNER OR THEIR REPRESENTATIVE FROM HOLDING THE PERIODIC AND CALLED INSPECTIONS REQUIRED BY SECTION 106.5 OF THE 2010 INTERNATIONAL BUILDING CODE.

- SYMBOLS
- WALL/FARTITION/ASSEMBLY TYPE INDICATOR: REFER TO ARCHITECTURAL FINISHED PLANS
 - ACCESSIBLE RESIDENTIAL UNIT
 - 2" FIRE RISEWALL SEE A2.1.1
 - 1" FIRE BARRIER
 - 1" FIRE BARRIER AT WINDOW SPANS
 - 1" FIRE BARRIER WALL
 - DOOR TYPE: REFER TO DRAWING A2.1.1
 - WINDOW TYPE: REFER TO DWG A2.1.1
 - DEEP FINISHING LEVEL: REFER TO GRADING AND DRAINAGE FOR MORE INFORMATION
 - FLOOR SLOPE INDICATOR
 - STUCCO FINISHED EXTERIOR CORRIDOR WALLS



OVERALL FIRST FLOOR PLAN

ATTACHMENT 7

SCALE: 1/8"=1'-0"



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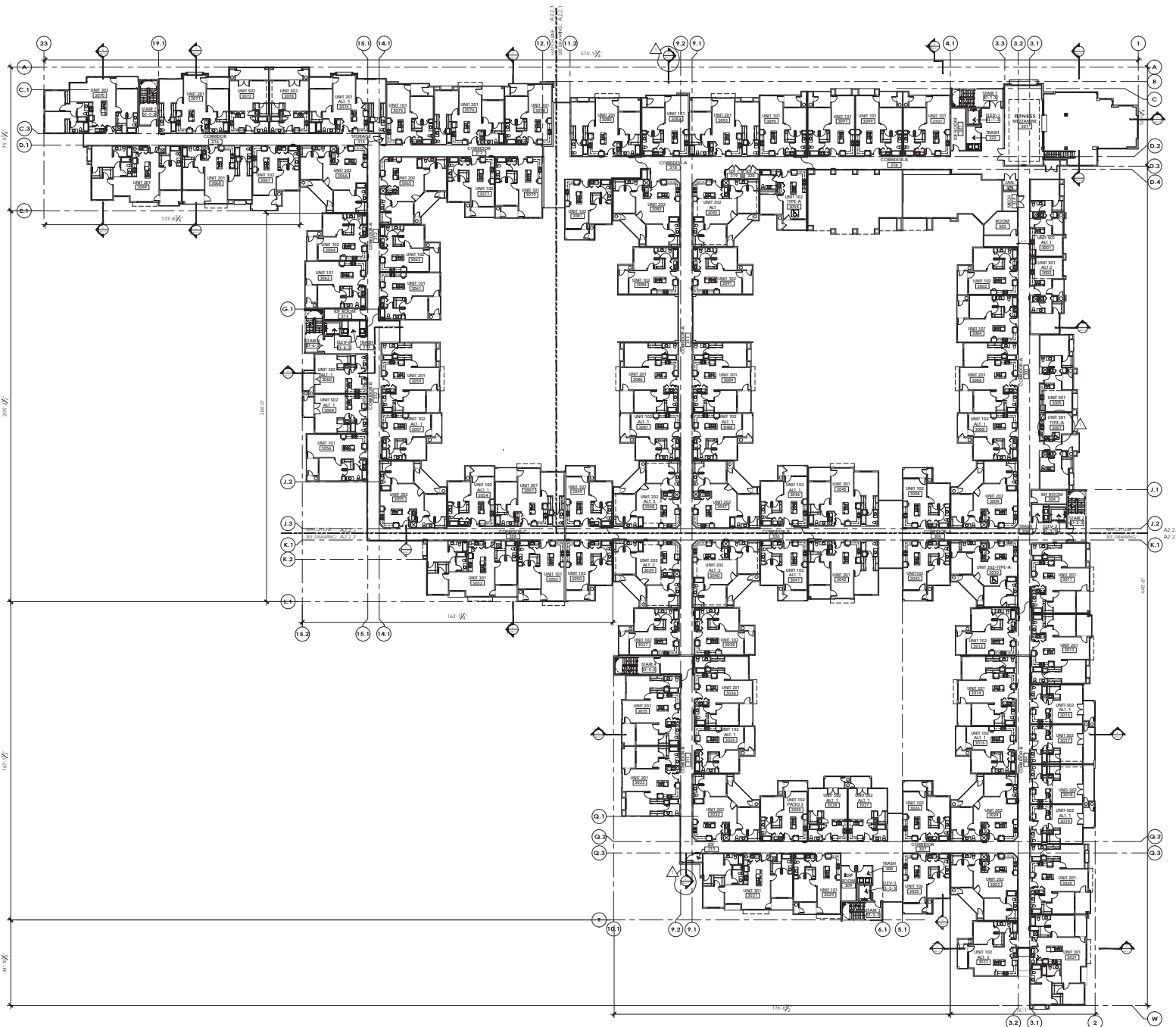
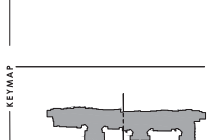
PROJECT CLIENT SEAL CONTACT DATE 05/15/15

KEYNOTES
GENERAL NOTES
SYMBOLS
KEYMAP

- ALL KEYNOTES MAY NOT BE USED
1. GAS METERS: SEE SEE PLAN FOR FINAL LOCATION
2. POWER METERS: SEE SEE PLAN FOR FINAL LOCATION
3. FIRE SPRINKLER RISER
4. FDC CONNECTION FOR SPRINKLER SYSTEM
5. PRE-CAST CONCRETE BEAMS BOLTED TO STEEL CHANNELS
6. STRUCTURAL BRACING: SEE ENLARGED PLAN AND #11 SERIES DRAWINGS
7. ORNAMENTAL BRACING: SEE EXTERIOR ELEVATIONS & BRACING SCHEDULE
8. ROOF OVERHANG ABOVE
9. ROOF BELOW
10. FLOOR DRAIN
11. 20" x 30" ATIC SCUTILE INTO ATIC SPACE: HEAD ROOM MUST BE GREATER THAN 20" ABOVE THE SCUTILE. SEE DETAIL 13A.4 & 1.

1. DIMENSIONS ARE TO FACE OF FRAMING UNLESS NOTED OTHERWISE
2. REFER TO ENLARGED PLANS FOR ALL DIMENSIONS AND NOTES
3. REFER TO ENLARGED PLANS FOR ALL INTERIOR WALL/PARTITION TYPES
4. CIVIL PLAN SHOWS FINAL LOCATIONS OF ALL METERS, FIRE PERMITS, AND BREEZEWAY DEVICES
5. REFER TO DRAWINGS A2.1 THRU A2.4 FOR FIRE BRACING & CODE REQUIREMENTS
6. PROVIDE W/P CEILING BOARD TO KNOCK DOWN TEXTURE @ EXTERIOR BREEZEWAY AND BALCONIES
7. LIGHT FIXTURES ARE FOR REFERENCE ONLY. REFER TO ELECTRICAL FOR TYPE AND LOCATION OF FIXTURES
8. LOCATIONS WITH ELECTRICAL, MECHANICAL, AND FIRE SPRINKLER DESIGN FOR TYPE AND LOCATION OF FIXTURES
9. SPECIAL INSPECTION IS TO BE PROVIDED FOR THE FOLLOWING:
a. SPRAYED ON CELESTIALITE FIREPROOFING
b. INSULATED FIRE RESISTIVE COATINGS
SPECIAL INSPECTION IS TO BE PROVIDED IN ADDITION TO THE INSPECTIONS CONDUCTED BY THE BUILDING QUALITY DIVISION AND SHALL NOT BE CONSIDERED TO RELIEVE THE OWNER OR THEIR AGENT'S OBLIGATION TO CONDUCT THE PRESCRIBED AND CALLED INSPECTIONS REQUIRED BY SECTION 106.5 OF THE 2010 INTERNATIONAL BUILDING CODE.

- ACCESSIBLE RESIDENTIAL UNIT
2 HR FIREWALL, SEE A2.1
4 HR FIRE BARRIER
4 HR FIRE BARRIER AT JUNCTION SPACES
1 HR FIRE BARRIER WALL
DOOR TYPE: REFER TO DRAWING A2.1
WINDOW TYPE: REFER TO DWG A2.1
STEP UP BUILDING LEVEL: REFER TO GRADING AND DRAINAGE FOR MORE INFORMATION
SLOPE
FLOOR SLOPE INDICATOR
STUCCO FINISHED EXTERIOR CORRIDOR WALLS



OVERALL SECOND FLOOR PLAN
ATTACHMENT 8
SCALE: 1/8"=1'-0"

CONSTRUCTION SET
SECOND FLOOR PLAN
A2.2.0



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DATE
05/15/15

NOTICE OF ALTERNATIVE BILLING CYCLE
This Agreement allows the Owner to require the submission of billings or estimates in billing cycles other than thirty (30) days. Billings or estimates for this Agreement shall be submitted as follows: the period covered by each Application for Payment shall be one calendar month.

NOTICE OF EXTENDED CERTIFICATION AND APPROVAL PERIOD PROVISION
This Agreement allows the Owner to certify and approve billings and estimates for progress payments within 20 days after the billings and estimates are received from Contractor. For release of retention within 20 days after the billings and estimates are received from Contractor and for final payment within 20 days after the billings and estimates are received from Contractor.

NOTICE OF EXTENDED PAYMENT PROVISION
This Agreement allows the Owner to make payment within 14 days after certification and approval of billings and estimates for progress payments, within 14 days after certification and approval of billings and estimates for release of retention and within 14 days after certification and approval of billings and estimates for final payment.

NOTICE OF ALTERNATIVE ARRANGEMENTS
This Agreement allows the Owner to make alternative arrangements for the occurrence of Substantial Completion and Final Completion. The definition of Substantial Completion and Final Completion are included on Sheet No. C2.001 and 2 of these plans.

Proj Mgr: BAF
Dwn By: BAF
Rev. Date: Description:
▲ 07/20/15 SE CITY COMMENTS
▲
▲
▲

CONSTRUCTION SET

THIRD FLOOR PLAN

A2.3.0

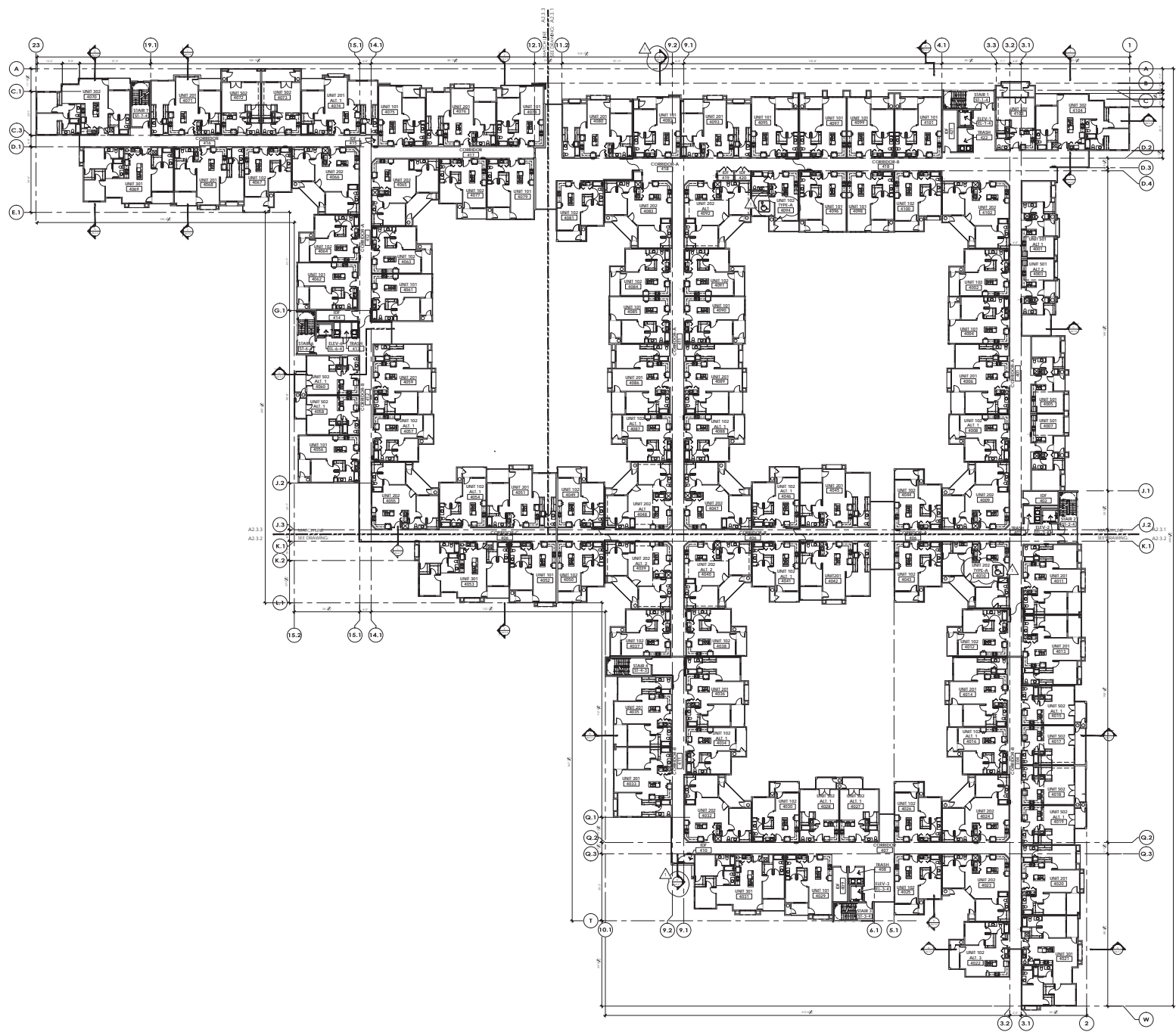
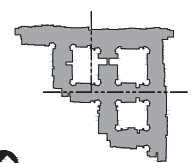
- KEYNOTES**
1. ALL KEYNOTES MAY NOT BE USED
 2. GAS METERS: SEE SITE PLAN FOR FINAL LOCATION
 3. POWER METERS: SEE SITE PLAN FOR FINAL LOCATION
 4. FIRE SPRINKLER RISER
 5. FDC CONNECTION FOR SPRINKLER SYSTEM
 6. PRE-CAST CONCRETE BEAMS SLOTTED TO STEEL CHANNELS
 7. SPRINGERS: SEE ENLARGED PLAN AND A1.1 DIMENSIONS AND NOTES
 8. ORNAMENTAL SEALING: SEE EXTERIOR ELEVATIONS & SEALING SCHEDULE
 9. ROOF OVERHANG ABOVE
 10. ROOF BELOW
 11. FLOOR DRAIN
 12. 2" x 2" ATIC SCUTILE INTO ATIC SPACE HEAD ROOM MUST BE GREATER THAN 2" ABOVE THE SCUTILE. SEE DETAIL T10A3.4.1.

- GENERAL NOTES**
1. DIMENSIONS ARE TO FACE OF FRAMING UNLESS NOTED OTHERWISE
 2. REFER TO ENLARGED PLANS FOR ALL DIMENSIONS AND NOTES
 3. REFER TO ENLARGED PLANS FOR ALL INTERIOR WALL/PARTITION TYPES
 4. CIVIL PLAN COVERING FINAL LOCATIONS OF ALL METERS, FIRE PIPERUNES, AND INDOOR/OUTDOOR UNITS
 5. REFER TO DRAWINGS A2.1 THRU A2.3 FOR FIRE RATINGS & CODE INFORMATION
 6. PROVIDE W/P CEILING BOARD W/ KNOCK DOWN TEXTURE @ EXTERIOR BREEZEWAY AND BALCONIES
 7. LIGHT FIXTURES ARE FOR REFERENCE ONLY. REFER TO ELECTRICAL FOR TYPE AND LOCATION OF FIXTURES
 8. LOCATIONS WITH ELECTRICAL, MECHANICAL, AND FIRE SPRINKLER DESIGN FOR TYPE AND LOCATION OF FIXTURES
 9. SPECIAL INSPECTION IS TO BE PROVIDED FOR THE FOLLOWING:
 - a. SPRAYED ON CELESTIALITE FIREPROOFING
 - b. INSULATED FIRE RESISTIVE COATINGS

SPECIAL INSPECTION IS TO BE PROVIDED IN ADDITION TO THE INSPECTIONS COVERED BY THE BUILDING QUALITY DIVISION AND SHALL NOT BE CONSIDERED TO RELIEVE THE OWNER OR THEIR AGENT/INSPECTOR FROM HOLDING THE PRECISE AND CALLED INSPECTIONS REQUIRED BY SECTION 106.5 OF THE 2010 INTERNATIONAL BUILDING CODE.

- SYMBOLS**
- ◊ WALL/PARTITION/ASSEMBLY TYPE INDICATOR. REFER TO ARCHITECTURAL FINISHES SCHEDULE
 - ACCESSIBLE RESIDENTIAL UNIT
 - ▭ 2 HR FIREWALL. SEE A2.1.1
 - ▬ 4 HR FIRE BARRIER
 - ▬ 1 HR FIRE BARRIER AT JOINT/VOIDS SPACES
 - ▬ 1 HR FIRE BARRIER WALL
 - DOOR TYPE. REFER TO DRAWING A2.1.1
 - WINDOW TYPE. REFER TO DWG A2.3.1
 - ▭ STEP UP BUILDING LEVEL. REFER TO GRADING AND DRAINAGE FOR MORE INFORMATION
 - ▭ FLOOR SLOPE INDICATOR
 - ▭ STUCCO FINISHED EXTERIOR CORRIDOR WALLS

CITY OF TEMPE USE
KEYMAP



OVERALL THIRD FLOOR PLAN

ATTACHMENT 9

SCALE: 1/8"=1'-0"

THE MOTLEY

1221 E APACHE BLVD
TEMPE, ARIZONA

LENNAR

7150 EAST CAMELBACK ROAD #320
PHOENIX, ARIZONA 85251
480-718-1381 p



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PROJECT
CLIENT
SEAL
CONTACT

DATE

05/15/15

DATA

NOTICE OF ALTERNATIVE BIDDING CYCLE
This Agreement allows the Owner to require the submission of bids or estimates in bidding cycles other than thirty (30) days. Bids or estimates for this Agreement shall be submitted as follows: the period calendar month:
NOTICE OF EXTENDED CERTIFICATION AND APPROVAL PERIOD PROVISION
This Agreement allows the Owner to certify and approve bids and estimates for progress payments within 20 days after the bids and estimates are received from Contractor. For notice of extension within 20 days after bids and estimates are received from Contractor, the bids and estimates are received from Contractor within 30 days after the bids and estimates are received from Contractor.
NOTICE OF EXTENDED PAYMENT PROVISION
This Agreement allows the Owner to make payment within 14 days after certification and approval of bids and estimates for progress payments, within 14 days after certification and approval of bids and estimates for notice of extension and within 14 days after certification and approval of bids and estimates for final payment.
NOTICE OF ALTERNATIVE ARRANGEMENTS
This Agreement allows the Owner to make alternative arrangements for the occurrence of Substantial Completion and Final Completion. The Substantial Completion and Final Completion, the Substantial Completion and Final Completion are defined as follows: (a) Substantial Completion; (b) Final Completion.

Proj Mgr: BAF
Dwn By: BAF
Rev. Date: Description

- ▲ 05/20/15 151 CITY COMMENTS
- ▲
- ▲
- ▲

CONSTRUCTION SET

FOURTH FLOOR PLAN

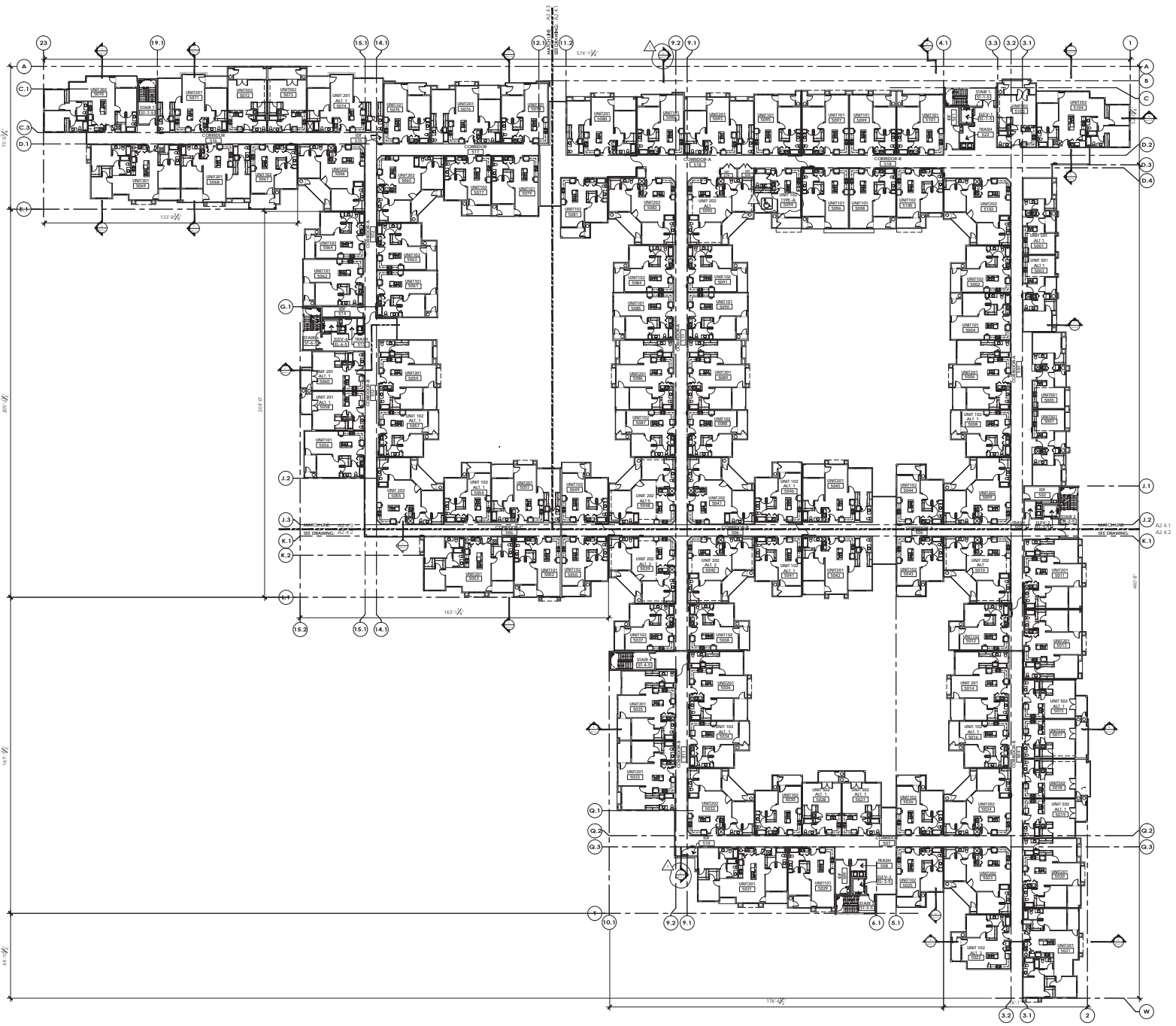
A2.4.0

KEYMAP
CITY OF TEMPE, ARIZONA

KEYNOTES
1. ALL KEYNOTES MAY NOT BE USED
2. GAS METERS: SEE SITE PLAN FOR FINAL LOCATION
3. POWER METERS: SEE SITE PLAN FOR FINAL LOCATION
4. FIRE SPRINKLER RISER
5. FDC CONNECTION FOR SPRINKLER SYSTEM
6. PRE-CAST CONCRETE BEAMS SOLID TO STEEL CHANNEL BRACKETS: SEE ENLARGED PLAN A-11 FOR DIMENSIONS
7. ORNAMENTAL RAILING: SEE EXTERIOR ELEVATIONS & RAILING SCHEDULE
8. ROOF OVERHANG ABOVE
9. ROOF BELOW
10. FLOOR DRUM
11. 2" x 2" ATIC SCUTILE INTO ATIC SPACE HEAD ROOM MUST BE GREATER THAN 20" ABOVE THE SCUTILE. SEE DETAIL 13AAS-11

GENERAL NOTES
1. DIMENSIONS ARE TO FACE OF FRAMING UNLESS NOTED OTHERWISE
2. REFER TO ENLARGED PLANS FOR ALL DIMENSIONS AND NOTES
3. REFER TO ENLARGED PLANS FOR ALL INTERIOR WALL/PARTITION TYPES
4. CIVIL PLAN SHOWS FINAL LOCATIONS OF ALL METERS, FIRE PERMITS, AND POWER/TELEPHONE SERVICES
5. REFER TO DRAWINGS A-1 THRU A-4 FOR FIRE RAILINGS & CODE PERFORMANCE
6. PROVIDE W/P CEILING BOARD BY KNOCK DOWN TRUSSES @ EXTERIOR BREAKWAY AND BALCONIES
7. LIGHT FIXTURES ARE FOR REFERENCE ONLY. REFER TO ELECTRICAL FOR TYPE AND LOCATION OF FIXTURES COORDINATE WITH ELECTRICAL, MECHANICAL, AND FIRE SPRINKLER DESIGN FOR TYPE AND LOCATION OF FIXTURES
8. SPECIAL INSPECTION IS TO BE PROVIDED FOR THE FOLLOWING:
a. SPRAYED ON CELEBRITOUS FIREPROOFING
b. INSULATED FIRE RESISTIVE COATING
SPECIAL INSPECTION IS TO BE PROVIDED IN ADDITION TO THE INSPECTIONS CONDUCTED BY THE BUILDING SAFETY DIVISION, AND SHALL NOT BE CONSIDERED TO RELIEVE THE OWNER OR THEIR AUTHORIZED AGENT FROM REQUESTING THE PERIODIC AND CALLED INSPECTIONS REQUIRED BY SECTION 106.5 OF THE 2010 ADMINISTRATIVE CODE.

SYMBOLS
 ACCESSIBLE RESIDENTIAL UNIT
 2HR FIREWALL: SEE A-8.1.1
 4HR FIRE BARRIER
 1HR FIRE BARRIER AT WINDOW SIDES
 1HR FIRE SEPARATION WALL
 DOOR TYPE: REFER TO DRAWING A-1.1
 WINDOW TYPE: REFER TO DWG A-2.3
 STEP IN BUILDING LEVEL: REFER TO GRADING AND DRAINAGE FOR MORE INFORMATION
 FLOOR SLOPE INDICATOR
 FINISCED FINISHED EXTERIOR CORRIDOR WALLS



OVERALL FOURTH FLOOR PLAN
SCALE: 1/8"=1'-00"