

**CITY OF TEMPE
DEVELOPMENT REVIEW COMMISSION**

Meeting Date: 05/24/2016
Agenda Item: 4

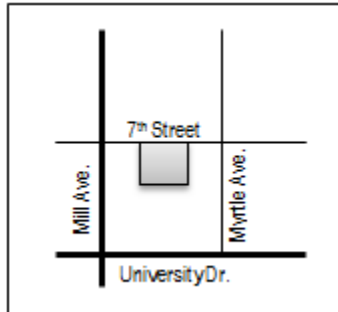
ACTION: Request for an Amended Planned Area Development Overlay and a Development Plan Review for a 26-story mixed-use development, containing 335 dwelling units and 3,460 square feet of commercial area for THE STANDARD AT TEMPE, located at 11 East 7th Street. The applicant is Charles Huellmantel, Huellmantel and Affiliates.

FISCAL IMPACT: While this ordinance change does not directly impact revenue, the planned development will result in collection of the standard development fees, calculated according to the approved fee structure at the time of permit issuance.

RECOMMENDATION: Staff – Approval, subject to conditions

BACKGROUND INFORMATION: THE STANDARD AT TEMPE (PL150449) is a proposed 26-story mixed-use development; consisting of 335 dwelling unit, 3,460 square feet of ground floor residential and nine above grade parking levels. The request includes the following:

1. Amended Planned Area Development Overlay to modify standards for number of dwelling units, building height, building setbacks, landscape, lot coverage and vehicle parking.
2. Development Plan Review including site plan, building elevations, and landscape plan.



Existing Property Owner	Tempe 7 th Street, LLC
Applicant	Charles Huellmantel, Huellmantel & Affiliates
Zoning District	CC/PAD/TOD; City Center with Planned Area Development Overlay, within the Transportation Overlay District (Corridor Area)
Gross / Net site area	0.85 acres
Density / Number of Units	394 dwelling units per acre / 335 units
Unit Types	54 studio 63 one bedroom 58 two bedroom 53 three bedroom 87 four bedroom 20 five bedroom
Total Building Area	582,460 square feet
Lot Coverage	90.3% (81% max per previous PAD)
Building Height	295' (306' max. for condos and 195' max. for hotel per previous PAD)
Building Setbacks	0' front, 0' west side, 5' east side, 0' rear (0', 0', 0', 0' minimum per previous PAD)
Landscape area	11.7% (42% min. for condos and 25% min. for hotel per previous PAD)
Vehicle Parking	569 provided (332 minimum required)
Bicycle Parking	362 provided (362 minimum required)

ATTACHMENTS: Development Project File

STAFF CONTACT(S): Obenia Kingsby II, Planner I (480) 858-2394

Department Director: Dave Nakagawara, Community Development Director

Legal review by: N/A

Prepared by: Obenia Kingsby II, Planner I

Reviewed by: Suparna Dasgupta, Principal Planner

COMMENTS:

This site is approximately 0.85 acres in size and located on the south side of 7th Street between Mill Avenue and Myrtle Avenue, within the Transportation Overlay District (Corridor Area). A Development Plan Review has never been approved under the existing PAD. The site consists of (4) lots which are currently zoned CC/PAD/TOD (Corridor Area) and there are buildings on two of them. Directly adjacent to the east is (2) vacant lots and to west is (2) lots with an abandoned apartment complex; all of these properties are the remaining portions of the existing PAD. Existing buildings will be demolished for construction of this development. To the north is the Artisan Brickyard and to the south is an office building.

The existing CC PAD zoning for The Standard at Tempe (formerly 7th Mill Mixed Use Development) was approved in 2008. The development standards established allowed a building height of 306' (condos)/195' (hotel), 81 % lot coverage and 42% (condos)/25% (hotel) landscape area.

This request includes the following:

1. Amended Planned Area Development Overlay to modify standards for number of dwelling units, building height, building setbacks, landscape, lot coverage and vehicle/bicycle parking.
2. Development Plan Review including a site plan, building elevations and landscape plan; for a 26-story, 295' building, containing 335 dwelling units and 3460 square-feet of commercial area.

The applicant is requesting the Development Review Commission provide recommendations to City Council for items one and two listed above.

For further processing, the applicant will need approval for a Subdivision Plat.

PRELIMINARY SITE PLAN REVIEW

- November 12, 2015: Preliminary site plan was submitted. Only a site plan was provided, no major comments were provided based on review of submittal. Staff required that a second preliminary submittal be made that consisted at minimum of a revised site plan, building elevations and a landscape plan.
- January 20, 2016: Second preliminary site plan review was submitted. Staff reviewed a site plan, building elevations and a landscape plan. Significant comments included concerns about proposing five bedroom and six bedroom unit types, providing more architectural articulation to above grade garage levels, show all rooftop mechanical equipment and to maximize potential landscape area on site. Staff recommended that the proposed five bedroom and six bedroom unit types be eliminated.
- March 16, 2016: Formal application was submitted. Applicant eliminated the six bedroom unit type from plans and reduced the number of five bedroom unit type from 26 to 20. Majority of minor comments were addressed; staff requested for a second time that more architectural articulation was need for the above grade garage levels and that rooftop mechanical equipment be more integrated into the building design.
- April 27, 2016: Second formal submittal was provided. No significant comments were made, applicant addressed majority of minor comments. Staff requested more information about materials provided and to continue exploring ways to architecturally improve garage levels and screening of rooftop equipment.
- May 12, 2016: Third formal submittal was provided. This application was not routed through the site plan review process, only reviewed by planning. Applicant addressed staff's significant comments and majority of minor

comments.

PUBLIC INPUT

- Neighborhood meeting required.
- Neighborhood meeting held: March 23, 2016 at 5:30 p.m. at Shady Park, located at 26 East University Drive.
- There were seven individuals from the public in attendance of the neighborhood meeting, there were no concerns raised regarding project. Those in attendance were in general support and just wanted to learn more information about project.
- Staff received no public input prior to completion of this report.

PROJECT ANALYSIS

PLANNED AREA DEVELOPMENT

The existing PAD for this site was approved in 2008. The applicant requests an Amended Planned Area Development consisting of 335 dwelling units and a total of 3,460 square-feet of commercial area. The table below shows a comparison of the existing approved development standards and the proposed development standards for the property.

THE STANDARD AT TEMPE – AMENDED PAD Overlay				
Standard	CC, TOD	Existing CC, PAD, TOD	Proposed CC, PAD, TOD	Change
Residential Density (du/ac)	NS	214	394	Increase
Building Height (feet) [Exceptions, see Section 4-205(A)]				
Building Height Maximum	50'	306' Condos / 195' Hotel	295'	Decrease
Building Height Step-Back Required Adjacent to SF or MF District [Section 4-404, Building Height Step-Back]	Yes	Yes	Yes	
Maximum Lot Coverage (% of net site area)	NS	81%	90.3%	Increase
Minimum Landscape Area (% of net site area)	NS	42% / 25%	11.7%	Decrease
[Exceptions, see Section 4-205(B)]				
South – (Rear)	0'	0'	0'	No Change
East – (Side)	0'	0'	5'	Increase
West – (Side)	0'	0'	0'	No Change
North – (Front)	0'	0'	0'	No Change

There is a proposed increase in density for this site per the 2008 PAD; the increase of density will conform to the General Plan 2040 projected density up to 65 du/ac. The maximum building height is decreasing from 306' to 295', lot coverage is increasing from 81% to 90% and the east building setback is increasing from 0' to 5'.

The table below summarizes the required and proposed *vehicle* parking for the project.

Unit Type	Unit Quantity / SF	Ratio	Parking Required per ZDC (Downtown Parking Standards)	Proposed Parking per PAD (1.7 spaces per dwelling unit)
Studio	54	.5 spaces per bed	27	91.5
1 bedroom	63	.5 spaces per bed	31.5	107
2 bedroom	58	.5 spaces per bed	58	98.5
3 bedroom	53	.3 spaces per bed	47.7	90
4 bedroom	87	.3 spaces per bed	104.4	148
5 bedroom	20	.3 spaces per bed	30	34
Guest	335	.1 spaces per unit	33.5	0
Commercial	3,460 SF	First 5,000 SF is waived, 1 space/500 SF after	0	0
TOTAL			332	569

The base zoning for this site is CC, which is required to meet the minimum parking requirements of the Downtown Parking Standards. This project is proposing to exceed those requirements by 237 spaces.

Section 6-305 D. Approval criteria for P.A.D. (*in italics*):

1. *The development fulfills certain goals and objectives in the General Plan and the principles and guidelines of other area policy plans. Performance considerations are established to fulfill those objectives.* This development fulfills the goals and objectives of General Plan 2040; which projects is projected as mixed-use with a density of more than 65 dwelling units per acre. Though this project is zoned CC and a rezone to mixed-use has not been requested, the proposal still meets the intent of a mixed used development by providing commercial area.
2. *Standards requested through the PAD Overlay district shall take into consideration the location and context for the site for which the project is proposed.* The proposed standards are appropriate for the location and context of the site.
3. *The development appropriately mitigates transitional impacts on the immediate surroundings.* This 26-story building is proposed in the middle of Downtown Tempe where the density and building height requested are expected and appropriate.

DEVELOPMENT PLAN REVIEW

Site Plan

The site is located on 7th Street between Mill Avenue and Myrtle Avenue, 0.85 acres in size and square in shape. The building is proposed to cover 90.3% of the lot. There is only one driveway proposed for this site, which utilizes the public alley to access the development parking garage entries. Site may also be accessed from Myrtle Avenue through the public alleyway. There is 3,460 square-feet of allocated commercial area along northwest corner of building and all ground floor mechanical equipment is located in southeast corner of building, in the rear of property not visible from street.

Building Elevations

The building is proposed to be 295' in height. Materials primarily consist of stucco with metal panel accents. There are nine above grade levels of parking garage that will be visible from the east, west and south. To provide architectural articulation to the visible portions of garage, a random patterning of solid metal panels and perforated metal panels were proposed; this also assists in creating visual interest to the building. A condition has been added to maximize the amount of solid metal panels used for the garage random screen patterning.

Landscape Plan

The Amended PAD is 9.7% of landscape area on the ground (includes hardscape) and 2% in amenity areas, totaling 11.7% of landscape area. The majority of landscape for this project is being done in right-of-way. Street trees proposed are Desert

Museum Palo Verde and Date Palm; palms are being used in excess to minimum tree requirements and as accent features. There is a large variation of groundcover plants provided as well. Upgraded paving will be provided along the 7th Street sidewalk and in the alleyways.

Section 6-306 D Approval criteria for Development Plan Review (*in italics*):

1. *Placement, form, and articulation of buildings and structures provide variety in the streetscape; the elevations incorporate metal paneling and glazing at the first two levels which are appropriate for the location. The placement, massing and materials provide variety in the streetscape. This development will provide more verticality in the downtown area.*
2. *Building design and orientation, together with landscape, combine to mitigate heat gain/retention while providing shade for energy conservation and human comfort; design of building together with landscape on the ground floor combine to mitigate heat gain. This is accomplished through recessing the commercial area and by changes in horizontal plans.*
3. *Materials are of a superior quality, providing detail appropriate with their location and function while complementing the surroundings; materials primarily consist of metal panels and glazing, which are desired materials for this location.*
4. *Buildings, structures, and landscape elements are appropriately scaled, relative to the site and surroundings; landscape and building elements are appropriately scaled to site.*
5. *Large building masses are sufficiently articulated so as to relieve monotony and create a sense of movement, resulting in a well-defined base and top, featuring an enhanced pedestrian experience at and near street level; development provides glazing and metal paneling at the pedestrian level, and portions of the ground floor and are recessed to enhance pedestrian experience. There are changes in horizontal change and random patterned garage screen to assist in relieving monotony.*
6. *Building facades provide architectural detail and interest overall with visibility at street level (in particular, special treatment of windows, entries and walkways with particular attention to proportionality, scale, materials, rhythm, etc.) while responding to varying climatic and contextual conditions; design elements at the street level create visual interest. Architectural elements, including landscape improvements in the right-of-way, shade much of the sidewalk adjacent to the site and building entrances.*
7. *Plans take into account pleasant and convenient access to multi-modal transportation options and support the potential for transit patronage; site is located within a half mile of the Tempe Transportation Center and a light rail station.*
8. *Vehicular circulation is designed to minimize conflicts with pedestrian access and circulation, and with surrounding residential uses; majority of vehicular circulation would occur along the perimeter of site. There is only one driveway proposed on site, which leads to two parking garage entryways located in public alleyways.*
9. *Plans appropriately integrate Crime Prevention Through Environmental Design principles such as territoriality, natural surveillance, access control, activity support, and maintenance; plans have been reviewed by the Police Department, and comments provided to applicant. The height of proposed landscaping adjacent to the public sidewalks will comply with CPTED principles.*
10. *Landscape accents and provides delineation from parking, buildings, driveways and pathways; right-of-way landscaping delineates pedestrian pathways at the perimeter of the site.*
11. *Signs have design, scale, proportion, location and color compatible with the design, colors, orientation and materials of the building or site on which they are located; signs are subject to a separate plan review.*

12. *Lighting is compatible with the proposed building(s) and adjoining buildings and uses, and does not create negative effects.* Lighting must comply with current code requirements to meet minimum illumination levels and be non-intrusive to adjacent properties.

Conclusion

Based on the information provided and the above analysis, staff recommends approval of the requested Amended Planned Area Development Overlay and Development Plan Review. This request meets the required criteria and will conform to the conditions of approval.

REASONS FOR APPROVAL:

1. The project meets the General Plan Projected Land Use and Projected Residential Density for this site.
2. The project will meet the development standards required under the Zoning and Development Code.
3. The Amended Planned Area Development Overlay was specifically modified to increase number of dwelling units, decrease building height, increase east building setback, decrease landscape coverage, increase lot coverage and adjust vehicle/bicycle parking.
4. The proposed project meets the approval criteria for a Development Plan Review.

AMENDED PLANNED AREA DEVELOPMENT OVERLAY

CONDITIONS OF APPROVAL:

EACH NUMBERED ITEM IS A CONDITION OF APPROVAL. THE DECISION-MAKING BODY MAY MODIFY, DELETE OR ADD TO THESE CONDITIONS.

General

1. A building permit application shall be made within two years of the date of City Council approval or the zoning of the property may revert to that in place at the time of application. Any reversion is subject to a public hearing process as a zoning map amendment.
2. The property owner(s) shall sign a waiver of rights and remedies form. By signing the form, the Owner(s) voluntarily waive(s) any right to claim compensation for diminution of Property value under A.R.S. §12-1134 that may now or in the future exist, as a result of the City's approval of this Application, including any conditions, stipulations and/or modifications imposed as a condition of approval. The signed form shall be submitted to the Community Development Department no later than 30 days from the date of City Council approval, or the *Amended PAD* approval shall be null and void.
3. The 1st Amended Planned Area Development Overlay for THE STANDARD AT TEMPE shall be put into proper engineered format with appropriate signature blanks and kept on file with the City of Tempe's Community Development Department within sixty (60) days of the date of City Council approval.
4. An amended Subdivision Plat is required for this development and shall be recorded prior to issuance of building permits.
5. The developer must provide a final traffic impact study prior to any submittal for a building permit.
6. The developer must receive approval of the final Traffic Impact Study from the Traffic Engineering prior to issuance of a building permit.
7. Development shall not exceed 335 dwelling units and consist of no more than (20) five bedroom units. No units with more than five bedrooms are allowed.
8. A minimum of 29 parking spaces shall be available for commercial use customers and the public; these spaces shall be provided on-site and shall not be demarcated or restricted for exclusive use. Access to these spaces may be gated to enter garage.

9. A minimum of 74 bicycle parking spaces shall be provided on-site for the use of residential guests and commercial customers.

DEVELOPMENT PLAN REVIEW CONDITIONS OF APPROVAL:

General

1. Except as modified by conditions, development shall be in substantial conformance with the site plan, building elevations and landscape plan dated May 10, 2016. Minor modifications may be review through the plan check process of construction documents; major modifications will require submittal of a Development Plan Review.

Site Plan

2. Interior building walls, ceilings, and floors for the residential units shall provide a minimum sound transmission class of (55) or more. Exterior building walls for the residential units shall provide a minimum sound transmission class of (39) or more. Exterior windows for the residential units shall provide a minimum sound transmission class of (28) or more using insulated double paned windows with ¼" pane thickness or more.
3. Service locations for both refuse and recycling collection and pick-up on the property are approved as shown. Coordinate the storage areas for refuse and recycling containers with the overall site and landscape layout.
4. Provide service yard and mechanical (cooling tower/generator) yard walls that are at least 8'-0" tall as measured from adjacent grade and are at least the height of the equipment being enclosed, whichever is greater. Verify height of equipment and mounting base to ensure that wall height is adequate to fully screen the equipment. Locate electrical service entrance sections inside the service yard, as indicated.
5. Provide gates of steel vertical picket, steel mesh, steel panel or similar construction. Where a gate has a screen function and is completely opaque, provide vision portals for visual surveillance. Provide gates of height that match that of the adjacent enclosure walls. Review gate hardware with Building Safety and Fire staff and design gate to resolve lock and emergency ingress/egress features that may be required.
6. Provide upgraded paving at each driveway consisting of integral colored unit paving or desired material/detail. Extend this paving in the driveway from the right-of-way line to 20'-0" on site and from curb to curb at the drive edges. From sidewalk to right-of-way line, extend concrete paving to match sidewalk.
7. Utility equipment boxes for this development shall be finished in a neutral color (subject to utility provider approval) that compliments the coloring of the buildings.
8. Place exterior, freestanding reduced pressure and double check backflow assemblies in pre-manufactured, pre-finished, lockable cages (one assembly per cage). If backflow prevention or similar device is for a 3" or greater water line, delete cage and provide a masonry or concrete screen wall following the requirements of Standard Detail T-214.
9. The above grade amenity deck adjacent to 7th Street and alleyways shall be designed with a minimum 6'-0" high wall, measured from floor grade, with the top 2'-0" designed with glazing. Landscape planters shall be located on either the exterior or interior of the wall to act as a buffer from the building edge.

Floor Plans

10. Exit Security:
 - a. Provide visual surveillance by means of fire-rated glazing assemblies from stair towers into adjacent circulation spaces.
 - b. In instances where an elevator or stair exit is within 21'-0" of an alcove, corner or other potential hiding place, position a refracting mirror to allow someone in the exit doorway to observe in the mirror the area around the corner or within the alcove that is adjacent to the doorway.

11. Public Restroom Security:
 - a. Lights in restrooms:
 - 1) Provide 50% night lights
 - 2) Activate by automatic sensors, key or remote control mechanism
 - b. Single user restroom door hardware:
 - 3) Provide a key bypass on the exterior side

12. Garage Security:
 - a. Minimize interior partitions or convert these to semi-opaque screens to inhibit hiding behind these features.
 - b. Provide exit stairs that are open to the exterior as indicated.
 - c. Paint interior walls and overhead surfaces in garage floor levels with a highly reflective white color, minimum LRV of 75 percent.
 - d. Maximize openness at the elevator entrances and stair landings to facilitate visual surveillance from these pedestrian circulation areas to the adjacent parking level.

13. Parking Garage:
 - a. Minimum required parking dimensions shall be clear of any obstructions.
 - b. At the ends of dead-end drive aisles, provide a designated turn-around space, minimum 8'-6" clear in width (locate on left side if available), including 3'-0" vehicular maneuvering area for exiting. Turn-around area shall be clearly demarcated.
 - c. Provide a minimum 2'-0" of additional width for parking spaces when adjacent to a continuous wall.

Building Elevations

14. The materials and colors as presented May 10, 2016:
 - Primary Building (painted stucco) – Sherwin Williams – Nebulous White (SW7063)
 - Secondary Building (painted stucco) – Sherwin Williams – Shitake (SW9173)
 - Web Gray (SW7075)
 - Poolhouse (SW7603)
 - Building Accents (metal panels) – Berridge – Indigo Batik (SW7602)
 - Network Gray (SW 7073)
 - Zink Gray by Berridge
 - Building Accent (Fiber Cement Panels) – Allura Colormax – Cedar
 - Equipment Screening – Architectural Louvers – Dove Gray
 - Garage Screening – Metal Screen – G-W 150A
 - Storefront – Frame Color – Grey Aluminum
 - Unit Windows – Aluminum Frame – Dark Grey
 - Glass – VistaCool Azuria – Clear, Dual Panel, Low-E
 - Glass Railing – 2" Aluminum Top Rail – ½" Clear Tempered Glass

Provide primary building colors and materials with a light reflectance value of 75 percent or less. Additions or modifications may be submitted for review during building plan check process.

15. First 3' of each above grade garage levels shall be screen with a 100% opaque material.

16. Unit balconies shall have glass railings. To provide privacy to balconies, glass shall be of a deeper tone. This will also assist in visual interest of building.

17. Maximize amount of solid metal panels used for garage screening pattern and minimize the amount of perforated/metal mesh screening; must maintain building code requirements.

18. Above grade amenity decks adjacent to a public right-of-way shall provide a minimum 6'-0" barrier, measured from floor grade, with at minimum the top 2'-0" designed with glazing. Landscape planters shall be located on either the exterior or interior of the wall to act as a buffer from the building edge.
19. Televisions or electronic video screens shall not be visible from public view. Future exterior modifications may require a Development Plan Review application submittal.
20. Provide secure roof access from the interior of the building. Do not expose roof access to public view.
21. Conceal roof drainage system within the interior of the building.
22. Incorporate lighting, address signs, and incidental equipment attachments (alarm klaxons, security cameras, etc.) where exposed into the design of the building elevations. Exposed conduit, piping, or related materials is not permitted.
23. Locate the electrical service entrance section (S.E.S.) inside the building or inside a secure yard that is concealed from public view.
24. Upper/lower divided glazing panels in exterior windows at grade level, where lower glass panes are part of a divided pane glass curtain-wall system, shall be permitted only if laminated glazing at these locations is provided.

Lighting

25. This project shall follow requirements of ZDC Part 4, Chapter 8, Lighting.
26. Illuminate building entrances and underside of open stair landings from dusk to dawn to assist with visual surveillance at these locations.

Landscape

27. The plant palette is approved as proposed and specified on the landscape plan. Any additions or modifications may be submitted for review during building plan check process.
28. Arterial street trees shall be a minimum of 36" box specimens and a minimum of 1 ½" caliper trunk.
29. Irrigation notes:
 - a. Provide pipe distribution system of buried rigid (polyvinylchloride), not flexible (polyethylene). Use of schedule 40 PVC mainline and class 315 PVC ½" feeder line is acceptable. Class 200 PVC feeder line may be used for sizes greater than ½". Provide details of water distribution system.
 - b. Locate valve controller in a vandal resistant housing.
 - c. Hardwire power source to controller (a receptacle connection is not allowed).
 - d. Controller valve wire conduit may be exposed if the controller remains in the mechanical yard.
 - e. Repair existing irrigation system (on site or in the adjacent public right of ways) where damaged by work of this project. Provide temporary irrigation to existing landscape in these frontages for period of time that irrigation system is out of repair. Design irrigation so existing plants in frontages is irrigated as part of the reconfigured system at the conclusion of this construction.
30. Include requirement to de-compact soil in planting areas on site and in public right of way and remove construction debris from planting areas prior to landscape installation.
31. Top dress planting areas with a rock or decomposed granite application. Provide rock or decomposed granite of 2" uniform thickness. Provide pre-emergence weed control application and do not underlay rock or decomposed granite application with plastic.
32. Trees shall be planted a minimum of 20'-0" from any existing or proposed public water or sewer lines. The tree planting separation requirements may be reduced from the waterline upon the installation of a linear root barrier, a minimum of

6'-0" parallel from the waterline, or around the tree. The root barrier shall be a continuous material, a minimum of 0.08" thick, installed 0'-2" above finish grade to a depth of 8'-0" below grade. Final approval subject to determination by the Public Works, Water Utilities Division.

Addressing

33. Provide address sign(s) on the building elevation facing the street to which the property is identified.
 - a. Conform to the following for building address signs:
 - 1) Provide street number only, not the street name
 - 2) Compose of 12" high, individual mount, metal reverse pan channel characters.
 - 3) Self-illuminated or dedicated light source.
 - 4) Coordinate address signs with trees, vines, or other landscaping, to avoid any potential visual obstruction.
 - 5) Do not affix number or letter to elevation that might be mistaken for the address.
 - b. Utility meters shall utilize a minimum 1" number height in accordance with the applicable electrical code and utility company standards.
 - c. Provide one address sign on the roof of the building. Orient sign to be read from the south.
 - 1) Include street address number in 6'-0" high characters on one line and street name in 3'-0" high characters on a second line immediately below the first.
 - 2) Provide high contrast sign, either black characters on a light surface or white characters on a black field that is painted on a horizontal plane on the roof. Coordinate roof sign with roof membrane so membrane is not compromised.
 - 3) Do not illuminate roof address.

CODE/ORDINANCE REQUIREMENTS:

THE BULLETED ITEMS REFER TO EXISTING CODE OR ORDINANCES THAT PLANNING STAFF OBSERVES ARE PERTINENT TO THIS CASE. THE BULLET ITEMS ARE INCLUDED TO ALERT THE DESIGN TEAM AND ASSIST IN OBTAINING A BUILDING PERMIT AND ARE NOT AN EXHAUSTIVE LIST.

- Development plan approval shall be void if the development is not commenced or if an application for a building permit has not been submitted, whichever is applicable, within twelve (12) months after the approval is granted or within the time stipulated by the decision-making body. The period of approval is extended upon the time review limitations set forth for building permit applications, pursuant to Tempe Building Safety Administrative Code, Section 8-104.15. An expiration of the building permit application will result in expiration of the development plan.
- Specific requirements of the **Zoning and Development Code (ZDC)** are not listed as a condition of approval, but will apply to any application. To avoid unnecessary review time and reduce the potential for multiple plan check submittals, become familiar with the ZDC. Access the ZDC through www.tempe.gov/zoning or purchase from Community Development.
- **SITE PLAN REVIEW:** Verify all comments by the Public Works Department, Community Development Department, and Fire Department given on the April 27, 2016, formal Site Plan Review. If questions arise related to specific comments, they should be directed to the appropriate department, and any necessary modifications coordinated with all concerned parties, prior to application for building permit. Construction Documents submitted to the Building Safety Division will be reviewed by planning staff to ensure consistency with this Design Review approval prior to issuance of building permits.
- **STANDARD DETAILS:**
 - Access to Tempe Supplement to the M.A.G. Uniform Standard Details and Specifications for Public Works Construction, at this link: <http://www.tempe.gov/city-hall/public-works/engineering/standards-details> or purchase book from the Public Works Engineering Division.
 - Access to refuse enclosure details DS116 and DS118 and all other Development Services forms at this link: <http://www.tempe.gov/city-hall/community-development/building-safety/applications-forms>. The enclosure details are under Civil Engineering & Right of Way.

- BASIS OF BUILDING HEIGHT: Measure height of buildings from top of curb at a point adjacent to the center of the front property line.
- COMMUNICATIONS:
 - Provide emergency radio amplification for the combined building and garage area in excess of 50,000 sf. Amplification will allow Police and Fire personnel to communicate in the buildings during a catastrophe. Refer to this link: <http://www.tempe.gov/home/showdocument?id=30871>. Contact the Information Technology Division to discuss size and materials of the buildings and to verify radio amplification requirements.
 - For building height in excess of 50'-0", design top of building and parapet to allow cellular communications providers to incorporate antenna within the building architecture so future installations may be concealed with little or no building elevation modification.
- WATER CONSERVATION: Under an agreement between the City of Tempe and the State of Arizona, Water Conservation Reports are required for landscape and domestic water use for the non-residential components of this project. Have the landscape architect and mechanical engineer prepare reports and submit them with the construction drawings during the building plan check process. Report example is contained in Office Procedure Directive # 59. Refer to this link: www.tempe.gov/modules/showdocument.aspx?documentid=5327. Contact Public Works Department, Water Conservation Division with questions regarding the purpose or content of the water conservation reports.
- HISTORIC PRESERVATION: State and federal laws apply to the discovery of features or artifacts during site excavation (typically, the discovery of human or associated funerary remains). Contact the Historic Preservation Officer with general questions. Where a discovery is made, contact the Arizona State Historical Museum for removal and repatriation of the items.
- POLICE DEPARTMENT SECURITY REQUIREMENTS:
 - Refer to Tempe City Code Section 26-70 Security Plans.
 - Design building entrance(s) to maximize visual surveillance of vicinity. Limit height of walls or landscape materials, and design columns or corners to discourage ambush.
 - Maintain distances of 20'-0" or greater between a pedestrian path of travel and any hidden area to allow for increased reaction time and safety.
 - Follow the design guidelines listed under appendix A of the Zoning and Development Code. In particular, reference the CPTED principal listed under A-II Building Design Guidelines (C) as it relates to the location of pedestrian environments and places of concealment. Provide method of override access for Police Department (punch pad or similar) to controlled access areas including pool, clubhouse or other gated common areas.
 - The Owner is required to prepare a security plan for the residences, live/work and commercial components of the project with the Police Department. The architect should be involved to verify any modification that would require design revisions. To avoid revisions to permitted construction documents, initial meetings with the Police Department regarding the security plan are recommended before building permits are issued. At a minimum, the Owner shall contact the Police Department to begin security plan process approximately eight weeks prior to receipt of certificate of occupancy.
 - Provide a security vision panel at service and exit doors (except to rarely accessed equipment rooms) with a 3" wide high strength plastic or laminated glass window, located between 43" and 66" from the bottom edge of the door.
- TRAFFIC ENGINEERING:
 - Provide 8'-0" wide public sidewalk along arterial roadways, or as required by Traffic Engineering Design Criteria and Standard Details.

- Incorporate brick sidewalks for all off-site pedestrian paving. Follow City of Tempe Public Works Department Detail T-353, when designing all sidewalk areas in the Right-of-Way. Alternative paver materials may be considered subject to review, and approval, by the Engineering and Planning Departments. Any alternative patterns should be used in small amounts to create accent areas at entrances, or to demarcate architectural features of the building. Do not propose a wholesale change of material. These materials shall be compatible with the Americans with Disabilities Act, ADA, and the Building Code.
- Construct driveways in public right of way in conformance with Standard Detail T-320. Alternatively, the installation of driveways with return type curbs as indicated, similar to Standard Detail T-319, requires permission of Public Works, Traffic Engineering.
- Correctly indicate clear vision triangles at both driveways on the site and landscape plans. Identify speed limits for adjacent streets at the site frontages. Begin sight triangle in driveways at point 15'-0" in back of face of curb. Consult Intersection Sight Distance memo, available from Traffic Engineering if needed www.tempe.gov/index.aspx?page=801 . Do not locate site furnishings, screen walls or other visual obstructions over 2'-0" tall (except canopy trees are allowed) within each clear vision triangle.
- FIRE:
 - Clearly define the fire lanes. Ensure that there is at least a 20'-0" horizontal width, and a 14'-0" vertical clearance from the fire lane surface to the underside of tree canopies or overhead structures. Layout and details of fire lanes are subject to Fire Department approval.
 - Provide a fire command room(s) on the ground floor of the building(s). Verify size and location with Fire Department.
- CIVIL ENGINEERING:
 - An Encroachment Permit or License Agreement must be obtained from the City for any projections into the right of way or crossing of a public utility easement, prior to submittal of construction documents for building permit.
 - Maintain a minimum clear distance of twenty-four (24) feet between the sidewalk level and any overhead structure.
 - Underground utilities except high-voltage transmission line unless project inserts a structure under the transmission line.
 - Coordinate site layout with Utility provider(s) to provide adequate access easement(s).
 - Clearly indicate property lines, the dimensional relation of the buildings to the property lines and the separation of the buildings from each other.
 - Verify location of any easements, or property restrictions, to ensure no conflict exists with the site layout or foundation design.
 - The site is within an Alternative Retention Criteria Area. Verify specific design considerations with the Engineering Department.
- SOLID WASTE SERVICES:
 - Enclosure indicated on site plan is exclusively for refuse. Construct walls, pad and bollards in conformance with standard detail DS-116 and/or DS-118.
 - Contact Public Works Sanitation Division to verify that vehicle maneuvering and access to the enclosure is adequate. Refuse staging, collection and circulation must be on site; no backing onto or off of streets, alleys or paths of circulation.
 - Develop strategy for recycling collection and pick-up from site with Sanitation. Roll-outs may be allowed for recycled materials. Coordinate storage area for recycling containers with overall site and landscape layout.
 - Gates for refuse enclosure(s) are not required, unless visible from the street. If gates are provided, the property manager must arrange for gates to be open from 6:00am to 4:30pm on collection days.
- PARKING SPACES:
 - Verify conformance of accessible vehicle parking to the Americans with Disabilities Act and the Code of Federal Regulations Implementing the Act. Refer to Building Safety ADA Accessible Parking Spaces Marking/Signage on Private Development details.
 - At parking areas, provide demarcated accessible aisle for disabled parking.
 - Distribute bike parking areas nearest to main entrance(s). Provide parking loop/rack per standard detail T-578.

Provide 2'-0" by 6'-0" individual bicycle parking spaces. One loop may be used to separate two bike parking spaces. Provide clearance between bike spaces and adjacent walkway to allow bike maneuvering in and out of space without interfering with pedestrians, landscape materials or vehicles nearby.

- **LIGHTING:**
 - Design site security light in accordance with requirements of ZDC Part 4 Chapter 8 (Lighting) and ZDC Appendix E (Photometric Plan).
 - Indicate the location of all exterior light fixtures on the site, landscape and photometric plans. Avoid conflicts between lights and trees or other site features in order to maintain illumination levels for exterior lighting.
- **LANDSCAPE:**
 - Prepare an existing plant inventory for the site and adjacent street frontages. The inventory may be prepared by the Landscape Architect or a plant salvage specialist. Note original locations and species of native and "protected" trees and other plants on site. Move, preserve in place, or demolish native or "protected" trees and plants per State of Arizona Agricultural Department standards. File Notice of Intent to Clear Land with the Agricultural Department. Notice of Intent to Clear Land form is available at www.azda.gov/ESD/nativeplants.htm . Follow the link to "applications to move a native plant" to "notice of intent to clear land".
- **SIGNS:** Separate plan review process is required for signs in accordance with requirements of ZDC Part 4 Chapter 9 (Signs). Refer to www.tempe.gov/signs.
- **DUST CONTROL:** Any operation capable of generating dust, include, but not limited to, land clearing, earth moving, excavating, construction, demolition and other similar operations, that disturbs 0.10 acres (4,356 square feet) or more shall require a dust control permit from the Maricopa County Air Quality Department (MCAQD). Contact MCAQD at <http://www.maricopa.gov/aq/>.

HISTORY & FACTS:

August 17, 2004	Redevelopment Review Commission approved Mill-Seven Building for design review of building elevations, site plan and landscape plan, located at 701 South Mill Avenue. APPROVAL EXPIRED.
September 30, 2004	City Council approved the request for Mill-Seven Building (SIP-2003.105) for a site plan for a new two-story retail/restaurant building consisting of 19,279 s.f. on 0.36 net including three variances and three use permits. APPROVAL EXPIRED.
December 4, 2007	Applicants for M7 Mixed-Use Development attended the Sunset-Riverside Neighborhood Meeting and presented their proposal.
December 10, 2007	Applicants for M7 Mixed-Use Development attended the Downtown Tempe Community's Hot Team meeting and presented their proposal.
January 9, 2008	Neighborhood Meeting held by the applicant for the M7 Mixed-Use Development at Hatton Hall, located at 34 E. 7 th Street starting at 6 p.m.
January 22, 2008	The FAA issued a determination of no hazard for air navigation for this project at a height of 306'-0".
March 4, 2008	Presentation scheduled with the Downtown Tempe Community organization.
March 12, 2008	Development Review Commission continued the request for a Planned Area Development Overlay for M7 MIXED-USE DEVELOPMENT, located at 701 South Mill Avenue. Follow up included further discussion on proposed parking reductions.

March 25, 2008 Development Review Commission recommended approval for a Planned Area Development Overlay for M7 MIXED-USE DEVELOPMENT, located at 701 South Mill Avenue.

April 17, 2008 City Council approved for a Planned Area Development Overlay for M7 MIXED-USE DEVELOPMENT, located at 701 South Mill Avenue.

June 9, 2016 1st City Council meeting scheduled (Introduction).

June 23, 2016 2nd City Council meeting scheduled (Decision).

ZONING AND DEVELOPMENT CODE REFERENCE:

Section 6-305, Planned Area Development (PAD) Overlay districts
Section 6-306, Development Plan Review



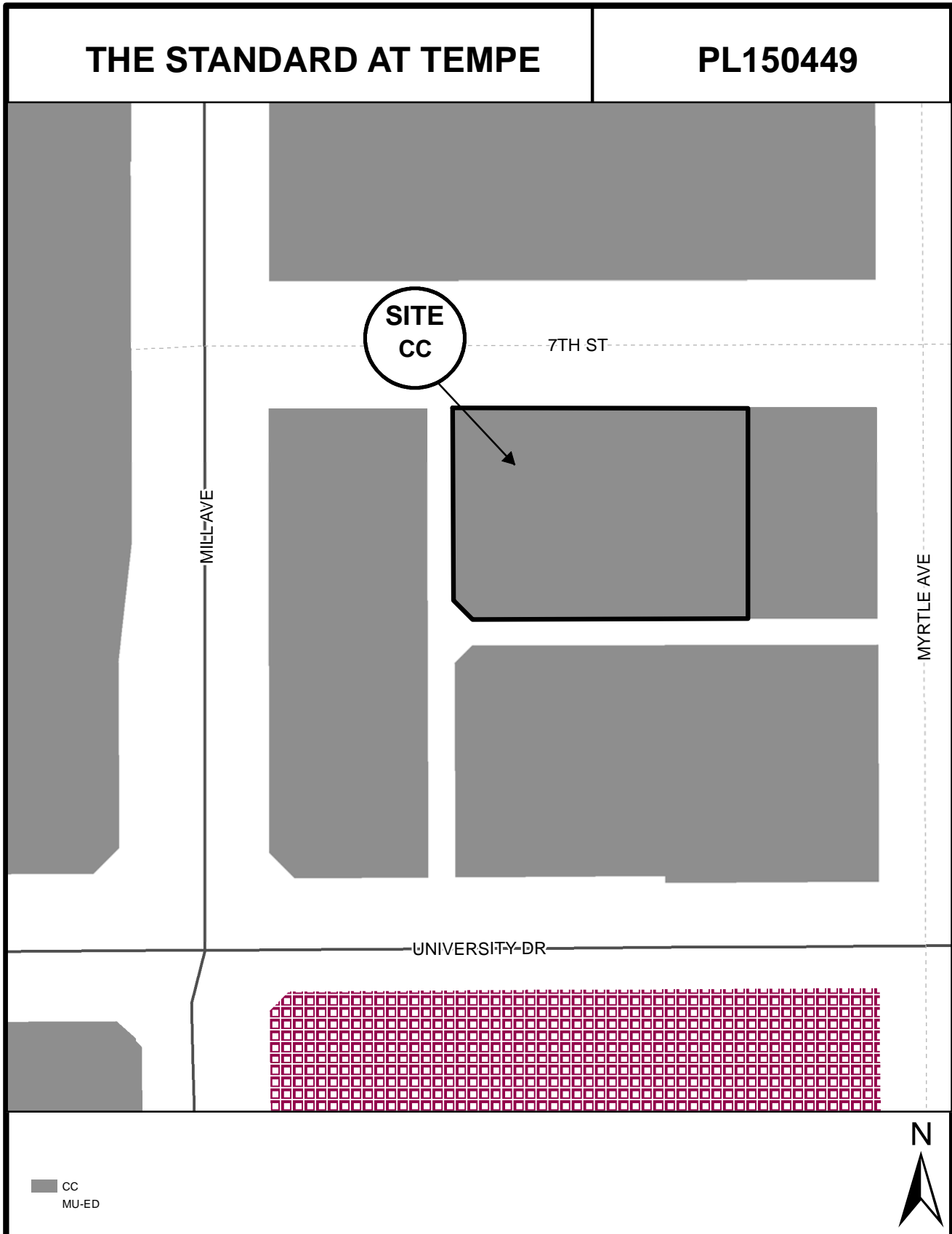
DEVELOPMENT PROJECT FILE

For
THE STANDARD AT TEMPE
(PL150449)

ATTACHMENTS:

1. Location Map
2. Aerial Photo
- 3-13. Letter of Explanation
- 14-15. Existing PAD Overlay for The Standard at Tempe (formerly M7 Mixed Use Development)
- 16-18. Proposed 1st Amended PAD Overlay The Standard at Tempe
19. Site Plan
- 20-23. Blacklined Elevations
- 24-27. Color Elevations
28. Building Sections
- 29-40. Floor Plans
- 41-44. Unit Plans
- 45-50. Unit Conversion Plans
51. Refuse Plan
52. Service Yard Elevation/Sections

- 53-54. Landscape Plan
- 55-57. Illustrative Landscape Plan and Street Sections
- 58-60. Perspectives
- 61-63. Materials Boards
- 64-65. Parking Management Plan
- 66-68. Traffic Impact Study – Executive Summary
- 69. Solar Study
- 70. Shadow Study
- 71-72. Public Involvement Final Report Summary



Location Map

THE STANDARD AT TEMPE

PL150449



Aerial Map



THE STANDARD AT TEMPE

SPR15197

LETTER OF EXPLANATION

11 EAST 7TH STREET

PAD OVERLAY AMENDMENT AND DEVELOPMENT PLAN REVIEW



HUELLMANTEL
AFFILIATES

P.O. Box 1833 - Tempe, Arizona 85280-1833 - 480.921.2800 - charles@huellmantel.com

Resubmittal May 11, 2016

SUMMARY

Wexford Developments and Landmark Properties would like to develop four parcels of land located at 11 East 7th Street in Tempe, east of Mill Avenue and on the south side of 7th Street as indicated in blue in the image below:



The site is currently an empty bank building that has been vacant for years as it was transformed from one use to another, a dirt lot, and an asphalt parking lot that is a remnant of a less urban downtown. We propose to turn the site into an attractive, urban component of the downtown, compete with a retail experience on the ground floor designed to assist in connecting Mill Avenue and College via 7th Street.



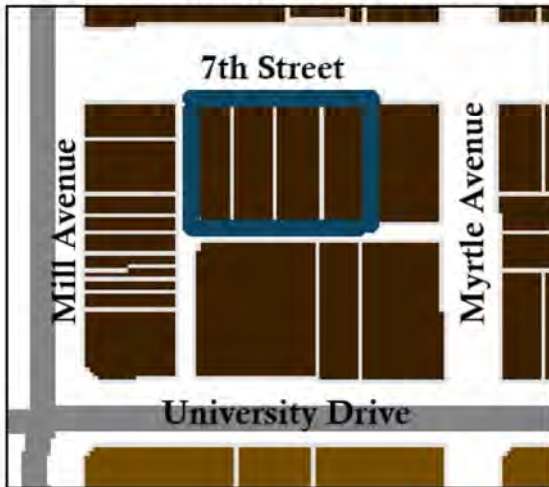
The subject site consists of APNs 132-27-139, 132-27-138, 132-27-137 and 132-27-136. These parcels are located in the City Center (CC) Zoning District, which allows for both residential

and retail uses (Table 3-202A). The General Plan 2040 Use Designation of Mixed-Use and the General Plan 2040 Density Designation is High Density-Urban Core (more than 65 du/ac):

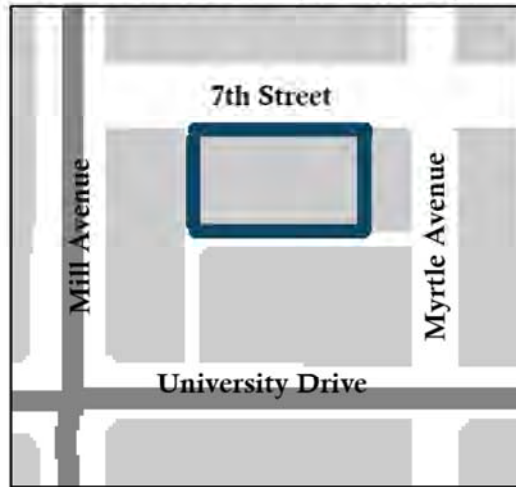
ZONING DISTRICT: CITY CENTER (CC)



GENERAL PLAN 2040 DENSITY: HIGH-URBAN CORE



GENERAL PLAN 2040 USE: MIXED-USE



The parcels are currently home to vacant buildings and paved over, vacant parking lots. On April 17, 2008, the Tempe City Council passed a Development Plan Review (DPR) and Planned Area Development Overlay (PAD) for case PL060681 and PAD07004. The development that was approved included 1.67 acres as shown below in red. Our current site, .85 acres, is shown in the image in blue:



The PAD approved in 2008, PAD07004, consisted of over 1,257,694 square feet of building area on 1.67 acres. The previously approved development consisted of three separate towers with a maximum height of 306 feet, placed on a three-story building base. The towers consisted of a hotel with 240 rooms, conference area with 51,801 square feet, residential component and approximately 39,000 square feet of commercial space. The residential portion of the development consisted of 370 dwelling units, which created a residential density of 214 dwelling units per acre. The approved lot coverage was 81% and the approved landscaped area, including decks and amenity space was 42%.

The owners of the land subject to PAD07004 went bankrupt sometime during the Great Recession and as a result, the site was sold to the current owner, Wexford Development (Wexford). Wexford worked, unsuccessfully, for over a year to acquire the land east and west of the site. Unfortunately, those sites are still burdened with challenges to the ownership structure. Accordingly, Wexford, in partnership with Landmark Collegiate Developments (Landmark), LLC, would like to build a unique, creative and urban student housing oriented building on 7th Street east of Mill Avenue (or more famously know as the Long Wong's site). This will require an Amendment to the existing PAD and a Major Amendment to the DPR for a new urban, 26-story building on .85 acres. The new development will create street-side retail space on the ground floor with residential units above. This building will take the former bank and empty parking and dirt lot and create an exceptional sense of place for ASU students living in the Mill Avenue downtown neighborhood. The Standard at Tempe will have ample amenities including a pool area, 2,500 square feet of fitness rooms and yoga space, a game room, golf simulator, study lounge, sauna and tanning beds. Additionally, there will be meeting places available for residents with TVs and lounges and the ground floor retail use will include outdoor seating (but the site does not propose an exterior jumbotron style screen).

The landscaping at the ground level aims to enhance the pedestrian experience and provide uniquely identifiable public space. The outdoor amenity spaces such as custom bench seating under shade trees and public café table seating contributes to the formation of quality urban space that positively influences the culture of Tempe. These carefully designed spaces offer a

distinctive location for groups and individuals to gather in a comfortable, safe and versatile environment. Additionally, the plant palette blends a thoughtful variation in size, color and texture that provides visual appeal and a comfortable microclimate.



We believe that the proposed development will fill a void for housing on Mill Avenue close to entertainment, restaurant uses, shopping opportunities and employment. The Standard at Tempe will be situated in an infill site and will help Tempe meet the Land Use Goals of the 2040 General Plan, specifically Land Use Goal 6:

LU6: “Promote compact, efficient infill development”

The Standard at Tempe place a compact mixed-use development on empty land in the appropriately zoned land use category. The development will require no amendments to the 2040 General Plan Land Use or Density maps or an amendment to the Tempe zoning map. The Standard at Tempe will also fulfill the Community Design Goal described in the 2040 General Plan:

CD7: “Encourage mixed-use designs”

The Standard at Tempe uses the strategies defined such as encouraging housing in close proximity to employment and services and creating efficient infill development. Additionally, The Standard at Tempe will also provide an interesting pedestrian realm at the ground floor by offering outdoor seating, enhanced sidewalks with inviting desert landscaping and retail opportunities. The Standard at Tempe will transform an urban, vacant lot that was waiting for infill development and create a beautiful, downtown residential and retail destination near Mill Avenue. The development will allow residents to live, work and play (and study) in a vibrant setting, bringing more necessary density to downtown Tempe.

AMENDMENT TO PAD OVERLAY

Landmark, in partnership with Wexford Development, is proposing an attractive 26-story building on the center parcels of land and will be complete with amenities, structured parking and retail space on the ground floor along 7th Street. The building will be marketed for Sun Devil students but is not anticipated to have any formal affiliation with the University.

The development we are proposing will be unique and will vary from the PAD approved in 2008, (PAD07004) which was approved at the beginning of the Great Recession. Because conditions have changed in the Downtown Tempe neighborhood and as the recession has passed, the development requirements have changed. The development atmosphere in 2016 requires modifications to the previous, almost a decade old PAD. Although the proposed building will still be significant and urban, the development will be slightly more dense but less tall (11 feet shorter) than the current entitlements allow – a result of the decreased building lot area. The building will have a substantial glass element and architectural character while keeping important high quality urban retail activation on the ground floor.

	PAD07004	Proposed Amendment to PAD 07004
Height	306 Feet	295 Feet
Density	214 du/ac	394 du/ac

The Amendment to the PAD will conform to the requirements outlined in ZDC Section 6-305.D:

1. The development fulfills certain goals and objectives in the General Plan, and the principles and guidelines of other area policy plans. Performance considerations are established to fulfill those objectives;

The subject site for The Standard at Tempe has a General Plan 2040 Projected Use of Mixed-Use and a General Plan 2040 Projected Density of High Density-Urban Core (more than 65 du/ac). The General Plan 2040 Projected Density of High Density-Urban Core is described as a designation with:

“Proximity to employment, entertainment and pedestrian activity encourages interaction and creates an urban environment of that contributes to an urban core hub. Residences are both attached and stacked, and may be part of a mixed-use development. This level of intensity should either provide or have access to nearby open space and other urban core amenities...”

The Standard at Tempe will fulfill all of the objectives of the High Density-Urban Core designation. The development contains stacked residential units that are part of a mixed-use building – the building will contain over 3,000 square feet of ground floor retail, which will provide employment opportunities and an urban retail experience. Additionally, The Standard at Tempe is adjacent to employment opportunities across 7th Street and Mill Avenue and walking distance to the City of Tempe, ASU, Chase and the various buildings and businesses in the downtown Tempe Mill Avenue district. These various businesses

provide a mix of amenities such as shopping, entertainment and hiking near A-Mountain. Directly north on Mill Avenue is access to Tempe Beach Park and the Tempe Center for the Arts, which provides open space and activity and entertainment opportunities. The site is walkable to both downtown Tempe Metro Light rail stations and will be even closer to the Modern Street Car stations.

The Standard at Tempe is also in the General Plan 2040 Projected Land Use designation of Mixed-Use. The General Plan 2040 describes the Mixed-Use designation as:

“Land used for a mixture of residential and commercial uses on a site. This category encourages creatively designed developments that create a living environment, reflective of a village or activity hub, in which there is the opportunity to live, work and recreate in the same development or within the area. Basic criteria for development include reasonable scale to the surrounding neighborhood, encouragement of alternative modes of transportation (such as transit, bicycling and walking) and a well-conceived plan with access to and integration of transit facilities.”

The Standard at Tempe is a mixed-use building with both residential and retail uses. The building will house over 3,000 square feet of retail use and will give residents the opportunity to work, play and live in the same building and neighborhood. The Standard will provide needed urban context to the currently empty streetscape on 7th Street and the building will be of scale with the new buildings near Mill Avenue such as The Hub, West 6th and the approved, but not-yet-built USA Place buildings, Mosaic buildings and OPUS projects. The development will house over 362 bicycle parking spaces, with 32 of these located at the ground floor level. The strong bicycle presence and the proximity to Mill Avenue and ASU will help push residents towards more sustainable, alternative modes of transportation.

2. Standards requested through the PAD Overlay District shall take into consideration the location and context for the site for which the project is proposed;

The site is located in the middle of Downtown Tempe, immediately across the street from Arizona State University’s School of Engineering, across University Drive and less than 200 feet from Mill Avenue. The Land Use and Development Hub The Standard will be located in is the LRT Corridor, Town Lake, Downtown/Mill Ave District, ASU/Stadium District. This is a “First Tier Hub” within the City of Tempe and part of a High Density-Urban Core district and The Standard at Tempe will fit into that category by providing high density housing with a mixed-use component that will serve the Downtown Tempe Mill Avenue District, ASU, provide riders for the proposed Tempe Modern Street Car and the existing Metro Light Rail. The Standard will focus on housing for Sun Devil students while retaining the sophistication, elegance and amenities of an upscale residential building. The standards requested will allow Landmark to create a building that fits the site and provides the amount of density appropriate for this downtown Tempe location. The Standard at Tempe’s PAD will change in a minor way due to the revised height, decrease in dwelling units, increase in bicycle parking and decrease in density due to the revised site area. These minor changes will allow Landmark to build a building that will create an increased population in Downtown Tempe which will help support local businesses and bring more potential transit and grocery opportunities to the neighborhood.

3. The development appropriately mitigates transitional impacts on the immediate surroundings.

The immediate surroundings include the Brickyard on Mill building to the north, partially owned by the Arizona Board of Regents, the City of Tempe and Brickyard Condominiums

on Mill, an empty lot to the direct west on the corner of Mill Avenue and 7th Street, and across Mill Avenue to the west, the Chase buildings and parking garage. Adjacent to the south is the Tempe Town Center two-story garage, which houses Wells Fargo parking and has no residential uses. To the east is an abandoned hotel, which is currently for long-term lease. Currently, there are no residential developments near the proposed The Standard at Tempe building. The Tempe downtown neighborhood has a mix of mixed-use buildings, high-density buildings, additional prospective alternative transportation, many entertainment uses and businesses. These uses are appropriate neighbors to a mixed-use residential retail development.

The proposed modifications to the PAD07004 are listed below:

	PAD07004	Proposed Amendment to PAD 07004
Lot Size	1.67 Acres	.85 Acres
# of Units/Unit Breakdown	Studio: 0 1-Bed: 74 2-Bed: 222 3-Bed: 37 4-Bed: 37 5-Bed: Total: 370	Studio: 54 1-Bed: 63 2-Bed: 58 3-Bed: 53 4-Bed: 87 5-Bed: 20 Total: 335
Density	214 du/ac	394 du/ac
Building Lot Coverage	81%	90.3%
Minimum Landscape Coverage	42% Includes Amenity	9.75% Ground/12.7% + Amenity
Building Height	306 Feet	295 Feet/26 Floors
Building Setbacks	Front/North: 0 Feet Side/East: 0 Feet Side/West: 0 Feet Rear/South: 0 Feet	Front/North: 0 Feet Side/East: 5 Feet Side/West: 0 Feet Rear/South: 0 Feet
Vehicular Parking	Required: 1,620 Provided: 1,126	Required: 332 Provided: 569
Bicycle Parking	Required: 1,620 Provided: 1,126	Required: 362 Provided: 362

DEVELOPMENT PLAN REVIEW

The development plan for The Standard will conform to the following standards and Zoning and Development Code Criteria Section 6-306 D. as applicable:

1. Placement, form, and articulation of buildings and structures provide variety in the streetscape;

The placement of the building, facing north on 7th Street will create an attractive streetscape. The building will have engaging pedestrian uses such as outdoor seating and retail frontage along 7th Street. The existing streetscape, a vacant lot and vacant hotel will be vastly improved with the construction of The Standard at Tempe. The variation of building type of the Brickyard across 7th Street to the north and the other brick buildings will be a welcome visual relief to the monotony of red brick that dominates Mill Avenue. The form of the building with variation in façade due to patios, podium structures and landscaping will also create variety in the streetscape.

2. Building design and orientation, together with landscape, combine to mitigate heat gain/retention while providing shade for energy conservation and human comfort;

The landscape will include the Desert Museum Palo Verde and Date Palms. Desert Museum Palo Verde combined with the Date Palm and various shrubs such as the Gopher Plant and Firecracker Bush will help mitigate heat gain. The two types of trees will provide shade from the top and the ground cover plants, bushes and accents will reduce the reflected heat and create a cooling effect. The building is designed with both patio screens and a protruding box structure that will help create a shade effect. The windows planned for the site are dual pane, low-energy use windows that will help keep the units cool and reduce energy waste.

3. Materials are of a superior quality, providing detail appropriate with their location and function while complementing the surroundings;

The materials used for The Standard at Tempe will include glass railings, metal panels, stucco, and fiber cement panels with an Allura Colormax Finishing System in Cedar. The building will also feature Berridge metal panels in Indigo Batik, Zinc Gray, and Network Gray (Sherwin Williams), Berridge and McNichols metal screening, and aluminum-clad windows. Additional colors will include Sherwin Williams Nebulous White, Shiitake, Web Gray, Poolhouse, and Dove Gray. The chosen color palette and materials reflect the urban nature of a downtown building. The colors will complement the existing buildings but will give The Standard at Tempe a modern, industrial yet urban and visually appealing appearance.

4. Buildings, structures, and landscape elements are appropriately scaled, relative to the site and surroundings;

The Standard at Tempe building form starts on the bottom floor with large glass storefront windows including a glass rollup door. The ground floor of The Standard at Tempe will have outdoor seating, retail and the leasing office which will help create a scaled façade. Continuing up the building, The Standard at Tempe will feature buildouts, fiber cement panels, awnings and patios with glass railings. These design choices help keep the building from looking unadorned and stark. The human scale and pedestrian oriented uses on the ground floor will help make The Standard at Tempe appropriately scaled. The choice of Date Palm in the planting palette was made to help provide scale to the building. The mature Date Palm will reach a height of approximately 70 feet – this height will stand out against the building and keep the pedestrian from feeling dwarfed by the building height.

5. Large building masses are sufficiently articulated so as to relieve monotony and create a sense of movement, resulting in a well-defined base and top, featuring an enhanced pedestrian experience at and near street level;

The base of The Standard at Tempe is well articulated with glass storefront windows and outdoor seating. The second through 7th story is clearly defined by a stucco box like structure. These more human scale floors will have a variety of materials and colors that complement each other and will relieve the monotony of a large building. The pedestrian experience will be similar to that of Mill Avenue with an inviting sidewalk, parallel parking and a retail experience combined with ample bench seating and bicycle parking.

6. Building facades provide architectural detail and interest overall with visibility at street level (in particular, special treatment of windows, entries and walkways with particular attention to proportionality, scale, materials, rhythm, etc.) while responding to varying climatic and contextual conditions;

The building materials on the building façade will create detail and interest. The addition of the Fiber Cement Panels with the Allura Colormax Finishing System in Cedar will create a unique, architecturally appealing building façade when combined with the metal panels and screens in grey, dark brown, beige, white and blue. Some of the windows will have small awnings and some parts of the building will be recessed or protruding – these different finishes will create a beautiful building rhythm that will be unique to The Standard at Tempe.

7. Plans take into account pleasant and convenient access to multi-modal transportation options and support the potential for transit patronage;

The Standard at Tempe will include 362 bicycle parking spaces, including 32 bicycle parking spaces on the ground level in the right-of-way. The bicycle parking along with the developments proximity to Mill Avenue, the proposed Tempe Streetcar and the light rail will promote multi-modal transportation options for residents along with retail customers.

8. Vehicular circulation is designed to minimize conflicts with pedestrian access and circulation, and with surrounding residential uses;

Vehicular parking will be in a parking garage, which will mitigate impacts with pedestrian access. Pedestrians will access the north, front of the building along 7th Street through a separate entrance. On street parallel parking is carefully placed in a way that will help people access the building but not create pedestrian vehicle conflicts.

9. Plans appropriately integrate Crime Prevention Through Environmental Design principles such as territoriality, natural surveillance, access control, activity support, and maintenance;

The building will have very clear views through mostly glass windows and doors on the ground level. The lack of bushes in the landscaping will also reduce crime opportunities and provide for natural surveillance. The residential portion of the building will have multiple points of keyed access as residents enter the building, common areas, and then enter into their living space. The building will also have security cameras and a 24-hour, onsite management team who will employ (a) a structured activity program for residents, as well as (b) enforce a strict, 'three strikes and you're out' policy as it relates to enforcing the rules and regulations governing the property.

10. Landscape accents and provides delineation from parking, buildings, driveways and pathways;

The parking will be located in a garage and will be separated from pedestrian use. The landscaping will be situated to welcome pedestrians into the building. This will include planter pots at the entry of the buildings, a shaded, decorated walkway along 7th Street which

will include benches, bicycle parking and an outdoor seating area. The building will be lined with plant accents such as Aloe Vera, Deer Grass, Gopher Plant and Firecracker Bush. The pathway to the north of the building fronting 7th Street will be lined with the Palo Verde and Date Palm trees, decorative paving and appropriate shrubs and accents which will guide pedestrians from Mill Avenue to other uses to the east of the development.

11. Signs have design, scale, proportion, location and color compatible with the design, colors, orientation and materials of the building or site on which they are located;

The signs for The Standard at Tempe will be compatible with the design colors of the building and building materials. They will also follow Tempe sign standards.

12. Lighting is compatible with the proposed building(s) and adjoining buildings and uses, and does not create negative effects.

The lighting will be standard through City of Tempe development requirements and follow the IBC building code. The lighting will not create any negative effects on the surrounding buildings.

PLANNED AREA DEVELOPMENT OVERLAY FOR 7TH MILL MIXED USE DEVELOPMENT

A PORTION OF THE SOUTHWEST QUARTER,
SECTION 15, TOWNSHIP 1 NORTH, RANGE 4 EAST,
GILA AND SALT RIVER BASE AND MERIDIAN,
MARICOPA COUNTY, ARIZONA

ACKNOWLEDGEMENT

STATE OF ARIZONA COUNTY OF MARICOPA THE
FORGING INSTRUMENT WAS ACKNOWLEDGED
BEFORE ME THIS _____ DAY OF _____ 2006 BY

AS _____ 7TH MILL LLC, OWNER,
BY WITNESSED MYSELF I HAVE HEREIN SET BY
HAND AND OFFICIAL SEAL,
NOTARY PUBLIC,
MY COMMISSION EXPIRES _____

LEGAL DESCRIPTION

A PORTION OF THE SOUTHWEST QUARTER,
SECTION 15, TOWNSHIP 1 NORTH, RANGE 4 EAST,
GILA AND SALT RIVER BASE AND MERIDIAN,
MARICOPA COUNTY, ARIZONA

OWNER/DEVELOPER

7TH MILL LLC
810 S. Cooper Center Blvd.
Las Vegas, NV 89101

GENERAL NOTE

OWNERS HAVE REVIEWED THIS PLAN AND APPROVED
THE DEVELOPMENT AS SHOWN.
SIGNED THIS _____ DAY OF _____ 2006
BY _____ AS _____ OF
7TH MILL LLC.

BENCHMARK

CITY OF TEMPE DATUM
CITY OF TEMPE, ARIZONA STATE PLANE NORTH AMERICAN DATUM OF
1985 BROAD _____ CENTURIAL ZONE

BASIS OF BEARING

CITY OF TEMPE VERTICAL CONTROL, BASED ON THE NAD 1983.
RURAL ROAD - NORTH 00°12'52" EAST

APPROVALS

APPROVED BY THE CITY OF TEMPE, CITY COUNCIL OF THE
BY _____ DATE _____
DEVELOPMENT SERVICE

LOCATION MAP



CONDITIONS OF APPROVAL : SPR06173

PROJECT DATA

<p>1. Project Name: 7th Mill Mixed Use Development</p> <p>2. Project Address: 701 S. Mill Ave. Tempe AZ 85281</p> <p>4. Use Permits</p> <p>5. Parcel Size: 1.87 Acres = 82,048 SQF 1.71 Acres = 75,000 SQF</p> <p>6. General Plan 2030 Projected Land Use: Mixed Use</p> <p>7. Existing Zoning: CC - City Center / TOD</p> <p>8. Type of Construction (per IRC 2003): The building could be Type I-B construction as permitted by IRC 402.2, which allows Type I-B construction to be reduced to Type I-D when approved upland control, winds and water flow devices are installed on every floor. The Type I-A, allowable height and area will apply to the building, both of which are unlimited.</p>	<p>9. Proposed Uses (Disciplines): Retail (Restaurants) = R1 Condominiums = R2 Conference Space = A2 Retail / Restaurant = M1 A, 2 Fitness / Spa = S Electrical / Mechanical / Storage (Service) = S-2 Parking Garage = G2</p> <p>10. Building Area: Total Development = 1,125,261 (GSF) Retail = 138,194 (GSF) (2M Retail) Condominiums = 407,285 (GSF) (200 Units) Conference Space = 16,425 (GSF) Retail / Restaurant = 37,473 (GSF) Fitness / Spa = 48,850 (GSF) Electrical / Mechanical / Storage (Service) = 28,091 (GSF) Parking Garage = 258,891 (GSF)</p> <p>Percentage of lot coverage = 81% (82,721 (Retail Floor) / 102,215 (GSF)) Floor Area Ratio (F.A.R.) = 13.68 (1,125,261 / 82,721) = 14.24 Height of building = 202 feet maximum Number of stories = 25</p>	<p>11. Parking: Retail / 200 spaces +200 spaces X 1.1 space per room Condominiums = 200 spaces @ 2 bedrooms/unit average +200 units X 1.75 space per bedroom / 3500 Reduction = 2750 Conference Space (Assumed) = 110 spaces +14,325 of (25% T10 Reduction) X 1 space per 125 of Fitness / Spa (Public General) = 288 spaces +48,850 of (25% T10 Reduction) X 1 space per 125 of Retail = 94 spaces +15,475 of (25% T10 Reduction) X 1 space per 125 of Parking Provided = 1,320 spaces Parking Provided = 988 spaces</p>
---	--	---



RSP Architects
307 S. College Avenue
Suite 202
Tempe, AZ 85281



I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Arizona.

Signature _____
Registration No. _____
Date _____
Project No. _____

SPR 06173

7TH MILL MIXED-USE DEVELOPMENT

Project No. 1737.001.00
Drawn By J.P. MD, DT
Checked By JP
Date 02.06.07

NOTES: Building shown on limited base mapping of streets, utilities and existing terrain, no vertical was shown to exist. Also, no utility or other information was shown. All setbacks, floor levels, etc. are shown in order to show the relationship of the building to the site.

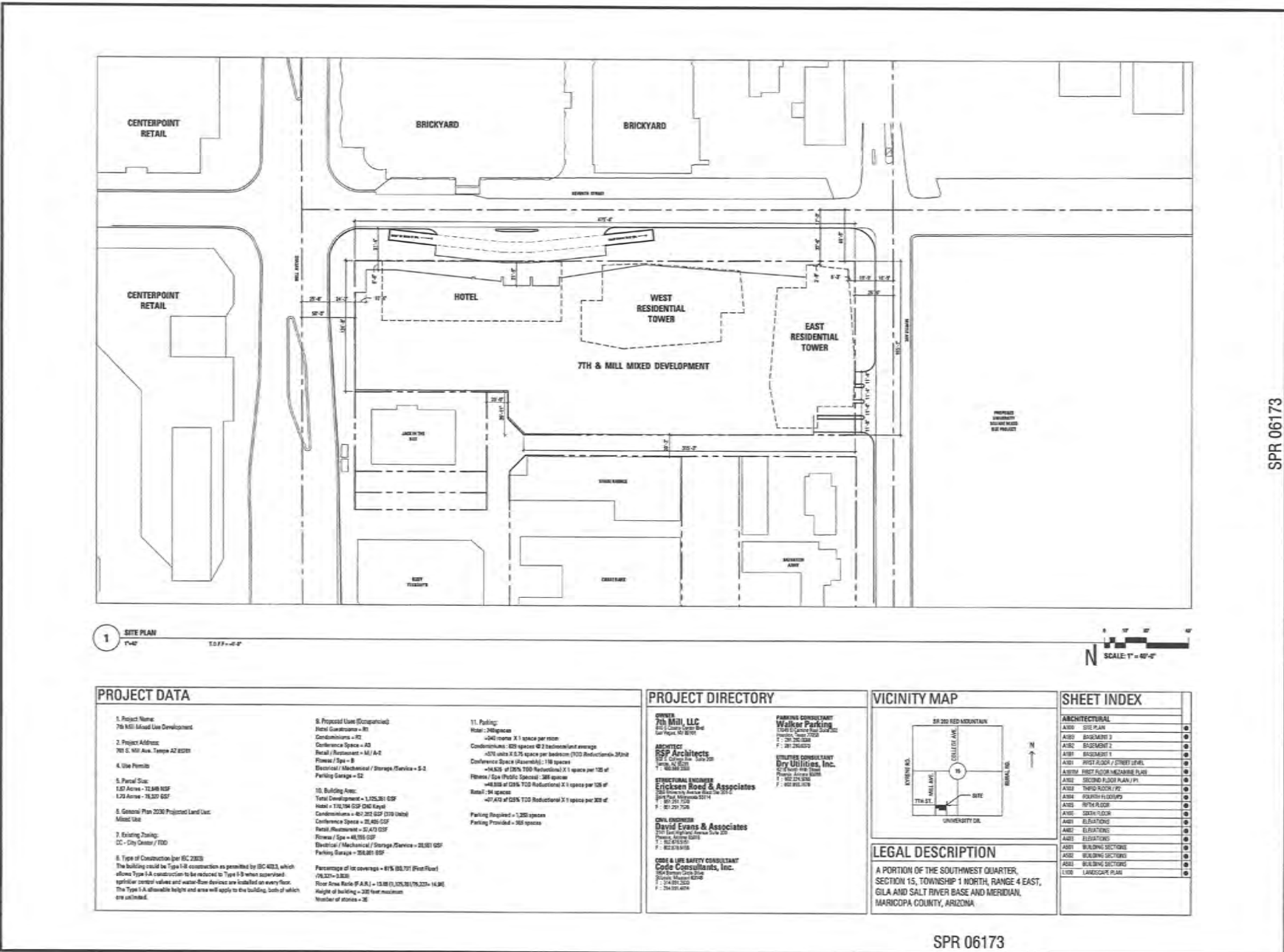
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Mark	Date	Description

PAD OVERLAY

GO

SPR 06173



RSP Architects 400.853.0300
 612 S. College Avenue 480.898.2299 fax
 Suite 202 TUCSON, AZ 85701 www.rsparch.com



Signature: _____
 Registration No.: _____
 Title: _____
 Project No.: _____

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed Architect in the State of Arizona.

7TH MILL MIXED-USE DEVELOPMENT

Project No. 1737.001.00
 Drawn By JP, MD, DT, RA
 Checked By JP
 Date 02.06.07

NOTE: The design shown and described herein including all related drawings, specifications, conditions and contracts, constitute a contract in and of themselves, and shall be binding upon the contractor and the owner without further agreement. These drawings are provided for information and are not intended to constitute a contract, conditions, specifications, or conditions of the project and shall be governed by the contract documents and specifications.

Project No.	1737.001.00
Drawn By	JP, MD, DT, RA
Checked By	JP
Date	02.06.07

1 SITE PLAN
T-402 T-077-4-4'

PROJECT DATA

- 1. Project Name: 7th Mill Mixed Use Development
- 2. Project Address: 703 S. Mill Ave, Tucson AZ 85701
- 3. Use Plan: 1.67 Acres - T1.6M RFP, 1.73 Acres - T1.507 RFP
- 4. General Plan 2030 Projected Land Use: Mixed Use
- 5. Existing Zoning: CC - City Center / TOD
- 6. Type of Construction per GC 2030: The building could be Type I-A construction as permitted by GC 402.1, which allows Type I-A construction to be reduced to Type I-B when approved height control values and water-flow devices are installed on every floor. The Type I-A allowable height and area will apply to the building, both of which are unlimited.
- 7. Proposed Use (Occupancies): Hotel/Guestrooms - H1, Condominiums - C2, Conference Space - A3, Retail / Restaurant - M / A-2, Fitness / Spa - B, Electrical / Mechanical / Storage / Service - S-1, Parking Garage - G2.
- 8. Building Area: Total Development - 1,725,561 GSF, Hotel - 1,124,104 GSF CME (High), Condominiums - 462,262 GSF (210 Units), Conference Space - 21,455 GSF, Retail / Restaurant - 51,413 GSF, Electrical / Mechanical / Storage / Service - 20,081 GSF, Parking Garage - 360,860 GSF.
- 9. Percentage of lot coverage - 81% (60,791 (net floor) / 74,324 = 81.78%), Floor Area Ratio (F.A.R.) - 13.88 (1,125,561 / 80,331 = 14.00), Height of building - 330 foot maximum, Number of stories - 16.
- 10. Parking: Hotel - 240 spaces, +640 (room) X 1 space per room, Condominiums - 820 spaces @ 2.25 (bedroom / unit) average, +375 Units X 0.75 space per bedroom (1000 Reductions - 3000), Conference Space (Assembly) - 110 spaces, +84,828 of (200,100 Reductions) X 1 space per 100 of Fiberglass / Spa (Public Special) - 388 spaces, +48,000 of (25% TCO Reductions) X 1 space per 100 of Retail - 260 spaces, +67 A1's at 125% TCO Reductions X 1 space per 300 of Parking Provided - 1,200 spaces, +368 spaces.

PROJECT DIRECTORY

- OWNER**
7th Mill, LLC
801 S. College Ave. Suite 202
Tucson, AZ 85701
F: 520.240.0100
- ARCHITECT**
RSP Architects
612 S. College Ave.
Suite 202
Tucson, AZ 85701
F: 520.240.0100
- STRUCTURAL ENGINEER**
Crickson Reed & Associates
333 North Rockwood Street
Tucson, AZ 85704
F: 520.737.7258
- CIVIL ENGINEER**
David Evans & Associates
301 North Rockwood Street
Tucson, AZ 85704
F: 520.376.8168
- CODE & LIFE SAFETY CONSULTANT**
Code Consultants, Inc.
110 North Rockwood Street
Tucson, AZ 85704
F: 520.376.8168
- PARKING CONSULTANT**
Walker Parking
205 E. Greenway Road
Tucson, AZ 85718
F: 520.246.7638
- UTILITIES CONSULTANT**
Dry Utilities, Inc.
1707 North Rockwood Street
Tucson, AZ 85704
F: 520.246.7638

VICINITY MAP



LEGAL DESCRIPTION

A PORTION OF THE SOUTHWEST QUARTER, SECTION 15, TOWNSHIP 1 NORTH, RANGE 4 EAST, GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

SHEET INDEX

ARCHITECTURAL	
AS01 SITE PLAN	0
AS02 FOUNDATION	0
AS03 FLOORING	0
AS04 ROOFING	0
AS05 EXTERIOR	0
AS06 INTERIOR	0
AS07 ELEVATIONS	0
AS08 BUILDING SECTIONS	0
AS09 FINISH SECTIONS	0
AS10 LANDSCAPE PLAN	0

SPR 06173

SITE PLAN

A100

FEB - 7 2007

1ST AMENDED PLANNED AREA DEVELOPMENT OVERLAY FOR THE STANDARD AT TEMPE

A PORTION OF THE SOUTHWEST QUARTER, SECTION 15, TOWNSHIP 1 NORTH, RANGE 4 EAST, GILA AND SALT RIVER BASE AND MERIDIAN,
MARICOPA COUNTY, ARIZONA

ACKNOWLEDGEMENT

ON THIS _____ DAY OF _____, 2016 BEFORE ME, THE UNDERSIGNED, PERSONALLY APPEARED _____, WHO ACKNOWLEDGED HIMSELF TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE INSTRUMENT WITHIN, AND WHO EXECUTED THE FOREGOING INSTRUMENT FOR THE PURPOSES THEREIN CONTAINED.

IN WITNESS WHEREOF, I HEREUNTO SET MY HAND AND OFFICIAL SEAL

BY: _____ NOTARY PUBLIC MY COMMISSION EXPIRES _____

BY: _____ OWNER DATE _____

ITS: _____

LEGAL DESCRIPTION

SEE SHEET 2 OF 3

APPROVAL

APPROVED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF TEMPE ON THIS _____ DAY OF _____, 2016.

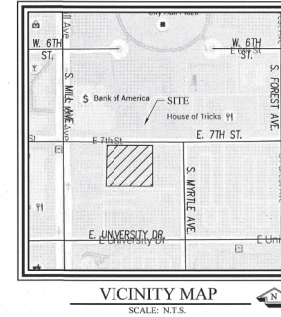
OWNER/DEVELOPER

TEMPE 7TH STREET, LLC
CONTACT: SAM GORDON
#290 - 700 6TH AVENUE SW
CALGARY, AB T2P0T8

PROJECT DATA

	PAD PROVIDED
GENERAL PLAN 2040 LAND USE	MIXED-USE
GENERAL PLAN 2040 DENSITY	HIGH DENSITY - URBAN CORE
SITE AREA	0.85 AC (37,026 SQ FT)
DWELLING QUANTITY	335 DWELLING UNITS STUDIO: 54 1 BR: 63 2 BR: 58 3 BR: 63 4 BR: 87 5 BR: 20
DENSITY	394 DU/AC
BUILDING HEIGHT	25'
BUILDING LOT COVERAGE	GROUND LEVEL: 33,434 SF (90.3%) OVERALL FOOTPRINT: 34,508 SF (93.2%)
SITE LANDSCAPE COVERAGE	9.7% (GROUND LEVEL, INCLUDES HARDSCAPE) 11.7% (GROUND LEVEL WITH HARDSCAPE PLUS BUILDING AMENITY AREAS)
BUILDING SETBACKS	NORTH - 0' EAST - 5' WEST - 0' SOUTH - 0'
VEHICLE PARKING QUANTITY	560 SPACES PROPOSED 560 SPACES IN PARKING GARAGE, 9 ON-STREET SPACES +1.7 SPACES / DWELLING UNIT 54 STUDIO UNITS x 1.7 SPACE/UNIT = 91.8 SPACES 63 - 1 BR UNITS x 1.7 SPACE/UNIT = 107 SPACES 58 - 2 BR UNITS x 1.7 SPACE/UNIT = 98.5 SPACES 53 - 3 BR UNITS x 1.7 SPACE/UNIT = 90 SPACES 87 - 4 BR UNITS x 1.7 SPACE/UNIT = 148 SPACES 20 - 5 BR UNITS x 1.7 SPACE/UNIT = 34 SPACES COMMERCIAL = 0 SPACES
BICYCLE PARKING QUANTITY	362 SPACES PROPOSED ±1.07 SPACE / DWELLING UNIT 54 STUDIO UNITS x 1.07 SPACE/UNIT = 58 SPACES 63 - 1 BR UNITS x 1.07 SPACE/UNIT = 68 SPACES 58 - 2 BR UNITS x 1.07 SPACE/UNIT = 62 SPACES 53 - 3 BR UNITS x 1.07 SPACE/UNIT = 57 SPACES 87 - 4 BR UNITS x 1.07 SPACE/UNIT = 93 SPACES 20 - 5 BR UNITS x 1.07 SPACE/UNIT = 22 SPACES COMMERCIAL = 2 SPACES
USES	362,460 SF (TOTAL BUILDING AREA) RESIDENTIAL: 372,600 SF COMMERCIAL: 3,460 SF (INCLUDES OUTDOOR SEATING)

SITE VICINITY MAP



CONDITIONS OF APPROVAL: PL150449

GENERAL NOTES

REC 16053

PL 150449

DS 150978



Williams & Associates

ENGINEERING SURVEYING
LANDSCAPE ARCHITECTURE

2470 Daniels Bridge Road, Suite 161
Athens, Georgia 30606
P: 706.335.0400
F: 706.330.0411

www.gaplaning.com

THE STANDARD AT TEMPE

11 EAST 7TH STREET
TEMPE, MARICOPA COUNTY, ARIZONA
0.85 ACRES

DATE: 03/07/2016

REVISIONS

DATE	COMMENT
04/13/16	PER CITY COMMENTS
05/10/16	PER CITY COMMENTS



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15137

COVER SHEET

1 of 3

DS 150978

PL 150449

REC 16053

1ST AMENDED PLANNED AREA DEVELOPMENT OVERLAY FOR THE STANDARD AT TEMPE

**LEGAL DESCRIPTION
STANDARD AT TEMPE**

Portions of Lots 2 thru 8 of Block 15 as shown on the Map of Tempe as recorded in Book 2, Page 23 records of Maricopa County, Arizona and being situated within Section 15, Township 1 North, Range 4 East of the Gila and Salt River Meridian, Maricopa County, Arizona, being more particularly described as follows:

COMMENCING at a found 3" brass cap in hand hole located at the intersection of S. Mill Street and E. 7th Street from which a found nail with tag located at the intersection of E. 7th street and S. Myrtle Street thereof bears North 90°00'00" West, 591.60 feet;

Thence North 90°00'00" East, 195.04 feet along the centerline of said E. 7th Street;

Thence leaving said centerline, South 00°00'00" West, 49.50 feet to a point on the southerly Right-of-Way line of said E. 7th Street;

Thence North 90°00'00" East, 225.06 feet along said southerly Right-of-Way line to a point on the east line of the west 5.00 feet of Lot 2 Block 15, as shown on said Map of Tempe;

Thence South 00°01'31" East, 165.11 feet along said east line to a point on the northerly line of a 20.00 foot wide alley;

Thence North 89°59'11" West, 210.10 feet along said northerly line;

Thence continuing along said northerly line, North 44°59'44" West, 21.23 feet to a point on the easterly line of said 20.00 foot wide alley as shown on said Map of Tempe;

Thence North 00°00'37" West, 150.04 feet along said easterly line and to a point on the aforesaid southerly Right-of-Way line of E. 7th street being the **POINT OF BEGINNING**.

Said portion of land containing 37045.18 sq.ft., or 0.85 acres, more or less and being subject to any easements, restrictions, and/or rights-of-way.

This description shown hereon is not to be used to violate subdivision regulations of the state, county and/or municipality of any other land division restrictions.

Prepared by: HilgartWilson
2141 E. Highland Avenue, Suite 250
Phoenix, AZ 85016
Project No. 1629
Date: April 2016



U:\16091629\16091629\0000\LEGAL\1629-01-LEGAL.DWG Page 1 of 1

REC 16053

PL 150449

DS 150978

	CC DISTRICT (DOWNTOWN) PARKING STANDARDS (TABLE 4-607A, 4-603E)	EXISTING ENTITLED PAD FOR SITE (PAD 07004)	PAD PROVIDED
GENERAL PLAN 2040 LAND USE	MIXED USE	MIXED USE	MIXED USE
GENERAL PLAN 2040 DENSITY	HIGH DENSITY - URBAN CORE	HIGH DENSITY - URBAN CORE	HIGH DENSITY - URBAN CORE
SITE AREA	0.85 AC (37,028 SQ.FT)	1.73 AC (75,368.1 SQ.FT)	0.85 AC (37,028 SQ.FT)
DWELLING QUANTITY	NOT APPLICABLE	370 DWELLING UNITS 240 HOTEL ROOMS 1 BR: 74 2 BR: 222 3 BR: 37 4 BR: 37	335 DWELLING UNITS STUDIO: 54 1 BR: 63 2 BR: 58 3 BR: 53 4 BR: 87 5 BR: 20
DENSITY	NS	214 DU/AC	394 DU/AC
BUILDING HEIGHT	NS MAX	306' - CONDOS, 195' - HOTEL	295' - 17 LEVEL RESIDENTIAL ABOVE 9 LEVEL PARKING GARAGE
BUILDING LOT COVERAGE	NS	81%	(GROUND LEVEL: 33,434 SF (90.3%) OVERALL FOOTPRINT: 34,508 SF (93.2%)
SITE LANDSCAPE COVERAGE	NS	42%/25%	9.7% (GROUND LEVEL, INCLUDES HARDSCAPE) 11.7% (GROUND LEVEL PLUS BUILDING AMENITY AREAS)
BUILDING SETBACKS	FRONT - 0' MIN FRONT PARKING AND MANEUVERING - 20' FRONT - 0' MAX, 20' WHEN OUTDOOR SEATING PROVIDED SIDE - 0' MIN STREET SIDE - 0' MIN SIDE PARKING AND MANEUVERING - 20' REAR - 0' MIN	NORTH - 0' EAST - 0' WEST - 0' SOUTH - 0'	NORTH - 0' EAST - 5' WEST - 0' SOUTH - 0'
VEHICLE PARKING QUANTITY	332 SPACES REQUIRED PER CC DISTRICT PARKING STANDARDS, TABLE 4-607A) STUDIO: 54 UNITS 1 BR: 63 UNITS 2 BR: 58 UNITS 3 BR: 53 UNITS 4 BR: 87 UNITS 5 BR: 20 UNITS GUEST: 335 UNITS COMMERCIAL 3,460 SF	1,126 SPACES PROPOSED 1 BR UNITS: 56 SPACES 2 BR UNITS: 333 SPACES 3 BR UNITS: 83 SPACES 4 BR UNITS: 111 SPACES PUBLIC SPACES (GUEST PARKING, HOTEL, CONFERENCE SPACE, COMMERCIAL/RETAIL/RESTAURANT/ BAR): 546 SPACES	569 SPACES PROPOSED ±1.7 SPACES / DWELLING UNIT 54 STUDIO UNITS x 1.7 SPACE/UNIT = 91.5 SPACES 63 - 1 BR UNITS x 1.7 SPACE/UNIT = 107 SPACES 58 - 2 BR UNITS x 1.7 SPACE/UNIT = 98.5 SPACES 53 - 3 BR UNITS x 1.7 SPACE/UNIT = 90 SPACES 87 - 4 BR UNITS x 1.7 SPACE/UNIT = 148 SPACES 20 - 5 BR UNITS x 1.7 SPACE/UNIT = 34 SPACES COMMERCIAL = 0 SPACES
BICYCLE PARKING QUANTITY BICYCLE COMMUTE AREA STUDIO: 54 UNITS 1 BR: 63 UNITS 2 BR: 58 UNITS 3 BR: 53 UNITS 4 BR: 87 UNITS 5 BR: 20 UNITS GUEST: 335 UNITS COMMERCIAL 3,460 SF	362 SPACES REQUIRED 54 STUDIO UNITS x 0.75 SPACE/UNIT = 40.5 SPACES 63 - 1 BR UNITS x 0.75 SPACE/UNIT = 47.25 SPACES 58 - 2 BR UNITS x 0.75 SPACE/UNIT = 43.5 SPACES 53 - 3 BR UNITS x 1 SPACE/UNIT = 53 SPACES 87 - 4 BR UNITS x 1 SPACE/UNIT = 87 SPACES 20 - 5 BR UNITS x 1 SPACE/UNIT = 20 SPACES 335 UNITS x 0.2 SPACE/UNIT = 67 SPACES 3,460 SF COMMERCIAL x 1 SPACE/7,500 SF, 4 MIN = 4 SPACES	325 SPACES PROPOSED 1-2 BR UNITS: 296 UNITS x 0.5 SPACE/UNIT = 148 SPACES 3+4 BR UNITS: 71 UNITS x 0.75 SPACE/UNIT = 53 SPACES RES. GUESTS: 370 UNITS x 0.2 SPACE/UNIT = 74 SPACES CONFERENCE: 31,801 NSF X 1 SPACE/2,000 SF = 25 SPACES RETAIL: 19,534 GSF x 1 SPACE/10,000 SF = 2 SPACE RESTAURANT: 13,673 GSF x 1 SPACE/1,000 SF = 14 SPACES BAR/NIGHTCLUB: 5,860 GSF X 1 SPACE/1,000 SF = 6 SPACES	362 SPACES PROPOSED ±1.07 SPACE / DWELLING UNIT 54 STUDIO UNITS x 1.07 SPACE/UNIT = 58 SPACES 63 - 1 BR UNITS x 1.07 SPACE/UNIT = 68 SPACES 58 - 2 BR UNITS x 1.07 SPACE/UNIT = 62 SPACES 53 - 3 BR UNITS x 1.07 SPACE/UNIT = 57 SPACES 87 - 4 BR UNITS x 1.07 SPACE/UNIT = 93 SPACES 20 - 5 BR UNITS x 1.07 SPACE/UNIT = 22 SPACES COMMERCIAL = 2 SPACES
USES	NS	TOTAL DEVELOPMENT: 1,257,694 GSF HOTEL: 165,245 SF (240 KEYS) CONDOMINIUMS: 454,395 GSF (370 UNITS) CONFERENCE SPACE: 113,022 GSF RETAIL/RESTAURANT/BAR: 39,057 GSF (W/ MAX 10 MEZZANINE) ELECTRICAL/MECHANICAL/OT/PROP & SERVICE: 28,555 GSF PARKING GARAGE: 457,410 GSF	562,460 SF (TOTAL BUILDING AREA) RESIDENTIAL: 372,800 SF PARKING: 194,300 SF COMMERCIAL: 3,460 SF (INCLUDES OUTDOOR SEATING) AMENITIES/PATIO: 12,000 SF

DS 150978

PL 150449

REC 16053



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ENGINEERING SURVEYING
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P: 706.330.8080
F: 706.330.0411

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THE STANDARD AT TEMPE

11 EAST 7TH STREET
TEMPE, MARICOPA COUNTY, ARIZONA
0.85 ACRES

DATE: 03/07/2016

REVISIONS	
DATE	COMMENT
04/13/16	PER CITY COMMENTS
05/10/16	PER CITY COMMENTS

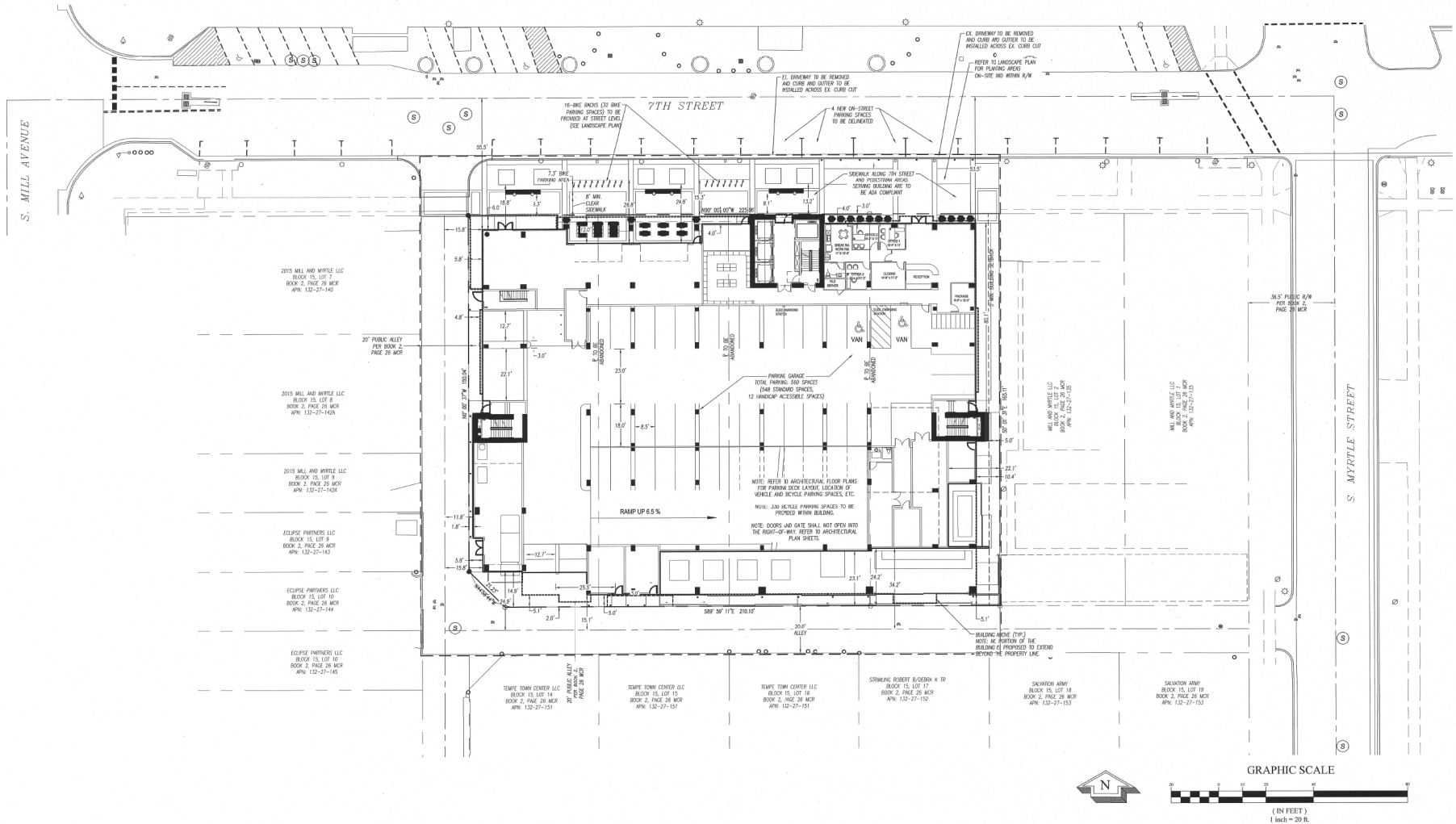


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15137

2 of 3

1ST AMENDED PLANNED AREA DEVELOPMENT OVERLAY FOR THE STANDARD AT TEMPE SITE PLAN



REC 16053

PL 150449

DS 150978

Williams & Associates
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THE STANDARD AT TEMPE
11 EAST 7TH STREET
TEMPE, MARICOPA COUNTY, ARIZONA
0.85 ACRES

DATE: 03/07/2016	
REVISIONS	
DATE	COMMENT
04/13/16	PER CITY COMMENTS
05/10/16	PER CITY COMMENTS

Professional Engineer Seal for Williams & Associates, State of Arizona, License No. 11111.

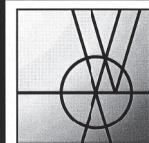
15137
PLANNED AREA
DEVELOPMENT OVERLAY

3 of 3

DS 150978

PL 150449

REC 16053



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LANDSCAPE ARCHITECTURE

2470 Daniels Bridge Road, Suite 161
Athens, Georgia 30606
P. 706.318.0400
F. 706.318.0411

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THE STANDARD AT TEMPE
11 EAST 7TH STREET
TEMPE, MARICOPA COUNTY, ARIZONA
0.85 ACRES

DATE: 03/18/2016

REVISIONS

DATE	COMMENT
04/13/16	PER CITY COMMENTS
05/10/16	PER CITY COMMENTS

BASE OF BEARING
INDICATED ALONG THE CENTERLINE OF 7TH STREET
FOR BOOK 2, PAGE 26 RECORDS OF MARICOPA
COUNTY, ARIZONA

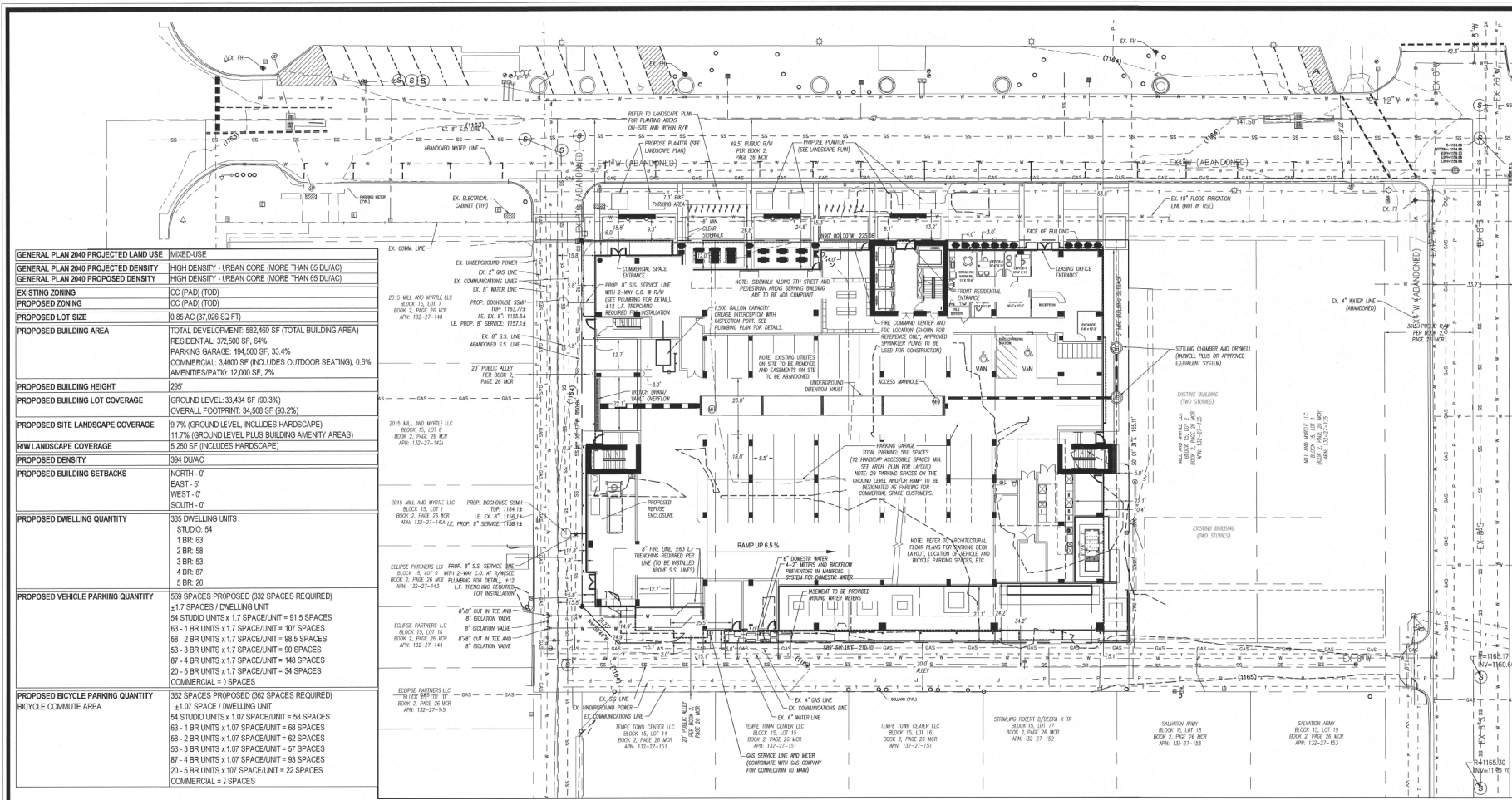
BENCHMARK
FINDING CITY OF TEMPE BRASS CAP IN PAVED WALK AT
THE INTERSECTION OF COLLEGE AVENUE AND
UNIVERSITY DRIVE FOR CITY OF TEMPE COUNCIL POINT
143
ELEVATION: 1182.67



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AND SHALL RETAIN FULL PROTECTION
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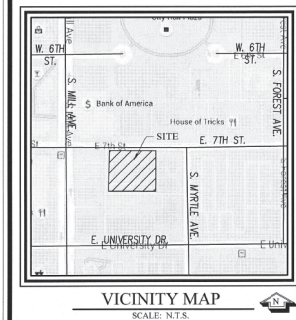
15137
SITE PLAN FOR
DEVELOPMENT PLAN
REVIEW

1 of 1



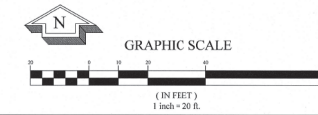
GENERAL PLAN 2040 PROJECTED LAND USE	MIXED USE
GENERAL PLAN 2040 PROJECTED DENSITY	HIGH DENSITY - URBAN CORE (MORE THAN 65 DU/AC)
GENERAL PLAN 2040 PROPOSED DENSITY	HIGH DENSITY - URBAN CORE (MORE THAN 65 DU/AC)
EXISTING ZONING	CC (PAD) (TOD)
PROPOSED ZONING	CC (PAD) (TOD)
PROPOSED LOT SIZE	0.85 AC (37,026 S ² FT)
PROPOSED BUILDING AREA	TOTAL DEVELOPMENT: 582,460 SF (TOTAL BUILDING AREA) RESIDENTIAL: 375,500 SF, 64% PARKING GARAGE: 194,500 SF, 33.4% COMMERCIAL: 3,460 SF (INCLUDES OUTDOOR SEATING), 0.6% AMENITIES/PATIO: 12,000 SF, 2%
PROPOSED BUILDING HEIGHT	26'
PROPOSED BUILDING LOT COVERAGE	(GROUND LEVEL) 33,434 SF (93.3%) OVERALL FOOTPRINT: 34,508 SF (93.2%)
PROPOSED SITE LANDSCAPE COVERAGE	9.7% (GROUND LEVEL, INCLUDES HARDSCAPE)
R/W LANDSCAPE COVERAGE	11.7% (GROUND LEVEL PLUS BUILDING AMENITY AREAS)
PROPOSED DENSITY	384 DU/AC
PROPOSED BUILDING SETBACKS	NORTH - 0' EAST - 9' WEST - 0' SOUTH - 0'
PROPOSED DWELLING QUANTITY	335 DWELLING UNITS STUDIO: 54 1 BR: 63 2 BR: 58 3 BR: 53 4 BR: 37 5 BR: 20
PROPOSED VEHICLE PARKING QUANTITY	569 SPACES PROPOSED (332 SPACES REQUIRED) ±1.7 SPACES / DWELLING UNIT 54 STUDIO UNITS x 1.7 SPACE/UNIT = 91.5 SPACES 63 - 1 BR UNITS x 1.7 SPACE/UNIT = 107 SPACES 58 - 2 BR UNITS x 1.7 SPACE/UNIT = 98.6 SPACES 53 - 3 BR UNITS x 1.7 SPACE/UNIT = 90 SPACES 37 - 4 BR UNITS x 1.7 SPACE/UNIT = 148 SPACES 20 - 5 BR UNITS x 1.7 SPACE/UNIT = 34 SPACES COMMERCIAL = 0 SPACES
PROPOSED BICYCLE PARKING QUANTITY	362 SPACES PROPOSED (362 SPACES REQUIRED) ±1.07 SPACE / DWELLING UNIT 54 STUDIO UNITS x 1.07 SPACE/UNIT = 58 SPACES 63 - 1 BR UNITS x 1.07 SPACE/UNIT = 68 SPACES 58 - 2 BR UNITS x 1.07 SPACE/UNIT = 62 SPACES 53 - 3 BR UNITS x 1.07 SPACE/UNIT = 57 SPACES 37 - 4 BR UNITS x 1.07 SPACE/UNIT = 39 SPACES 20 - 5 BR UNITS x 1.07 SPACE/UNIT = 22 SPACES COMMERCIAL = 2 SPACES

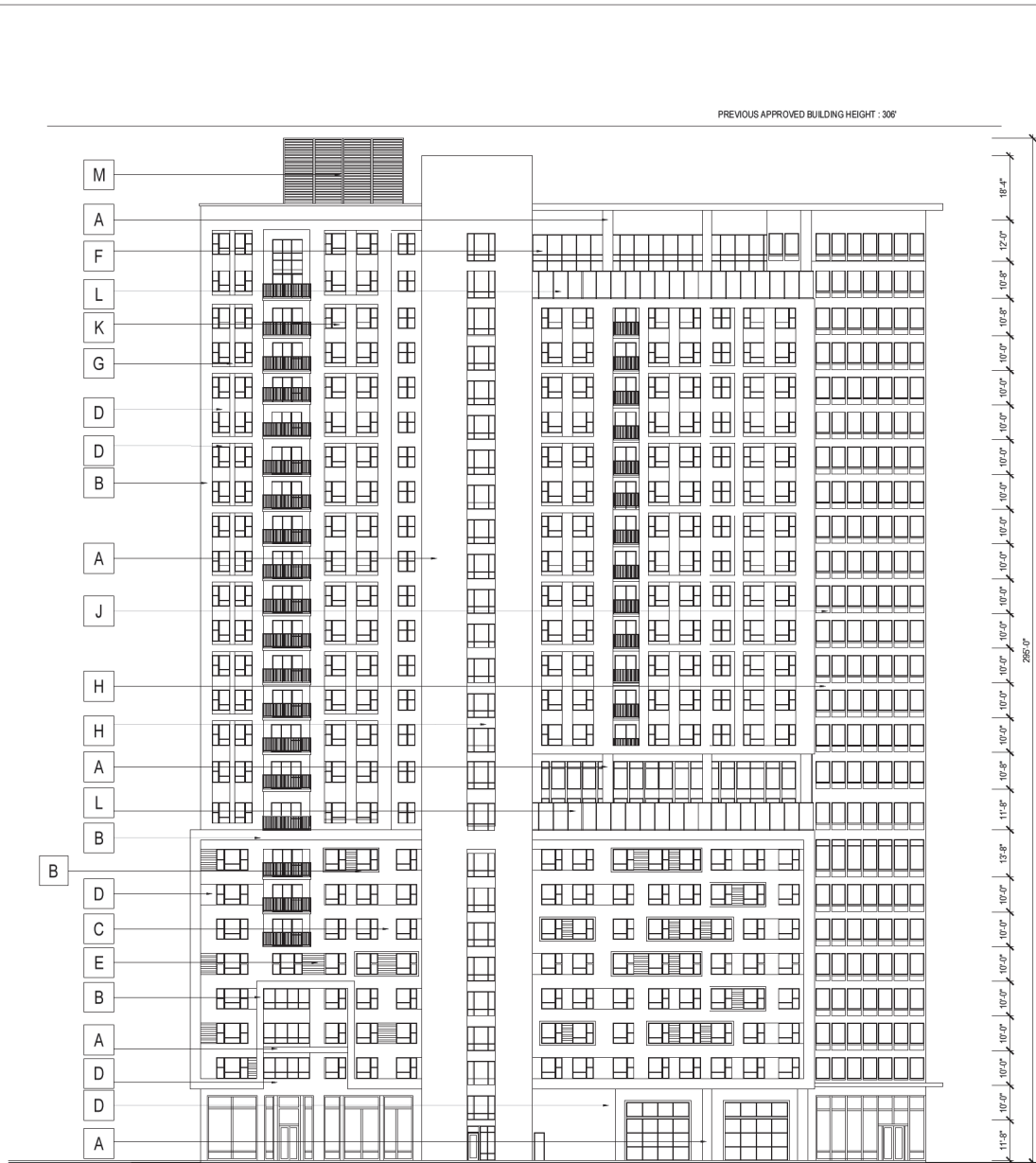
PROJECT DATA
OWNER: DANIELS BRIDGE, WELLSFARGO & ASSOCIATES
PO BOX 1632
TEMPE, AZ 85285-1632
(480) 971-3800
CONTRACTOR: WELLSFARGO.COM
PROJECT NAME: THE STANDARD AT TEMPE
PHYSICAL ADDRESS: 11 EAST 7TH STREET, TEMPE, AZ
PARCEL ID #S: PARCEL 1 A.P.N. 132-27-138
PARCEL 2 A.P.N. 132-27-137
PARCEL 3 A.P.N. 132-27-139
PARCEL 4 A.P.N. 132-27-139
IBC CONSTRUCTION TYPE: TYPE I-A
OCCUPANCY CLASSIFICATION: R2
THE PROPOSED BUILDING WILL BE EQUIPPED WITH AN AUTOMATIC EXTINGUISHING SYSTEM PER CITY OF TEMPE, IBC
THE PROPOSED BUILDING WILL BE EQUIPPED WITH FIRE ALARMS
THE PROPOSED BUILDING WILL HAVE NON-SERVICED USE.



SYMBOL LEGEND

- EX. STORM DRAIN MANHOLE
- EX. GRAVE INLET
- EX. CURB INLET
- EX. SANITARY SINKER MANHOLE
- EX. FIRE HYDRANT
- EX. WATER VALVE
- EX. WATER METER
- EX. FIRE DEPARTMENT CONNECTION
- EX. BACK FLOW PREVENTER
- EX. LIGHT POLE
- EX. UTILITY POLE
- EX. ELECTRICAL PANEL BOX
- EX. TELEPHONE PEDESTAL
- EX. TELEPHONE MOUNT
- EX. GAS VALVE
- EX. GAS ROSE
- EX. PARKING METER
- EX. BOLLARD



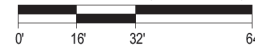


7TH St. ELEVATION - NORTH ELEVATION

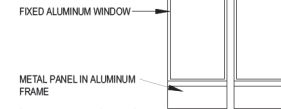
MATERIAL/ COLOR KEY NOTES

A.	METAL PANEL - BERRIDGE SHERWIN WILLIAMS - SW 7602 INDIGO BATIC - LRV 8
B.	STUCCO FINISH - DRYVIT SHERWIN WILLIAMS - SW 7603 NEBULOUS WHITE - LRV 74
C.	STUCCO FINISH - DRYVIT SHERWIN WILLIAMS - SW 9173 SHITAKE - LRV 51
D.	STUCCO FINISH - DRYVIT SHERWIN WILLIAMS - SW 7075 WEB GRAY - LRV 13
E.	FIBER CEMENT PANEL ALLURA COLORMAX FINISHING SYSTEM CEDAR
F.	STOREFRONT - PPG/HP FRAME COLOR: GREY ALUMINUM
G.	STUCCO FINISH - DRYVIT SHERWIN WILLIAMS - SW 7603 POOLHOUSE - LRV 29
H.	METAL PANEL BERRIDGE METAL ZINC GRAY
J.	METAL PANEL - BERRIDGE SHERWIN WILLIAMS - SW 7073 NETWORK GRAY - LRV 37
K.	ALUMINUM WINDOWS - PPG/HP FRAME COLOR: DARK GREY CLEAR/DUAL PANEL/LOW-E
L.	GLASS RAILING - JB GLASS RAILING 2" DIA. ALUM. TOP RAIL, 1/2" CLEAR TEMPERED GLASS PANEL
M.	EQUIPMENT SCREEN ARCHITECTURAL LOUVERS DOVE GRAY
N.	METAL SCREEN MCNICHOLS G-W 150A
P.	METAL SCREEN - BERRIDGE ZINC GREY
R.	METAL SCREEN - BERRIDGE SHERWIN WILLIAMS - SW 7602 INDIGO BALTIC

SCALE: 1/16" = 1'-0" (24"x36" SHEET)



ENLARGED WINDOW ELEVATION (NW CORNER)



Designed by: **GJ**

Drawn by: _____

Architect of Record: **MEP**

Date Plotted: **04/13/16**

Issue for Pricing / Bidding: **N/A**

Issue for Permit Application: **N/A**

Issue for Construction: **N/A**

Revisions:

#	DATE	COMMENTS
1	04/13/16	PAD RESUB.
2	05/10/16	PAD RESUB.

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THE STANDARD AT TEMPE
11 EAST 7TH STREET
TEMPE, MARICOPA COUNTY, ARIZONA
0.85 ACRES
LANDMARK PROPERTIES, LLC
NOTICE OF EXTENDED CERTIFICATION AND APPROVAL PERIOD PROVISION
THIS CONTRACT ALLOWS THE OWNER TO CARRY AND ABANDON BUILDING PERMITS WITHIN 90 DAYS AFTER THE BUILDING AND EXISTING PLAN IS ACCEPTED FOR THE CONTRACT.



HUMPHREYS & PARTNERS ARCHITECTS, L.P.
5338 ALPHEA ROAD - SUITE 300 DALLAS TEXAS 75240
(972) 701-8639 (972) 701-8639 FAX
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SHEET CONTENTS:

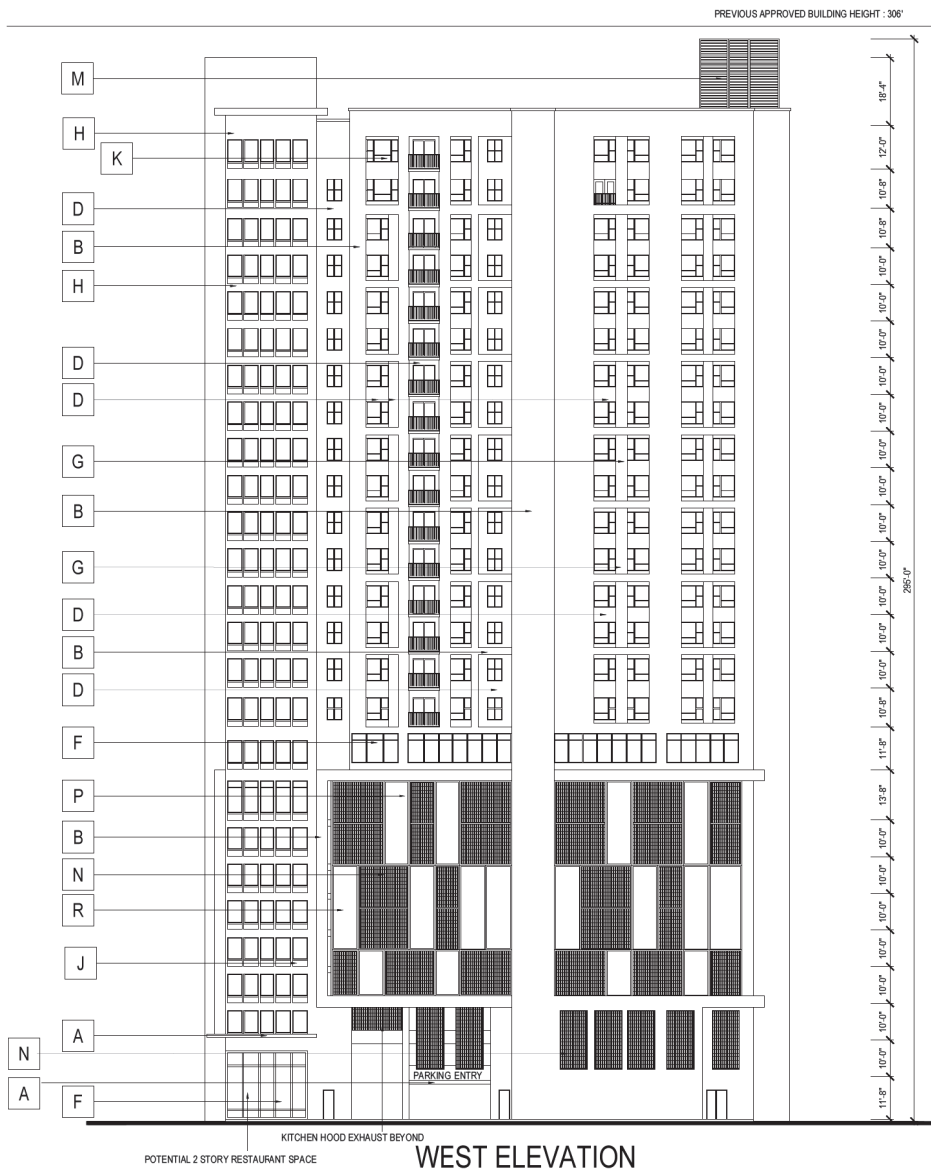
ELEVATION

SHEET NO.

A 5.01

15282

PAD SUBMITTAL - NOT FOR CONSTRUCTION



MATERIAL/ COLOR KEY NOTES

A.	METAL PANEL - BERRIDGE SHERWIN WILLIAMS - SW 7602 INDIGO BATIK - LRV 8
B.	STUCCO FINISH - DRYVIT SHERWIN WILLIAMS - SW 7063 NEBULOUS WHITE - LRV 74
C.	STUCCO FINISH - DRYVIT SHERWIN WILLIAMS - SW 9173 SHITAKE - LRV 51
D.	STUCCO FINISH - DRYVIT SHERWIN WILLIAMS - SW 7075 WEB GRAY - LRV 13
E.	FIBER CEMENT PANEL ALLURA COLORMAX FINISHING SYSTEM CEDAR
F.	STOREFRONT - PPG/IAP FRAME COLOR: GREY ALUMINUM
G.	STUCCO FINISH - DRYVIT SHERWIN WILLIAMS - SW 7603 POOLHOUSE - LRV 29
H.	METAL PANEL BERRIDGE METAL ZINC GRAY
J.	METAL PANEL - BERRIDGE SHERWIN WILLIAMS - SW 7073 NETWORK GRAY - LRV 37
K.	ALUMINUM WINDOWS - PPG/IAP FRAME COLOR: DARK GREY CLEAR/DUAL PANE/LOW-E
L.	GLASS RAILING - JB GLASS RAILING 2" DIA. ALUM. TOP RAIL, 1/2" CLEAR TEMPERED GLASS PANEL
M.	EQUIPMENT SCREEN ARCHITECTURAL LOUVERS DOVE GRAY
N.	METAL SCREEN MCNICHOLS G-W 150A
P.	METAL SCREEN - BERRIDGE ZINC GREY
R.	METAL SCREEN - BERRIDGE SHERWIN WILLIAMS - SW 7602 INDIGO BALTIC

Designed by: **GU**

Drawn by: _____

Architect of Record: **MEP**

Date Plotted: **04/13/16**

Issue for Pricing / Bidding: **N/A**

Issue for Permit Application: **N/A**

Issue for Construction: **N/A**

Revisions:

#	DATE	COMMENTS
1	04/13/16	PAD RESUB.
2	05/10/16	PAD RESUB.

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THE STANDARD AT TEMPE
11 EAST 77th STREET
TEMPE, MARICOPA COUNTY, ARIZONA
0.86 ACRES

LANDMARK PROPERTIES, LLC
NOTICE OF EXTENDED CERTIFICATION LAND APPROVAL PERIOD PROVISION

THIS CONTRACT ALLOWS THE OWNER TO CARRY AND ABANDON BUILDING AND TERMINATE WITHIN 90 DAYS AFTER THE BUILDING AND ESTIMATED DATE RECEIVED FROM THE CONTRACTOR.



HUMPHREYS & PARTNERS ARCHITECTS, L.P.
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SHEET CONTENTS:

ELEVATION

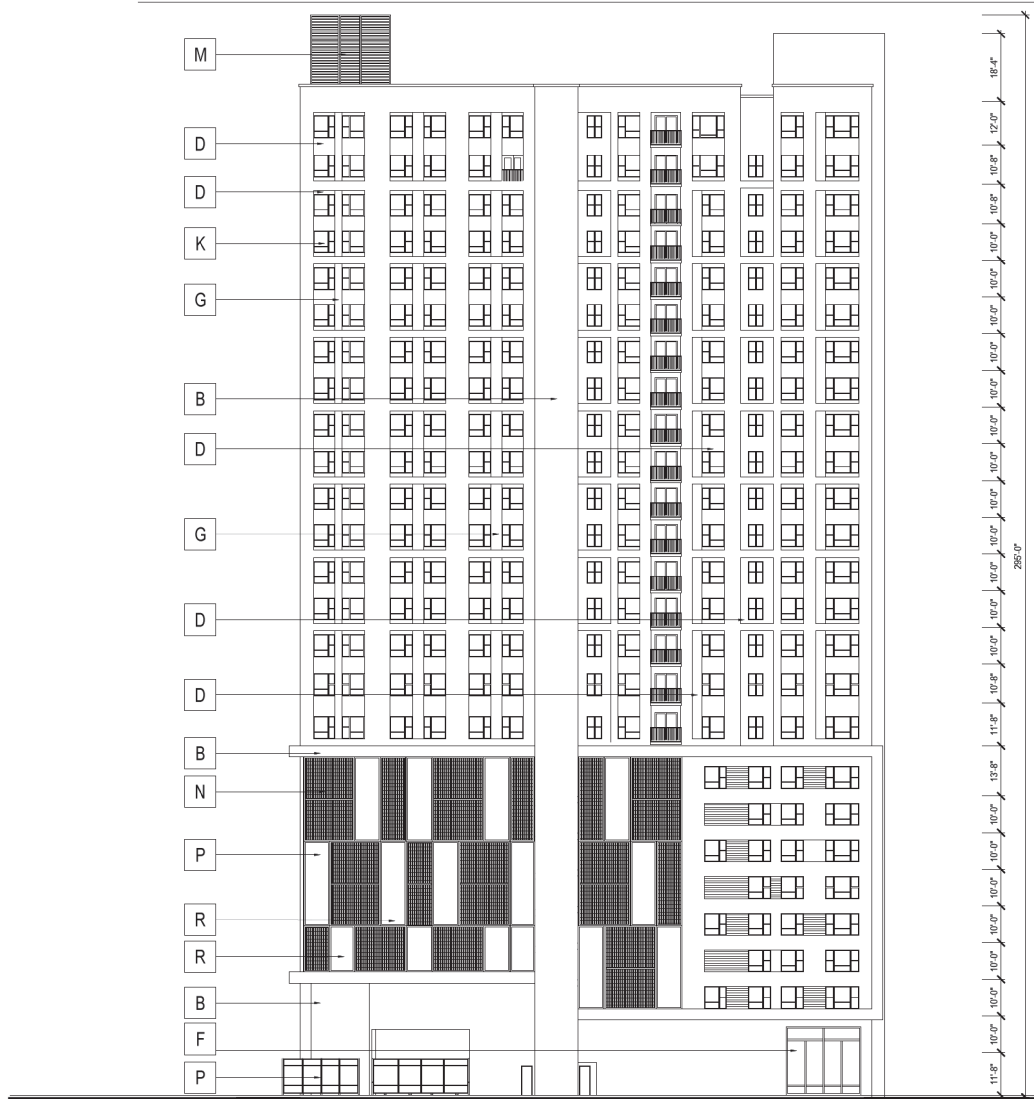
SHEET NO.

A 5.02

15282

PAD SUBMITTAL - NOT FOR CONSTRUCTION

PREVIOUS APPROVED BUILDING HEIGHT : 306'

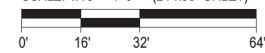


EAST ELEVATION

MATERIAL/ COLOR KEY NOTES

A.	METAL PANEL - BERRIDGE SHERWIN WILLIAMS - SW 7802 INDIGO BALKI - LRV 8
B.	STUCCO FINISH - DRYVIT SHERWIN WILLIAMS - SW 7063 NEBULOUS WHITE - LRV 74
C.	STUCCO FINISH - DRYVIT SHERWIN WILLIAMS - SW 9173 SHIITAKE - LRV 51
D.	STUCCO FINISH - DRYVIT SHERWIN WILLIAMS - SW 7075 WEB GRAY - LRV 13
E.	FIBER CEMENT PANEL ALLURA COLORMAX FINISHING SYSTEM CEDAR
F.	STOREFRONT - PPGIAP FRAME COLOR: GREY ALUMINUM
G.	STUCCO FINISH - DRYVIT SHERWIN WILLIAMS - SW 7603 POOLHOUSE - LRV 29
H.	METAL PANEL BERRIDGE METAL ZINC GRAY
J.	METAL PANEL - BERRIDGE SHERWIN WILLIAMS - SW 7073 NETWORK GRAY - LRV 37
K.	ALUMINUM WINDOWS - PPGIAP FRAME COLOR: DARK GREY CLEAR/DUAL PANE/LOW-E
L.	GLASS RAILING - JB GLASS RAILING 2" DIA. ALUM. TOP RAIL , 1/2" CLEAR TEMPERED GLASS PANEL
M.	EQUIPMENT SCREEN ARCHITECTURAL LOUVERS DOVE GRAY
N.	METAL SCREEN MCNICHOLS G-W 150A
P.	METAL SCREEN - BERRIDGE ZINC GRAY
R.	METAL SCREEN - BERRIDGE SHERWIN WILLIAMS - SW 7802 INDIGO BALKI

SCALE: 1/16" = 1'-0" (24"x36" SHEET)



Designed by: **GU**

Drawn by: _____

Architect of Record: **MEP**

Date Plotted: **04/13/16**

Issue for Pricing / Bidding: **N/A**

Issue for Permit Application: **N/A**

Issue for Construction: **N/A**

Revisions:

#	DATE	COMMENTS
1	04/13/16	PAD RESUB.
2	05/10/16	PAD RESUB.

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THE STANDARD AT TEMPE
11 EAST 77th STREET
TEMPE, MARICOPA COUNTY, ARIZONA
0.85 ACRES
LANDMARK PROPERTIES, LLC
NOTICE OF EXTENDED CERTIFICATION AND APPROVAL PERIOD PROVISION

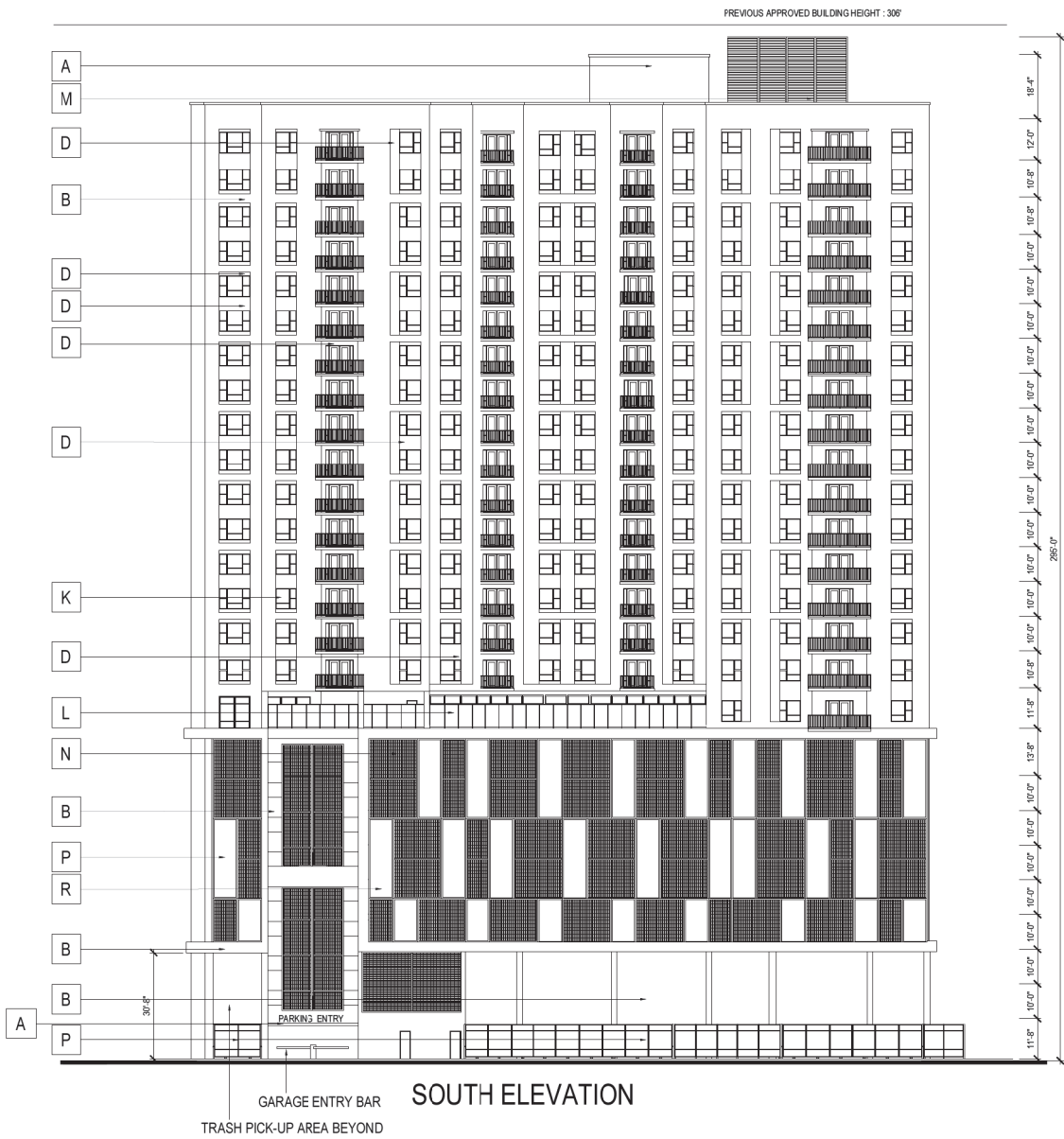
THIS CONTRACT ALLOWS THE OWNER TO CARRY AND ABANDON BUILDINGS AND TERMINATE WITHIN 90 DAYS AFTER THE BUILDING AND ESTABLISHED DATE RECEIVED FROM THE CONTRACTOR.



HUMPHREYS & PARTNERS ARCHITECTS, L.P.
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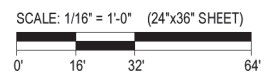
SHEET CONTENTS:
ELEVATION
SHEET NO.
A 5.03

PAD SUBMITTAL - NOT FOR CONSTRUCTION



MATERIAL/ COLOR KEY NOTES

A.	METAL PANEL - BERRIDGE SHERWIN WILLIAMS - SW 7602 INDIGO BATIK - LRV 8
B.	STUCCO FINISH - DRYVIT SHERWIN WILLIAMS - SW 7063 NEBULOUS WHITE - LRV 74
C.	STUCCO FINISH - DRYVIT SHERWIN WILLIAMS - SW 9173 SHITAKE - LRV 51
D.	STUCCO FINISH - DRYVIT SHERWIN WILLIAMS - SW 7075 WEB GRAY - LRV 13
E.	FIBER CEMENT PANEL ALLURA COLOMAX FINISHING SYSTEM CEDAR
F.	STOREFRONT - PPG/IAP FRAME COLOR: GREY ALUMINUM
G.	STUCCO FINISH - DRYVIT SHERWIN WILLIAMS - SW 7063 POOLHOUSE - LRV 29
H.	METAL PANEL BERRIDGE METAL ZINC GRAY
J.	METAL PANEL - BERRIDGE SHERWIN WILLIAMS - SW 7073 NETWORK GRAY - LRV 37
K.	ALUMINUM WINDOWS - PPG/IAP FRAME COLOR: DARK GREY CLEAR/DUAL PANE/LOW-E
L.	GLASS RAILING - JB GLASS RAILING 2" DIA. ALUM. TOP RAIL, 1/2" CLEAR TEMPERED GLASS PANEL
M.	EQUIPMENT SCREEN ARCHITECTURAL LOUVERS DOVE GRAY
N.	METAL SCREEN MCNICHOLS G-W 150A
P.	METAL SCREEN - BERRIDGE ZINC GREY
R.	METAL SCREEN - BERRIDGE SHERWIN WILLIAMS - SW 7602 INDIGO BALTIK



Designed by:	GJ	
Drawn by:		
Architect of Record:	MEP	
Date Plotted:	04/13/16	
Issue for Pricing / Bidding:	N/A	
Issue for Permit Application:	N/A	
Issue for Construction:	N/A	
Revisions:		
#	DATE	COMMENTS
1	04/13/16	PAD RESUB.
2	05/10/16	PAD RESUB.

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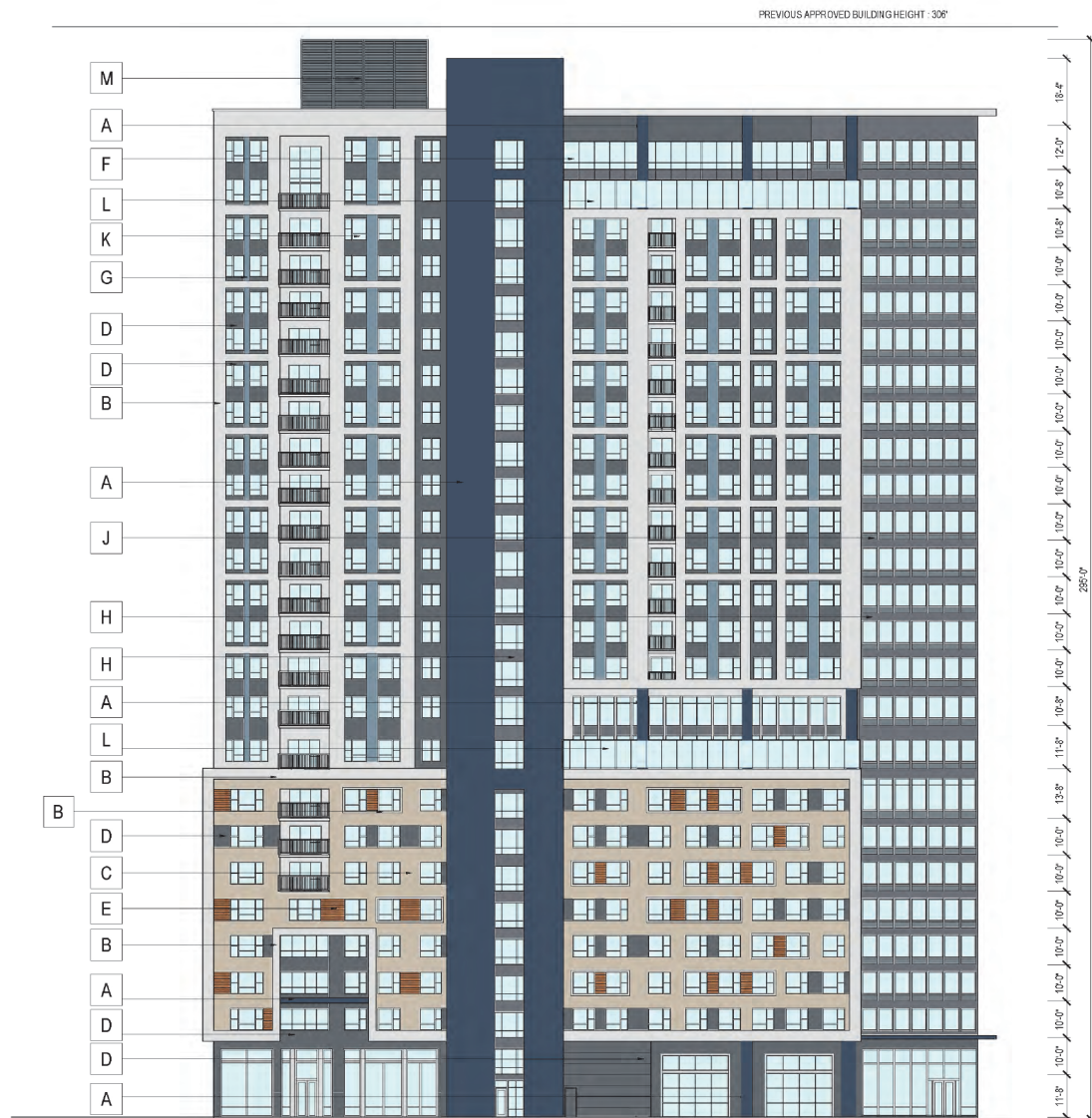
THE STANDARD AT TEMPE
 11 EAST 77th STREET
 TEMPE, MARICOPA COUNTY, ARIZONA
 0.86 ACRES
LANDMARK PROPERTIES, LLC
 NOTICE OF EXTENDED CERTIFICATION AND APPROVAL PERIOD PROVISION
 THIS CONTRACT ALLOWS THE OWNER TO DEFER AND APPROVE BILLING AND PAYMENTS WITHIN 30 DAYS AFTER THE BILLING AND ESTIMATED DATE RECEIVED FROM THE CONTRACTOR.



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 5338 ALPHEA ROAD - SUITE 300 DALLAS, TEXAS 75240
 (972) 707-1857 (972) 707-1858 FAX
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A.5.04

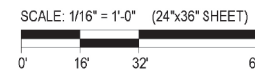
PAD SUBMITTAL - NOT FOR CONSTRUCTION



7TH St. ELEVATION - NORTH ELEVATION

MATERIAL/ COLOR KEY NOTES

A.	METAL PANEL - BERRIDGE SHERWIN WILLIAMS - SW 7602 INDIGO BALTIC - LRV 8
B.	STUCCO FINISH - DRYVIT SHERWIN WILLIAMS - SW 7063 NEBULOUS WHITE - LRV 74
C.	STUCCO FINISH - DRYVIT SHERWIN WILLIAMS - SW 9173 SHITAKE - LRV 51
D.	STUCCO FINISH - DRYVIT SHERWIN WILLIAMS - SW 7075 WEB GRAY - LRV 13
E.	FIBER CEMENT PANEL ALLURA COLORMAX FINISHING SYSTEM CEDAR
F.	STOREFRONT - PPG/AF FRAME COLOR: GREY ALUMINUM
G.	STUCCO FINISH - DRYVIT SHERWIN WILLIAMS - SW 7603 POOL-HOUSE - LRV 29
H.	METAL PANEL BERRIDGE METAL ZINC GRAY
J.	METAL PANEL - BERRIDGE SHERWIN WILLIAMS - SW 7073 NETWORK GRAY - LRV 37
K.	ALUMINUM WINDOWS - PPG/AF FRAME COLOR: DARK GREY CLEAR/DUAL PANEL/LOW-E
L.	GLASS RAILING - JB GLASS RAILING 2" DIA. ALUM. TOP RAIL 1/2" CLEAR TEMPERED GLASS PANEL
M.	EQUIPMENT SCREEN ARCHITECTURAL LOUVERS DOVE GRAY
N.	METAL SCREEN MCNICHOLS G-W 150A
P.	METAL SCREEN - BERRIDGE ZINC GREY
R.	METAL SCREEN - BERRIDGE SHERWIN WILLIAMS - SW 7602 INDIGO BALTIC



Designed by	GJ	
Drawn by	MEP	
Date/Project	04/13/16	
Issue for Permit / Bidding	N/A	
Issue for Permit Application	N/A	
Issue for Construction	N/A	
Revised	N/A	
#	DATE	COMMENTS
1	04/13/16	PAD RESUB.
2	05/10/16	PAD RESUB.

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THE STANDARD AT TEMPE
 11 EAST 7TH STREET
 TEMPE, MARICOPA COUNTY, ARIZONA
 0.85 ACRES
LANDMARK PROPERTIES, LLC
 NOTICE OF EXTENDED CERTIFICATION AND APPROVAL PERIOD PROVISION
 THIS CONTRACT ALLOWS THE OWNER TO CERTIFY AND APPROVE BUILDINGS AND FINISHES WITHIN 90 DAYS OF THE BUILDING AND CONSTRUCTION PERMITS ISSUED BY THE JURISDICTION.



HUMPHREYS & PARTNERS ARCHITECTS, L.P.
 5355 ALVA AVENUE, SUITE 200, DALLAS, TEXAS 75240
 (972) 701-9839 (972) 701-9839 FAX
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 SAN FRANCISCO • SCOTTSDALE • EASTON/NEW YORK • TORONTO • MONTREAL
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SHEET CONTENTS

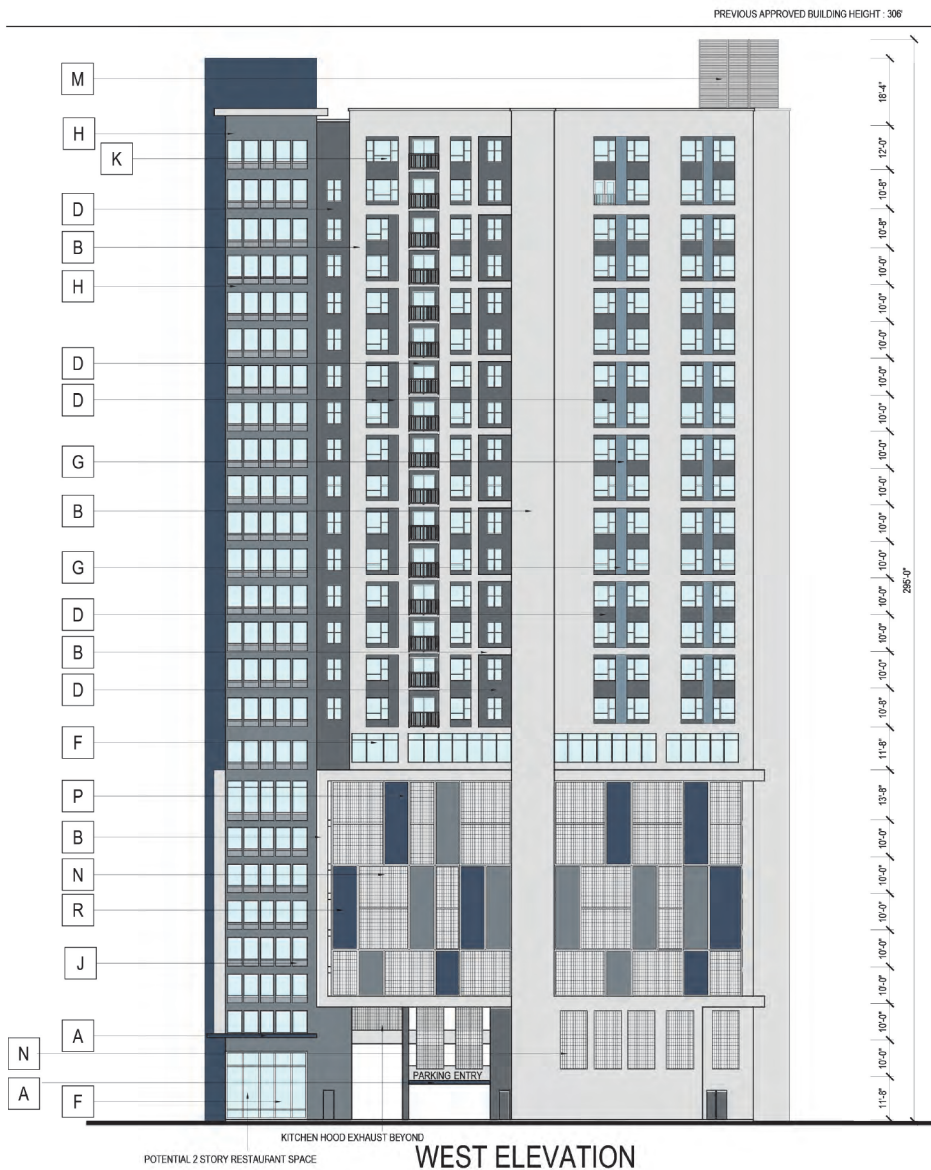
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SHEET NO.

A 5.05

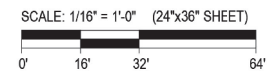
15282

PAD SUBMITTAL - NOT FOR CONSTRUCTION



MATERIAL/ COLOR KEY NOTES

A.	METAL PANEL - BERRIDGE SHERWIN WILLIAMS - SW 7602 INDIGO BATIK - LRV 8
B.	STUCCO FINISH - DRYVIT SHERWIN WILLIAMS - SW 7063 NEBULOUS WHITE - LRV 74
C.	STUCCO FINISH - DRYVIT SHERWIN WILLIAMS - SW 9173 SHIITAKE - LRV 51
D.	STUCCO FINISH - DRYVIT SHERWIN WILLIAMS - SW 7075 WEB GRAY - LRV 13
E.	FIBER CEMENT PANEL ALLURA COLORMAX FINISHING SYSTEM CEDAR
F.	STOREFRONT - PPG/AP FRAME COLOR: GREY ALUMINUM
G.	STUCCO FINISH - DRYVIT SHERWIN WILLIAMS - SW 7603 POOLHOUSE - LRV 28
H.	METAL PANEL BERRIDGE METAL ZINC GRAY
J.	METAL PANEL - BERRIDGE SHERWIN WILLIAMS - SW 7073 NETWORK GRAY - LRV 37
K.	ALUMINUM WINDOWS - PPG/AP FRAME COLOR: DARK GREY CLEAR/DUAL PANE/LOW-E
L.	GLASS RAILING - JB GLASS RAILING 2" DIA. ALUM. TOP RAIL 1/2" CLEAR TEMPERED GLASS PANEL
M.	EQUIPMENT SCREEN ARCHITECTURAL LOUVERS DOVE GRAY
N.	METAL SCREEN MCNICHOLS G-W 150A
P.	METAL SCREEN - BERRIDGE ZINC GREY
R.	METAL SCREEN - BERRIDGE SHERWIN WILLIAMS - SW 7602 INDIGO BALTIC



Designed by: **GU**

Drawn by: **MEP**

Issue/Revised: **04/13/16**

Issue for Pricing/Bidding:	N/A
Issue for Permit Application:	N/A
Issue for Construction:	N/A

#	DATE	COMMENTS
1	04/13/16	PAD RESUB.
2	05/10/16	PAD RESUB.

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THE STANDARD AT TEMPE
11 EAST 7TH STREET
TEMPE, MARICOPA COUNTY, ARIZONA
0.85 ACRES
LANDMARK PROPERTIES, LLC
NOTICE OF EXTENDED CERTIFICATION AND APPROVAL PERIOD PROVISION
THIS CONTRACT ALLOWS THE OWNER TO CERTIFY AND APPROVE BILLINGS AND DEMANDS WITHIN 30 DAYS AFTER THE BILLINGS AND CERTIFICATE ARE RECEIVED FROM THE CONTRACTOR.



HUMPHREYS & PARTNERS ARCHITECTS, L.P.
539 ALPHA ROAD - SUITE 300 - DALLAS, TEXAS 75240
(972) 701-8639 (972) 701-8639 FAX
DALLAS - CHICAGO - NEW ORLEANS - NEW YORK - NEWPORT BEACH - ORLANDO
SAN RAMON - SCOTTSDALE - EDMONTON - TORONTO - MONTEVIDEO
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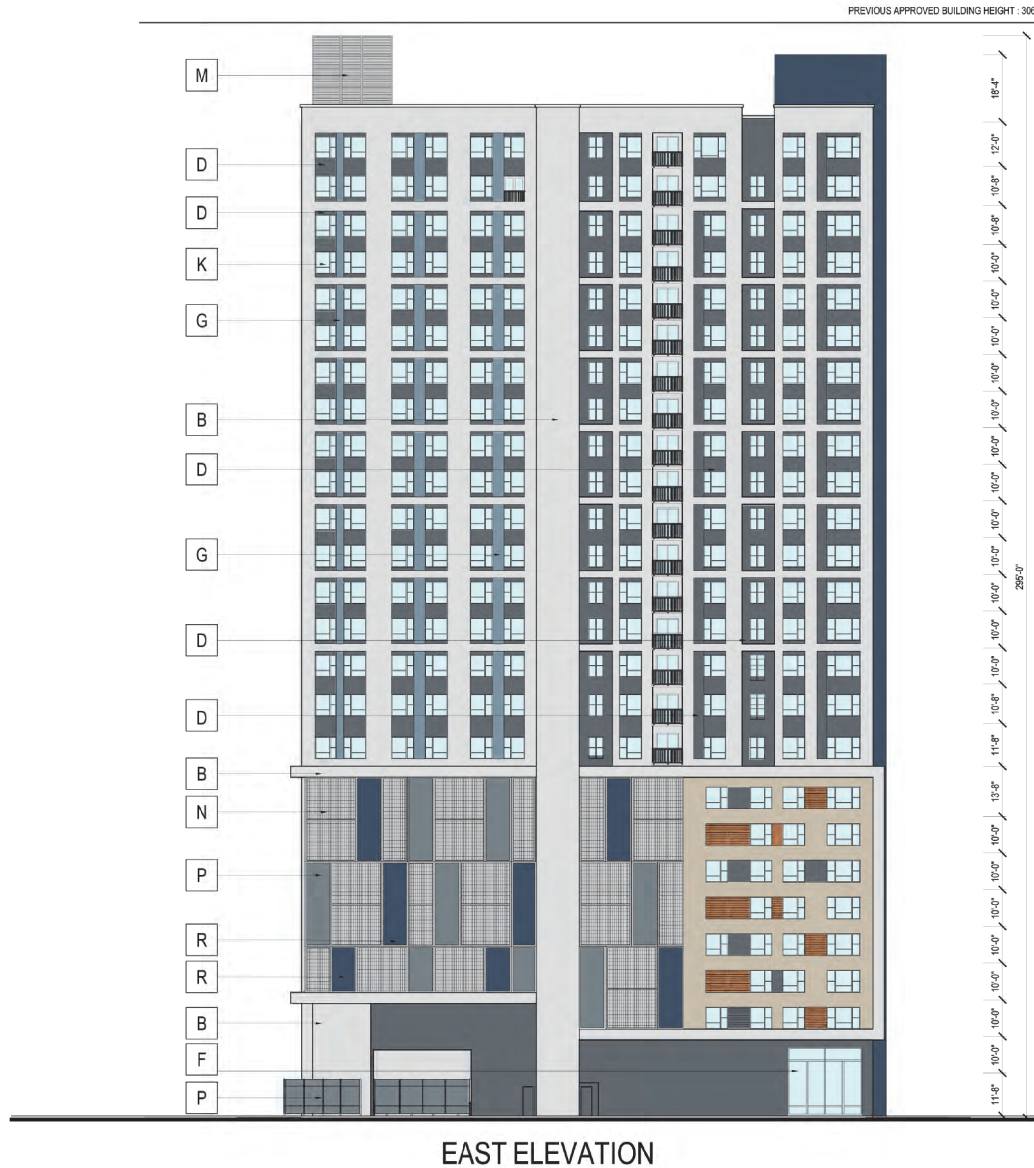
PAD SUBMITTAL - NOT FOR CONSTRUCTION

SHEET CONTENTS:
COLOR ELEVATION

SHEET NO.

A 5.06

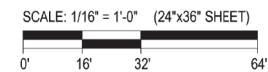
15282



PREVIOUS APPROVED BUILDING HEIGHT : 306'

MATERIAL/ COLOR KEY NOTES

A.	METAL PANEL - BERRIDGE SHERWIN WILLIAMS - SW 7602 INDIGO BALTIC - LRV 8
B.	STUCCO FINISH - DRYVIT SHERWIN WILLIAMS - SW 7063 NEBULOUS WHITE - LRV 74
C.	STUCCO FINISH - DRYVIT SHERWIN WILLIAMS - SW 9173 SHIITAKE - LRV 51
D.	STUCCO FINISH - DRYVIT SHERWIN WILLIAMS - SW 7075 WEB GRAY - LRV 13
E.	FIBER CEMENT PANEL ALLURA COLORMAX FINISHING SYSTEM CEDAR
F.	STOREFRONT - PPG/IAP FRAME COLOR: GREY ALUMINUM
G.	STUCCO FINISH - DRYVIT SHERWIN WILLIAMS - SW 7603 POOLHOUSE - LRV 29
H.	METAL PANEL BERRIDGE METAL ZINC GRAY
J.	METAL PANEL - BERRIDGE SHERWIN WILLIAMS - SW 7073 NETWORK GRAY - LRV 37
K.	ALUMINUM WINDOWS - PPG/IAP FRAME COLOR: DARK GREY CLEAR/DUAL PANEL/LOW-E
L.	GLASS RAILING - JB GLASS RAILING 2" DIA. ALUM. TOP RAIL , 1/2" CLEAR TEMPERED GLASS PANEL
M.	EQUIPMENT SCREEN ARCHITECTURAL LOUVERS DOVE GRAY
N.	METAL SCREEN MCNICHOLS G-W 150A
P.	METAL SCREEN - BERRIDGE ZINC GREY
R.	METAL SCREEN - BERRIDGE SHERWIN WILLIAMS - SW 7602 INDIGO BALTIC



Designed by:	GJ	
Drawn by:	MEP	
Architect of Record:	04/13/16	
Drawn/Printed:	N/A	
Issue for Pricing/Bidding:	N/A	
Issue for Permit Application:	N/A	
Issue for Construction:	N/A	
Revisions:	N/A	
#	DATE	COMMENTS
1	04/13/16	PAD RESUB
2	05/10/16	PAD RESUB

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11 EAST 7TH STREET
TEMPE, MARICOPA COUNTY, ARIZONA
0.88 ACRES
LANDMARK PROPERTIES, LLC
NOTICE OF EXTENDER CERTIFICATION AND APPROVAL PERIOD PROVISION
THE CONTRACT ALIGNS THE OWNER'S CREDIT AND APPROVAL PERIODS WITHIN 20 DAYS OF THE BILLING AND ESTIMATES ARE RECEIVED FROM THE CONTRACTOR.

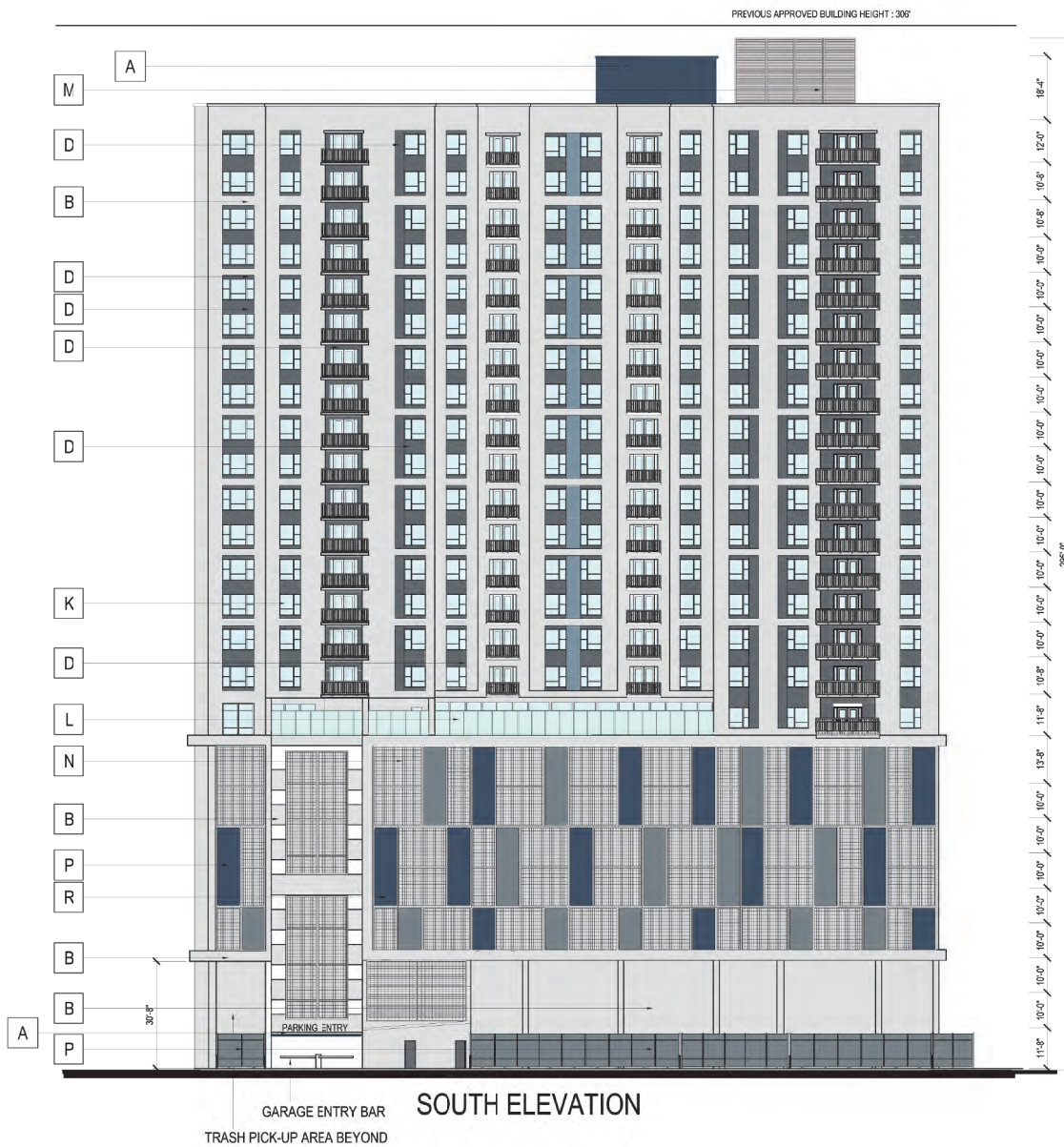


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SHEET CONTENTS:
COLOR ELEVATION

SHEET NO.
A 5.07
15282

PAD SUBMITTAL - NOT FOR CONSTRUCTION



MATERIAL/ COLOR KEY NOTES

A.	METAL PANEL - BERRIDGE SHERWIN WILLIAMS - SW 7602 INDIGO BATIK - LRV 8
B.	STUCCO FINISH - DRYVIT SHERWIN WILLIAMS - SW 7063 NEBULOUS WHITE - LRV 74
C.	STUCCO FINISH - DRYVIT SHERWIN WILLIAMS - SW 9173 SHITAKE - LRV 51
D.	STUCCO FINISH - DRYVIT SHERWIN WILLIAMS - SW 7075 WEB GRAY - LRV 13
E.	FIBER CEMENT PANEL ALLURA COLOMAX FINISHING SYSTEM CEDAR
F.	STOREFRONT - PPG/1AP FRAME COLOR: GREY ALUMINUM
G.	STUCCO FINISH - DRYVIT SHERWIN WILLIAMS - SW 7603 POOLHOUSE - LRV 29
H.	METAL PANEL BERRIDGE METAL ZINC GRAY
J.	METAL PANEL - BERRIDGE SHERWIN WILLIAMS - SW 7073 NETWORK GRAY - LRV 37
K.	ALUMINUM WINDOWS - PPG/1AP FRAME COLOR: DARK GREY CLEAR/DUAL PANEL/LOW-E
L.	GLASS RAILING - JB GLASS RAILING 2" DIA. ALUM. TOP RAIL , 1/2" CLEAR TEMPERED GLASS PANEL
M.	EQUIPMENT SCREEN ARCHITECTURAL LOUVERS DOVE GRAY
N.	METAL SCREEN MCNICHOLS G-W 150A
P.	METAL SCREEN - BERRIDGE ZINC GRAY
R.	METAL SCREEN - BERRIDGE SHERWIN WILLIAMS - SW 7602 INDIGO BALTIC

SCALE: 1/16" = 1'-0" (24"x36" SHEET)

Designed by: GJ

Drawn by:

Architect of Record: MEP

Close Dates: 04/13/16

Issue for Pricing/Bidding: N/A

Issue for Permit Application: N/A

Issue for Construction: N/A

Revisions:

#	DATE	COMMENTS
1	04/13/16	PAD RESUB.
2	05/10/16	PAD RESUB.

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11 EAST 7TH STREET
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688 ACRES

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BUILDING STANDARDS DIVISION OF THE ARIZONA DEPARTMENT OF REVENUE AND FINANCE
ESTIMATES ARE BASED FROM THE CONSTRUCTION



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SHEET CONTENTS

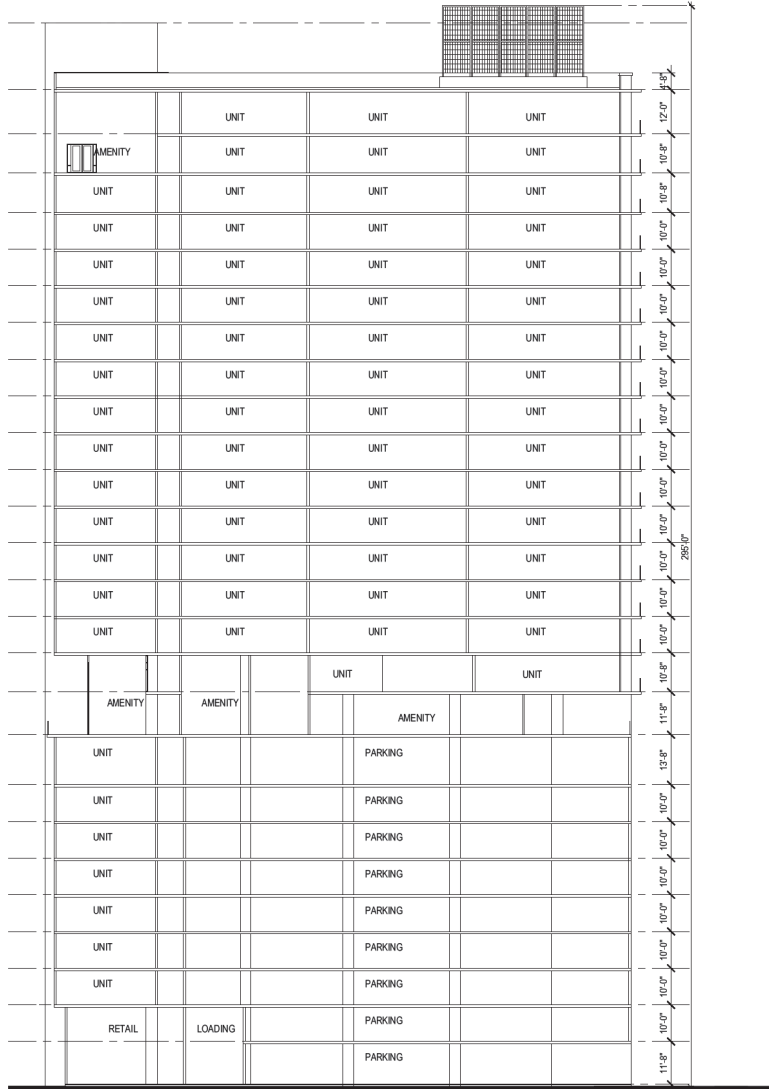
COLOR ELEVATION

SHEET NO.

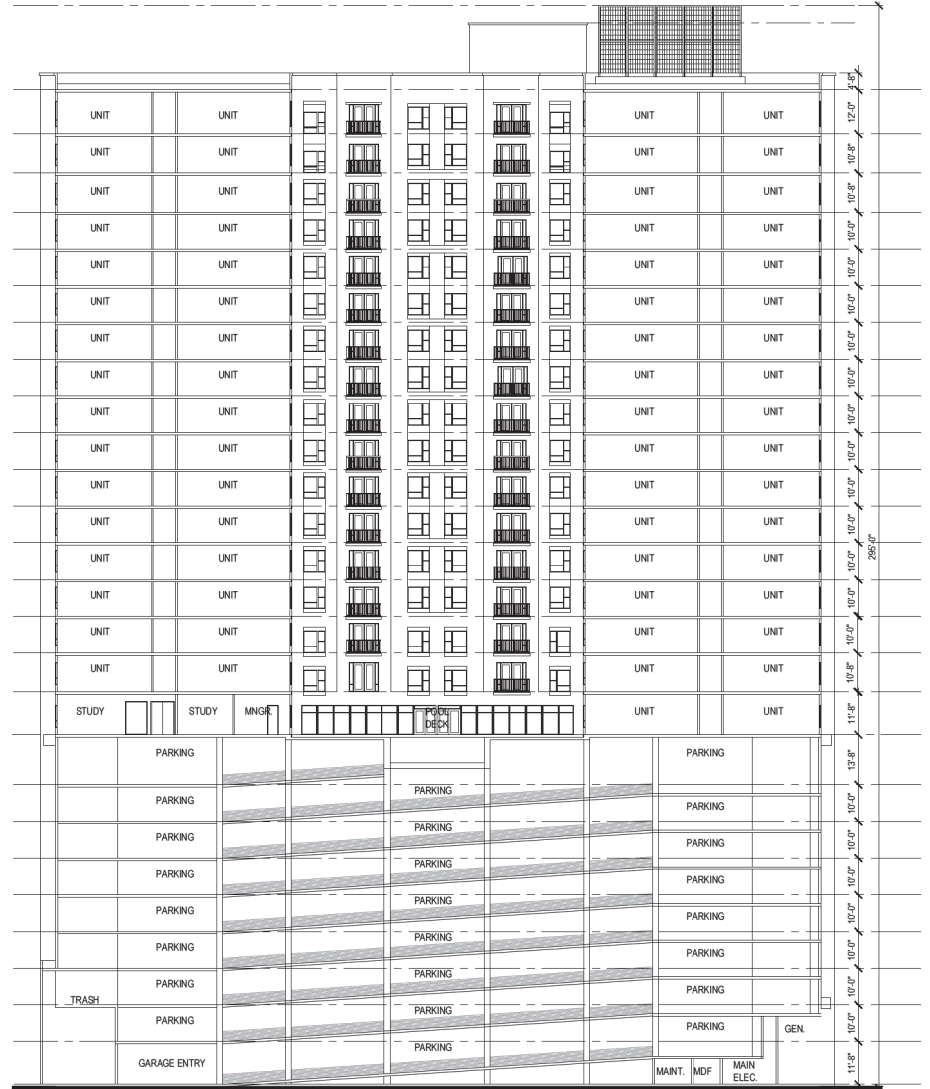
A 5.08

15282

PAD SUBMITTAL - NOT FOR CONSTRUCTION



2 BUILDING SECTION -
SCALE: 1/16" = 1'-0"



1 BUILDING SECTION -
SCALE: 1/16" = 1'-0"

Designed by:	GJ	
Drawn by:		
Architect of Record:	MEP	
Date Plotted:	04/13/16	
Issue for Pricing/Bidding:	N/A	
Issue for Permit Application:	N/A	
Issue for Construction:	N/A	
Revisions:		
#	DATE	COMMENTS
1	04/13/16	PAD RESUB.
2	05/10/16	PAD RESUB.

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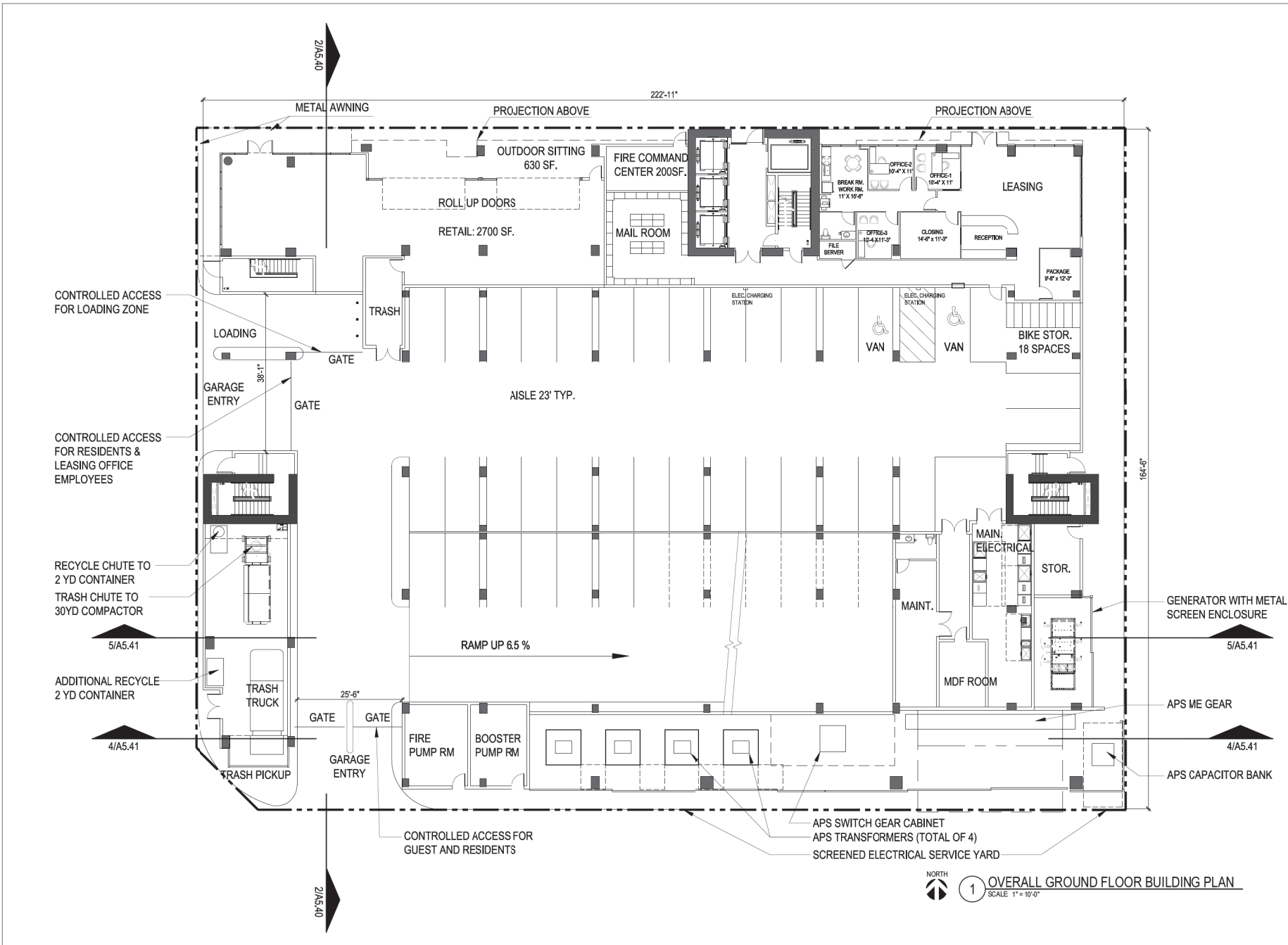
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11 EAST 77th STREET
TEMPE, MARICOPA COUNTY, ARIZONA
0.86 ACRES
LANDMARK PROPERTIES, LLC
NOTICE OF EXTENDED CERTIFICATION AND APPROVAL PERIOD PROVISION
THIS CONTRACT ALLOWS THE OWNER TO CARRY AND APPROVE BUILDING AND MATERIALS WITHIN 30 DAYS AFTER THE BUILDING AND MATERIALS ARE RECEIVED FROM THE CONTRACTOR.



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SHEET CONTENTS:
OVERALL BUILDING SECTIONS
SHEET NO.
A5.40

PAD SUBMITTAL - NOT FOR CONSTRUCTION



Designed by: **GU**

Drawing: _____

Architect of Record: **MEP**

Date Plotted: **04/13/16**

Issue for Pricing/Bidding: **N/A**

Issue for Permit Application: **N/A**

Issue for Construction: **N/A**

Revisions:

#	DATE	COMMENTS
1	04/13/16	PAD RESUB.
2	05/10/16	PAD RESUB.

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LANDMARK PROPERTIES, LLC
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 THIS CONTRACT ALLOWS THE OWNER TO CERTIFY AND APPROVE BILLINGS AND DEMANDS WITHIN 20 DAYS AFTER THE BILLINGS AND ESTIMATES ARE RECEIVED FROM THE CONTRACTOR.

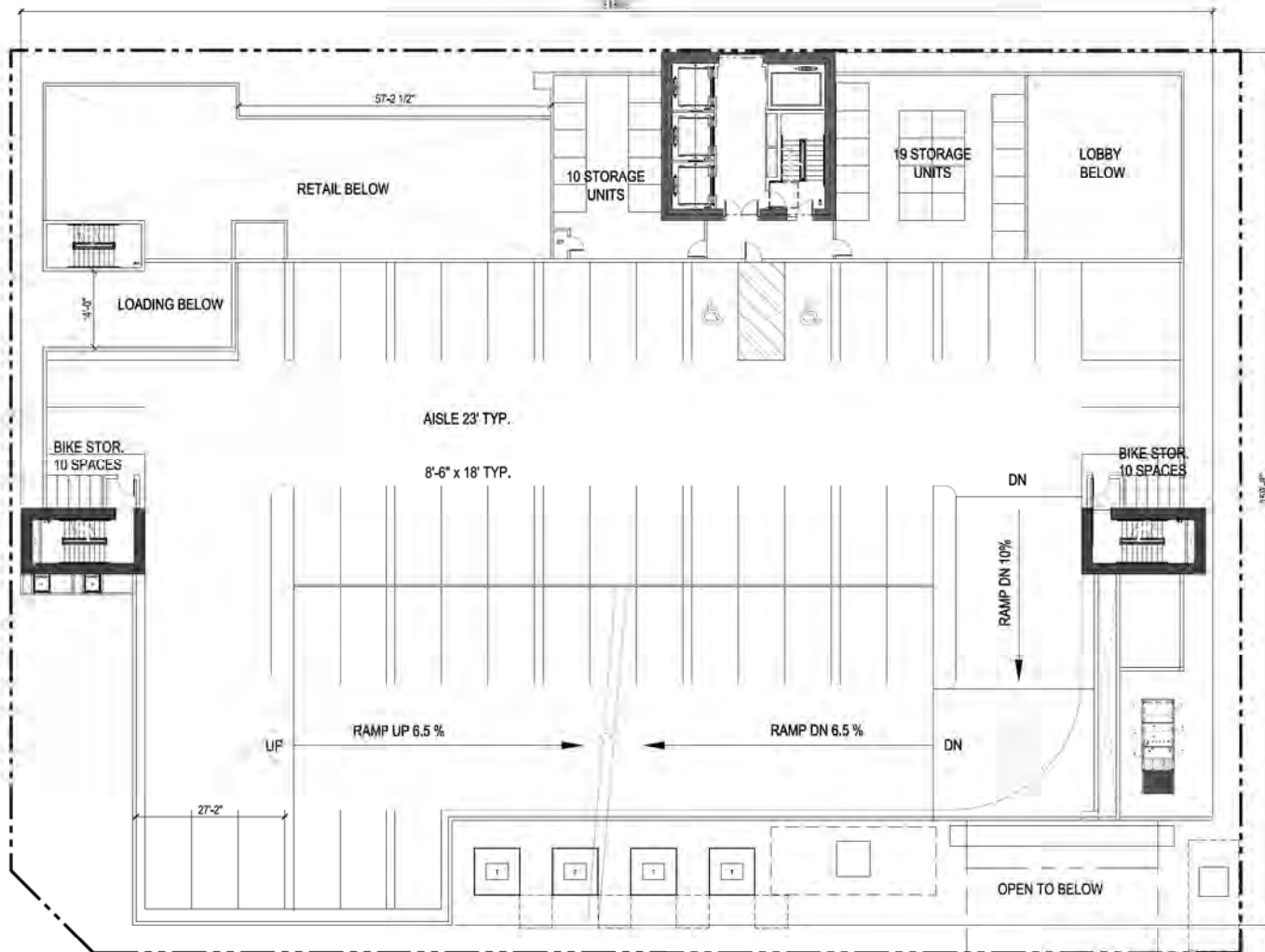


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SHEET CONTENTS:
 OVERALL GROUND FLOOR BUILDING PLAN
 SHEET NO.
A4.10
 15282

PAD SUBMITTAL - NOT FOR CONSTRUCTION

1 OVERALL GROUND FLOOR BUILDING PLAN
 SCALE: 1" = 10'-0"



1 OVERALL SECOND FLOOR BUILDING PLAN
SCALE: 1" = 10'-0"

Client:	MEP
Revision:	04/13/16
Drawn by:	MEP
Checked by:	N/A
Scale:	N/A
Notes:	N/A

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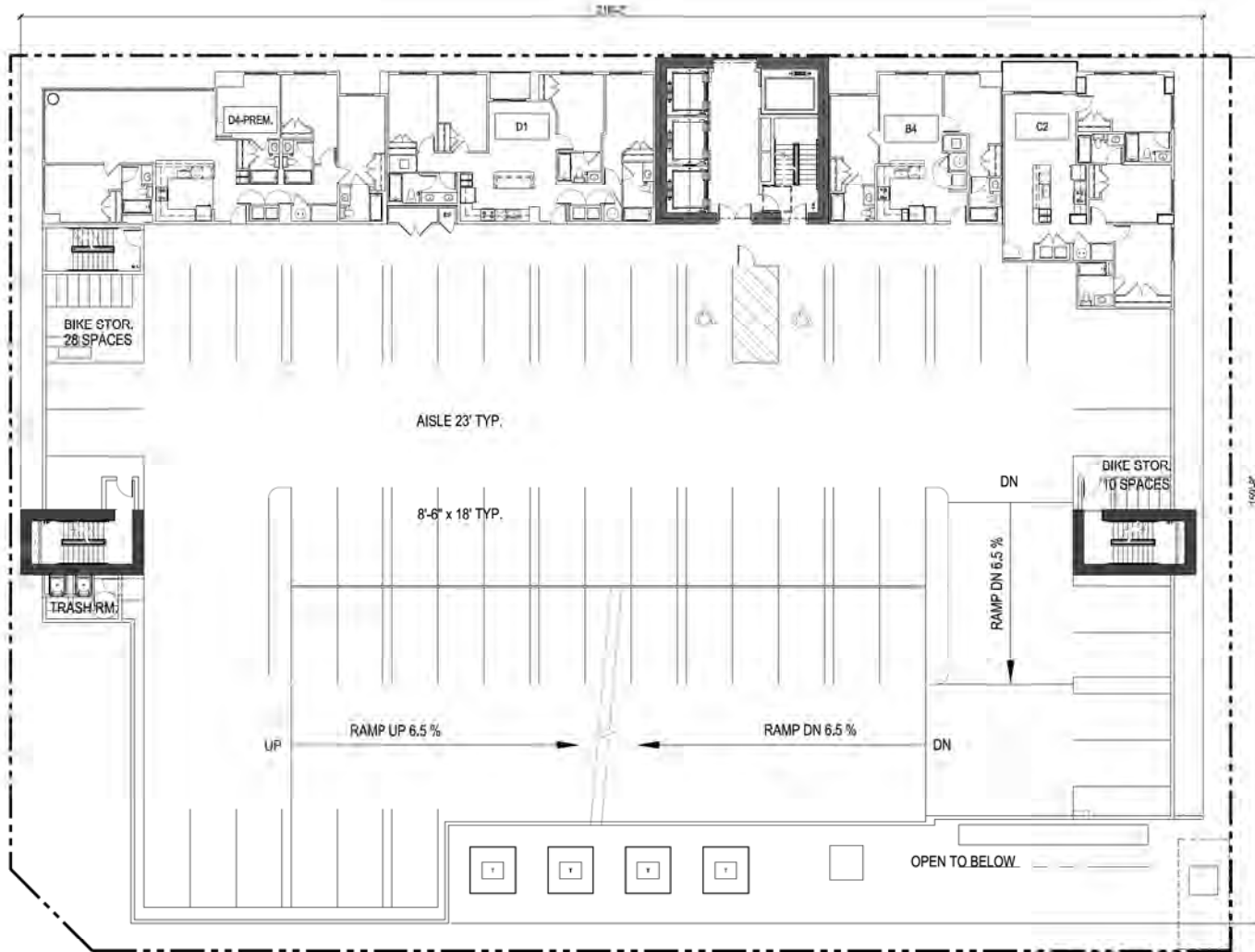
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SHEET CONTENTS:
OVERALL SECOND FLOOR BUILDING PLAN

SHEET NO:
A4.11

15282

PAD SUBMITTAL - NOT FOR CONSTRUCTION



OVERALL THIRD FLOOR BUILDING PLAN

Client:	MEP	
Architect of Record:	04/13/15	
Date:	04/13/15	
Project Name:	MEP	
Project Location:	N/A	
Project Type:	N/A	
Project Status:	N/A	
Revision:	N/A	
No.	DATE	DESCRIPTION
1	04/13/15	PAD DESIGN
2	05/19/15	PAD DESIGN

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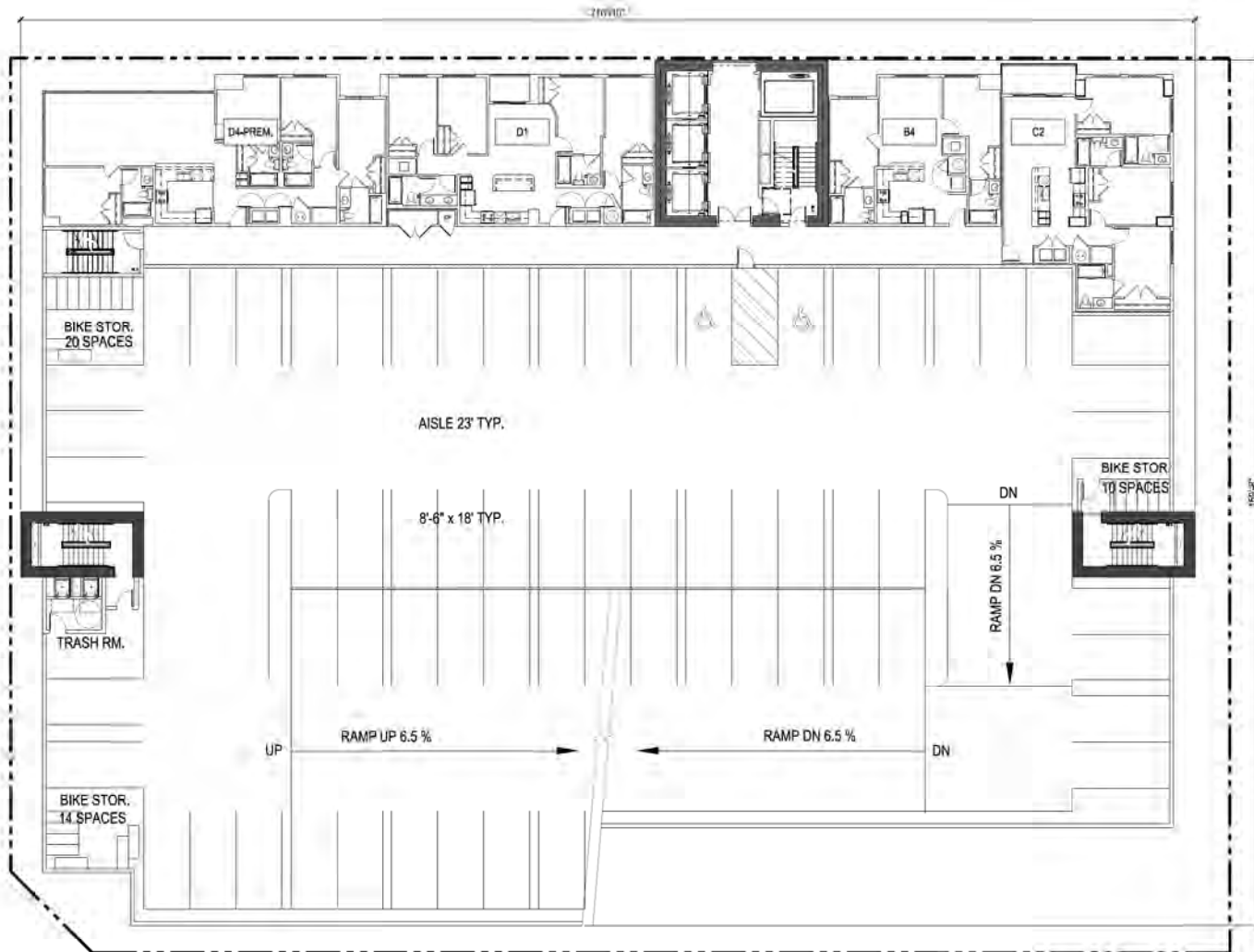
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SHEET CONTENTS
 OVERALL THIRD FLOOR BUILDING PLAN

SHEET NO.
A4.12

15282



NORTH
1 OVERALL FOURTH FLOOR BUILDING PLAN
 SCALE: 1" = 10'-0"

Drawn By	MEP	
Checked By	MEP	
Date Plotted	04/13/15	
Scale for Pricing - Billing	As Sh.	
Scale for Permit Application	N/A	
Scale for Construction	N/A	
Revisions	N/A	
#	DATE	DESCRIPTION
1	04/13/15	PAD RESUB
2	05/19/15	PAD RESUB

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 TEMPE, MARICOPA COUNTY, ARIZONA
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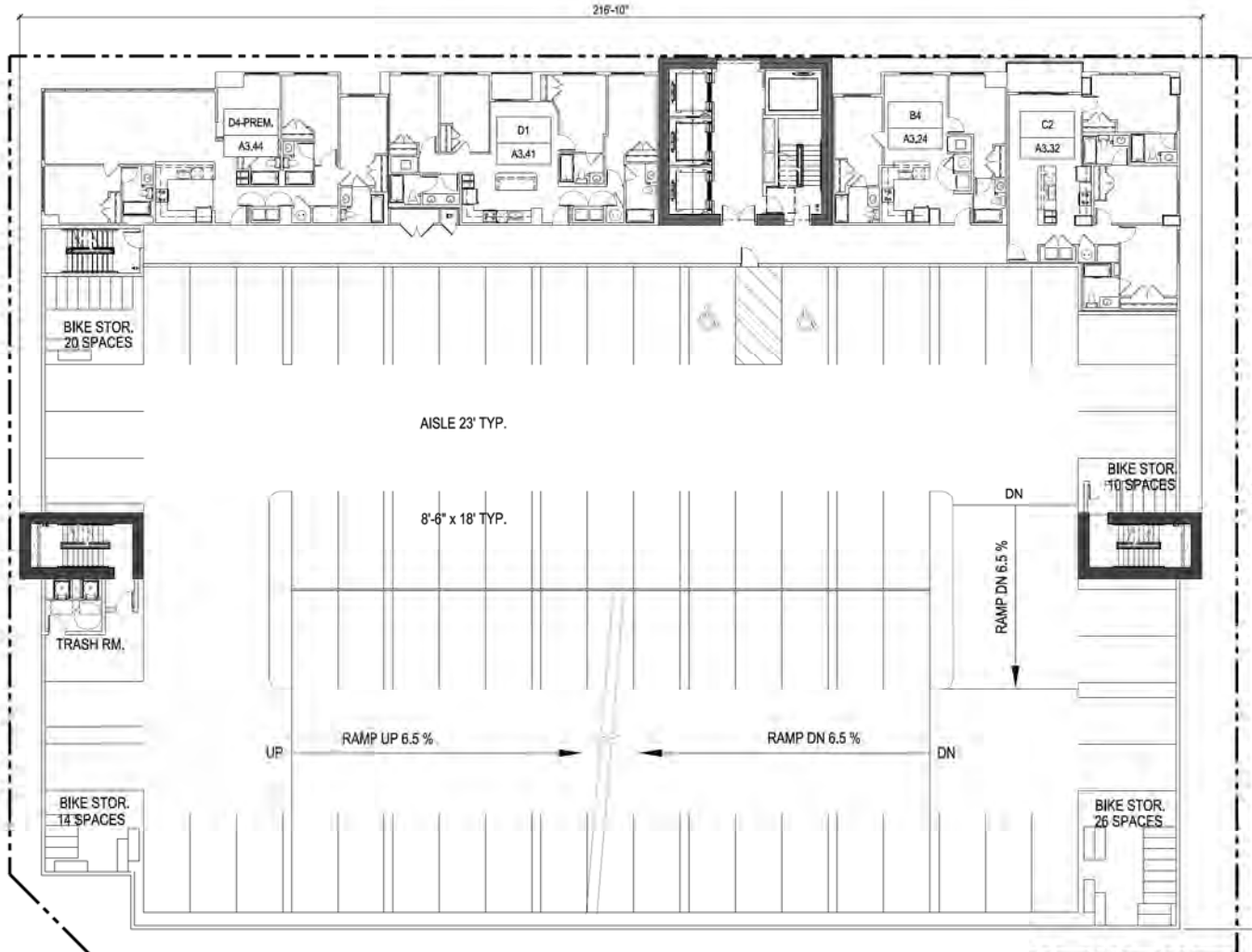


WEST COURTYARD
 OVERALL 4TH FLOOR BUILDING PLAN

SHEET NO
A4.13

15,262

PAD SUBMITTAL - NOT FOR CONSTRUCTION



Client:	MEP	
Architect:	04/13/15	
Issue for Pricing:	N/A	
Issue for General Approval:	N/A	
Issue for Construction:	N/A	
Revision:		
1:	04/13/15	PAD DESUB
2:	05/19/15	PAD DESUB

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 TEMPE, MARICOPA COUNTY, ARIZONA
 174 ACRES
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 APPROVAL PERIOD PROLONGED
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES AND AGENCIES SHALL BE RESPONSIBLE FOR REVIEWING THE CONTRACT DOCUMENTS.



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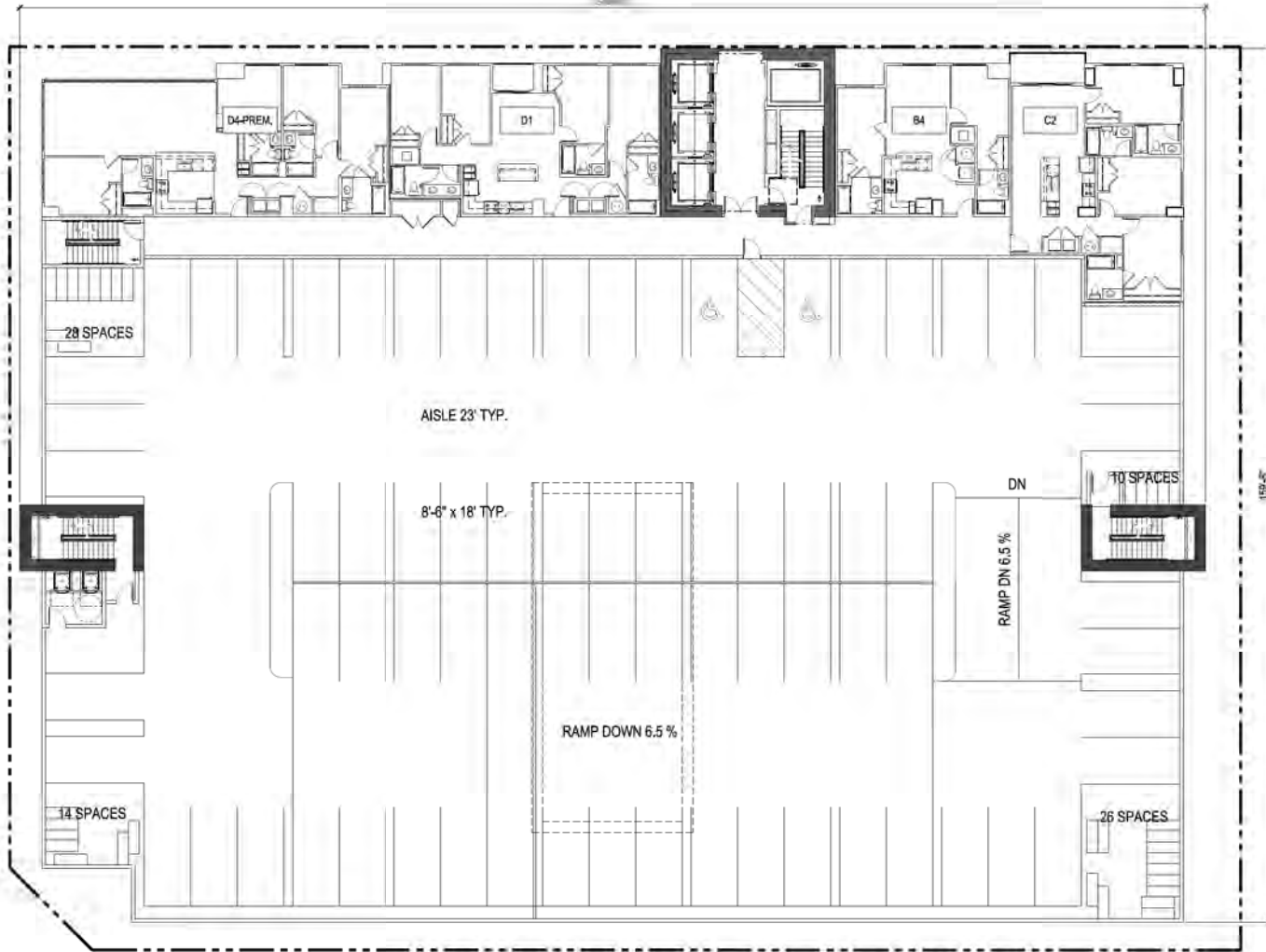
WEST OFFICE:
 OVERALL 5TH-8TH FLOOR BUILDING PLAN

DATE: 05/19/15
A4.14

15282

PAD SUBMITTAL - NOT FOR CONSTRUCTION

NORTH
 T OVERALL 5TH - 8TH FLOOR BUILDING PLAN
 SCALE: 1" = 10'-0"



NORTH
1 OVERALL NINTH FLOOR BUILDING PLAN
 SCALE: 1" = 10'-0"

Drawn By	MEP	
Checked By	04/13/15	
Date Plotted	04/13/15	
Scale for Pricing - Billing	N/A	
Scale for Permit Application	N/A	
Scale for Construction	N/A	
Revisions		
#	DATE	DESCRIPTION
1	04/13/15	PAD 225218
2	05/19/15	PAD 225218

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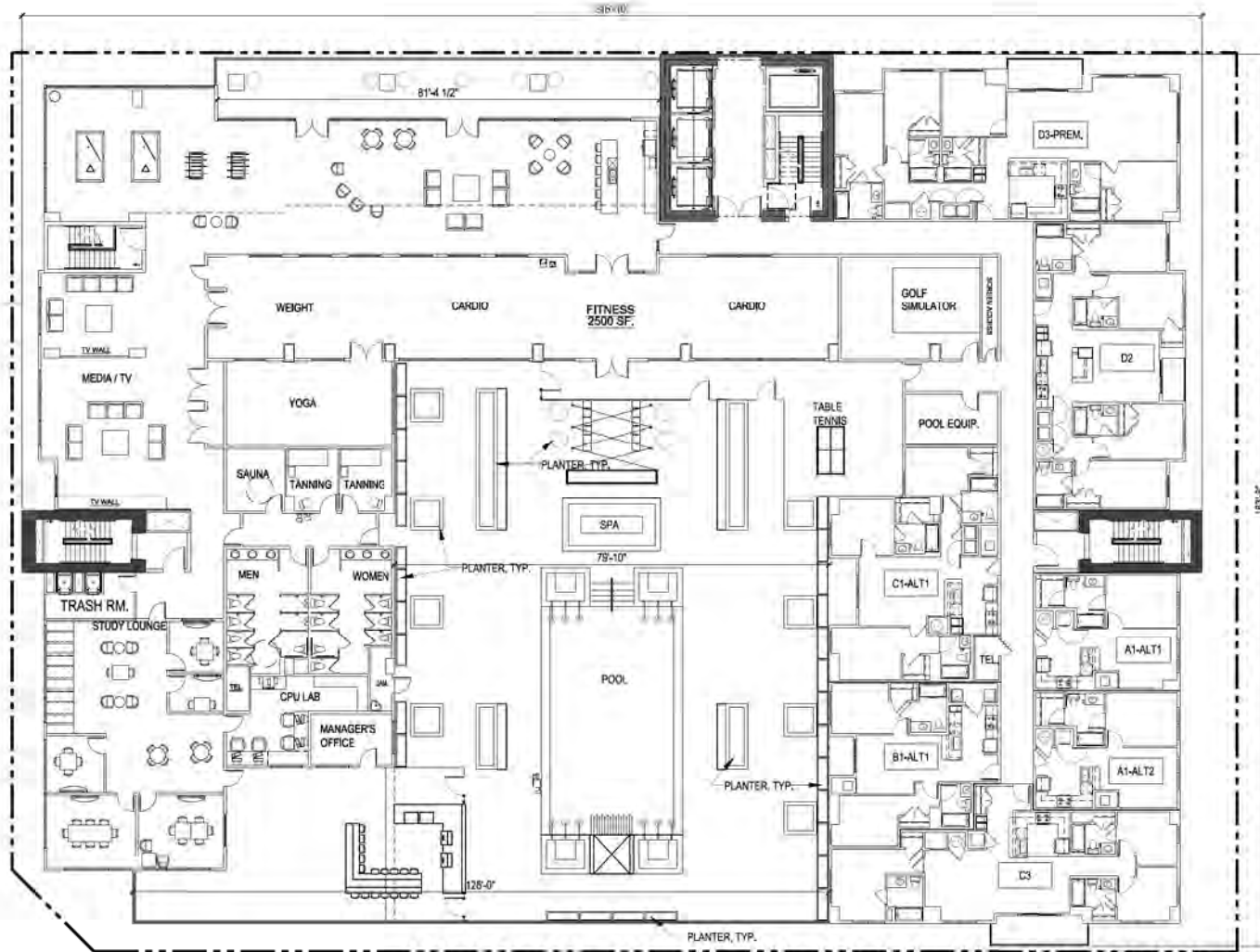


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SHEET COUNT:
 OVERALL NINTH FLOOR BUILDING PLAN

SHEET NO:
A4.15

PAD SUBMITTAL - NOT FOR CONSTRUCTION



1 OVERALL TENTH FLOOR BUILDING PLAN
SCALE: 1" = 10'-0"

Client:	MEP	
Architect of Record:	MEP	
Date Plotted:	04/13/16	
Issue for City Bidding:	N/A	
Issue for Permit Application:	N/A	
Issue for Construction:	N/A	
Revisions:		
#	DATE	DESCRIPTION
1	04/13/16	PAD RESUB
2	05/10/16	PAD RESUB

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11 EAST 7TH STREET
TEMPE, MARICOPA COUNTY, ARIZONA
5.6 ACRES
LANDMARK PROPERTIES, LLC
OFFICE OF EXTENSIVE CERTIFICATION
APPROVAL PERIOD PROVISION

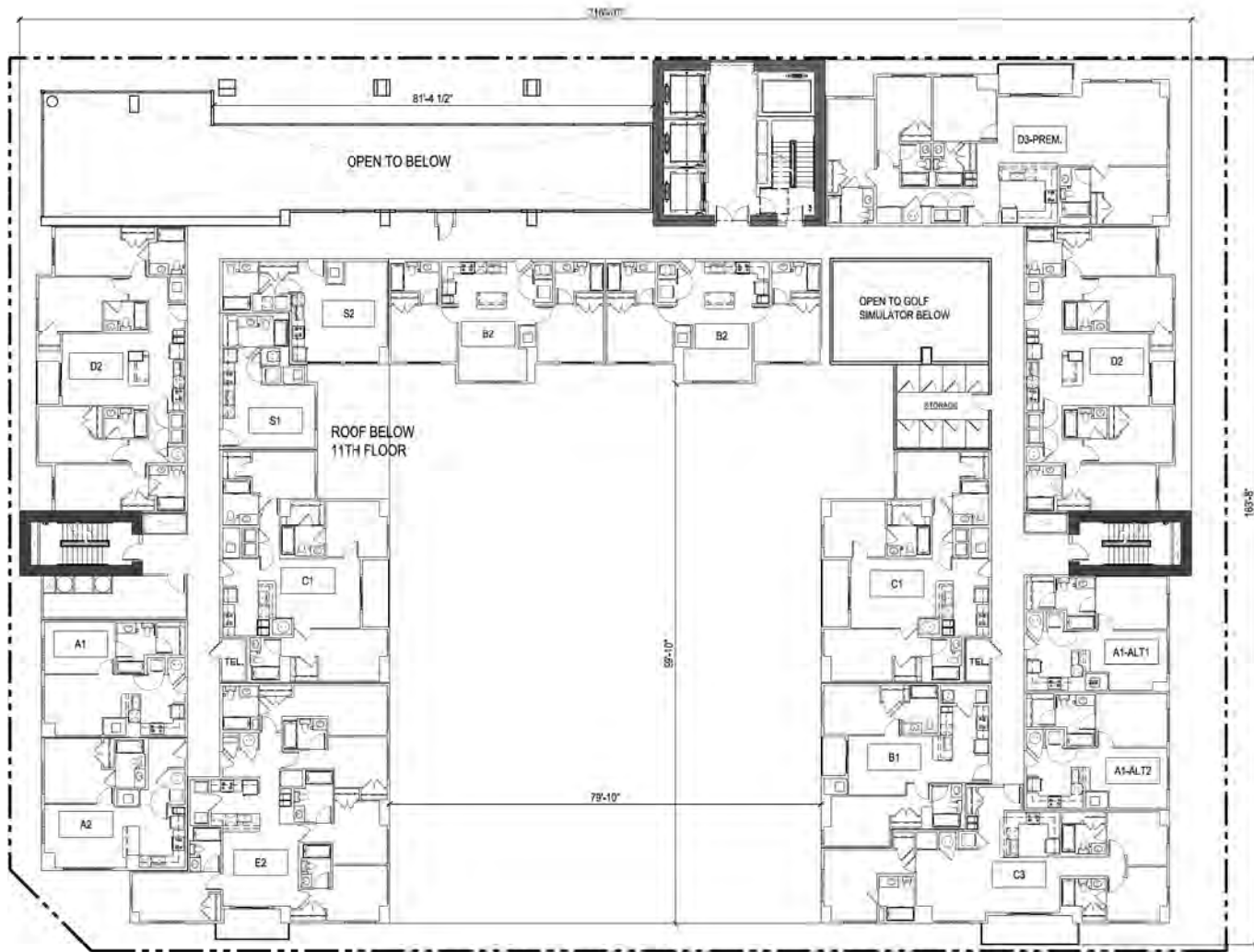


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SHEET CATEGORY:
OVERALL TENTH FLOOR BUILDING PLAN

SHEET NO:
A4.16



1 OVERALL 11TH FLOOR BUILDING PLAN
SCALE: 1" = 10'-0"

Client:	MCP
Revision Date:	04/13/15
Issue for Pricing:	N/A
Issue for Permit Application:	N/A
Issue for Construction:	N/A

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THE STANDARD AT TEMPE
11 EAST TULSA STREET
TEMPE, MARICOPA COUNTY, ARIZONA
100,000 SQ. FT.

LANDMARK PROPERTIES, LLC
MEMBER OF EXTENDED CERTIFICATE HOLDING APPROVAL PERIOD PROVISION

THIS CONTRACT IS SUBJECT TO THE STANDARD AND SUPPLEMENTARY CONTRACT DOCUMENTS FOR THE STANDARD AT TEMPE, WHICH ARE AVAILABLE AT THE PROJECT WEBSITE.

HUMPHREYS & PARTNERS ARCHITECTS, L.P.

5330 ALBANY ROAD SUITE 200 DALLAS, TEXAS 75240
(972) 791-1800 (972) 791-9800 FAX

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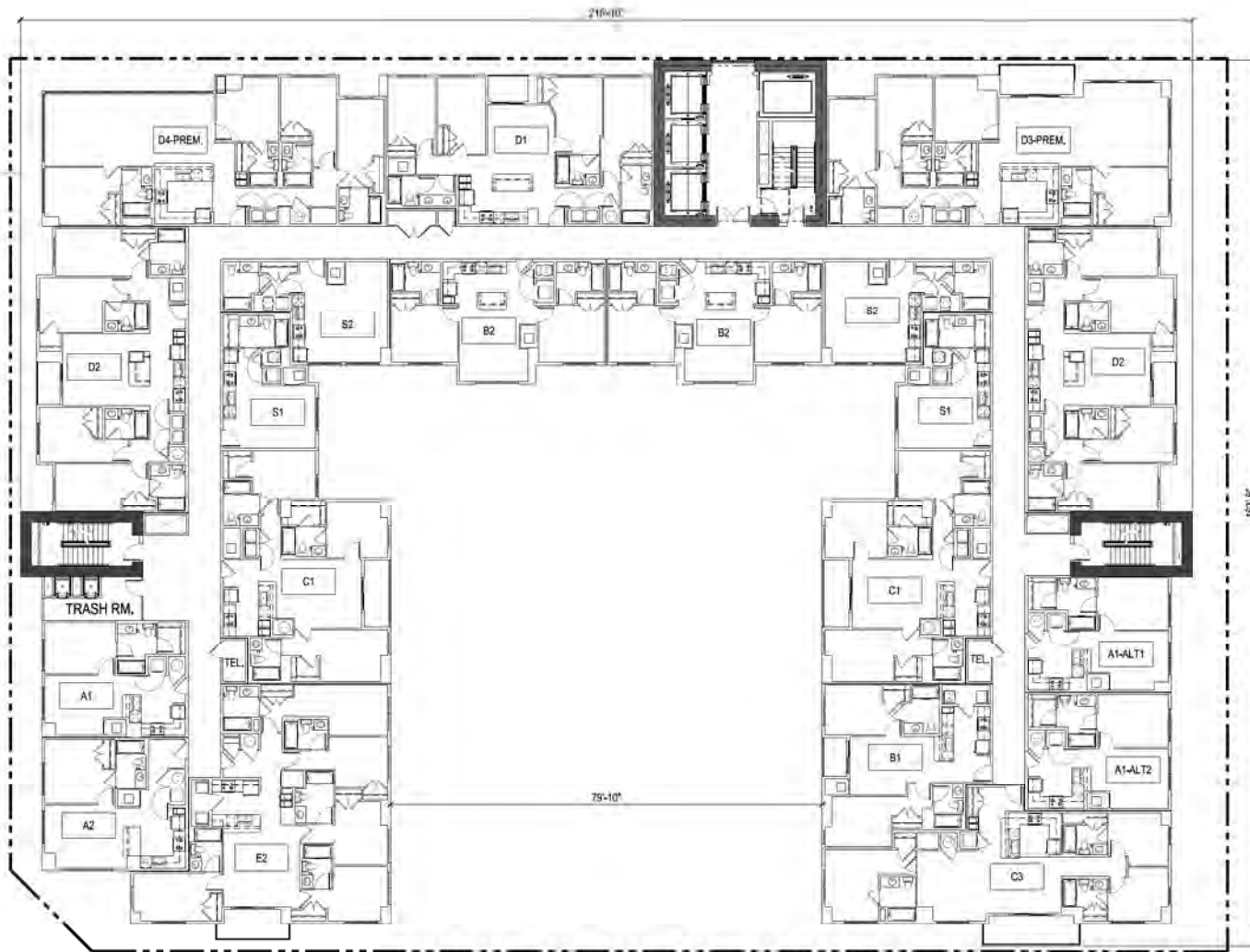
OVERALL 11TH FLOOR BUILDING PLAN

04/13/15

A4.17

15.262

PAD SUBMITTAL - NOT FOR CONSTRUCTION



1 OVERALL 12TH-24TH FLOOR BUILDING PLAN
SCALE: 1" = 16'-0"

Client No.	MEP	
Architect of Record	04/13/16	
Issue Date	N/A	
Issue For Permit Application	N/A	
Issue For Construction	N/A	
Revisions		
#	DATE	COMMENTS
1	04/13/16	PAD RESUB
2	05/05/16	PAD RESUB

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THE STANDARD AT TEMPE
11 EAST 17TH STREET
TEMPE, MARICOPA COUNTY, ARIZONA
1000-0000000000
LANDMARK PROPERTIES, LLC
LANDS OF EXTENDED CENTRAL/ORDLAND
APPROVAL PERIOD PROVISION
THE CONTRACT ADMINISTERED UNDER THE STANDARD AT TEMPE AND
APPROVAL PERIOD PROVISIONS



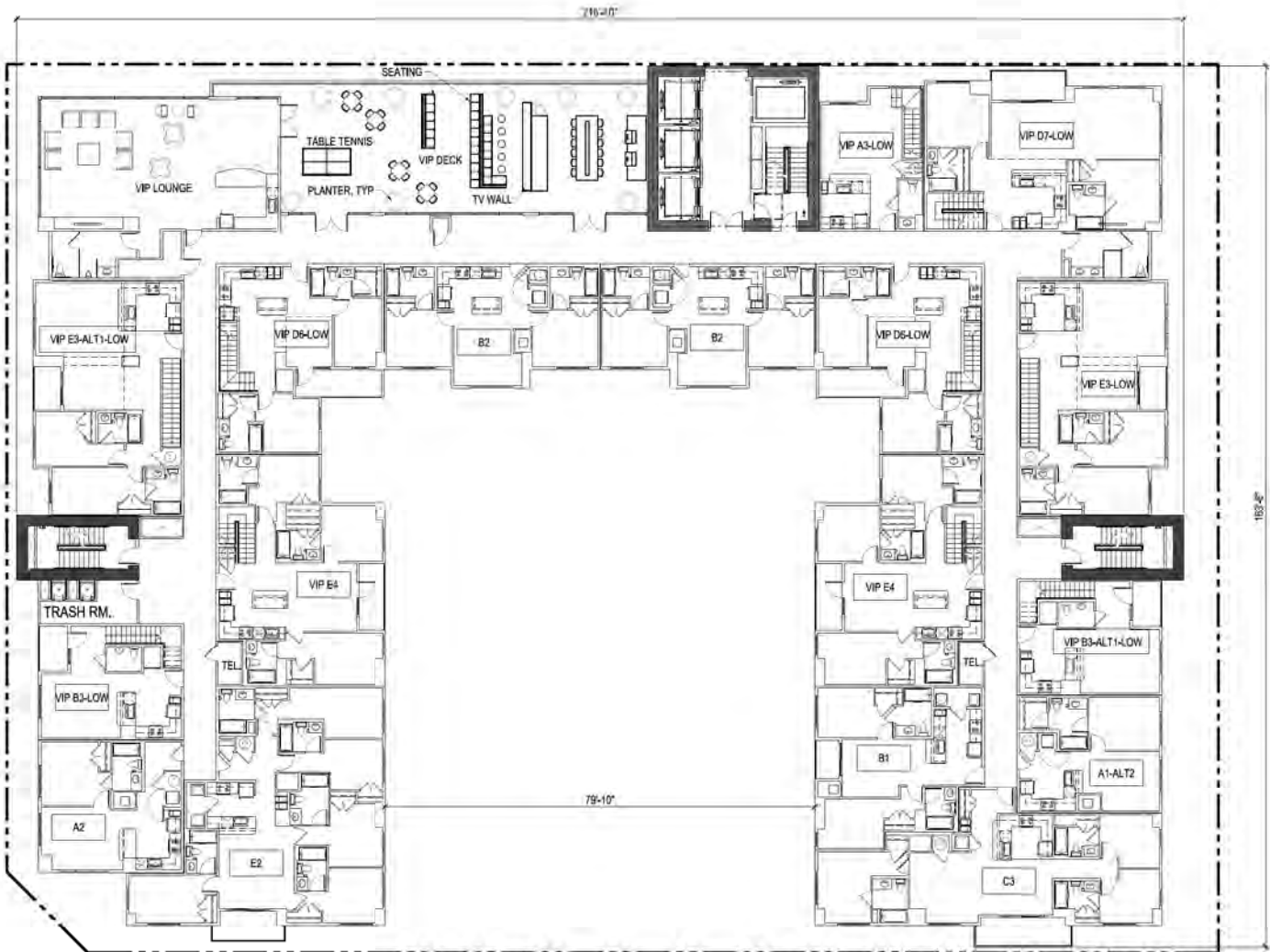
HUMPHREYS & PARTNERS ARCHITECTS, L.P.
5325 A114 ROAD SUITE 300 DALLAS TEXAS 75240
1527101 - 9671 (972) 701 - 803 FAX
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SHEET CONTENT:
OVERALL 12TH-24TH FLOOR BUILDING PLAN

SHEET NO:
A4.18

-5282

PAD SUBMITTAL - NOT FOR CONSTRUCTION



NORTH
1 OVERALL 25TH FLOOR BUILDING PLAN
 SCALE: 1" = 10'0"

Drawn by	MFP	
Checked by	04/13/16	
Date Plotted		
Scale for Printing - Billing	As Shown	
Scale for Field Application	N/A	
Scale for Construction	N/A	
Revisions		
#	DATE	DESCRIPTION
1	04/13/16	PAD DESUB
2	05/10/16	PAD DESUB

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THE STANDARD AT TEMPE
 11 EAST 7TH STREET
 TEMPE, MARICOPA COUNTY, ARIZONA
 808 ACRES
LANDMARK PROPERTIES, LLC
 NOTICE OF EXTENDED CERTIFICATION AWARD
 APPROVAL PERIOD PROLONGED
THE CONTRACTOR SHALL BE REQUIRED TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES IN ACCORDANCE WITH THE CITY OF TEMPE ZONING ORDINANCE.

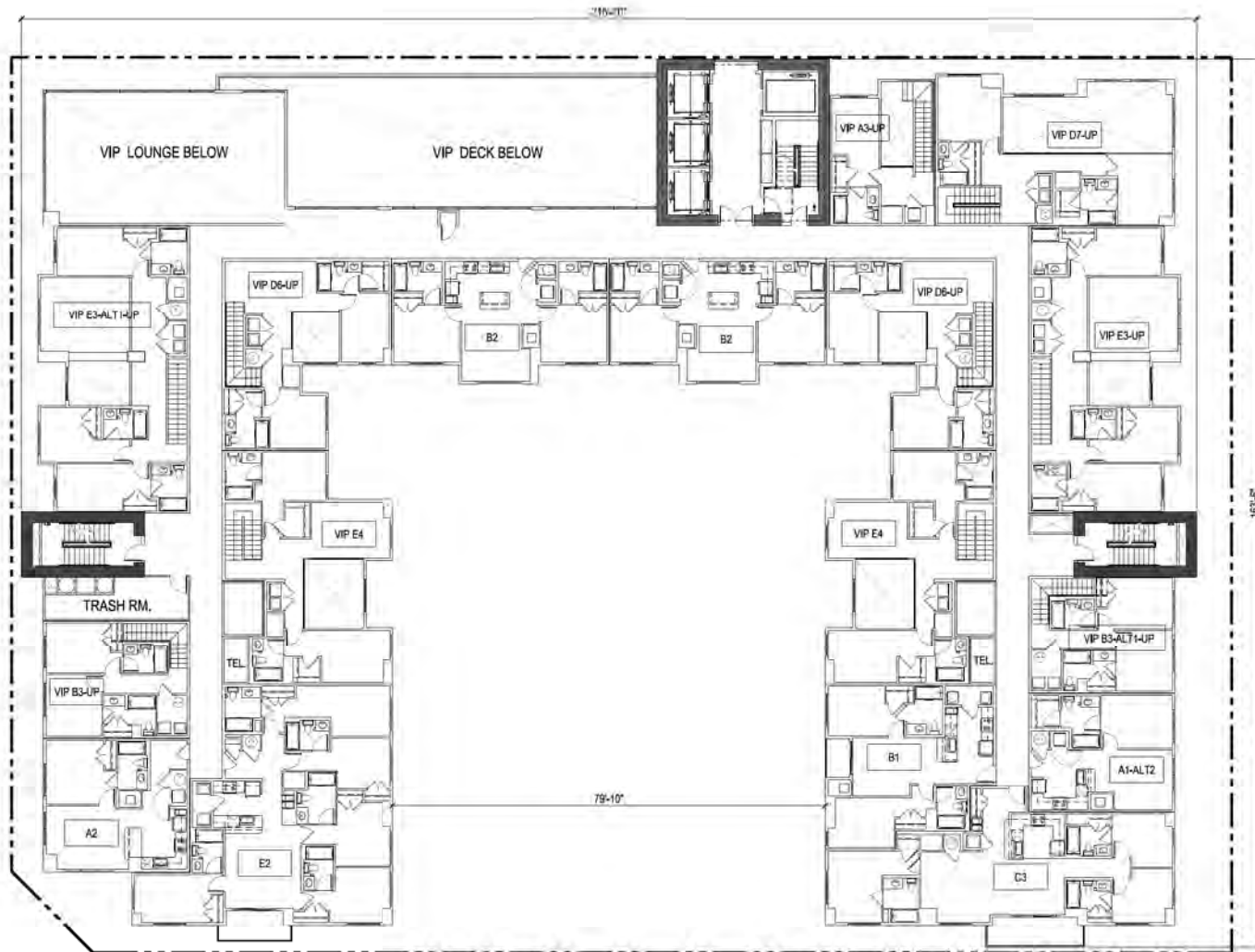


HUMPHREYS & PARTNERS ARCHITECTS, L.P.
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PROJECT:
 OVERALL 25TH FLOOR BUILDING PLAN

PROJECT NO.
 A4.19

PAD SUBMITTAL - NOT FOR CONSTRUCTION



1 OVERALL 26TH FLOOR BUILDING PLAN
SCALE: 1" = 10'-0"

Client:	MCP	
Architect:	HMP	
Issue Date:	04/15/16	
Issue For:	Bidding	
Issue For Permit Application:	N/A	
Issue For Construction:	N/A	
Revisions:		
#	DATE	DESCRIPTION
1	04/15/16	PAD DESUB
2	05/19/16	PAD DESUB

The architectural service provided herein shall not be construed as a guarantee of accuracy or a warranty of any kind, and shall not be construed as a recommendation or endorsement of any product or service. The architect shall not be responsible for any errors or omissions on the part of the contractor or other parties to the project. The architect shall not be responsible for any delays or interruptions in the construction process. The architect shall not be responsible for any damage to or loss of property. The architect shall not be responsible for any claims or liabilities. The architect shall not be responsible for any other matters. The architect shall not be responsible for any other matters.

THE STANDARD AT TEMPE
11 EAST 7TH STREET
TEMPE, MARICOPA COUNTY, ARIZONA
108,4 ACRES
LANDMARK PROPERTIES, LLC
OFFICE OF ETHAN GIBSON, REGISTERED ARCHITECT
APPROVAL PERIOD EXHAUSTED
THIS CONTRACT IS SUBJECT TO THE STANDARD AND SUPPLEMENTARY CONDITIONS OF CONTRACT FOR THE BUILDING AND RELATED SERVICES PROVIDED BY THE ARCHITECT.



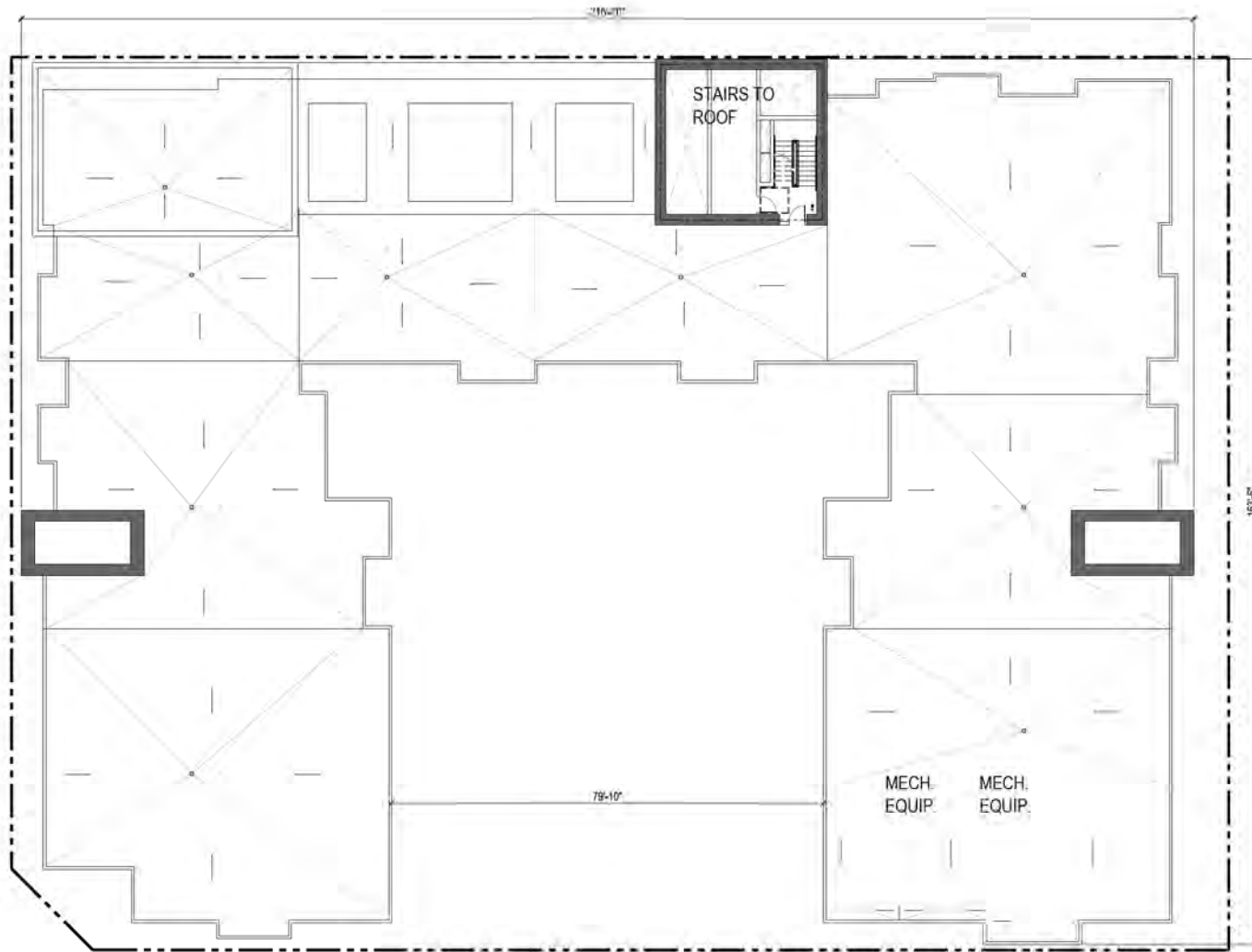
HUMPHREYS & PARTNERS ARCHITECTS, L.P.
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PROJECT: OVERALL 26TH FLOOR BUILDING PLAN

A4.20

PAD SUBMITTAL - NOT FOR CONSTRUCTION




1 OVERALL ROOF BUILDING PLAN
 SCALE: 1" = 10'-0"

Drawn By	MEP	
Issued For	04/13/16	
Scale For Pricing - Billing	As Shown	
Scale For Permit Application	N/A	
Scale For Construction	N/A	
Revisions		
#	DATE	DESCRIPTION
1	04/13/16	PAD RESUB
2	05/10/16	PAD RESUB

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THE STANDARD AT TEMPE
 11 EAST 7TH STREET
 TEMPE, MARICOPA COUNTY, ARIZONA
 10.6 ACRES
LANDMARK PROPERTIES, LLC
 NOTICE OF EXTENDED CERTIFICATION AWARD
 APPROVAL PERIOD PROVISIONS
 THE CONTRACTOR SHALL BE BOUND TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES AND AUTHORITIES FOR THE PROJECT FROM THE DATE OF THIS NOTICE.



HUMPHREYS & PARTNERS ARCHITECTS, L.P.
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SHEET CONTENTS
 OVERALL ROOF BUILDING PLAN

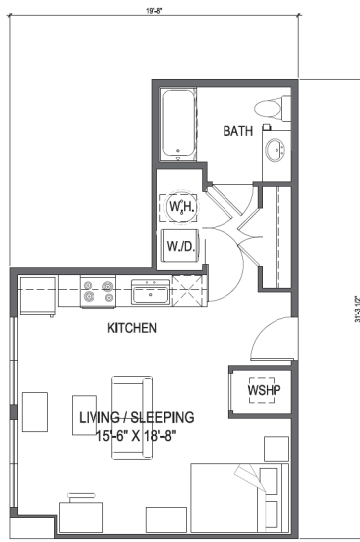
SHEET NO.
A4.21

PAD SUBMITTAL - NOT FOR CONSTRUCTION



1 UNIT S1 (STUDIO / 1 BATH)
SCALE: 1/4" = 1'-0"
NET AREA= 396 SQ. FT.

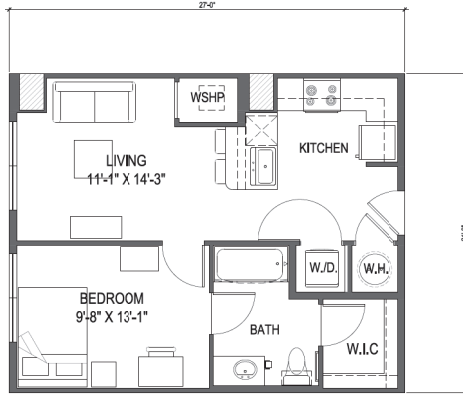
UNIT PERCENTAGE	
27 S1 - UNITS	335 TOTAL UNITS
	8.1% OF TOTAL UNITS



2 UNIT S2 (STUDIO / 1 BATH)
SCALE: 1/4" = 1'-0"
NET AREA= 491 SQ. FT.

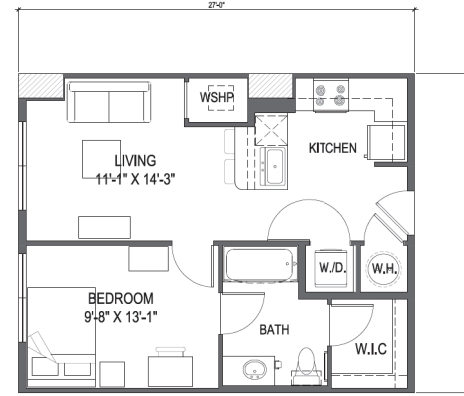
UNIT PERCENTAGE	
27 S2 - UNITS	335 TOTAL UNITS
	8.1% OF TOTAL UNITS

THE DIFFERENCE BETWEEN UNITS A, UNIT A1-ALT1 AND UNIT A1-ALT2 ARE THE STRUCTURAL COLUMNS
(COLUMNS SHOWN WITH CROSS HATCH)



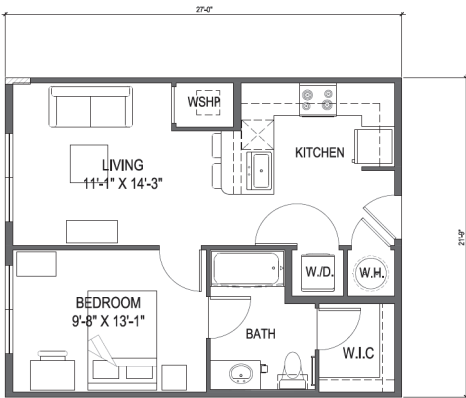
3 UNIT A1 (1 BED / 1 BATH)
SCALE: 1/4" = 1'-0"
NET AREA= 590 SQ. FT.

UNIT PERCENTAGE	
14 A1 - UNITS	335 TOTAL UNITS
	4.2% OF TOTAL UNITS



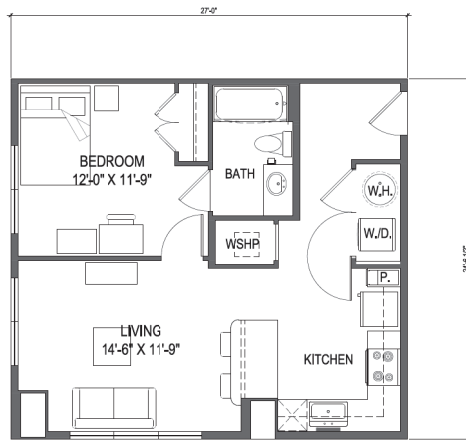
4 UNIT A1-ALT1 (1 BED / 1 BATH)
SCALE: 1/4" = 1'-0"
NET AREA= 590 SQ. FT.

UNIT PERCENTAGE	
15 A1-ALT1 - UNITS	335 TOTAL UNITS
	4.5% OF TOTAL UNITS



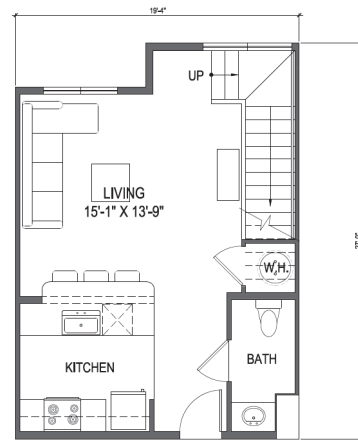
5 UNIT A1-ALT 2 (1 BED / 1 BATH)
SCALE: 1/4" = 1'-0"
NET AREA= 590 SQ. FT.

UNIT PERCENTAGE	
17 A1-ALT2 - UNITS	335 TOTAL UNITS
	5.1% OF TOTAL UNITS



6 UNIT A2 (1 BED / 1 BATH)
SCALE: 1/4" = 1'-0"
NET AREA= 684 SQ. FT.

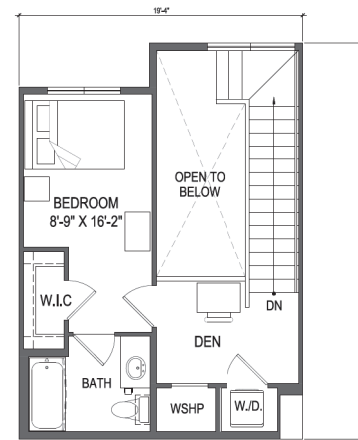
UNIT PERCENTAGE	
16 A2 - UNITS	335 TOTAL UNITS
	4.8% OF TOTAL UNITS



LOWER

7 UNIT A3 VIP (1 BED / 1 BATH)
SCALE: 1/4" = 1'-0"
NET AREA= 823 SQ. FT.

UNIT PERCENTAGE	
1 A3 VIP - UNITS	335 TOTAL UNITS
	0.3% OF TOTAL UNITS



UPPER

Designed by: **GU**

Drawn by: **MEP**

Architect of Record: **MEP**

Date Plotted: **04/13/16**

Issue for Pricing/Bidding: **N/A**

Issue for Permit Application: **N/A**

Issue for Construction: **N/A**

Revisions:

#	DATE	COMMENTS
1	04/13/16	PAD RESUB.
2	05/10/16	PAD RESUB.

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THE STANDARD AT TEMPE
11 EAST 77th STREET
TEMPE, MARICOPA COUNTY, ARIZONA
0.85 ACRES
LANDMARK PROPERTIES, LLC
NOTES OF EXTENDED CERTIFICATION AND APPROVAL PERIOD PROVISION

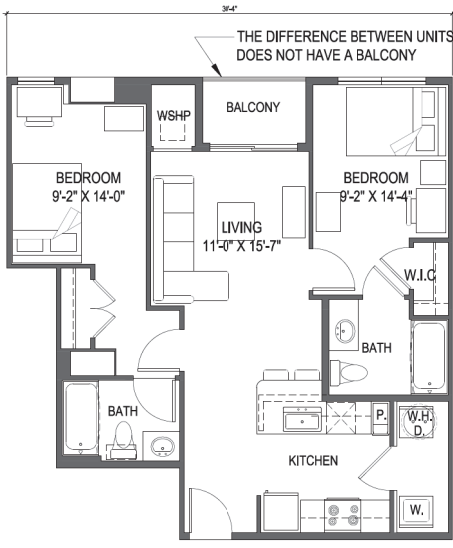
THIS CONTRACT ALLOWS THE OWNER TO OBTAIN AND REMOVE ELLIUMS AND DEMOLITION WITHIN 90 DAYS AFTER THE BIDDING AND ESTIMATES ARE RECEIVED FROM THE CONTRACTOR.



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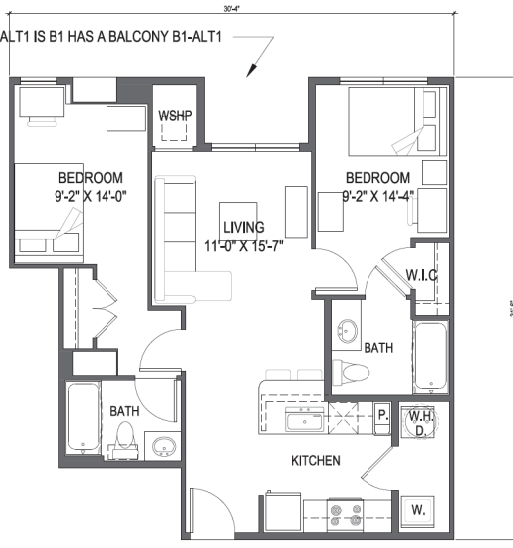
SHEET CONTENTS:
UNIT PLANS
SHEET NO.
A3.01

PAD SUBMITTAL - NOT FOR CONSTRUCTION



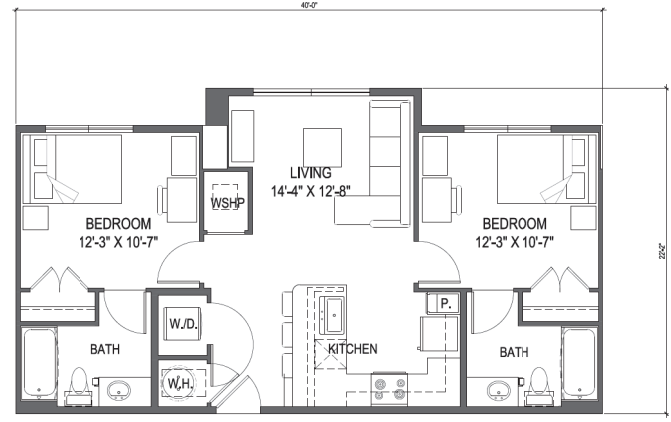
1 UNIT B1 (2 BED / 2 BATH)
SCALE: 1/4" = 1'-0"
NET AREA= 821 SQ. FT.

UNIT PERCENTAGE	
16 B1 - UNITS	335 TOTAL UNITS
4.8% OF TOTAL UNITS	



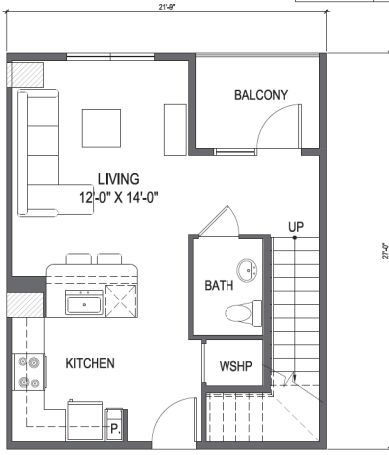
2 UNIT B1-ALT1 (2 BED / 2 BATH)
SCALE: 1/4" = 1'-0"
NET AREA= 821 SQ. FT.

UNIT PERCENTAGE	
1 B1-ALT1 - UNITS	335 TOTAL UNITS
0.3% OF TOTAL UNITS	



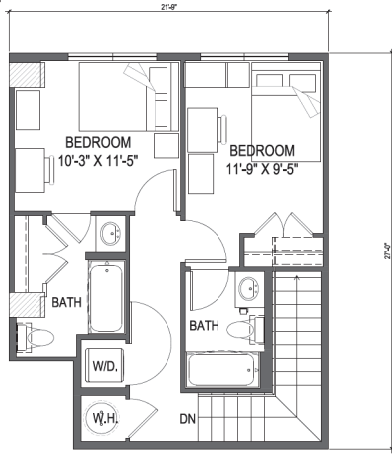
3 UNIT B2 (2 BED / 2 BATH)
SCALE: 1/4" = 1'-0"
NET AREA= 841 SQ. FT.

UNIT PERCENTAGE	
32 B2 - UNITS	335 TOTAL UNITS
9.6% OF TOTAL UNITS	

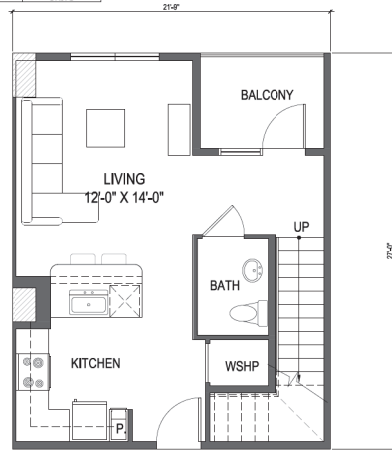


4 UNIT B3-VIP (2 BED / 2 BATH)
SCALE: 1/4" = 1'-0"
NET AREA= 1,094 SQ. FT.

UNIT PERCENTAGE	
1 B3-VIP - UNITS	335 TOTAL UNITS
0.3% OF TOTAL UNITS	



UPPER



5 UNIT B3-VIP ALT1 (1 BED / 1 BATH)
SCALE: 1/4" = 1'-0"
NET AREA= 1,094 SQ. FT.

UNIT PERCENTAGE	
1 B3-VIP ALT1 - UNITS	335 TOTAL UNITS
0.3% OF TOTAL UNITS	

THE DIFFERENCE BETWEEN UNITS B3-VIP AND UNIT B3-VIP-ALT1 ARE THE STRUCTURAL COLUMNS (COLUMNS SHOWN WITH CROSS HATCH)

Designed by: **GU**

Drawn by: **MEP**

Architect of Record: **MEP**

Date Plotted: **04/13/16**

Issue for Pricing/Bidding: **N/A**

Issue for Permit Application: **N/A**

Issue for Construction: **N/A**

Revisions:

#	DATE	COMMENTS
1	04/13/16	PAD RESUB.
2	05/10/16	PAD RESUB.

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THE STANDARD AT TEMPE
11 EAST 77th STREET
TEMPE, MARICOPA COUNTY, ARIZONA
0.85 ACRES

LANDMARK PROPERTIES, LLC
NOTICE OF EXTENDED CERTIFICATION AND APPROVAL PERIOD PROVISION

THIS DOCUMENT ALLOWS THE OWNER TO CERTIFY AND APPROVE THE BUILDING DETERMINED WITHIN 30 DAYS AFTER THE BUILDING AND ESTIMATES DATE RECEIVED FROM THE CONTRACTOR.

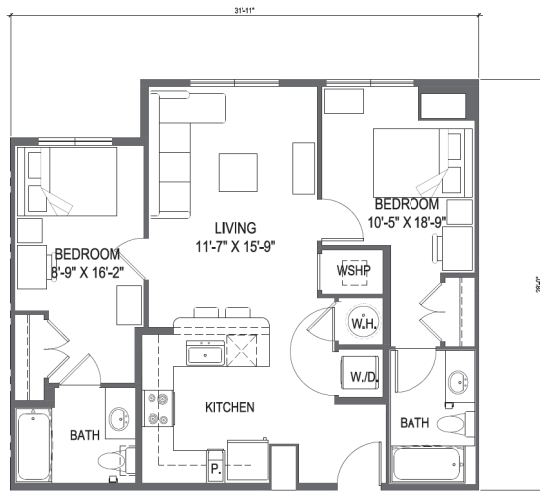


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SHEET CONTENTS:
UNIT PLANS

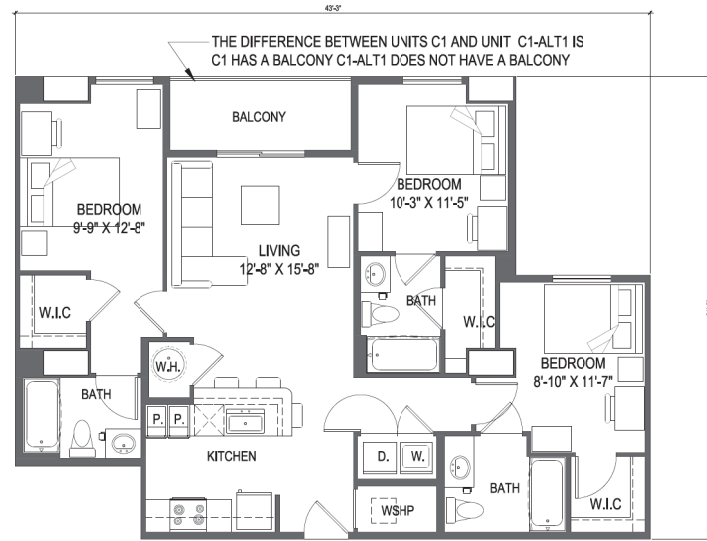
SHEET NO.
A3.02

PAD SUBMITTAL - NOT FOR CONSTRUCTION



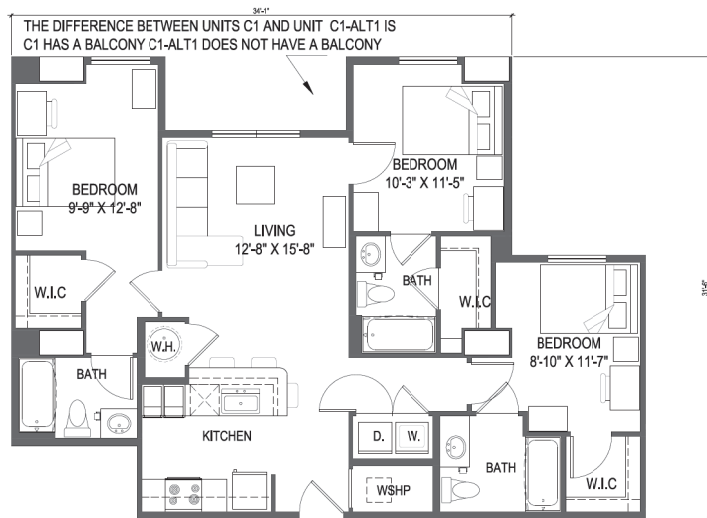
1 UNIT B4 (2 BED / 2 BATH)
SCALE: 1/4" = 1'-0" NET AREA= 858 SQ. FT.

UNIT PERCENTAGE	
7 B4 - UNITS	31% TOTAL UNITS
	2.1% OF TOTAL UNITS



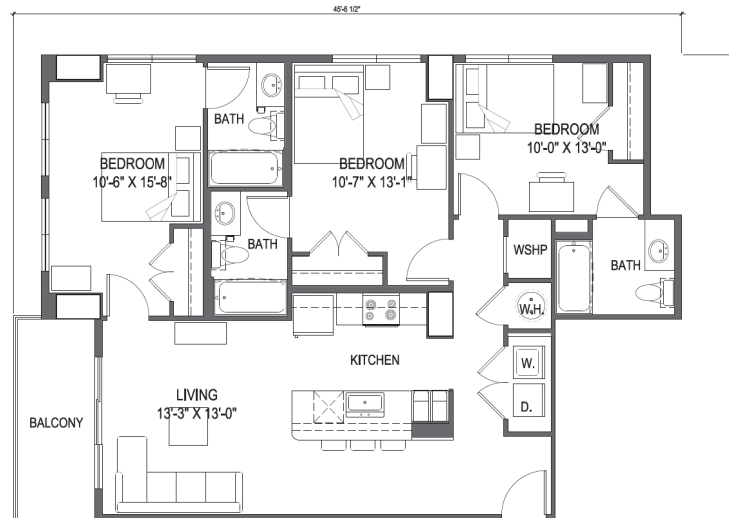
2 UNIT C1 (3 BED / 3 BATH)
SCALE: 1/4" = 1'-0" NET AREA= 1,145 SQ. FT.

UNIT PERCENTAGE	
28 C1 - UNITS	31% TOTAL UNITS
	6.4% OF TOTAL UNITS



3 UNIT C1-ALT1 (3 BED / 3 BATH)
SCALE: 1/4" = 1'-0" NET AREA= 1,145 SQ. FT.

UNIT PERCENTAGE	
1 C1-ALT1 - UNITS	31% TOTAL UNITS
	0.3% OF TOTAL UNITS



4 UNIT C2 (3 BED / 3 BATH)
SCALE: 1/4" = 1'-0" NET AREA= 1,212 SQ. FT.

UNIT PERCENTAGE	
7 C2 - UNITS	31% TOTAL UNITS
	2.1% OF TOTAL UNITS

Designed by: **CU**

Drawing: _____

Architect of Record: **MEP**

Date Plotted: **04/13/16**

Issue for Pricing/Bidding: **N/A**

Issue for Permit Application: **N/A**

Issue for Construction: **N/A**

Revisions:

#	DATE	COMMENTS
1	04/13/16	PAD RESUB.
2	05/10/16	PAD RESUB.

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THE STANDARD AT TEMPE
11 EAST 77th STREET
TEMPE, MARICOPA COUNTY, ARIZONA
0.85 ACRES
LANDMARK PROPERTIES, LLC
NOTICE OF EXTENDED CERTIFICATION AND APPROVAL PERIOD PROVISION

THIS DOCUMENT ALONG WITH THE OWNER TO CERTIFY AND APPROVE BUILDING SHALL BE DATED WITHIN 30 DAYS AFTER THE BUILDING AND ESTIMATES ARE RECEIVED FROM THE CONTRACTOR.



HUMPHREYS & PARTNERS ARCHITECTS, L.P.
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SAN RAMON - SCOTTSDALE - EDMONTON - TORONTO - MONTEVIDEO
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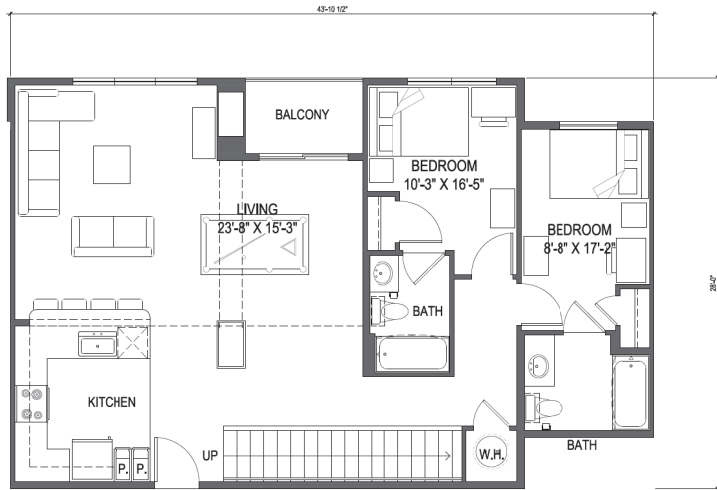


SHEET CONTENTS:
UNIT PLANS

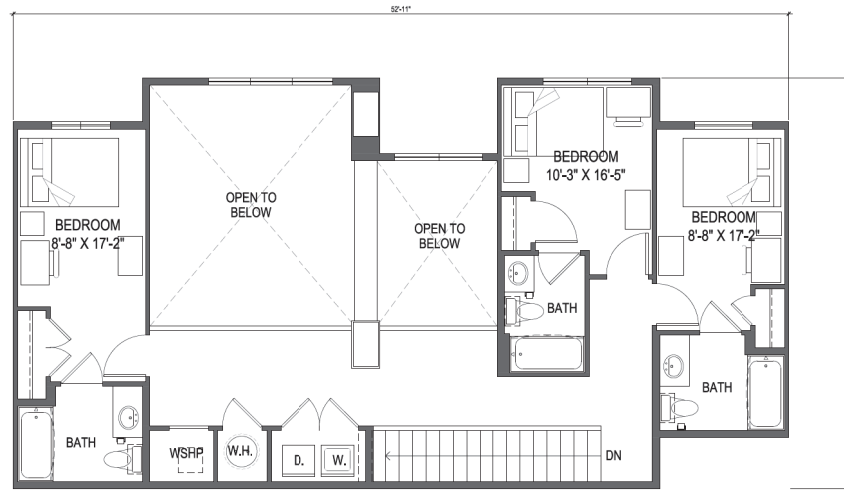
SHEET NO.
A3.03

15282

PAD SUBMITTAL - NOT FOR CONSTRUCTION



LOWER



UPPER

1 UNIT E3-VIP (5 BED / 5 BATH)
SCALE: 1/4" = 1'-0" NET AREA = 2,128 SQ. FT.

UNIT PERCENTAGE	
2 E3-VIP - UNITS	335 TOTAL UNITS
	0.3% OF TOTAL UNITS

PAN #2 UNIT E3-VIP ALT1 WAS DELETED. THERE IS NO ALTERNATE TO UNIT E3-VIP

Designed by:	GU	
Drawn by:		
Architect of Record:	MEP	
Date Plotted:	04/13/16	
Issue for Pricing/Bidding:	N/A	
Issue for Permit Application:	N/A	
Issue for Construction:	N/A	
Revisions:		
#	DATE	COMMENTS
1	04/13/16	PAD RESUB.
2	05/10/16	PAD RESUB.

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THE STANDARD AT TEMPE
11 EAST 77th STREET
TEMPE, MARICOPA COUNTY, ARIZONA
0.86 ACRES
LANDMARK PROPERTIES, LLC
NOTICE OF EXTENDED CERTIFICATION LAND
APPROVAL FERRAD PROVISION



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SHEET CONTENTS:

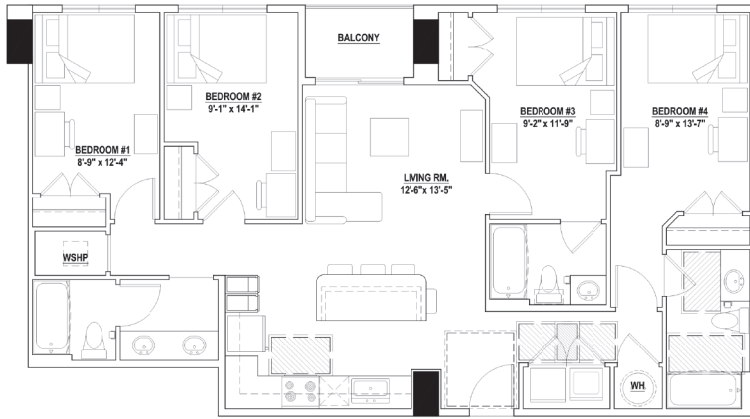
UNIT PLANS

SHEET NO.

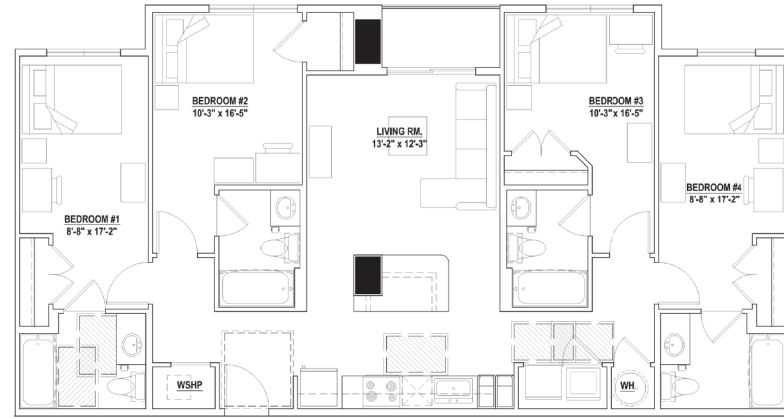
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15282

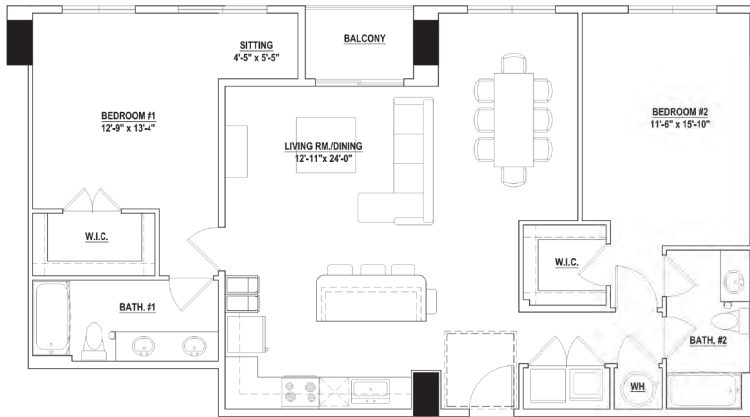
PAD SUBMITTAL - NOT FOR CONSTRUCTION



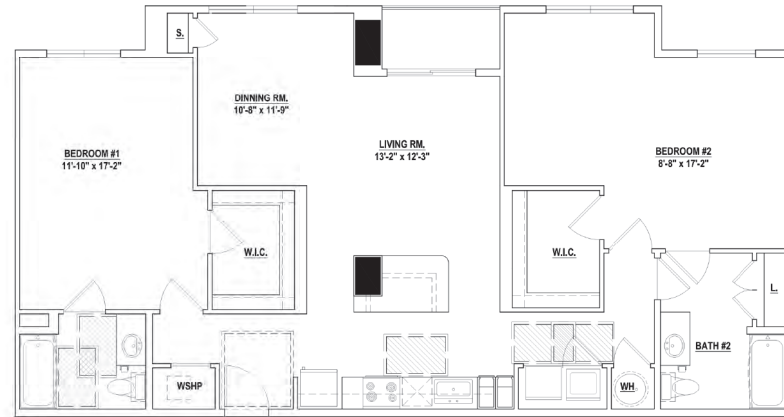
D1 (4BR / 3BA)
1314 SF



D2 (4BR / 4BA)
1400 SF



APARTMENT-B1 (2BR / 2BA)
1314 SF



APARTMENT-B2 (2BR / 2BA)
1400 SF

Potential Unit Conversion Plan for future modification of building

Designed by: GL
 Drawn by: MP
 Architect of Record: 04/13/16
 Date Plotted: 04/13/16

Rev	DATE	COMMENTS
1	04/13/16	PAD RESUB
2	04/13/16	PAD RESUB

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 TEMPE, ARIZONA 85281
 LANDMARK PROPERTIES, LLC
 10000 N. CENTRAL EXPRESSWAY
 SUITE 1000, SCOTTSDALE, ARIZONA 85254
 APPROVAL OF EXTENDED CERTIFICATION AND APPROVAL OF CONVERSION

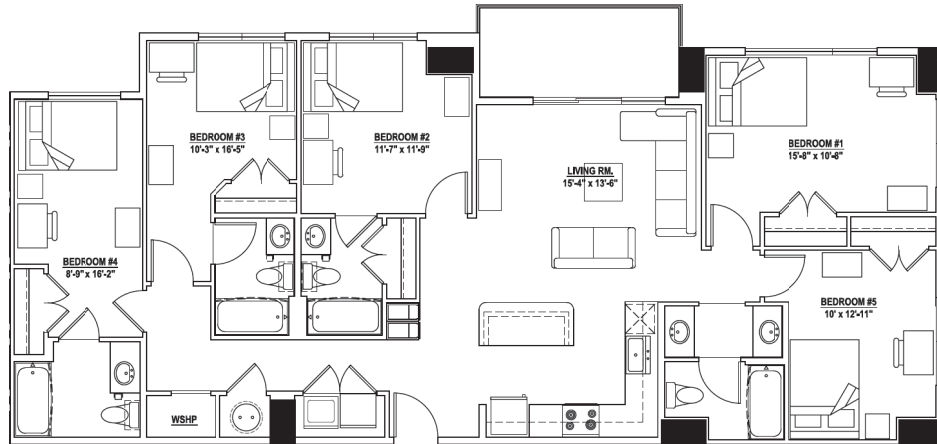


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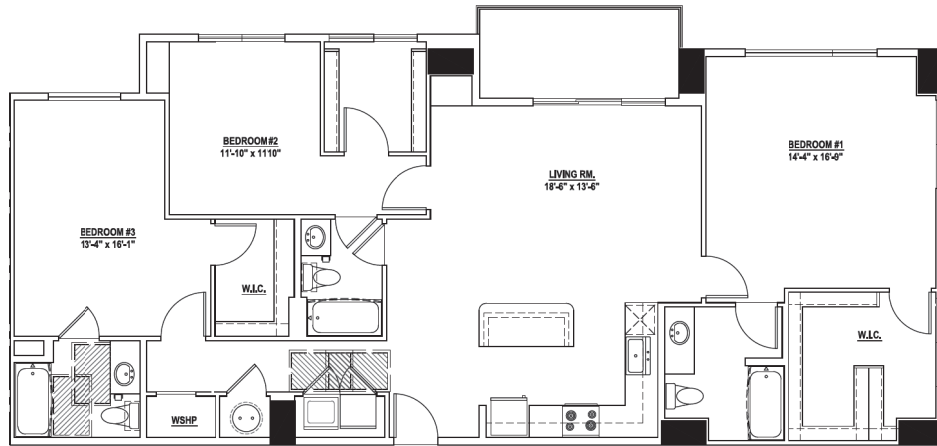
SHEET CONTAINS
 UNIT PLANS
 CONVERSIONS

SHEET NO.
 A4.01

PAD SUBMITTAL - NOT FOR CONSTRUCTION



E1 (5BR / 4BA)
1,670 SF



APARTMENT-C1 (3BR / 3BA)
1,670 SF

Potential Unit Conversion Plan for future modification of building

Designed by: **GI**
 License No.:
 Architect of Record: **MFP**
 Date Plotted: **04/13/16**
 Issued for Permitting: **N/A**
 Used for Permit Application: **N/A**
 Used for Construction: **N/A**

NO.	DATE	DESCRIPTION
1	04/13/16	PAD RESUB
2	02/10/16	PAD RE-DESIGN

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 TEMPE, MARICOPA COUNTY, ARIZONA
 85283-3808
LANDMARK PROPERTIES, LLC
 NOTICE OF EXTENDED CERTIFICATION AND
 AUTOMATIC RECORD PROTECTION

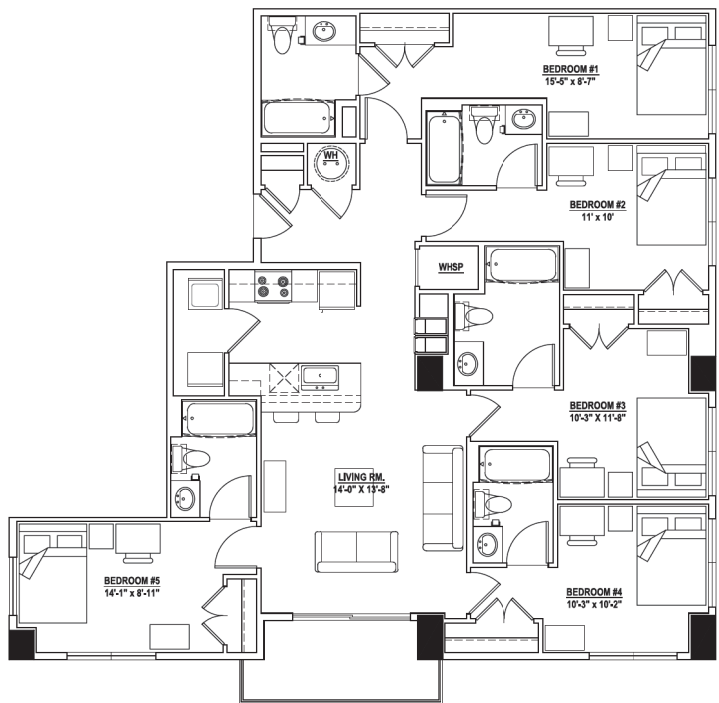


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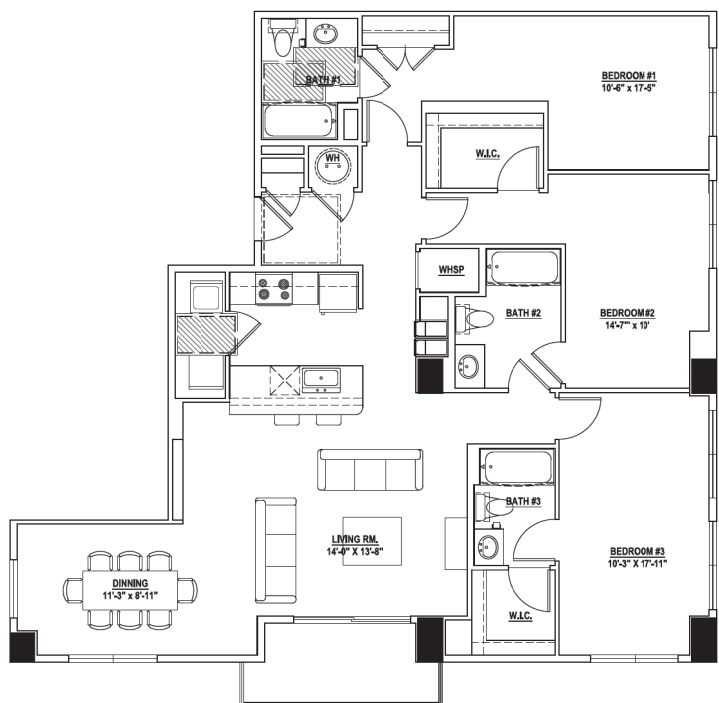
SHEET CONTENTS
 UNIT PLANS
 CONVERSIONS
 SHEET NO.

A4.02
 15282

PAD SUBMITTAL - NOT FOR CONSTRUCTION



E2 (5BR / 5BA)
1633 SF



APARTMENT-C2 (3BR / 3BA)
1633 SF

Potential Unit Conversion Plan for future modification of building

Drawn by: GL
 Date: 08/13/16
 Architect of Record: MFP
 Date Project: 08/13/16
 Issue for Permit: PERM
 Issue for Permit Application: PERM
 Issue for Construction: PERM

Revisions	DATE	DESCRIPTION
1	04/13/16	PAD RESUB.
2	05/10/16	PAD RESUB.

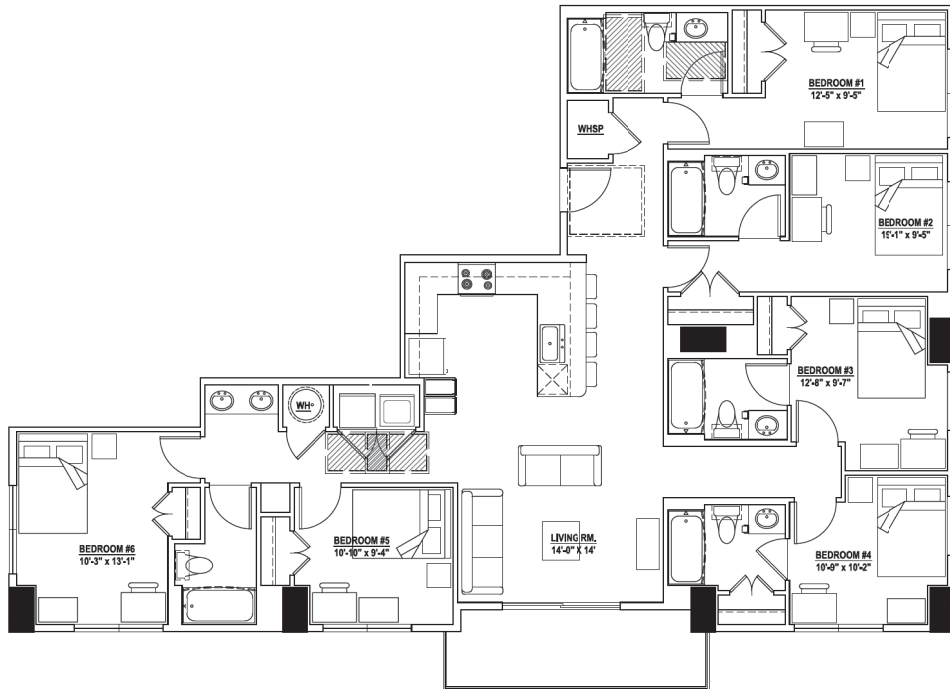
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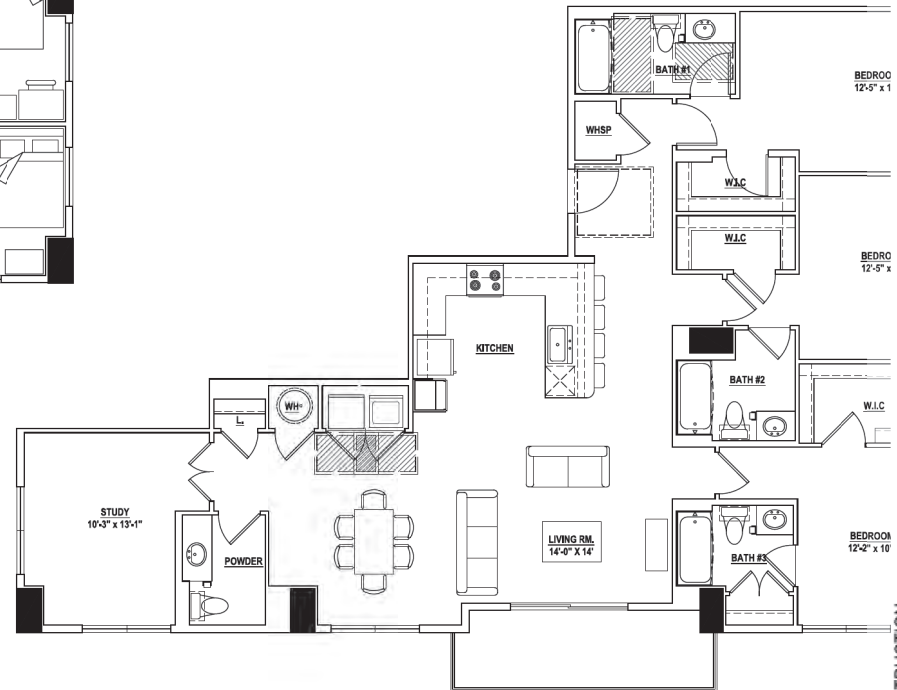
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SHEET CONTENTS:
 UNIT PLANS
 CONVERSIONS
 SHEET NO:
A4.03

FAD SUBMITTAL - NOT FOR CONSTRUCTION



F1 (6BR / 6BA)
1809 SF



APARTMENT-C3 (3BR / 3.5BA)
1809 SF

Potential Unit Conversion Plan for future modification of building

Designer By: GA
 Drawn By: _____
 Architect / Record: MFP
 Date Plotted: 06/13/16
 Plotter / Plot Style: N/A
 Issue for Review Application: N/A
 Issue for Construction: N/A

Revisions	#	DATE	COMMENTS
	1	04/13/16	PAD RESUB
	2	05/10/16	PAD RESUB

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 11 EAST 7TH STREET
 TEMPE, MARICOPA COUNTY, ARIZONA
 85281
 100 FLOORS
LANDMARK PROPERTIES, LLC
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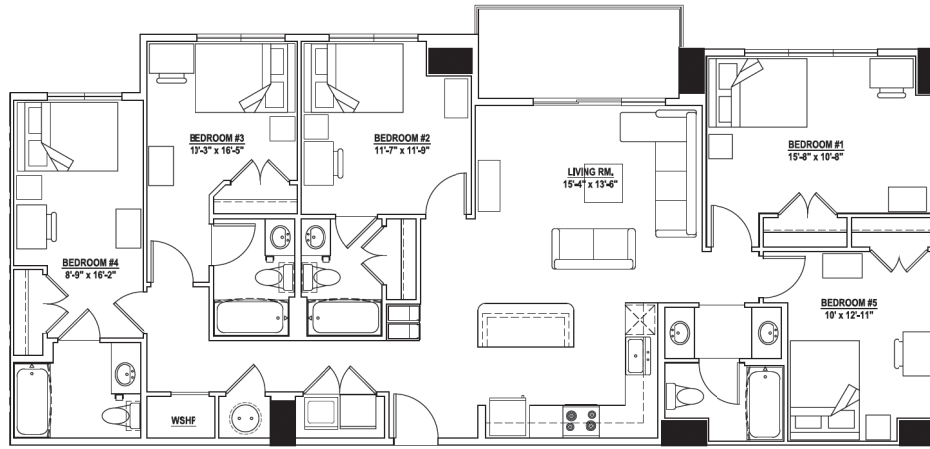


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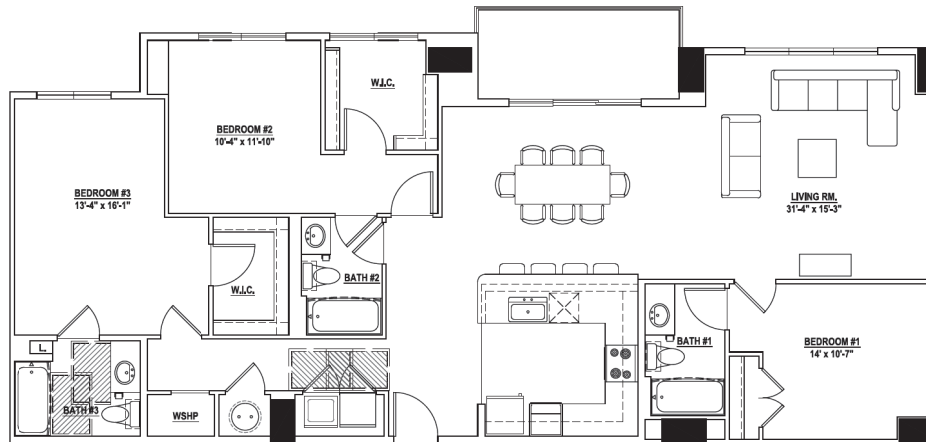
SHEET CONTENTS:
 UNIT PLANS
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 SHEET NO:
A4.04

15282

PAD SUBMITTAL - NOT FOR CONSTRUCTION



E1 (5BR / 4BA)
1,670 SF



APARTMENT-C4 (3BR / 3BA)
1,668 SF

Potential Unit Conversion Plan for future modification of building

Drawn by: G.J.
 Checked by: MFP
 Date Plotted: 05/13/16

NO.	DATE	COMMENTS
1	04/12/16	PAD RESUB.
2	05/10/16	PAD RESUB.

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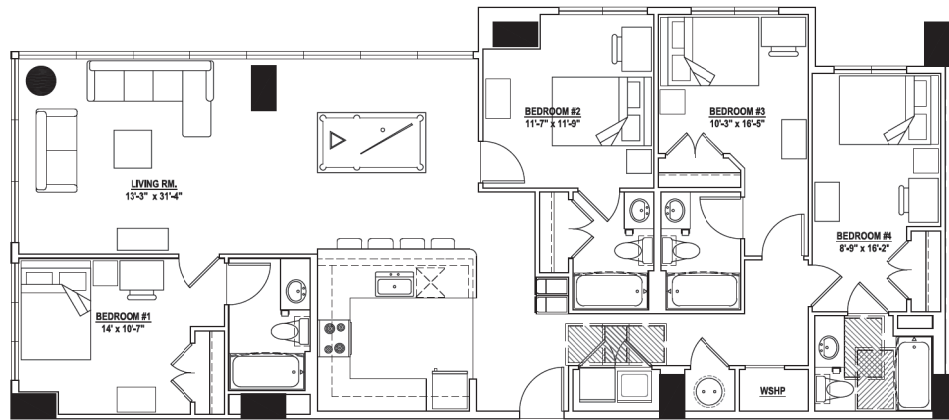
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SHEET CONTENTS:
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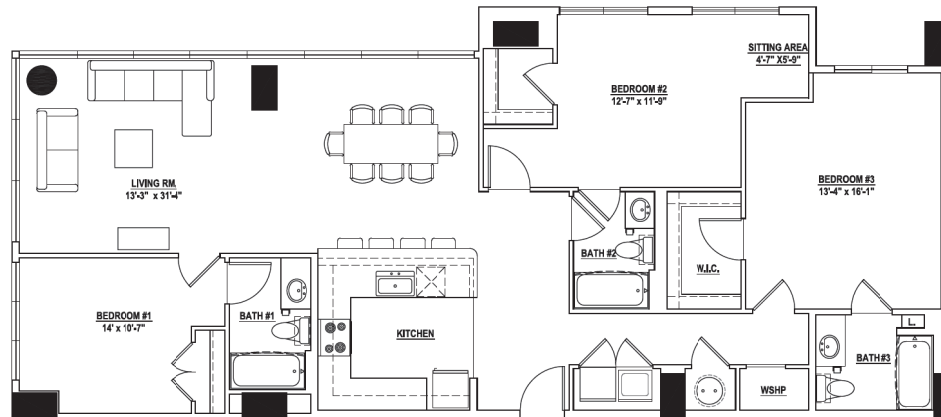
SHEET NO.
A4.05

15282

PAD SUBMITTAL - NOT FOR CONSTRUCTION



D4 (4BR / 4BA)
1,656 SF



APARTMENT-C5 (3BR / 3BA)
1,656 SF

Potential Unit Conversion Plan for future modification of building

Designed by: GL
 Drawn by: _____
 Architect of Record: MFP
 Date Plotted: 04/13/16

Area for Photos: <u>None</u>
Area for Permit Application: <u>N/A</u>
Area for Construction: <u>N/A</u>

Rev	DATE	REVISIONS
1	04/13/16	PAO RESUB.
2	05/10/16	PAO RESUB.

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 TEMPE, MARICOPA COUNTY, ARIZONA
LANDMARK PROPERTIES, LLC
 NOTICE OF EXTENSION OF CONTRACTUAL AND PROFESSIONAL LIABILITY INSURANCE COVERAGE



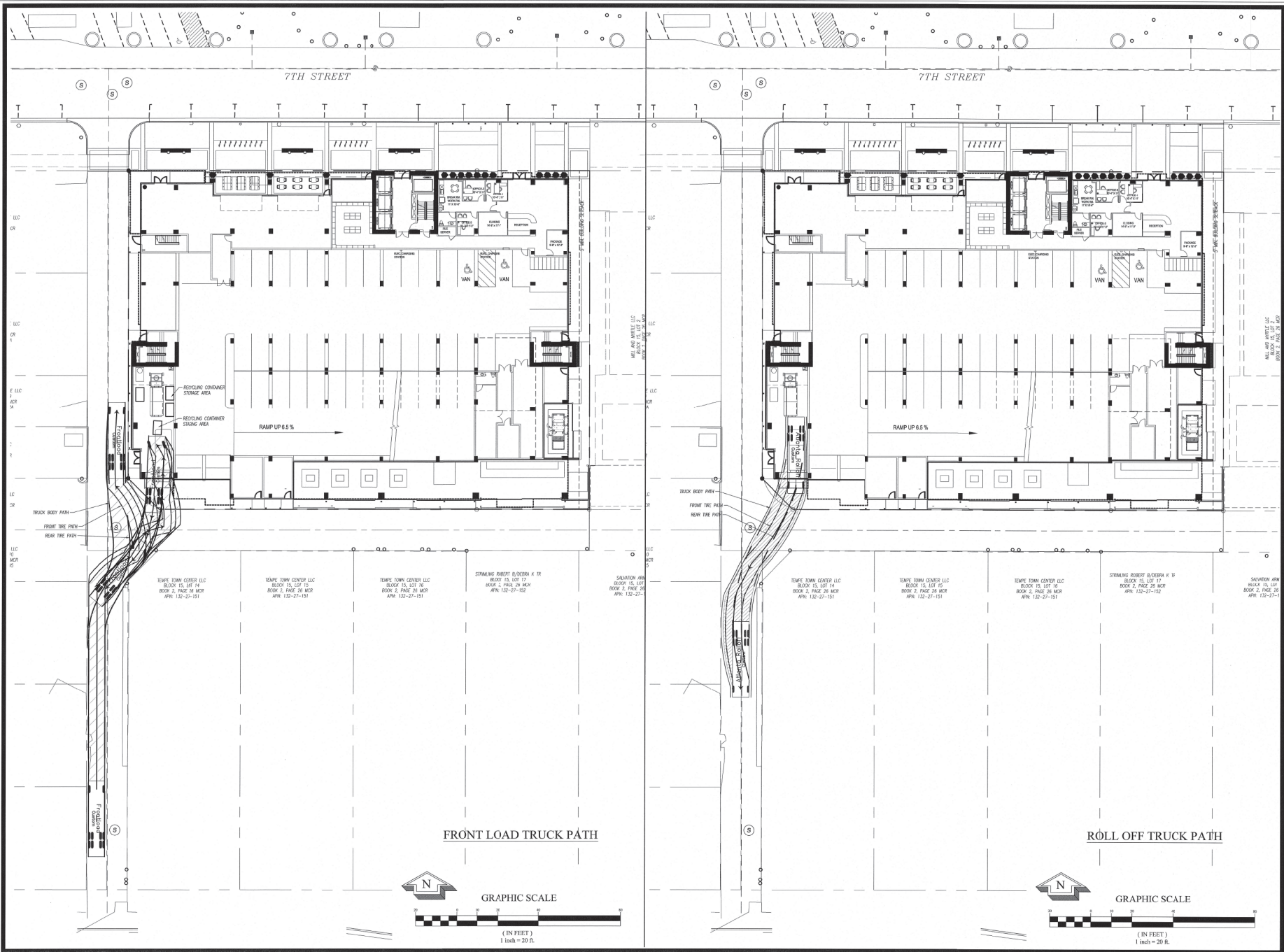
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SHEET CONTAINS
 UNIT PLANS
 CONVERSIONS
 SHEET NO.

A4.06

15282

PAO SUBMITTAL - NOT FOR CONSTRUCTION



Williams & Associates

ENGINEERING SURVEYING
LANDSCAPE ARCHITECTURE

2470 Daniels Bridge Road, Suite 161
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F. 706.3166411

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THE STANDARD AT TEMPE

11 EAST 7TH STREET
TEMPE, MARICOPA COUNTY, ARIZONA
0.85 ACRES

DATE: 03/18/2016

REVISIONS

DATE	COMMENT
04/13/16	PER CITY COMMENTS

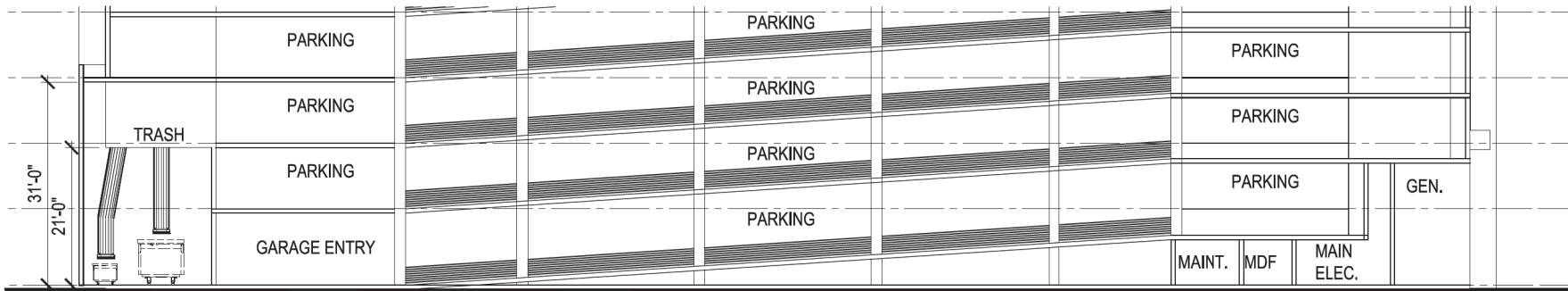


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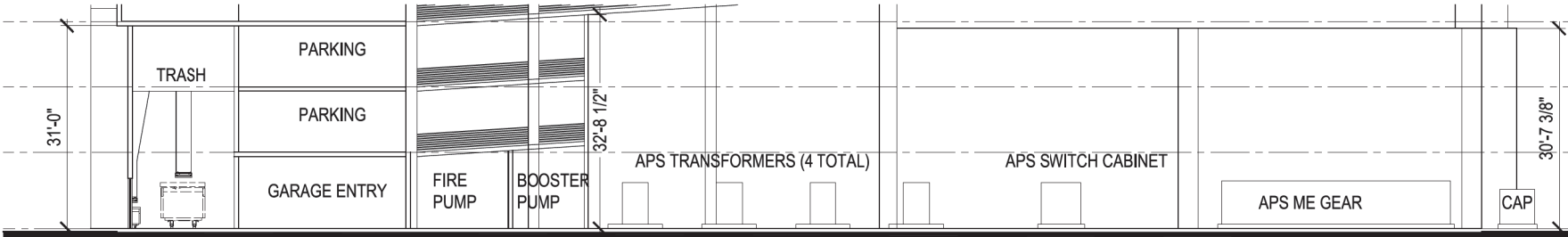
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REFUSE TRUCK TURN PLAN
FOR DEVELOPMENT PLAN
REVIEW

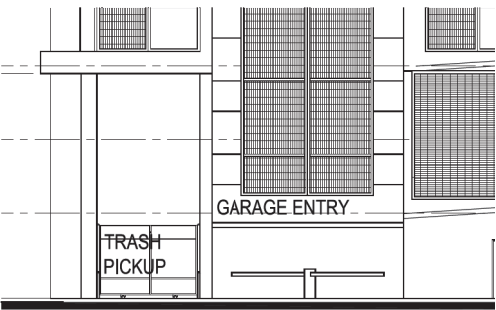
1 of 1



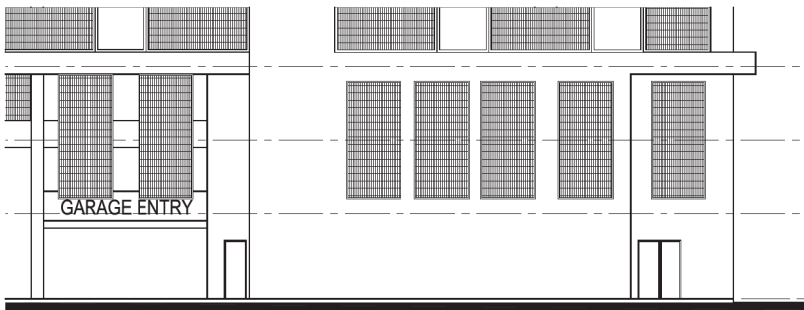
5 SERVICE YARD/GARAGE - SECTION
SCALE: 1/8" = 1'-0"



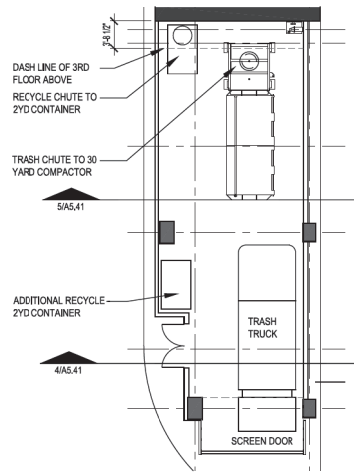
4 SERVICE YARD - SECTION
SCALE: 1/8" = 1'-0"



3 SERVICE YARD - SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



2 SERVICE YARD - WEST ELEVATION
SCALE: 1/8" = 1'-0"



1 SERVICE YARD - ENLARGED PLAN
SCALE: 1/8" = 1'-0"



PAD SUBMITTAL - NOT FOR CONSTRUCTION

Designed by: **GJ**
 Drawn by: **MEP**
 Architect of Record: **MEP**
 Date Plotted: **04/13/16**

Issue for Pricing/ bidding:	N/A
Issue for Permit Application:	N/A
Issue for Construction:	N/A

#	DATE	COMMENTS
1	04/13/16	PAD RESUB.
2	05/10/16	PAD RESUB.

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 0.06 ACRES
LANDMARK PROPERTIES, LLC
 NOTICE OF EXTENDED CERTIFICATION AND
 APPLICABLE TO CERTAIN PERMITS AND
 BILLINGS AND TESTS SHALL BE OBTAINED FROM THE CONTRACTOR.
 ESTIMATES ARE RECEIVED FROM THE CONTRACTOR.



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SHEET CONTENTS:
 SERVICE YARD
 PLAN, SECTION, & ELEV.

SHEET NO.
A5.41

15282

GENERAL LANDSCAPE NOTES

1. THE CONTRACTOR SHALL FOLLOW THE LANDSCAPE PLAN AS CLOSELY AS POSSIBLE. ANY DISCREPANCY IN THE PLAN VS. THE FIELD CONDITIONS SHALL BE REPORTED TO THE CITY REPRESENTATIVE IMMEDIATELY.
2. IN THE EVENT THAT POTTED TREES NEED TO BE REMOVED IN ORDER TO PROVIDE ACCESS FOR UTILITY MAINTENANCE, REPLACEMENT OF SUCH TREES SHALL BE AT THE DEVELOPER'S EXPENSE.
3. LOCATION OF ALL ELEMENTS ON THIS PLAN SHALL BE APPROVED BY THE PROJECT REPRESENTATIVE, PRIOR TO INSTALLATION.
4. MAINTENANCE: ALL LANDSCAPING AND IRRIGATION SYSTEMS SHALL BE MAINTAINED TO ACHIEVE PERMANENT, SAFE, AND SUCCESSFUL LANDSCAPING.
5. ALL DISTURBED, GRUBBED, GRADED OR BLADED AREAS NOT OTHERWISE IMPROVED SHALL BE LANDSCAPED, RESEED, OR TREATED WITH AN INORGANIC OR ORGANIC GROUND COVER.
6. THE SCHEDULE FOR PLANTING OF TREES AND SHRUBS SHALL BE AT THE DISCRETION OF THE CONTRACTOR. PLANTING DURING EXTREMELY COLD, HOT, OR WINDY PERIODS SHALL BE PERFORMED AT THE CONTRACTOR'S RISK. PLANTS WHICH ARE DAMAGED OR DIE PRIOR TO FINAL ACCEPTANCE AS A RESULT OF EXTREME WEATHER CONDITIONS SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
7. PLANT SIZE, LOCATION AND SPACING.
 - 7.A. TREES AND SHRUBS ARE TO BE LOCATED SO THAT, AT MATURITY, THEY DO NOT INTERFERE WITH EXISTING ONSITE OR OFFSITE UTILITY SERVICE LINES OR UTILITY EASEMENTS OR WITH SOLAR ACCESS TO AN ADJACENT PROPERTY.
 - 7.B. ALL SHRUBS AND GROUNDCOVERS TO BE A MINIMUM OF 2' FROM BACK OF CURB OR BACK OF SIDEWALK.
8. PLANT PLACEMENT TO BE FIELD ADJUSTED AS NEEDED TO AVOID PROPOSED UTILITIES, EXISTING PRESERVED VEGETATION, AND OTHER FIELD CONDITIONS. CONTACT THE PROJECT REPRESENTATIVE FOR RELOCATION OF PLANTS IN QUESTIONABLE AREAS.
9. ALL WORK SHALL BE CONFINED TO THE AREA WITHIN THE CONSTRUCTION LIMITS AS SHOWN ON THE PLANS. ANY AREAS OR IMPROVEMENTS DISTURBED OUTSIDE THESE LIMITS SHALL BE REVEGETATED TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. IN THE EVENT THE CONTRACTOR REQUIRES A MODIFICATION TO THE CONSTRUCTION LIMITS, WRITTEN PERMISSION MUST BE OBTAINED FROM THE PROJECT REPRESENTATIVE PRIOR TO ANY DISTURBANCE OUTSIDE OF THE LIMITS OF WORK.
10. THE CONTRACTOR SHALL WARRANT THE PLANT MATERIAL, IRRIGATION SYSTEM AND WORKMANSHIP FOR A MINIMUM PERIOD OF ONE YEAR.
11. IN THE EVENT OF ANY DISPUTE BETWEEN THESE PLANS AND THE STANDARD SPECIFICATION, THE STANDARD SPECIFICATION SHALL PREVAIL.
12. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES.
13. IT IS THE OWNERS RESPONSIBILITY TO KEEP THE SIGHT VISIBILITY TRIANGLES (SVT), AND THE PEDESTRIAN ACCESS AREA, (MUST PROVIDE A WINDOW OF VISIBILITY FROM 30' TO 72" ABOVE GRADE).
14. FINAL PLANT LOCATIONS MUST BE IN COMPLIANCE WITH ALL UTILITY SETBACK REQUIREMENTS.
15. REMOVE ALL EXISTING LANDSCAPE WITHIN THE LANDSCAPE LIMITS SHOWN ON LANDSCAPE PLAN, WITH THE EXCEPTION OF PLANTS IDENTIFIED AS PROTECT IN PLACE OR AS DIRECTED BY THE OWNERS REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT, COORDINATE A SITE VISIT PRIOR TO DEMOLITION.
16. LANDSCAPE UPLIGHTS WILL BE LOCATED AT SPECIMEN TREES.
17. LANDSCAPE ARCHITECT TO SELECT AND TAG TREES PRIOR TO INSTALLATION.

CITY OF TEMPE LANDSCAPE NOTES

1. ANY RIVER ROCK MATERIAL MUST BE EMBEDDED IN CONCRETE TO A DEPTH OF TWO-THIRDS (2/3) THE DIMENSION OF THE ROCK TO PREVENT ITS REMOVAL OR RELOCATION.
2. ALL TREES SHALL BE A MINIMUM OF ONE AND ONE-HALF (1 1/2) INCH CALIPER AND SHALL BE PLANTED AND STAKED IN ACCORDANCE WITH THE "STANDARD TREE PLANTING DETAIL."
3. STREET TREES ARE REQUIRED ALONG ALL STREET FRONTS. PUBLIC AND PRIVATE, AND A MINIMUM OF ONE (1) TREE SHALL BE PROVIDED FOR EVERY THIRTY (30) FEET OF LINEAR STREET FRONTAGE. TREE LOCATION AND SPACING SHALL BE ESTABLISHED THROUGH DEVELOPMENT PLAN REVIEW.
4. PARKING LOTS SHALL HAVE LANDSCAPE TREATMENTS THAT PROVIDE SHADE AND ALLOW FOR NATURAL SURVEILLANCE.
5. EACH LANDSCAPE ISLAND SHALL INCLUDE, AT THE TIME OF INSTALLATION, A MINIMUM OF ONE (1) TREE WITH A MINIMUM CALIPER OF ONE AND ONE-HALF (1 1/2) INCHES AND FIVE (5) GALLON COVERS OF ONE (1) GALLON SIZE FOR EACH PARKING SPACE LENGTH. ALL GROUND COVERS IN PARKING LOT LANDSCAPE ISLANDS SHALL NOT EXCEED TWO (2) FEET IN HEIGHT.
6. TREE TRUNKS SHALL NOT BE PLACED CLOSER THAN TWENTY (20) FEET, MEASURED HORIZONTALLY, FROM A LIGHT SOURCE. TREES AND LIGHTING SHALL BE LOCATED TO AVOID CONFLICTS WITH ONE ANOTHER AND TO AVOID CONFLICTS WITH EXISTING AND PROPOSED STRUCTURES.
7. ALL LANDSCAPE AND WALLS SHALL BE INSTALLED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
8. ANY WALLS TO BE LOCATED WITHIN THE PUBLIC RIGHT-OF-WAY SHALL REQUIRE DEVELOPMENT PLAN APPROVAL AND/OR PRIOR APPROVAL BY THE PUBLIC WORKS DEPARTMENT, AND RECEIVE AN ENCROACHMENT PERMIT.
9. THE MAXIMUM HEIGHT OF ANY FREESTANDING FINISH SURFACE OF THE GROUND, PAVING, OR SIDEWALK WITHIN TWENTY (20) FEET, UNLESS OTHERWISE NOTED.
10. INCLUDE REQUIREMENT TO DE-COMPACT SOIL IN PLANTING AREAS ON SITE AND IN PUBLIC RIGHT OF WAY AND REMOVE CONSTRUCTION DEBRIS FROM PLANTING AREAS PRIOR TO LANDSCAPE INSTALLATION.

VICINITY MAP



SHEET INDEX

SHEET #	DESCRIPTION	DATE(S) ISSUED FOR PWD	DATE(S) ISSUED FOR PSD
LA-100	LANDSCAPE COVER	X	X
LA-101	STREETSCAPE LANDSCAPE PLAN	X	X
LA-201	STREETSCAPE LANDSCAPE DETAILS	X	X

PLANT SCHEDULE

SYM.	BOTANICAL NAME COMMON NAME	SIZE BRANCHING	CALIPER HT & W	QTY
TREES				
	<i>Pereskia</i> Desert Museum Desert Museum Palo Verde	36" BOX MULTI	2" CALIPER 12' HT & 10" W	8
	<i>Phoenix dactylopera</i> Date Palm	48" BOX	18' HT	6
SHRUBS				
	<i>Ruscus equisetiformis</i> Pinecacker Bush	5 GALLON		36
ACCENTS				
	<i>Agave attenuata</i> Fountain Agave	15 GALLON		1
	<i>Agave parryi</i> v. <i>truncata</i> Archon Agave	5 GALLON		6
	<i>Aloe Blue Elf</i> Blue Elf Aloe	5 GALLON		200
	<i>Aloe barbadensis</i> Aloe vera	5 GALLON		52
	<i>Echinocactus grusoni</i> Golden Barrel Cactus	5 GALLON		22
	<i>Euphorbia amygdalifolia</i> Candle	5 GALLON		66
GRASSES				
	<i>Muhlenbergia rigens</i> Deer Grass	5 GALLON		16
GROUNDCOVER				
	<i>Lantana New Gold</i> Yellow Lantana	1 GALLON		46
	<i>Euphorbia Agida</i> Gopher Plant	5 GALLON		167
VINES				
	<i>Ficus purpurea</i> Creeping Fig Vine	1 GALLON		31
TOPDRESS				
	Black Mexican Beach Pebble in all planter pots. Size: 1/2" - 2" Depth minimum.			
	Decomposed Granite to all planting areas. Size: 3/4" Screened Color: Table Mesa Brown, as supplied by Granite Express. 2" Depth minimum.			

Note: All plant material conforms to CPTED requirements.

PAVING SCHEDULE

SYM.	PRODUCT
	CONCRETE TYPE 1 COLOR: STANDARD GRAY FINISH: BROOM
	CONCRETE TYPE 2 INTEGRAL COLOR: COBBLESTONE, DAVIS COLORS FINISH: LIGHT EXPOSED AGGREGATE
	CONCRETE TYPE 3 INTEGRAL COLOR: COBBLESTONE, DAVIS COLORS FINISH: BROOM
	BRICK - COLOR AND LAYOUT TO MATCH CITY OF TEMPE STANDARD
	PRECAST CONCRETE PAVERS MANUFACTURED BY: STEPSTONE INC. COLOR: KONA BROWN #1421 SIZE: 8"x12"x2 1/2" LAYOUT: STACKED BOND
	STABILIZED DECOMPOSED GRANITE COLOR: TABLE MESA BROWN, SIZE: 3/4" MINUS. AS SUPPLIED BY GRANITE EXPRESS. (480) 354-6809
	MEXICAN BEACH PEBBLE SIZE: 1" TO 2" DEPTH: 2" MIN.

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THE STANDARD AT TEMPE
TEMPE, AZ



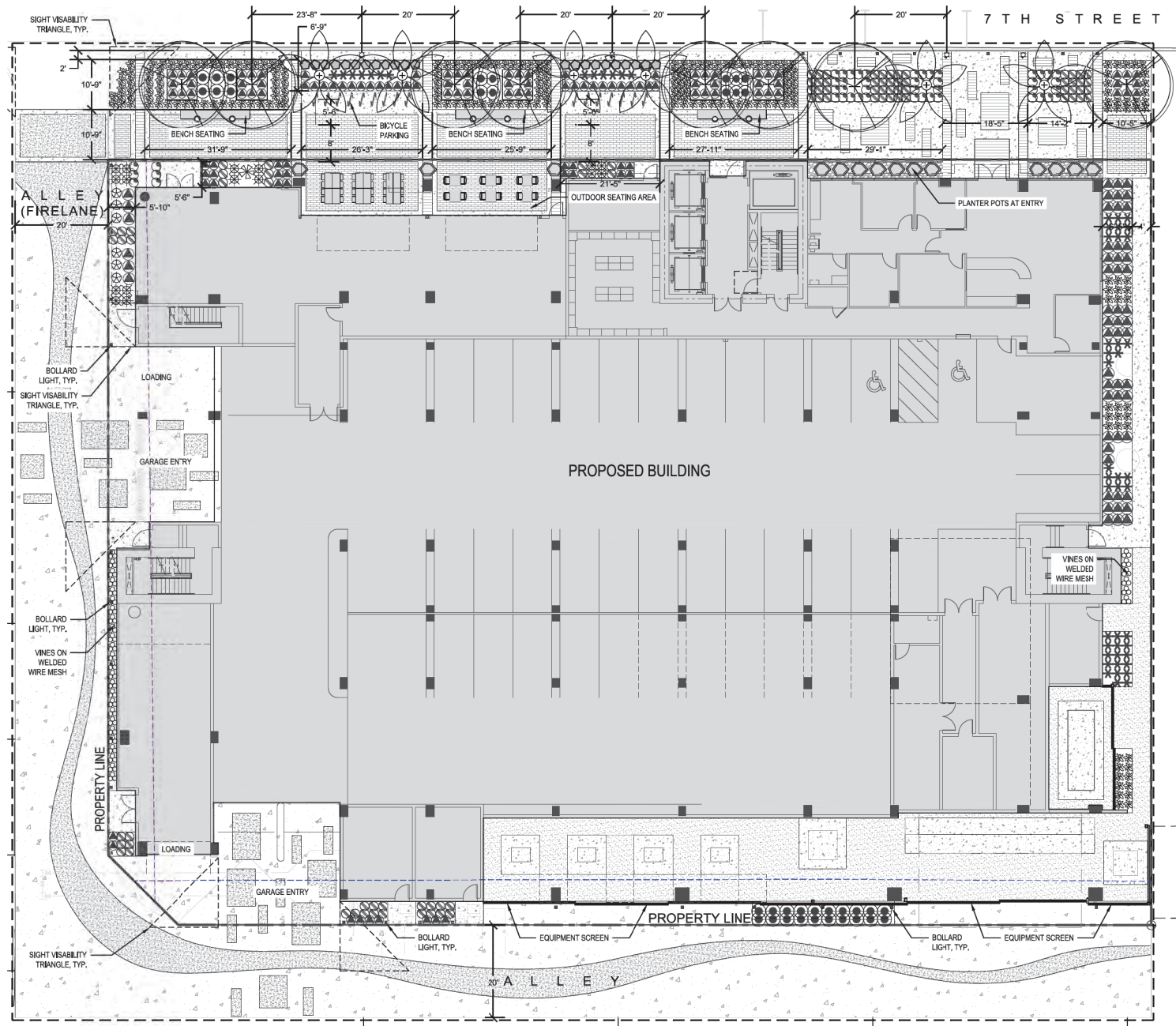
NOT FOR CONSTRUCTION
Issue Date
JANUARY 11, 2016
APRIL 13, 2016
APRIL 20, 2016

Revision Date

Sheet Title
LANDSCAPE COVER

Sheet Number
LA-100





PLANT SCHEDULE

SYM.	BOTANICAL NAME COMMON NAME	SIZE BRANCHING	CALIPER HT & W	QTY
TREES	Parthenocia Desert Museum Desert Museum Park Verde	38" BOX MULTI	2" CALIPER 12' HT & 10" W	8
	Phoenix dactyloides Date Palm	48" BOX	18' HT	6
	Ruscus equisetiformis Floratone Bush	5 GALLON		30
SHRUBS	Agave strianata Fossil Agave	15 GALLON		1
	Agave vivipara Arichone Agave	5 GALLON		6
	Alca Blue Elf Blue Elf Alca	5 GALLON		200
	Alca barbadensis Alca vera	5 GALLON		52
	Echinocactus grusonii Golden Barrel Cactus	5 GALLON		22
GRASSES	Euphorbia amygdalifolia Candlestick	5 GALLON		86
	Muhlenbergia rigens Deer Grass	5 GALLON		16
GROUNDCOVER	Lantana New Gold Yellow Lantana	1 GALLON		46
	Euphorbia rigida Goopher Plant	5 GALLON		167
VINES	Ficus pumila Creeping Fig Vine	1 GALLON		31

Note:
 All plant material conforms to CPTED requirements.

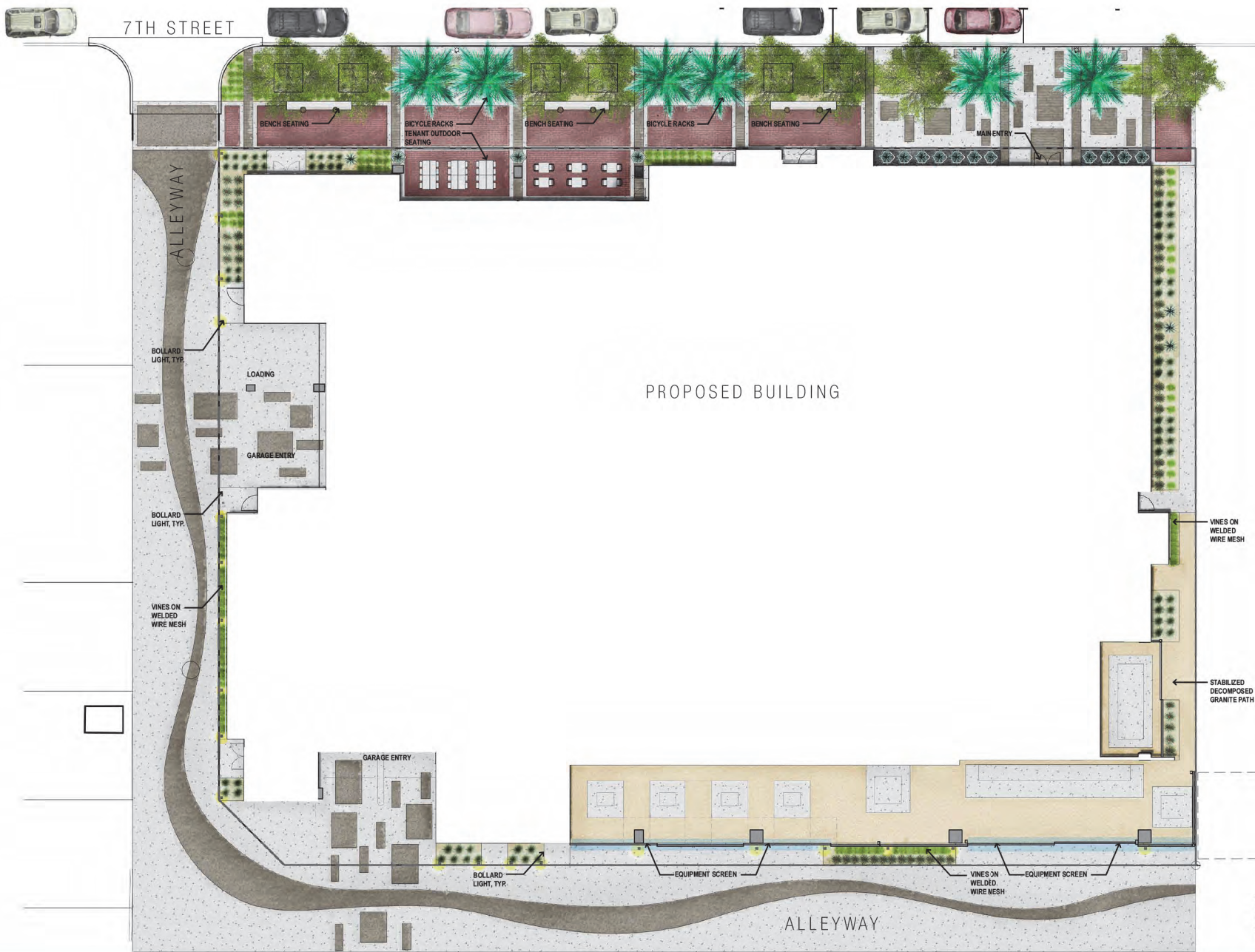
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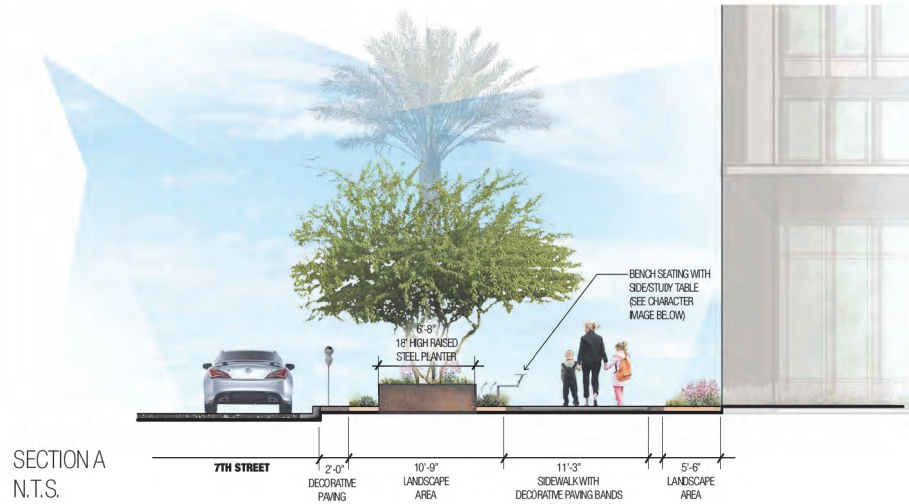
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[Pattern]	CONCRETE TYPE 2 INTEGRAL COLOR: COBBLESTONE, DAVIS COLORS FINISH: LIGHT EXPOSED AGGREGATE
[Pattern]	CONCRETE TYPE 3 INTEGRAL COLOR: COBBLESTONE, DAVIS COLORS FINISH: BROOM
[Pattern]	BRICK - COLOR AND LAYOUT TO MATCH CITY OF TEMPE STANDARD
[Pattern]	PRECAST CONCRETE PAVERS MANUFACTURED BY: STEPSTONE INC. COLOR: KOHA BROWN #1421 SIZE: 6"x12"x2 1/2" LAYOUT: STACKED BOND
[Pattern]	STABILIZED DECOMPOSED GRANITE COLOR: TABLE MESA BROWN, SIZE: 2" MINUS, AS SUPPLIED BY GRANITE EXPRESS, (480) 354-6809
[Pattern]	MEXICAN BEACH PEBBLE SIZE: 1" TO 2" DEPTH: 2" MIN.



DRAWN BY: KJP
 FILENAME: P:\S\The Standard\Drawings\STANDARD_LA 101.dwg
 Plotdate: May 10, 2016

LANDSCAPE PLAN





INTEGRAL COLORED CONCRETE
Color: to match architecture



TEMPE STANDARD DECORATIVE PAVERS



LINEAR PAVERS
Manufacturer: StepStone
Color: to match architecture



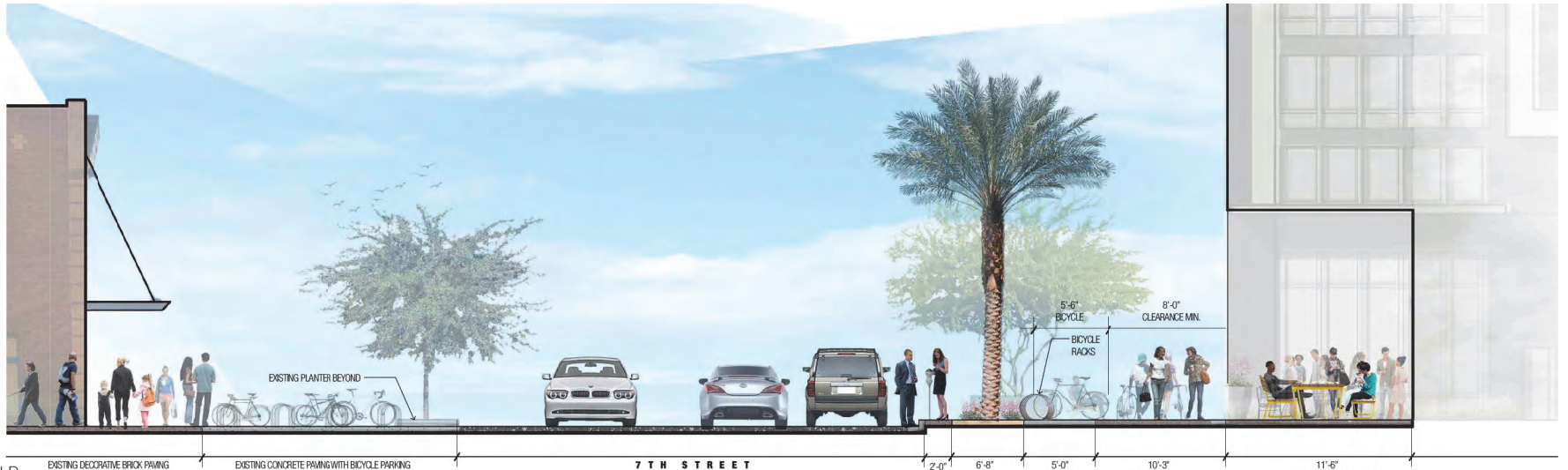
BICYCLE RACKS



BENCH SEATING WITH ATTACHED SIDE / STUDY TABLE



ILLUSTRATIVE LANDSCAPE PLAN



SECTION B
N.T.S.

EXISTING DECORATIVE BRICK PAVING EXISTING CONCRETE PAVING WITH BICYCLE PARKING 7TH STREET 2'-0" CONCRETE PAVING 6'-8" LANDSCAPE AREA 5'-0" CONCRETE PAVING 10'-3" TEMPE BRICK WITH DECORATIVE PAVING BANDS 11'-6" SEATING AREA / GATHERING SPACE



INTEGRAL COLORED CONCRETE
Color: to match architecture



TEMPE STANDARD
DECORATIVE PAVERS



LINEAR PAVERS
Manufacturer: StepStone
Color: to match architecture



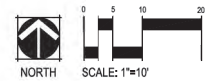
BICYCLE RACKS



BENCH SEATING WITH
ATTACHED SIDE / STUDY TABLE



ILLUSTRATIVE LANDSCAPE PLAN





Designed by	GU	
Drawn by		
Architect of Record	MEP	
Title/Project	04/13/16	
Issue for Pricing/Bidding	N/A	
Issue for Permit Application	N/A	
Issue for Construction	N/A	
Revisions		
#	DATE	COMMENTS
1	04/13/16	PAD RESUB.
2	05/10/16	PAD RESUB.

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THE STANDARD AT TEMPE
 11 EAST 7TH STREET
 TEMPE, MARICOPA COUNTY, ARIZONA
 0.85 ACRES

LANDMARK PROPERTIES, LLC
 NOTICE OF EXTENDED CERTIFICATION AND APPROVAL PERIOD PROVISION

THIS CONTRACT ALONG WITH THE OWNER'S TERMS AND CONDITIONS, BILLINGS AND SCHEDULES WITHIN IS A PART OF THE BILLINGS AND CONTRACT AND SHALL CONTROL OVER THE CONSTRUCTION.



HUMPHREYS & PARTNERS ARCHITECTS, L.P.

5339 ALPHA ROAD - SUITE 300 - DALLAS, TEXAS 75240
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SHEET CONTENTS:

PERSPECTIVE-3

SHEET NO.

A 1.03

15282

PAD SUBMITTAL - NOT FOR CONSTRUCTION



Designed by	GU	
Drawn by		
Architect of Record	MEP	
Title/Project	0413/16	
Issues for Pricing/Bidding	N/A	
Issues for Permit Application	N/A	
Issues for Construction	N/A	
Revisions		
#	DATE	COMMENTS
1	04/13/16	PAD RESUB.
2	05/10/16	PAD RESUB.

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THE STANDARD AT TEMPE
 11 EAST 7TH STREET
 TEMPE, MARICOPA COUNTY, ARIZONA
 0.85 ACRES
LANDMARK PROPERTIES, LLC
NOTICE OF EXTENDED CERTIFICATION AND APPROVAL PERIOD PROVISION
 THE CONTRACT ALLOWING THE OWNER TO CERTIFY AND APPROVE BILLINGS AND RETAINMENT WITHIN 30 DAYS AFTER THE BILLINGS AND CERTIFICATE ARE RECEIVED FROM THE CONTRACTOR.



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SHEET CONTENTS:
PERSPECTIVE-2
 SHEET NO.
A 1.02

PAD SUBMITTAL - NOT FOR CONSTRUCTION



Designed by: GU

Drawn by: _____

Architect of Record: MEP

Title/Project: 0413/16

Issue for Pricing/Bidding: N/A

Issue for Permit Application: N/A

Issue for Construction: N/A

Revisions:

#	DATE	COMMENTS
1	04/13/16	PAD RESUB.
2	05/10/16	PAD RESUB.

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THE STANDARD AT TEMPE
 11 EAST 7TH STREET
 TEMPE, MARICOPA COUNTY, ARIZONA
 0.85 ACRES
LANDMARK PROPERTIES, LLC
 NOTICE OF EXTENDED CERTIFICATION AND APPROVAL PERIOD PROVISION

THIS CONTRACT ALONG WITH THE OWNER'S CONDITIONS AND SPECIFICATIONS AND DEMANDS WITHIN 30 DAYS AFTER THE BILLINGS AND IS SUBJECT TO ALL DECISIONS MADE BY THE ARCHITECT.



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SHEET CONTENTS:

PERSPECTIVE-1

SHEET NO.

A 1.01

15282

PAD SUBMITTAL - NOT FOR CONSTRUCTION

A METAL PANEL - BERRIDGE
SHERWIN WILLIAMS - SW 7602
INDIGO BATIK - LRV 8



B STUCCO FINISH - DRYVIT
SHERWIN WILLIAMS - SW 7063
NEBULOUS WHITE - LRV 74



C STUCCO FINISH - DRYVIT
SHERWIN WILLIAMS - SW 9173
SHIITAKE - LRV 51



D STUCCO FINISH - DRYVIT
SHERWIN WILLIAMS - SW 7075
WEB GRAY - LRV 13



E FIBER CEMENT PANEL
ALLURA COLORMAX
CEDAR



F STOREFRONT - PPG/IAP
FRAME COLOR - GREY ALUMINUM



NORTH ELEVATION

G STUCCO FINISH - DRYVIT
SHERWIN WILLIAMS - SW 7603
POOLHOUSE - LRV 29



H METAL PANEL
BERRIDGE METAL
ZINC GRAY



J METAL PANEL - BERRIDGE
SHERWIN WILLIAMS - SW 7073
NETWORK GRAY - LRV 37



K ALUMINUM WINDOWS
FRAME COLOR: DARK GREY
CLEAR/DUAL PANE/LOW-E



L GLASS RAILING
2" DIA ALUMINUM TOP RAIL
1/2" CLEAR TEMPERED GLASS



M EQUIPMENT SCREEN
ARCHITECTURAL LOUVERS
DOVE GRAY



NORTH ELEVATION

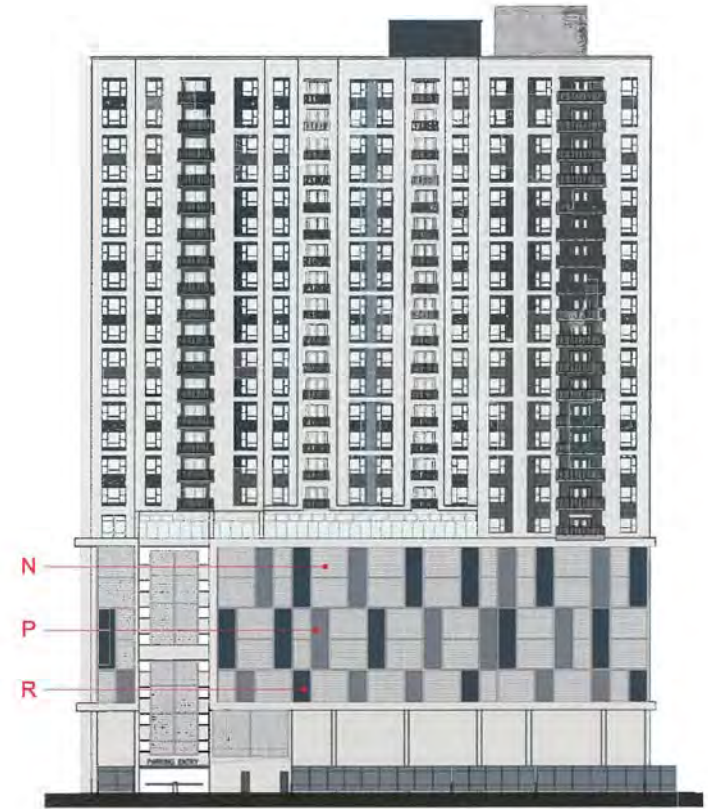
N METAL SCREEN
McNICHOLS G-W 150A



P METAL SCREEN
BERRIDGE METAL
ZINC GRAY



R METAL SCREEN
BERRIDGE METAL
SW 7602 - INDIGO BATIK



SOUTH ELEVATION

THE STANDARD @ TEMPE

PROFESSIONAL PARKING MANAGEMENT PLAN

Date: May 9, 2016
Project Location: E 7th Street and Myrtle Street

Professional Parking Management Plan

- 1. The Parking Management Plan shall identify the location of specific parking facilities and the number of parking spaces in such facilities that are available to meet the parking demand of the new development.*

The Standard at Tempe project includes a 9 level parking deck with a total of 569 parking spaces located in the CC District. The project will have 335 dwelling units and 3,460 gross square feet of retail space. Per Table 4-607A, the 335 dwelling units require a minimum of 332 parking spaces plus another 34 spaces for guests at 0.1 space per unit. The 569 parking spaces that are provided equate to 1.7 parking spaces per dwelling unit. The retail space, which is less than the City of Tempe threshold of 5,000 square feet as stated in Table 4-607A, does not require dedicated parking spaces; however, 29 parking spaces have been reserved for the retail and leasing component of the project. These 29 spaces are set aside based on a 60 dining/40 kitchen split of the commercial, if assumed to be a restaurant, which suggests $(60\% * 3,460SF) / (75sf/space) = 28$ spaces. While these spaces are not required by code, and the peak time for the restaurant and the peak time for the leasing office which will serve future tenants do not overlap, the allotted parking will be shared between the two uses.

Table 4-603E provides the minimum bicycle parking requirements for developments in the bicycle commute area. For the 335 units, 358 bicycle parking spaces are required. The retail component requires a minimum of 4 spaces, for a total requirement of 362 bicycle parking spaces. The project will provide 362 bicycle parking spaces.

- 2. Parking identified on the plan shall be delineated as being reserved for employees, residents, or public parking and whether valet or other access control measures are used to ensure the availability and enforcement of the plan.*

The proposed parking deck will be accessed-controlled at each of the two entrances to the parking deck and on the ramp to the upper floors, which will be reserved for residents with vehicles. The first floor of the parking deck will be dedicated for visitors and retail customers. These parking spaces will be demarcated by signage. Residents with vehicles will be provided with radio tags to allow direct ingress and egress from the parking deck and the upper level parking area. Visitors and retail customers will access the public portion of the parking deck via the access control system on the ground floor of the parking deck. The ground floor of the parking deck includes a total of 29 parking spaces that are provided for retail customers. The remaining 540 parking spaces are dedicated for residents and guests.

3. *The Professional Parking Analysis shall demonstrate that adequate parking for the public is provided, identifying existing supply and demand within the surrounding parking facilities and what will be provided on site. When off-site parking is proposed to satisfy the parking standards for employee/resident parking, the applicant shall demonstrate that all such parking is available within the specified parking facilities, based on the existing demand and supply as identified in the Professional Parking Analysis.*

Parking for the proposed mixed-use project will be provided on site. Additional, offsite parking is not proposed as a part of the development. The number of proposed parking spaces for the residential portion of the development (540 spaces) exceeds the minimum required (332 spaces). Furthermore, the parking deck configuration will provide 29 parking spaces that are dedicated to public parking for the retail use within the development, which exceeds the required parking (0 spaces).

4. *A shared parking model, as identified in Section 4-604(B), shall not be used for the purpose of reducing the minimum parking standards found in Table 4-607A.*

A shared parking model has not been used for the purpose of reducing the minimum parking standards found in Table 4-607A.

5. *The owner or manager designee of a development approved under the Parking Management Plan shall provide an accurate and current record of the uses and parking allocation for the development. The Community Development Director, or designee, may require this record be provided or updated when the owner applies for a change in use or Development Plan Review for the subject site.*

Proposed uses of the development include 335 residential dwelling units and 3,460 square feet of retail space. A total of 569 parking spaces will be provided in the proposed parking deck. Of the total 569 parking spaces, 29 parking spaces will be dedicated to the retail portion the development. The remaining 540 parking spaces will be dedicated to the residents and their guests.

EXECUTIVE SUMMARY

This report documents a transportation impact study (TIS) prepared for the proposed 'The Standard at Tempe' mixed use development to be located on the south side of 7th Street west of Myrtle Avenue in the city of Tempe, Arizona. The project is proposed with 335 dwelling units with a total of 840 total bedrooms. The project will also have 3,460 square feet of ground-floor retail space along 7th Street. A proposed entrance to the on-site parking garage is proposed on an existing alley along the west side of the site. CivTech Inc. has been retained to complete a transportation impact study for the proposed development during the planning process.

The purpose of this study is to address traffic and transportation impacts of the proposed development on the surrounding streets and intersections. This was prepared to standard criteria set forth by the City of Tempe in their *Guide for the Preparation of Transportation Impact Studies, updated 05/2014*.

For purposes of this study, it was assumed that full build-out of the proposed development will occur in the summer of 2018. This study evaluates the existing year (2016), the opening year (2018), and the opening plus 5 year horizon (2023).

The following conclusions and recommendations have been documented in this study:

General

- ◆ The proposed lane configurations and traffic controls are depicted in **Figure 11**.
- ◆ It is recommended that sight distance at the site driveways be maintained according to the City of Tempe's *Intersection Sight Distance* is included in **Appendix J**. If any trees are within the sight triangle, they should be of a single trunk variety with all branches lower than eight feet trimmed and should not be spaced too closely to avoid a "picket fence" effect.
- ◆ The development is anticipated to generate approximately 4,396 daily trips with approximately 171 trips occurring during the AM peak hour and approximately 500 trips occurring during the PM peak hour.

Intersection Capacity Results

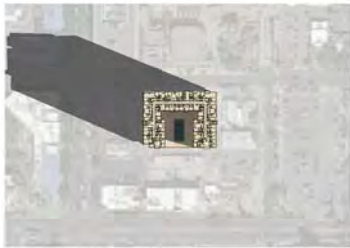
- ◆ The results of the existing intersection capacity analysis indicates that the majority of the study intersections operate overall at LOS D or better during the peak hours. The study intersections that operate overall at poor LOS or have movements that operate at poor LOS are discussed below.

- The intersection of **Mill Avenue and 7th Street** currently operates at LOS E or F during the peak hours. This is due to the low capacity of the reduced intersection footprint that the City of Tempe intentionally uses in this downtown corridor to prioritize pedestrian movement.
- The north- and southbound left-turn movements at the intersection of **Ash Avenue and University Drive** currently operate at LOS F during the PM peak hour. It may be noted that the southbound left-turn volume during the PM peak hour is over 250 vehicles. Also, some vehicles were recorded performing a north- or southbound through movement. Although the intersection configuration restricts these movements, the illegal movement by the drivers cause additional delay for the north- and southbound left-turn movements that must yield. CivTech recommends that the City consider police enforcement at the intersection as well as consideration of a second southbound left-turn lane should turning radii permit.
- The intersection of **Mill Avenue and University Drive** currently operates at an overall LOS E during the PM peak hour, with one or more approaches operating at LOS E or F during both peak hours. This is primarily due to the low capacity of the reduced intersection footprint that the City of Tempe intentionally uses in this downtown corridor to prioritize pedestrian movement.
- The intersection of **Myrtle Avenue and University Drive** currently operates at acceptable LOS overall, but the southbound approach currently operates at LOS E during the PM peak hour. This is due to the high east- and westbound traffic volumes and green time allotted to these approaches, which limits the green time for the north- and southbound approaching traffic. The adjacent 7th Street Mixed-Use development plans to restripe the north leg of this intersection (and similarly the intersection of Forest Avenue and University Drive) to provide a shared left turn/through lane and a right turn lane in order to mitigate the intersection.
- The east- and westbound approach lanes at the intersection of **Mill Avenue and 9th Street** currently operate at LOS F during the PM peak hour. This is due to the expected delay of the stop controlled traffic on 9th Street as it waits for gaps in Mill Avenue traffic. Poor LOS is not uncommon at stop controlled approaches to arterial roadways and often cannot be improved without signalization or all-way stop control, both of which are not recommended at this location.
- ◆ The results of the future background peak hour capacity analyses indicates that the same intersections that currently have individual movements that operate at LOS E or F would continue to operate at LOS E or F in 2018 and 2023. These intersections are already discussed previously. All other intersections would continue to operate at LOS D or better during the peak hours.

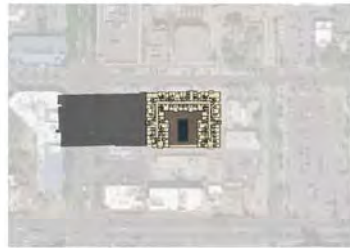
- ◆ The results of the future total peak hour capacity analyses indicates that the same study intersections or movements that are projected to operate at LOS E or F in background conditions would continue to operate at LOS E or F in 2018 and 2023 in total conditions with the addition of the northbound approach to the intersection of Mill Avenue and 10th Street. Note that the resulting LOS did not change from what was projected in the first submittal with the previous site plan.
- The northbound approach at the intersection of **Mill Avenue and 10th Street** is anticipated to operate at poor LOS during the PM peak hour in 2023. The poor LOS is due to the low capacity of the single northbound through lane compared to the volume wishing to travel north. City staff has previously considered allowing Mill Avenue from 11th Street to the approach to University Drive to be restriped to provide two through lanes and a bike lane instead of one through lane, a bike lane and a continuous right turn lane. This modification was proposed with the now defunct USA Place development which abutted Mill Avenue. CivTech recommends the City consider this mitigation in the future, but does not consider the developer of The Standard at Tempe to be responsible for the potential improvement.



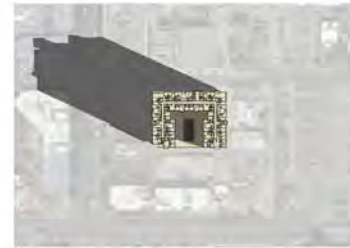
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MARCH 21 - 9 AM



JUNE 21 - 9 AM



SEPTEMBER 21 - 9 AM



DECEMBER 21 - 12 PM



MARCH 21 - 12 PM



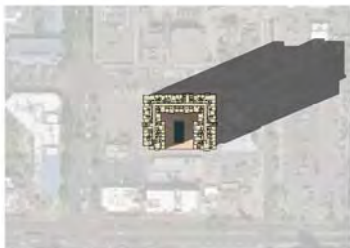
JUNE 21 - 12 PM



SEPTEMBER 21 - 12 PM



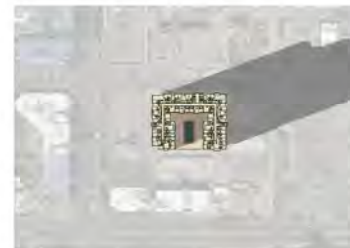
DECEMBER 21 - 4 PM



MARCH 21 - 4 PM



JUNE 21 - 4 PM



SEPTEMBER 21 - 4 PM

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SHEET NO.

A 5.09

15282

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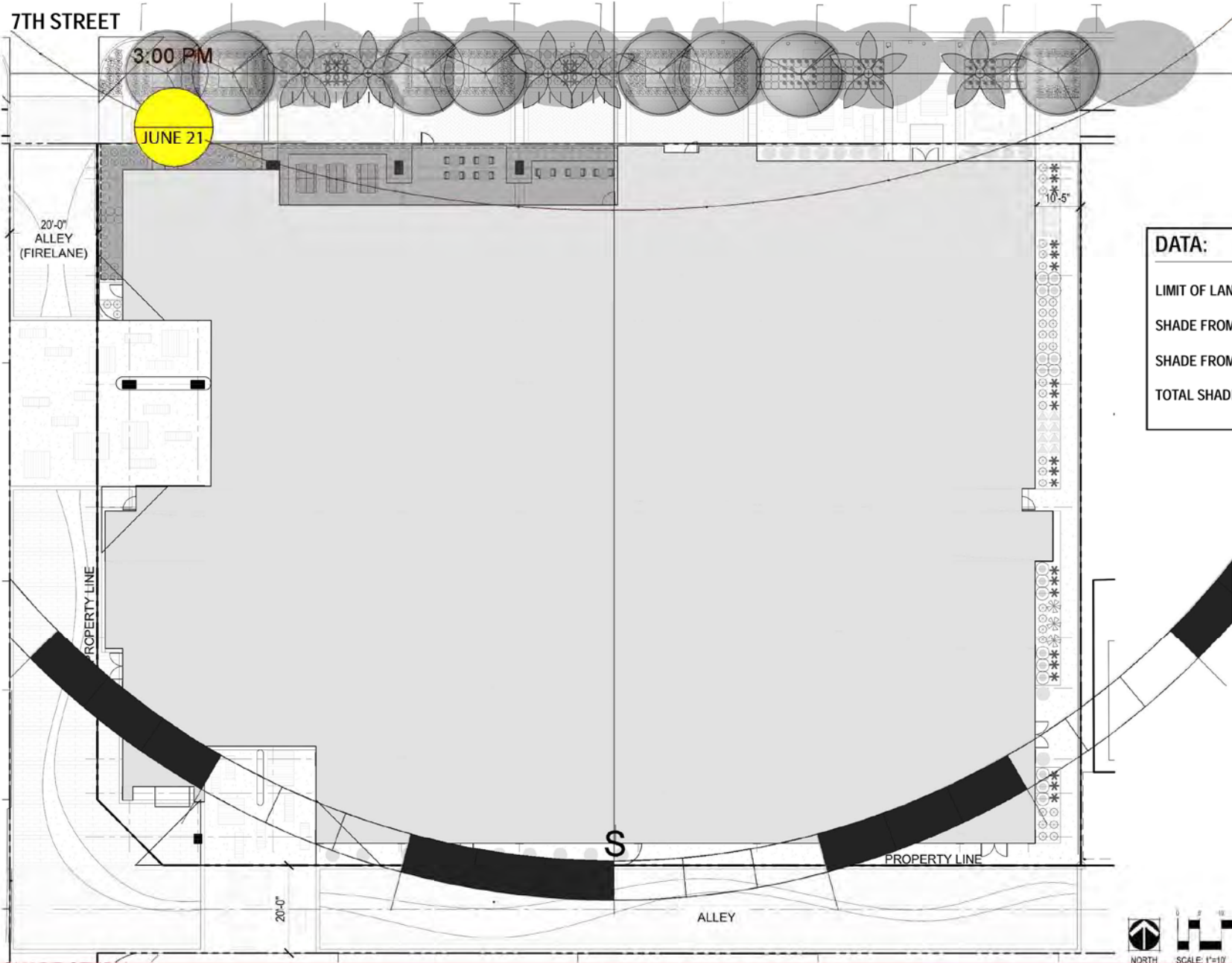
REGISTERED ARCHITECT
 MICHAEL P. PETERSON
 ARCHITECTURE
 EXPERTS

THE STANDARD AT TEMPE
 7TH AVENUE AND WARELETT
 TEMPE, ARIZONA
 LANDMARK PROPERTIES, LLC

Designed by: GLI
 Drawn by: MEP
 Checked by: MEP
 Issue for Pricing/Bidding: N/A
 Issue for Permit Application: N/A
 Issue for Construction: N/A

Revisions:	#	DATE	COMMENTS

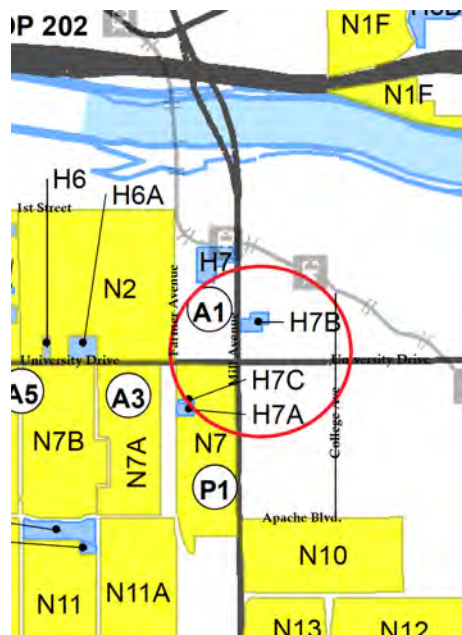
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DATA:	
LIMIT OF LANDSCAPE WORK AREA:	19,636 SF
SHADE FROM TREES:	5,423 SF
SHADE FROM CANOPIES:	1,350 SF
TOTAL SHADE:	6,773 SF OR 34%

FINAL REPORT

Huellmantel & Associates mailed out neighborhood notification letters on Tuesday, March 8, 2016 and Dynamite Signs also posted the notification sign on Monday, March 8, 2016. The letters were mailed out to the property owners within 600 feet of the proposed project site at 11 East 7th Street as well as to the ten representatives of the of the seven registered neighborhood associations, homeowners associations and affiliate associations within ¼ mile of the proposed project. The registered associations were determined from the July 2014 City of Tempe Neighborhood Directory, sent to Huellmantel & Associates by planners Ryan Levesque and Larry Tom as indicated below:



As of this point in time, Huellmantel & Associates have not received any inquiries regarding the proposed project.

The neighborhood meeting for The Standard at Tempe took place as scheduled on Wednesday, March 23, 2016 at 5:30 pm at Shady Park in Tempe, located at 26 East University Drive. Huellmantel and Associates representatives arrived at approximately 4:45 pm to set up the space. The Landmark representative, Andrew Young, arrived at 5:00 pm.

Seven members of the public attended including DRC Commissioners Brown and Johnson. Commissioner Brown arrived at 5:18 pm. Obenia Kingsby from the City of Tempe also attended – he arrived at 5:30 pm.

Herzel Nahom, a property owner on Mill Avenue (6th and Mill), arrived at 5:18 pm. He asked Charles Huellmantel to give him details about the building. He was specifically interested in the retail component, timing of construction and the ground

floor uses. He was also interested in the ownership and management of the building once the site was built. Mr. Young answered that Landmark Properties will develop, own and manage the building. Mr. Herzel said that he supports the proposed design.

Commissioner Brown, an architect working with Architekton located at 5th Street and Farmer, suggested to Mr. Huellmantel that the possible phased buildings shown on the rendering east and west of the site be ghosted back from the proposed The Standard building. We agreed to make the modification to the rendering. He also suggested that the brick pattern on the landscape plan be changed to a running bond design to match the rest of Mill Avenue. Again, we agreed to make the change. Commissioner Brown mentioned that he liked the building articulation at the bottom of the building and the top of the building.

Commissioner Johnson, a resident of Orchid House attended the meeting and stated that he liked the proposed amenity space and the shape of the building.

Moses Eason, a representative of Gammage and Burnham law firm was in attendance and he stated that he was observing the meeting. Gammage and Burnham have represented the property owners to the east and west.

Marshall Hunt, a lawyer from the firm of Davis Miles McGuire Gardner law firm, which is located at Hayden Ferry, said that he is looking to live downtown. He said that he likes the design of the building.

George Forristall from Mortenson Construction attended the meeting to discuss the potential of building the project.

Tom Tokoph from Urban Realty & Development and a resident of the Orchid House showed interest in the type of retail that would be offered on the bottom floor, the price of the units, the unit mix and when construction would be finished. He also wanted to know if the development would be targeted towards students.

The neighbors who attended the meeting all seemed to support the project.

Obenia Kingsby left the neighborhood meeting at 6:08 pm. Huellmantel and Affiliates and Landmark left the site at approximately 6:45 pm.