

**CITY OF TEMPE  
DEVELOPMENT REVIEW COMMISSION**

Meeting Date: 08/09/2016  
Agenda Item: 5

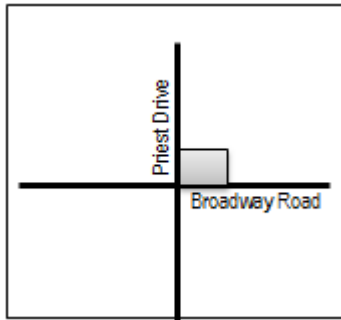
**ACTION:** Request for a Development Plan Review of a new 2,888 square-foot restaurant and a Use Permit to allow a drive-thru lane for **JACK IN THE BOX**, located at 1350 West Broadway Road. The applicant is Looker & Cappello Architects.

**FISCAL IMPACT:** There is no fiscal impact on City funds.

**RECOMMENDATION:** Staff – Approve, subject to conditions

**BACKGROUND INFORMATION:** **Jack in the Box (PL160046)**, is requesting to build a new 2,888 square-foot drive-thru restaurant on this site. The previous use on this site was a gas station with a convenience store, which ceased operation sometime between May 2011 and April 2013. On August 25, 2014, a new Carl's Jr. with a drive-thru was approved at this site but building permits were not issued. The request includes the following:

1. Development Plan Review including site plan, building elevations, and landscape plan.
2. Use Permit to allow a drive-thru lane.



Existing Property Owner	Rosemead and Longden, LLC
Applicant	Jeff DeHart, Looker & Cappello Architects
Zoning District	Commercial Shopping and Services (CSS)
Gross / Net site area	0.85 acres
Total Building Area	2,888 SF
Lot Coverage	7.7% (50% maximum allowed)
Building Height	24'-0" (35'-0" maximum allowed)
Building Setbacks	5'-8" front (south), 76'-0" side (east), 27'-7" street side (west), 148'-7" rear (north); (0, 0, 20', 10' minimum)
Landscape area	20% (15% minimum required)
Vehicle Parking	38 spaces (39 minimum required, 49 max allowed)
Bicycle Parking	6 spaces (6 minimum required)

**ATTACHMENTS:** Development Project File

**STAFF CONTACT(S):** Obenia Kingsby II, Planner I (480) 858-2394

Department Director: Jeff Tamulevich, Interim Community Development Director

Legal review by: N/A

Prepared by: Obenia Kingsby II, Planner I

Reviewed by: Suparna Dasgupta, Principal Planner

## COMMENTS:

This site is located on the northeast corner Priest Drive and Broadway Road and is approximately 0.85 acres and zoned Commercial Shopping and Services (CSS). Directly adjacent to the north and east of property is a multi-family development (apartment complex). There are commercial sites on opposite corners of Priest Drive and Broadway Road from this project; west side of Priest is a convenient store/fueling station, catty-corner is a hotel and south side of Broadway is a bank.

This request includes the following:

1. Use Permit to allow a drive-thru lane for a new restaurant.
2. Development Plan Review which includes: a new 2,851 square-foot restaurant.

The applicant is requesting the Development Review Commission take action on the items listed above.

## PRELIMINARY SITE PLAN REVIEW

- February 24, 2016: First Preliminary submittal. Major comments were to provide a bus pullout easement, double refuse enclosure for both recycling and trash, reconfigure light pole locations to meet parking lot landscape requirements and informed applicant of street tree requirements. Staff also required a traffic impact analysis and a second preliminary submittal with revised site plan, building elevations and landscape plan.
- May 5, 2016: Second preliminary submittal. Significant comments from staff requested that all new light poles be no greater than 18'0" in height in consideration of the directly adjacent multi-family residential and informed them that street tree requirement were not being met along Broadway Road.
- June 15, 2015: First formal submittal, third review. Staff advised applicant to provide more architectural articulation to building design. The remainder of comments was minor or repeated from previous submittals.

## PUBLIC INPUT

- Neighborhood meeting not required.
- July 25, 2016: Staff received an email in support of the project from a member of the public, see attachments.

## PROJECT ANALYSIS

### USE PERMIT

The proposed use requires a use permit, to allow a drive-thru restaurant within the CSS zoning district.

Section 6-308 E Approval criteria for Use Permit (*in italics*):

1. *Any significant increase in vehicular or pedestrian traffic.* There will be an increase in vehicular or pedestrian traffic as the site is currently vacant. Proposed use will have traffic patterns similar to that of the previous gas station use.
2. *Nuisance arising from the emission of odor, dust, gas, noise, vibration, smoke, heat or glare at a level exceeding that of ambient conditions.* This project will not exceed ambient conditions that arise from odor, dust, gas, noise, vibration, smoke, heat or glare. Building is positioned closer to the street of property instead of the rear which would assist in providing ambient conditions for the adjacent multi-family residential development.
3. *Contribution to the deterioration of the neighborhood or to the downgrading of property values, the proposed use is not in conflict with the goals objectives or policies for rehabilitation, redevelopment or conservation as set forth in the city's adopted plans or General Plan.* This project does not conflict with the goals and objectives of General Plan 2040 and will no contribute to the deterioration of the neighborhood or downgrading of property values.
4. *Compatibility with existing surrounding structures and uses.* Project is compatible with surrounding structures and uses. There are two (2) other drive-thru restaurants within 600 feet of this site; and business and residents within the general proximity of site will likely support this use.
5. *Adequate control of disruptive behavior both inside and outside the premises which may create a nuisance to the surrounding area or general public.* There will be adequate control of disruptive behavior both outside and inside of the premise through both lighting and visual surveillance.

The manner of conduct and the building for the proposed use will not be detrimental to persons residing or working in the vicinity, to adjacent property, to the neighborhood, or to the public welfare in general, and that the use will be in full conformity to any conditions, requirement or standards prescribed therefore by this code.

## DEVELOPMENT PLAN REVIEW

### Site Plan

The site is approximately 0.85 acres in size. There is currently an abandoned gas station on the site, which will be demolished. New building is proposed to be placed on the southwest corner of site. Only a marginal portion of the drive thru-lane will be visible from street; and parking lot will be screened by three (3) foot masonry walls and the building. Refuse enclosure will be located in northeast corner of site and is gated from public view. Speed bumps have been proposed to help mitigate traffic from cutting through and create a more pedestrian friendly environment.

### Building Elevations

The building is proposed to be 24'-0" in height. The materials primarily consist of painted EIFS with decorative metal banding and line scouring as accent features. Majority of glazing is on the south and west elevations of building, which is the dining area; all windows are either recessed and receives shading from a building canopy or is below a building mounted metal canopy. All rooftop mechanical equipment will be screened by parapet walls.

### Landscape Plan

On-site landscaping totals 20%. Trees proposed on site and along street frontage are the Evergreen Elm and Desert Museum Palo Verde. Project will provide the required parking lot landscaping.

Section 6-306 D Approval criteria for Development Plan Review (*in italics*):

1. *Placement, form, and articulation of buildings and structures provide variety in the streetscape; the placement, massing and materials provide variety in the streetscape.*
2. *Building design and orientation, together with landscape, combine to mitigate heat gain/retention while providing shade for energy conservation and human comfort; windows are located under a building canopy and will receive additional shading from tree canopies located parallel to them. Drive-thru lane and pick-up window are located on north side of building and will receive shaded from metal canopies and building. Layout of site will mitigate heat gain, assist in energy conservation and provide shade for human comfort.*
3. *Materials are of a superior quality, providing detail appropriate with their location and function while complementing the surroundings; the materials are appropriate to their location and function. Materials used are EIFS, decorative metal banding and porcelain tile. Design of building will complement surrounding sites.*
4. *Buildings, structures, and landscape elements are appropriately scaled, relative to the site and surroundings; landscape and building elements are appropriately scaled to site.*
5. *Large building masses are sufficiently articulated so as to relieve monotony and create a sense of movement, resulting in a well-defined base and top, featuring an enhanced pedestrian experience at and near street level; building is placed close to the street front. There is a relief in monotony by changes in both horizontal and vertical planes.*
6. *Building facades provide architectural detail and interest overall with visibility at street level (in particular, special treatment of windows, entries and walkways with particular attention to proportionality, scale, materials, rhythm, etc.) while responding to varying climatic and contextual conditions; visual interest is created in the building by the staggered horizontal plane changes, portion of building on the south, west and north elevations have a random patterning of three colors and metal banding that wraps majority of building.*

7. *Plans take into account pleasant and convenient access to multi-modal transportation options and support the potential for transit patronage; there is a bus stop located on each corner of the Priest Drive and Broadway Road intersection.*
8. *Vehicular circulation is designed to minimize conflicts with pedestrian access and circulation, and with surrounding residential uses; pedestrian crossing from parking lot to building is a safe distance away from pick-up window. The driver and pedestrian have time to recognize each other before proceeding. Off-site pedestrian access will not require customer to walk through parking lot; pedestrian access to building is directly adjacent to the public right-of-way.*
9. *Plans appropriately integrate Crime Prevention Through Environmental Design principles such as territoriality, natural surveillance, access control, activity support, and maintenance; plans have been reviewed by the Police Department, and comments provided to applicant. The height of proposed landscaping adjacent to the public sidewalks will comply with CPTED principles.*
10. *Landscape accents and provides delineation from parking, buildings, driveways and pathways; right-of-way landscaping delineates pedestrian pathways at the perimeter of the site; landscape islands and hardscape have been implemented appropriately to provide delineation from parking, buildings and driveways.*
11. *Signs have design, scale, proportion, location and color compatible with the design, colors, orientation and materials of the building or site on which they are located; signs are subject to a separate plan review.*
12. *Lighting is compatible with the proposed building(s) and adjoining buildings and uses, and does not create negative effects. Lighting must comply with current code requirements to meet minimum illumination levels and be non-intrusive to adjacent properties.*

**REASONS FOR APPROVAL:**

1. The project will meet the development standards required under the Zoning and Development Code.
2. The proposed project meets the approval criteria for a Use Permit and Development Plan Review.

Based on the information provided and the above analysis, staff recommends approval of the requested Use Permit and Development Plan Review. This request meets the required criteria and will conform to the conditions.

**USE PERMIT CONDITIONS OF APPROVAL:**

1. This Use Permit is valid only after a Building Permit has been obtained and the required inspections have been completed and a Final Inspection has been passed. As part of the Building Permit process, on-site storm water retention may be required to be verified or accomplished on this Site.
2. The Use Permit is valid for the plans as submitted within this application. Any additions or modifications may be submitted for review during building plan check process.
3. If there are any complaints arising from the Use Permit that are verified by a consensus of the complaining party and the City Attorney's office, the Use Permit will be reviewed by City staff to determine the need for a public hearing to re-evaluate the appropriateness of the Use Permit, which may result in termination of the Use Permit.

**DEVELOPMENT PLAN REVIEW CONDITIONS OF APPROVAL:**

**General**

1. Except as modified by conditions, development shall be in substantial conformance with the site plan, building elevations and landscape plan dated July 15, 2016. Minor modifications may be review through the plan check process of construction documents; major modifications will require submittal of a Development Plan Review.

2. Final Traffic Impact Study must be submitted and approved by Public Works (Transportation Division) prior to issuance of building permits.

### Site Plan

3. Provide a minimum of 39 vehicular parking spaces; or decrease building square footage to 2,887 square feet or less. If decrease in building square footage feasible then a parking analysis will need to be approved by the Planning Division prior to issuance of building permits.
4. Refuse enclosure and gates shall be finished and painted to match proposed building design.
5. Provide service yard and mechanical (cooling tower/generator) yard walls that are at least 8'-0" tall as measured from adjacent grade and are at least the height of the equipment being enclosed, whichever is greater. Verify height of equipment and mounting base to ensure that wall height is adequate to fully screen the equipment. Locate electrical service entrance sections inside the service yard, as indicated.
6. Provide gates of steel vertical picket, steel mesh, steel panel or similar construction. Where a gate has a screen function and is completely opaque, provide vision portals for visual surveillance. Provide gates of height that match that of the adjacent enclosure walls. Review gate hardware with Building Safety and Fire staff and design gate to resolve lock and emergency ingress/egress features that may be required.
7. Provide upgraded paving at each driveway consisting of integral colored unit paving. Extend this paving in the driveway from the right-of-way line to 20'-0" on site and from curb to curb at the drive edges. From sidewalk to right-of-way line, extend concrete paving to match sidewalk.
8. Utility equipment boxes for this development shall be finished in a neutral color (subject to utility provider approval) that compliments the coloring of the buildings.
9. Place exterior, freestanding reduced pressure and double check backflow assemblies in pre-manufactured, pre-finished, lockable cages (one assembly per cage). If backflow prevention or similar device is for a 3" or greater water line, delete cage and provide a masonry or concrete screen wall following the requirements of Standard Detail T-214.

### Building Elevations

10. The materials and colors are approved as presented:

Building Façades (painted EFIS) – Sherwin Williams – Balanced Beige (SW7037)  
Believable Buff (SW6210)  
Baguette (SW6123)  
Drowning Straw (SW2813)  
Fireweed (SW6328)

Accent Metal Banding – clear anodized

Accent Tile (porcelain) – Crossville (style: Basalt) – Mafic, AV294 (color)

Window Storefront System – 1" clear insulated glass with Solarban 60 coating – metal frame is clear anodized

Provide primary building colors and materials with a light reflectance value of 75 percent or less. Additions or modifications may be submitted for review during building plan check process.

11. Provide secure roof access from the interior of the building. Do not expose roof access to public view.
12. Conceal roof drainage system within the interior of the building.
13. Incorporate lighting, address signs, and incidental equipment attachments (alarm klaxons, security cameras, etc.) where exposed into the design of the building elevations. Exposed conduit, piping, or related materials is not permitted.

14. Locate the electrical service entrance section (S.E.S.) inside the building or inside a secure yard that is concealed from public view.
15. Upper/lower divided glazing panels in exterior windows at grade level, where lower glass panes are part of a divided pane glass curtain-wall system, shall be permitted only if laminated glazing at these locations is provided.

### **Lighting**

16. This project shall follow requirements of ZDC Part 4, Chapter 8, Lighting.
17. Illuminate building entrances from dusk to dawn to assist with visual surveillance at these locations.

### **Landscape**

18. Shrubs and groundcovers within six (6) feet of pedestrian pathways cannot exceed more than 2'-0" in height at maturity and no more than 3'-0", if between six (6) to twelve (12) feet from a pedestrian pathway.
19. Arterial street trees shall be a minimum of 36" box specimens and a minimum of 1 ½" caliper trunk.
20. Irrigation notes:
  - a. Provide dedicated landscape water meter.
  - b. Provide pipe distribution system of buried rigid (polyvinylchloride), not flexible (polyethylene). Use of schedule 40 PVC mainline and class 315 PVC ½" feeder line is acceptable. Class 200 PVC feeder line may be used for sizes greater than ½". Provide details of water distribution system.
  - c. Locate valve controller in a vandal resistant housing.
  - d. Hardwire power source to controller (a receptacle connection is not allowed).
  - e. Controller valve wire conduit may be exposed if the controller remains in the mechanical yard.
21. Include requirement to de-compact soil in planting areas on site and in public right of way and remove construction debris from planting areas prior to landscape installation.
22. Top dress planting areas with a rock or decomposed granite application. Provide rock or decomposed granite of 2" uniform thickness. Provide pre-emergence weed control application and do not underlay rock or decomposed granite application with plastic.
23. Trees shall be planted a minimum of 20'-0" from any existing or proposed public water or sewer lines. The tree planting separation requirements may be reduced from the waterline upon the installation of a linear root barrier, a minimum of 6'-0" parallel from the waterline, or around the tree. The root barrier shall be a continuous material, a minimum of 0.08" thick, installed 0'-2" above finish grade to a depth of 8'-0" below grade. Final approval subject to determination by the Public Works, Water Utilities Division.

### **Addressing**

24. Provide address sign(s) on the building elevation facing the street to which the property is identified.
  - a. Conform to the following for building address signs:
    - 1) Provide street number only, not the street name
    - 2) Compose of 12" high, individual mount, metal reverse pan channel characters.
    - 3) Self-illuminated or dedicated light source.
    - 4) Coordinate address signs with trees, vines, or other landscaping, to avoid any potential visual obstruction.
    - 5) Do not affix numbers or letters to elevation that might be mistaken for the address.
  - b. Utility meters shall utilize a minimum 1" number height in accordance with the applicable electrical code and utility company standards.

## CODE/ORDINANCE REQUIREMENTS:

THE BULLETED ITEMS REFER TO EXISTING CODE OR ORDINANCES THAT PLANNING STAFF OBSERVES ARE PERTINENT TO THIS CASE. THE BULLET ITEMS ARE INCLUDED TO ALERT THE DESIGN TEAM AND ASSIST IN OBTAINING A BUILDING PERMIT AND ARE NOT AN EXHAUSTIVE LIST.

- Specific requirements of the Zoning and Development Code (ZDC) are not listed as a condition of approval, but will apply to any application. To avoid unnecessary review time and reduce the potential for multiple plan check submittals, become familiar with the ZDC. Access the ZDC through [www.tempe.gov/zoning](http://www.tempe.gov/zoning) or purchase from Community Development.
- The Use Permit is valid for Jack in the Box and may be transferable to successors in interest through an administrative review with the Community Development Director, or designee.
- Any intensification or expansion of use shall require a new Use Permit.

## DEADLINE:

- Use Permit approvals shall be void if the use is not commenced or if an application for a building permit has not been submitted, whichever is applicable, within twelve (12) months after the use permit is granted or within the time stipulated by the decision-making body. The period of approval is extended upon the time review limitations set forth for building permit applications, pursuant to Tempe Building Safety Administrative Code, Section 8-104.15. An expiration of the building permit application will result in expiration of the Use Permit.
- Development plan approval shall be void if the development is not commenced or if an application for a building permit has not been submitted, whichever is applicable, within twelve (12) months after the approval is granted or within the time stipulated by the decision-making body. The period of approval is extended upon the time review limitations set forth for building permit applications, pursuant to Tempe Building Safety Administrative Code, Section 8-104.15. An expiration of the building permit application will result in expiration of the development plan.

## SITE PLAN REVIEW:

- Verify all comments by the Public Works Department, Community Development Department, and Fire Department given on the Preliminary Site Plan Review. If questions arise related to specific comments, they should be directed to the appropriate department, and any necessary modifications coordinated with all concerned parties, prior to application for building permit. Construction Documents submitted to the Building Safety Division will be reviewed by planning staff to ensure consistency with this Design Review approval prior to issuance of building permits.
- STANDARD DETAILS:
  - Access to Tempe Supplement to the M.A.G. Uniform Standard Details and Specifications for Public Works Construction, at this link: <http://www.tempe.gov/city-hall/public-works/engineering/standards-details> or purchase book from the Public Works Engineering Division.
  - Access to refuse enclosure details DS116 and DS118 and all other Development Services forms at this link: <http://www.tempe.gov/city-hall/community-development/building-safety/applications-forms>. The enclosure details are under Civil Engineering & Right of Way.
- BASIS OF BUILDING HEIGHT: Measure height of buildings from top of curb at a point adjacent to the center of the front property line.
- WATER CONSERVATION: Under an agreement between the City of Tempe and the State of Arizona, Water Conservation Reports are required for landscape and domestic water use for the non-residential components of this project. Have the landscape architect and mechanical engineer prepare reports and submit them with the construction drawings during the building plan check process. Report example is contained in Office Procedure Directive # 59. Refer to this link: [www.tempe.gov/modules/showdocument.aspx?documentid=5327](http://www.tempe.gov/modules/showdocument.aspx?documentid=5327). Contact Public Works Department, Water

Conservation Division with questions regarding the purpose or content of the water conservation reports.

- HISTORIC PRESERVATION: State and federal laws apply to the discovery of features or artifacts during site excavation (typically, the discovery of human or associated funerary remains). Contact the Historic Preservation Officer with general questions. Where a discovery is made, contact the Arizona State Historical Museum for removal and repatriation of the items.
- POLICE DEPARTMENT SECURITY REQUIREMENTS:
  - Design building entrance(s) to maximize visual surveillance of vicinity. Limit height of walls or landscape materials, and design columns or corners to discourage ambush.
  - Maintain distances of 20'-0" or greater between a pedestrian path of travel and any hidden area to allow for increased reaction time and safety.
  - Follow the design guidelines listed under appendix A of the Zoning and Development Code. In particular, reference the CPTED principal listed under A-II Building Design Guidelines (C) as it relates to the location of pedestrian environments and places of concealment.
  - Provide a security vision panel at service and exit doors (except to rarely accessed equipment rooms) with a 3" wide high strength plastic or laminated glass window, located between 43" and 66" from the bottom edge of the door.
- TRAFFIC ENGINEERING:
  - Provide 8'-0" wide public sidewalk along arterial roadways, or as required by Traffic Engineering Design Criteria and Standard Details.
  - Construct driveways in public right of way in conformance with Standard Detail T-320. Alternatively, the installation of driveways with return type curbs as indicated, similar to Standard Detail T-319, requires permission of Public Works, Traffic Engineering.
  - Correctly indicate clear vision triangles at both driveways on the site and landscape plans. Identify speed limits for adjacent streets at the site frontages. Begin sight triangle in driveways at point 15'-0" in back of face of curb. Consult Intersection Sight Distance memo, available from Traffic Engineering if needed [www.tempe.gov/index.aspx?page=801](http://www.tempe.gov/index.aspx?page=801) . Do not locate site furnishings, screen walls or other visual obstructions over 2'-0" tall (except canopy trees are allowed) within each clear vision triangle.
- FIRE:
  - Clearly define the fire lanes. Ensure that there is at least a 20'-0" horizontal width, and a 14'-0" vertical clearance from the fire lane surface to the underside of tree canopies or overhead structures. Layout and details of fire lanes are subject to Fire Department approval.
  - Provide a fire command room(s) on the ground floor of the building(s). Verify size and location with Fire Department.
- CIVIL ENGINEERING:
  - An Encroachment Permit or License Agreement must be obtained from the City for any projections into the right of way or crossing of a public utility easement, prior to submittal of construction documents for building permit.
  - Maintain a minimum clear distance of twenty-four (24) feet between the sidewalk level and any overhead structure.
  - Underground utilities except high-voltage transmission line unless project inserts a structure under the transmission line.
  - Coordinate site layout with Utility provider(s) to provide adequate access easement(s).
  - Clearly indicate property lines, the dimensional relation of the buildings to the property lines and the separation of the buildings from each other.
  - Verify location of any easements, or property restrictions, to ensure no conflict exists with the site layout or foundation design.
  - 100 year onsite retention required for this property, coordinate design with requirements of the Engineering Department.
- SOLID WASTE SERVICES:
  - Enclosure indicated on site plan is exclusively for refuse. Construct walls, pad and bollards in conformance with



standard detail DS-116.

- Contact Public Works Sanitation Division to verify that vehicle maneuvering and access to the enclosure is adequate. Refuse staging, collection and circulation must be on site; no backing onto or off of streets, alleys or paths of circulation.
  - Develop strategy for recycling collection and pick-up from site with Sanitation. Roll-outs may be allowed for recycled materials. Coordinate storage area for recycling containers with overall site and landscape layout.
  - Gates for refuse enclosure(s) are not required, unless visible from the street. If gates are provided, the property manager must arrange for gates to be open from 6:00am to 4:30pm on collection days.
- **PARKING SPACES:**
    - Verify conformance of accessible vehicle parking to the Americans with Disabilities Act and the Code of Federal Regulations Implementing the Act. Refer to Building Safety ADA Accessible Parking Spaces Marking/Signage on Private Development details.
    - At parking areas, provide demarcated accessible aisle for disabled parking.
    - Distribute bike parking areas nearest to main entrance(s). Provide parking loop/rack per standard detail T-578. Provide 2'-0" by 6'-0" individual bicycle parking spaces. One loop may be used to separate two bike parking spaces. Provide clearance between bike spaces and adjacent walkway to allow bike maneuvering in and out of space without interfering with pedestrians, landscape materials or vehicles nearby.
  - **ZONING AND DEVELOPMENT CODE:**
    - Specific requirements of the **Zoning and Development Code (ZDC)** are not listed as a condition of approval, but will apply to any application. To avoid unnecessary review time and reduce the potential for multiple plan check submittals, become familiar with the ZDC. Access the ZDC through [www.tempe.gov/zoning](http://www.tempe.gov/zoning) or purchase from Community Development.
  - **LIGHTING:**
    - Design site security light in accordance with requirements of ZDC Part 4 Chapter 8 (Lighting) and ZDC Appendix E (Photometric Plan).
    - Indicate the location of all exterior light fixtures on the site, landscape and photometric plans. Avoid conflicts between lights and trees or other site features in order to maintain illumination levels for exterior lighting.
  - **LANDSCAPE:**
    - Prepare an existing plant inventory for the site and adjacent street frontages. The inventory may be prepared by the Landscape Architect or a plant salvage specialist. Note original locations and species of native and "protected" trees and other plants on site. Move, preserve in place, or demolish native or "protected" trees and plants per State of Arizona Agricultural Department standards. File Notice of Intent to Clear Land with the Agricultural Department. Notice of Intent to Clear Land form is available at [www.azda.gov/ESD/nativeplants.htm](http://www.azda.gov/ESD/nativeplants.htm) . Follow the link to "applications to move a native plant" to "notice of intent to clear land".
  - **SIGNS:** Separate plan review process is required for signs in accordance with requirements of ZDC Part 4 Chapter 9 (Signs). Refer to [www.tempe.gov/signs](http://www.tempe.gov/signs).
  - **DUST CONTROL:** Any operation capable of generating dust, include, but not limited to, land clearing, earth moving, excavating, construction, demolition and other similar operations, that disturbs 0.10 acres (4,356 square feet) or more shall require a dust control permit from the Maricopa County Air Quality Department (MCAQD). Contact MCAQD at <http://www.maricopa.gov/aq/>.

## HISTORY & FACTS:

April 27, 1988 Board of Adjustment approved a request for Exxon Co. for a Use Permit for a service station facility (A-88-4.15), located at 1350 West Broadway Road in the C-1, Neighborhood Commercial District.

- August 2, 1989 Design Review Board approved the re-approval of building elevations, site, landscape and signage by Exxon Service Station (DRB83136), located at 1350 West Broadway Road in the C-1, Neighborhood Commercial District.
- April 2, 1997 Design Review Board approved a request for a landscape plan and gas canopy fascia details for Exxon (DRB96319), located at 1350 West Broadway Road in the C-1, Neighborhood Commercial District.
- August 25, 2014 Development Review Commission approved a Development Plan Review for a new restaurant and a Use Permit for a drive-thru lane for Carl's Jr., located at 1350 West Broadway Road, in the Commercial Shopping and Services (CSS) zoning district.

Note: Carl's Jr. project applied for building permits but none were issued.

Note: Staff was not able to find records on file for when gas station use began; according to the Maricopa County Assessor the original building for this site was constructed around 1968 and the City's first approval for the property was on March 7, 1973 for amending sign criteria for Exxon. Therefore it is likely that the use began sometime between 1968 to 1973.

**ZONING AND DEVELOPMENT CODE REFERENCE:**

Section 6-306, Development Plan Review  
Section 6-308, Use Permit

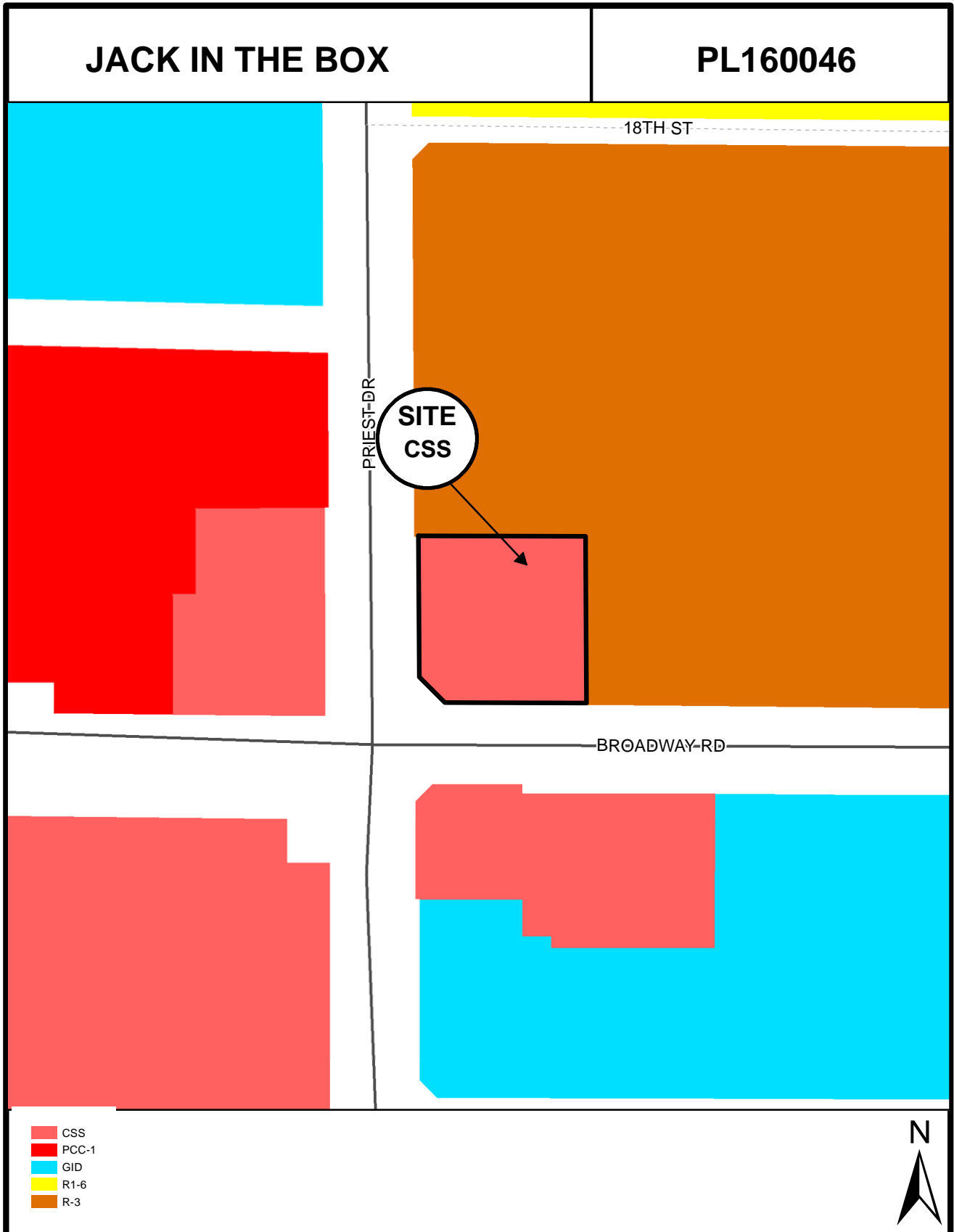
# DEVELOPMENT PROJECT FILE

for

JACK IN THE BOX  
(PL160046)

## ATTACHMENTS:

1. Location Map
2. Aerial
- 3-5. Letter of Explanation
6. Site Plan
- 7-8. Color Elevations
- 9-10. Black and White Elevations
- 11-12. Perspectives
13. Building Sections
14. Floor Plan
15. Landscape Plan
16. Photometric Plan
- 17-24. Site Photos
25. Public Input



**Location Map**

**JACK IN THE BOX**

**PL160046**



**Aerial Map**



# Letter of Explanation

PL160046

July 5, 2016

City of Tempe  
Development Plan Review  
Tempe, AZ 85280

Re: Proposed new Jack in the Box restaurant with drive-thru, to be located at 1350 W. Broadway Road, Tempe, Arizona

This submittal contains site plan, floor plan, exterior elevations, Color perspectives and elevations, preliminary grading, drainage and utilities, photometric site plan and landscape design for a proposed 2,888 sf Jack in the Box restaurant with drive-thru lane.

The proposed site is located at 1350 W. Broadway Road, on the NEC of Priest Drive and Broadway Road. The proposed site is approximately 0.99 acres. The zoning is Community Shopping and Service (CSS).

### **Consistency with the existing Zoning**

The proposed restaurant will service the residents of the City of Tempe as well as residents of nearby communities. The restaurant use is consistent with the existing zoning CSS.

### **Compliance with Zoning Ordinance and other City of Tempe codes and regulations**

The site is currently zoned Community Shopping and Service (CSS). The restaurant with drive-thru lane is permitted within the CSS zoning district. The restaurant complies with the City of Tempe Zoning and Development Code site regulations.



### **General compatibility of proposed use with surrounding properties**

South of the site on Broadway Road is a Denny's restaurant and a Bank. West of the site on the opposite side of Priest Drive is a Circle K convenience mart, Alterations, E-Z Title, and Nationwide insurance. To the North and Northeast are apartment complexes. The proposed restaurant is compatible with the surrounding uses, and shall serve the existing and future residents and businesses.

### **Site and Building Design**

Two primary entries are incorporated, one on Priest Drive, and one on Broadway Road. A bus pullout lane has been added on Priest Drive, per the City of Tempe. Generous landscaping is provided along the street frontages of both Priest Drive and Broadway Road and additional ample landscaping throughout the remaining site. Landscaping and 3'-0" high masonry walls provide screening of the entire drive-thru lane. The materials and colors incorporate those of surrounding buildings, while still providing a corporate identity. We believe that the attention to the site design and architectural design of the building ensure that the Jack in the Box will be an attractive addition to the City of Tempe.

### **Ingress and Egress to the property and proximity to driveways and street intersections in the vicinity of the subject property**

The site has two direct access points, one from the Northwest on Priest Drive, and one from the southeast on Broadway Road. As shown on the site plan, circulation on the site is safe and easy to navigate, designed to promote flow. Two speed bumps were added per the suggestion from the City of Tempe Police. The site includes (38) thirty-eight vehicular spaces (two of which are handicap accessible), a loading/delivery space and parking for (6) six bicycles.

### **Internal vehicular circulation including emergency and delivery vehicles**

The site contains 23'-0" wide, two-way drive aisles, making vehicular circulation non-"combative" with the largest of vehicles. Emergency vehicles are able to maneuver throughout the site, based upon City of Tempe Fire Department provided turning radii requirements (25'-0" inside and 45'-0" outside).

### **Pedestrian and alternative vehicle considerations for the proposed use.**

Pedestrian access occurs either from Priest Drive and/or Broadway Road via accessible walkways. There are bicycle racks to support six bicycles and promote alternative vehicle considerations.

### **Off-street parking and loading**

Off-street parking conforms to the parking stall size per the City of Tempe Zoning Development Code, and accessible parking conforms to ANSI/ADA/COT requirements. The quantity of parking spaces provided meets that of the quantity required. A loading/delivery area has been provided and specifically designated for the intended use only. The quantity of bicycle parking provided meets that of the quantity required.

**Screening and buffering of uses**

Screening of the drive-thru lane is accomplished with landscaping, and undulating 3'-0" high masonry wall along the frontage of Priest Drive and a small portion back-of-house along Broadway Road. The refuse enclosure shall be screened by a 6'-0" high stucco masonry wall with a steel tube gate frame with metal deck, all painted to match the adjacent building walls.

**Proposed outdoor activities or storage**

There are no outdoor activities or storage planned for this site.

**Hours of operation**

This location shall operate 24-hours a day, year-round with exception on holidays to be determined at a later time. Security will be maintained at high levels consistent with a major national brand.

**Exterior lighting with reference to adjacent properties**

Exterior lighting, both building and site shall be in conformance with the City of Tempe standards. Parking lot light poles are 18'-0" in height maximum and building light fixtures are non-pivoting downlights and recessed LED lights. The exterior lighting shall have little to no impact on adjacent properties. Signage is not a part of this submittal, and shall be submitted by others under separate review/permit.

**Noise, smoke, odor, dust, vibration, or illumination created by the proposed use**

The drive-thru menu boards and order speaker are of an ambient adjustable technology so that sound level at the property line will not exceed ambient noise levels. Jack in the Box utilizes high technology filters on all cooking equipment as well as maintaining a rigorous filter cleaning regimen further reducing potential cooking odor impact.

**Additional information**

We believe this use and design are consistent, compatible and in compliance with the City of Tempe Zoning Development Code and will be a welcome addition to this area and the City of Tempe.

Sincerely,

Jeff Looker, AIA  
President



# SITE DATA

**PROPERTY OWNER**  
ROSEBAND AND LONGCORN, LLC  
3039 THUNDERBOLT PLACE  
SHERMAN OAKS, CA 91403

**DEVELOPER**  
STINE ENTERPRISES #101, LLC  
1081 N. 1504 CANYON HIGHWAY, STE.150  
PHOENIX, AZ 85009  
PHONE: (602) 848-5332  
CONTACT: STEVE STINE  
EMAIL: STEVE@STINEENTERPRISES.COM

**ARCHITECT**  
LOOKER & CAPPELLO ARCHITECTS  
2010 E. SOUTHERN AVE.  
TEMPE, AZ 85283  
PHONE: (480) 734-7773 (1102)  
CONTACT: JEFF LOOKER  
EMAIL: JEFF@LOOKERARCH.COM

**ASSESSORS PARCEL NUMBER**  
124-75-0443

**PROJECT ADDRESS**  
1350 W. BROADWAY ROAD, TEMPE, ARIZONA 85281

**LEGAL DESCRIPTION**  
THAT PORTION OF THE SOUTHWEST QUARTER OF SECTION 51, TOWNSHIP 1 NORTH, RANGE 4 EAST OF THE G&A AND SALT WINE BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 21;  
THENCE NORTH (ASSUMED BEARINGS) ALONG THE WEST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 4, A DISTANCE OF 250.00 FEET;  
THENCE ALONG A LINE BEING PARALLEL WITH AND 250.00 FEET NORTH OF THE SOUTH LINE OF SAID SECTION, SOUTH 89 DEGREES 26 MINUTES 00 SECONDS EAST, A DISTANCE OF 55.00 FEET TO A POINT BEING ON THE NORTH LINE OF THE LAND DESCRIBED IN DEED TO HUMBLE OIL & REFINING COMPANY, RECORDED 3053488830, 3466 (10/02/63/71), PAGE 336 OF MARICOPA COUNTY RECORDS AND ON THE EAST LINE OF THE LAND DESCRIBED IN DEED TO THE CITY OF TEMPE, RECORDED JULY 7, 1989 IN 1993-309521, OF OFFICIAL RECORDS, SAID POINT BEING THE TRUE POINT OF BEGINNING;  
THENCE ALONG THE BOUNDARY OF SAID HUMBLE OIL & REFINING COMPANY LAND, SOUTH 89 DEGREES 26 MINUTES 00 SECONDS EAST 195.00 FEET TO THE NORTH-EAST CORNER THEREOF;  
THENCE CONTINUING A LONG SAID BOUNDARY SOUTH, A DISTANCE OF 185.00 FEET TO THE NORTH LINE OF THAT PORTION DESCRIBED IN DEED TO HUMBLE OIL & REFINING COMPANY, RECORDED 3053488830, 3466 (10/02/63/71), PAGE 336 OF MARICOPA COUNTY RECORDS AND ON THE EAST LINE OF THE LAND DESCRIBED IN DEED TO THE CITY OF TEMPE, RECORDED JULY 7, 1989 IN 1993-309521, OF OFFICIAL RECORDS, SAID POINT BEING THE TRUE POINT OF BEGINNING;  
THENCE NORTH 44 DEGREES 43 MINUTES 30 SECONDS WEST, 42.463 FEET TO AN ANGLE POINT;  
THENCE CONTINUING A LONG SAID BOUNDARY NORTH, A DISTANCE OF 165.00 FEET TO THE TRUE POINT OF BEGINNING.

**PROJECT DESCRIPTION**  
NEW BAKERY IN THE EXISTING RESTAURANT WITH DRIVE THRU

**ZONING**  
CITY OF TEMPE, ZDC (ZONING AND DEVELOPMENT CODES)  
CSS (COMMERCIAL SHOPPING AND SERVICE)

**SITE AREA**  
GROSS SITE AREA = 62,495 S.F. = 1.43 ACRES =  
NET SITE AREA = 31,573 S.F. = 0.72 ACRES =

**BUILDING OCCUPANCY TYPE**  
B2 OCCUPANCY

**BUILDING AREA**  
2,888 S.F. BUILDING

**PARKING REQUIRED**  
VEHICLE (CITY OF TEMPE, ZDC, SECTION 4-900, PG. 4-34)  
38 SPACES PROVIDED INCLUDES (0) ACCESSIBLE SPACES (11) STANDARD ACCESSIBLE + (1) VAN ACCESSIBLE  
BICYCLE (CITY OF TEMPE, ZDC, SECTION 4-900, PG. 4-34)  
6 SPACES PROVIDED (1/600 S.F. GROSS FLOOR AREA) = (2,888/600 = 4.81 SPACES) COMMUTE

**PARKING PROVIDED**  
VEHICLE (CITY OF TEMPE, ZDC, SECTION 4-900, PG. 4-34)  
38 SPACES PROVIDED INCLUDES (0) ACCESSIBLE SPACES (11) STANDARD ACCESSIBLE + (1) VAN ACCESSIBLE  
BICYCLE (CITY OF TEMPE, ZDC, SECTION 4-900, PG. 4-34)  
6 SPACES PROVIDED (1/600 S.F. GROSS FLOOR AREA) = (2,888/600 = 4.81 SPACES) COMMUTE

**DRIVE-THRU STACKING PROVIDED**  
7 SPACES PROVIDED

**SITE REGULATIONS**  
MAXIMUM LOT COVERAGE (% OF NET SITE AREA): 50%  
ACTUAL LOT COVERAGE (31,573 / 2,888) = 10%  
MAXIMUM BUILDING HEIGHT (FT.) / (STORIES): 35'-0" / 2 STORIES  
ACTUAL BUILDING HEIGHT (FT.) / (STORIES): 24'-0" / 1 STORY  
BUILDING SETBACK: NO  
MINIMUM SETBACKS REQUIRED (FT.):  
FRONT PARKING 0'-0"  
SIDE BUILDING WALL 0'-0"  
REAR BUILDING WALL 0'-0"  
STREET SIDE PARKING 0'-0"  
SETBACKS PROVIDED (FT.):  
FRONT PARKING 5'-8"  
SIDE BUILDING WALL 6'-9"  
REAR BUILDING WALL 7'-6"  
BUILDING WALL 14'-8"  
STREET SIDE PARKING 27'-7"  
LANDSCAPING REQUIRED (% OF NET LOT AREA): 15%  
37,573 SF X 15% = 5,636 SF (REQUIRED)  
LANDSCAPING PROVIDED (% OF NET LOT AREA): 20%  
7,668 SF / 37,573 SF = 20%

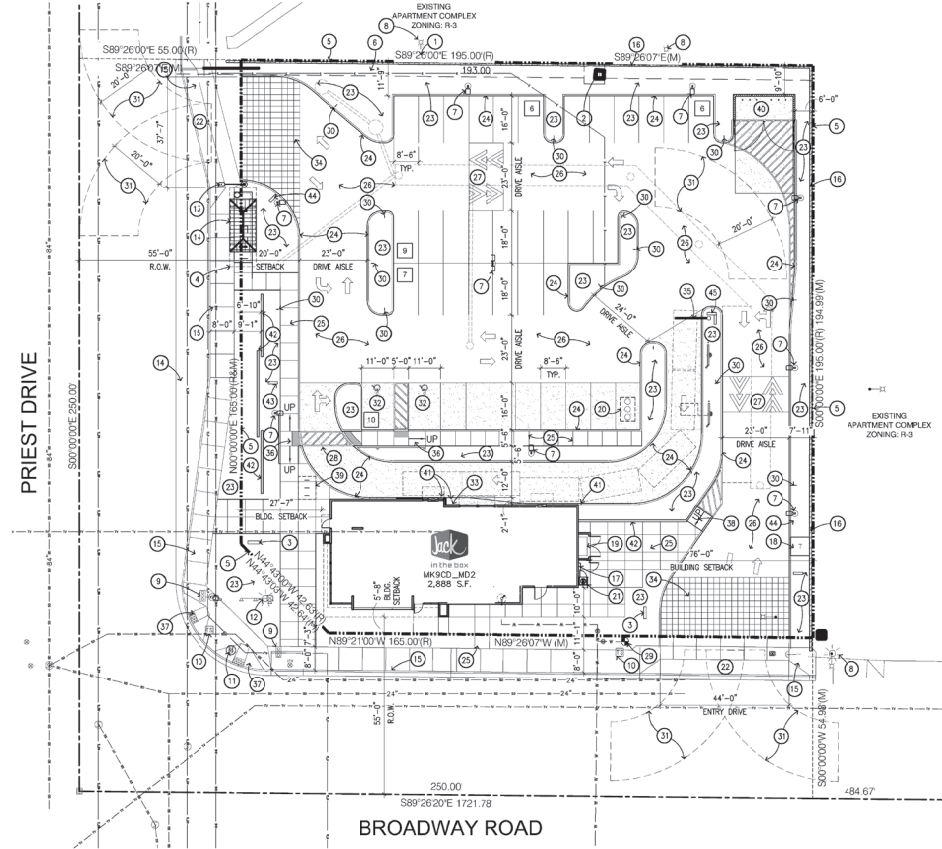
**BUILDING DATA**  
CONSTRUCTION TYPE: VB AUTOMATIC EXTINGUISHING SYSTEM

# SITE PLAN AND GENERAL NOTES

- ALL CONSTRUCTION UNDER THE PUBLIC WORKS SHALL CONFORM TO THE CITY OF TEMPE SUPPLEMENT TO THE MAG SPECIFICATIONS AND DETAILS, MARICOPA ASSOCIATION OF GOVERNMENT'S UNIFORM STANDARD SPECIFICATIONS AND DETAILS (MAG SPECIFICATIONS AND DETAILS), AND CITY OF TEMPE TRAFFIC BARRICADE MANUAL.
- A PERMIT ISSUED BY THE ENGINEERING DIVISION SHALL BE REQUIRED FOR ALL WORK IN THE CITY OF TEMPE RIGHT OF WAY. AN INVESTIGATION ASSESSMENT, IN THE AMOUNT DETERMINED BY SECTION 9B-19 ENGINEERING FEE, APPENDIX A OF TEMPE CITY CODE, WILL BE CHARGED FOR ANY WORK WITHIN THE CITY OF TEMPE RIGHT OF WAY IN WHICH A PERMIT HAS NOT BEEN ISSUED PRIOR TO COMMENCEMENT OF WORK.
- THE CITY SHALL BE NOTIFIED PRIOR TO ANY CONSTRUCTION WORK. CALL THE ENGINEERING REQUEST LINE AT (480) 350-6474 AT LEAST ONE BUSINESS DAY BEFORE START OF CONSTRUCTION TO REQUEST INSPECTIONS. CONSTRUCTION WORK CONVEALED WITHOUT INSPECTION BY THE CITY SHALL BE SUBJECT TO EXPOSURE AT THE CONTRACTOR'S EXPENSE.
- RIGHT OF WAY IMPROVEMENTS SHALL NOT BE ACCEPTED UNTIL 3 MIL MINIMUM DOUBLE MATTE BLACK LINE MYLAR REPRODUCIBLE "AS-BUILT" PLANS HAVE BEEN SUBMITTED TO AND APPROVED BY THE ENGINEERING DIVISION.
- LOCATION OF ALL WATER VALVES, MANHOLES, AND CLEANOUTS MUST BE REFERENCED AT ALL TIMES DURING CONSTRUCTION AND MADE AVAILABLE TO THE WATER UTILITIES DIVISION.
- NO JOB WILL BE CONSIDERED COMPLETE UNTIL ALL CURBS, PAVEMENT, AND SIDEWALKS HAVE BEEN SWEPT CLEAN OF ALL DIRT AND DEBRIS AND ALL SURVEY MONUMENTS ARE INSTALLED ACCORDING TO THE PLANS.
- THE CITY WILL NOT PARTICIPATE IN THE COST OF CONSTRUCTION UTILITY RELOCATION CONSTRUCTION STAKING OR AS-BUILT PLANS.
- ALL EXISTING STREET MONUMENTS MUST BE PRESERVED. PRIOR TO CONSTRUCTION, MONUMENTS WILL BE REFERENCED HORIZONTALLY AND VERTICALLY. AFTER CONSTRUCTION, MONUMENTS SHALL BE RESET AND FIELD NOTES, INCLUDING NEW ELEVATION, SHALL BE FILED WITH THE CITY.
- FIRE RISER, DETAILS AND FDC ARE FOR REFERENCE ONLY AND ARE NOT APPROVED ON THESE DRAWINGS. FIRE SPRINKLER PLANS MUST BE SUBMITTED FOR SEPARATE FIRE DEPARTMENT REVIEW AND APPROVAL.
- ALL OVERHEAD UTILITY LINES (OTHER THAN TRANSMISSION LINES 12.5KV OR GREATER) THAT ON OR ADJACENT TO THE SITE, INCLUDING STREET OR ALLEY CROSSINGS, SHALL BE PLACED UNDERGROUND PER CITY CODE SECTION 15-123 THROUGH SECTION 25-126 AND ORDINANCE NO. 8885.
- ALL ONSITE PRIVATE UTILITIES AND DETAILS SHOWN IN THESE PLANS ARE FOR REFERENCE ONLY AND ARE NOT APPROVED ON THESE DRAWINGS. SEE PLANS THAT ARE APPROVED BY BUILDING SALES FOR ONSITE PRIVATE UTILITIES.
- THIS SET OF PLANS HAS BEEN REVIEWED FOR COMPLIANCE WITH CITY REQUIREMENTS PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS. HOWEVER, SUCH REVIEW SHALL NOT PREVENT THE CITY FROM REQUIRING CORRECTION OF ERRORS IN PLANS FOUND TO BE IN VIOLATION OF ANY LAW OR ORDINANCE. IT IS THE RESPONSIBILITY OF THE PROFESSIONAL ENGINEER SEALING AND SIGNING THESE PLANS TO BE CERTAIN THAT THEY ARE IN FULL COMPLIANCE WITH TEMPE STANDARDS, DETAILS, CRITERIA, LAWS AND ORDINANCES.
- THE CITY DOES NOT WARRANT ANY QUANTITIES SHOWN ON THESE PLANS.
- THE CITY APPROVAL IS FOR GENERAL LAYOUT IN THE RIGHT-OF-WAY, ON-SITE GRADING, DRAINAGE, WATER AND SEWER. THIS PLAN CHECK APPROVAL IS VALID FOR A PERIOD OF ONE YEAR FROM THE APPLICATION DATE. CONSTRUCTION PERMITS SHALL BE OBTAINED DURING THIS PERIOD OR THE PLANS SHALL BE RESUBMITTED FOR REVIEW AND APPROVAL. ONE MONTH EXTENSION MAY BE GRANTED UPON REQUEST IF THE REQUEST IS MADE PRIOR TO EXPIRATION OF THE ONE YEAR PERIOD AT A COST OF 25% OF THE TOTAL PLAN CHECK FEE. PERMITS MUST THEN BE ISSUED WITHIN 6 MONTHS AND THEY WILL BE VALID FOR ONE YEAR FROM ISSUE DATE. OTHERWISE, THE PROJECT EXPENSES AND PERMITS ARE VOIDED.
- AN APPROVED SET OF PLANS SHALL BE AVAILABLE ON THE JOB SITE AT ALL TIMES.
- CONSTRUCTION ITEMS SHALL NOT BE ACCEPTED UNTIL 3 MIL MINIMUM DOUBLE MATTE BLACK LINE MYLAR REPRODUCIBLE "AS-BUILT" PLANS HAVE BEEN SUBMITTED TO AND APPROVED BY THE ENGINEERING DIVISION.

# SITE PLAN KEYED NOTES

- EXISTING UTILITY POLE TO REMAIN.
- EXISTING TRANSFORMATION TO REMAIN.
- NEW FREESTANDING MONUMENT SIGN UNDER SEPARATE SUBMITTAL/PERMIT BY OTHERS.
- PROPOSED 8'-0" x 27'-0" TRANSIT EASEMENT.
- EXISTING PROPERTY LINE TO REMAIN.
- EXISTING POWER EASEMENT TO REMAIN, PER DOCKET 7086, PG. 93.
- PROVIDE 16'-0" HIGH POLE MOUNTED PARKING LOT LIGHTS ON CONCRETE BASE PER DETAIL 18.SD2.1, REFER TO SHEET ES1.1 FOR POLE AND FIXTURE REQUIREMENTS.
- EXISTING LIGHT POLE TO REMAIN.
- EXISTING TRAFFIC SIGNAL TO REMAIN.
- EXISTING TRAFFIC SIGNAL BOX TO BE RELOCATED.
- EXISTING MANHOLE TO REMAIN.
- EXISTING STREET LIGHT TO REMAIN.
- PROPOSED NEW STREET LIGHT LOCATION.
- PROVIDE NEW BUS PULLOUT WITH SHELTER (TYPE A) PER CITY OF TEMPE DETAIL T-604.
- PROVIDE NEW CONCRETE CURB, GUTTER AND 8'-0" SIDEWALK PER CITY OF TEMPE / MAG STANDARDS.
- EXISTING SITE WALL TO REMAIN.
- PROPOSED GAS METER LOCATION. CONTRACTOR SHALL COORDINATE WITH UTILITY PROVIDER. INSTALL PIPE BOLLARDS PER UTILITY PROVIDER STANDARD DETAILS. REFER TO SHEETS PE1.0 AND ES1.0.
- PROPOSED ELECTRICAL TRANSFORMER ON CONCRETE PAD LOCATION. INSTALL PIPE BOLLARDS PER UTILITY SERVICE PROVIDER STANDARD DETAILS. REFER TO SHEETS PE1.0, ES1.0 AND UTILITY SERVICE DOCUMENTS.
- PROVIDE SERVICE ENTRY SECTION (SES). REFER TO EXTERIOR ELEVATIONS SHEET A-0.
- PROPOSED NEW GREASE INTERCEPTOR WITH TRAFFIC GRADES LOCATIONS. REFER TO PLUMBING/CIVIL DOCUMENTS.
- PROVIDE NEW CO2 TANK WITH STORAGE CABINET. UNDER DEFERRED SUBMITTAL BY OTHERS.
- PROVIDE NEW ENTRY DRIVEWAY PER CITY OF TEMPE DETAIL T-300.
- PROVIDE NEW LANDSCAPE AREA. REFER TO LANDSCAPE DOCUMENTS.
- PROVIDE NEW CONCRETE CURB, TYPICAL. REFER TO CIVIL DOCUMENTS.
- PROVIDE NEW CONCRETE SIDEWALK WITH LIGHT BROOM FINISH, TYPICAL. REFER TO CIVIL DOCUMENTS.
- PROVIDE NEW ASPHALTIC CONCRETE PAVING. REFER TO CIVIL DOCUMENTS AND SOILS REPORT.
- PROVIDE NEW SPEED HUMP PER CITY OF TEMPE/MAG STANDARDS. REFER TO CIVIL DOCUMENTS.
- PROVIDE ADA ACCESSIBLE PATH OF TRAVEL/LEVEL WITH ADJACENT ASPHALTIC CONCRETE PAVING PER ADA/AS STANDARDS.
- PROVIDE NEW FIRE HYDRANT. REFER TO CIVIL DOCUMENTS.
- PROVIDE NEW FIRE LANE SIGN AND POST. REFER TO DETAILS 18.SD2.2 & 7.SD2.2.
- FIRE ANTI-REFUSE VEHICLE TURNING RADI (9'-0" OUTSIDE RADIUS X 25'-0" INSIDE RADIUS).
- PROVIDE NEW ACCESSIBLE PARKING AND SIGNAGE PER CITY OF TEMPE DETAIL T-360. REFER TO DETAIL 18.SD2.1.
- PROVIDE NEW CONCRETE ROOF DRAIN AND OVERFLOW DRAIN SWALE. REFER TO DETAIL 18.SD2.2.
- PROVIDE NEW DECORATIVE CONCRETE PAVING.
- PROVIDE NEW HEIGHT CLEARANCE BAR (8'-0" WARNING) POLE SIGN AND CONCRETE FOOTING. REFER TO DETAIL 28.SD2.1 AND SIGN PACKAGE UNDER SEPARATE SUBMITTAL/PERMIT BY OTHERS.
- PROVIDE NEW ACCESSIBLE IN-LINE CONCRETE RAMP. REFER TO DETAIL 14.SD2.0.
- EXISTING ACCESSIBLE WALKWAY CONCRETE RAMP TO REMAIN.
- PROVIDE NEW DELIVERY CONCRETE RAMP. REFER TO DETAIL 17.SD2.0.
- PROVIDE BICYCLE STORAGE RACK PER CITY OF TEMPE DETAIL T-678. REFER TO DETAIL 18.SD2.1.
- PROVIDE NEW GATED CMU REFUSE ENCLOSURE PER CITY OF TEMPE DETAIL DS-116. REFER TO DETAIL 18.SD2.2.
- PROVIDE 6" PIPE BOLLARD. REFER TO DETAIL 20.SD2.0.
- PROVIDE NEW 3'-0" HIGH ADJACENT FINISHED GRADE MASONRY SCREEN WALL. REFER TO DETAIL 14.SD2.0.
- PROVIDE 20'-0" HIGH POLE MOUNTED PARKING LOT LIGHTS ON CONCRETE BASE PER DETAIL 18.SD2.1, REFER TO SHEET ES1.1 FOR POLE AND FIXTURE REQUIREMENTS.
- PROPOSED NEW ENTRY SIGN. UNDER SEPARATE SUBMITTAL/PERMIT BY OTHERS. G.C. SHALL REFER TO SHEET ES1.0 FOR CONSULT AND WIRING REQUIREMENTS.
- PROVIDE NEW DRIVE THRU DIRECTIONAL SIGNAGE. UNDER SEPARATE SUBMITTAL/PERMIT BY OTHERS. G.C. SHALL REFER TO SHEET ES1.0 FOR CONSULT AND WIRING REQUIREMENTS.
- PROVIDE NEW THANK YOU/DON'T ENTER SIGNAGE. UNDER SEPARATE SUBMITTAL/PERMIT BY OTHERS. G.C. SHALL REFER TO SHEET ES1.0 FOR CONSULT AND WIRING REQUIREMENTS.



**SITE PLAN - JACK IN THE BOX**  
SCALE: 1" = 20'

**VICINITY MAP**  
SCALE: N.T.S.

9330 BALBOA AVENUE  
SAN DIEGO, CA 92123

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These designs, drawings and specifications are the property of Jack in the Box Inc. and shall not be copied or reproduced without the prior written consent. These drawings are created to assist the architect in preparing the final construction documents provided that such work shall not be used for any other project without the prior written consent of the architect. All work shall be in accordance with all applicable codes and all applicable standards.

**DATES**

RELEASE: AUG. 24, 2016

P.M. UPDATES: MAY 4, 2016

SUBMITTAL DATE:

1: \_\_\_\_\_

2: \_\_\_\_\_

3: \_\_\_\_\_

BD: \_\_\_\_\_

CONSTRUCTION: \_\_\_\_\_

**REVISIONS**

1	
2	
3	

**Looker & Cappello ARCHITECTS INC**

2078 E. SOUTHERN AVE.  
TEMPE, ARIZONA 85282  
480-710-1776  
FAX: 480-968-6571

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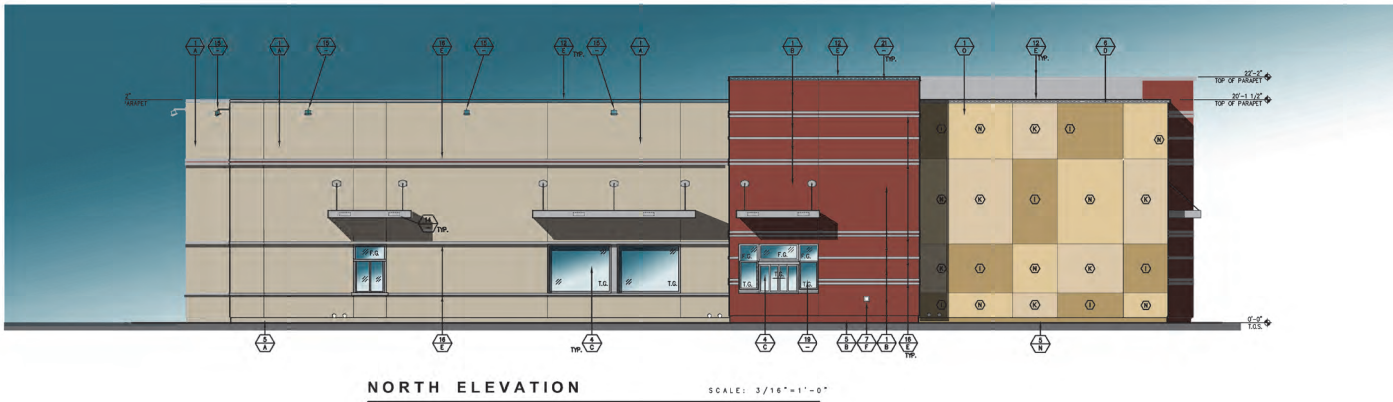
**SITE INFORMATION**

MK TYPE: MK3CD\_MD2  
JOB #: 1394  
ADDRESS: 1350 W. BROADWAY RD.  
TEMPE, AZ 85281

DRAWN BY: JLD  
PROJECT #: LC-1022  
SCALE: 1" = 20'

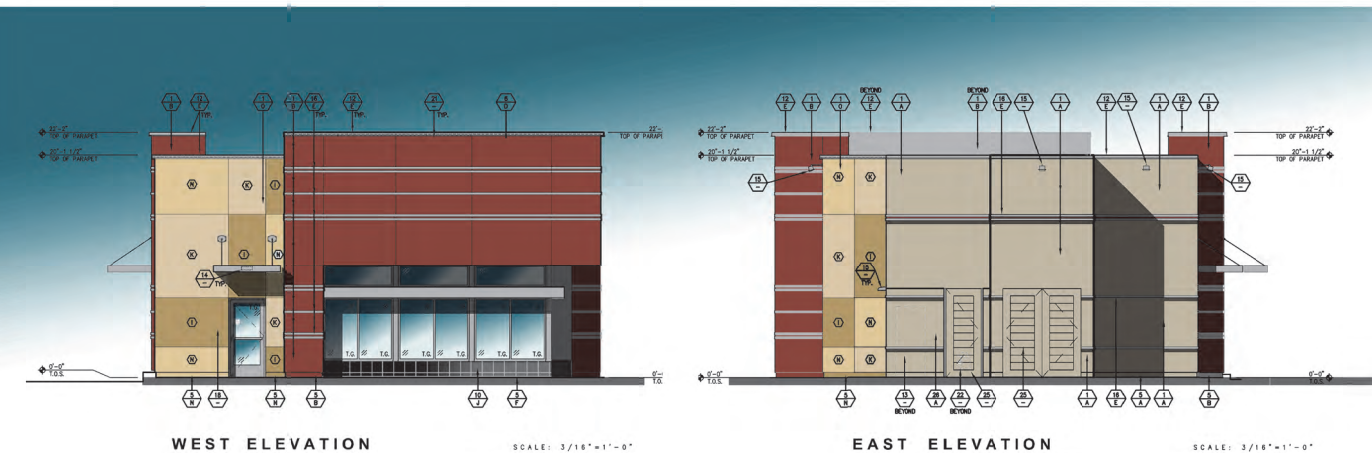
**SITE PLAN**

**SD1.0**



NORTH ELEVATION

SCALE: 3/16"=1'-0"

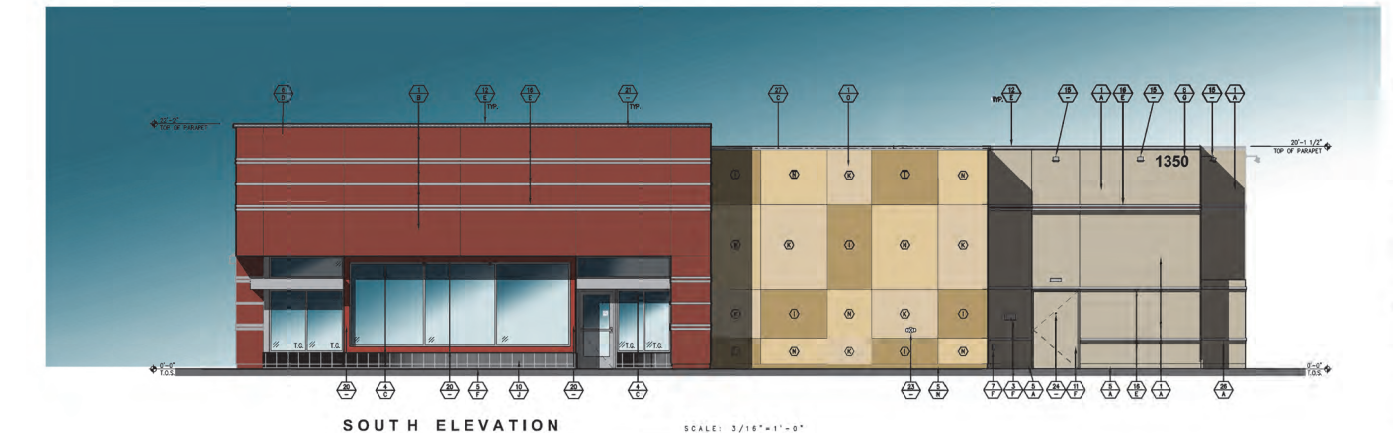


WEST ELEVATION

SCALE: 3/16"=1'-0"

EAST ELEVATION

SCALE: 3/16"=1'-0"



SOUTH ELEVATION

SCALE: 3/16"=1'-0"

**EXTERIOR FINISH SCHEDULE**

① — MATERIAL/FINISH  
② — COLOR

**MATERIAL/FINISH:**

1. EXTERIOR INSULATION FINISH SYSTEM (EIFS), REFER TO SPECIFICATIONS
2. CANOPY & SUPPORT (BY SOW CONTRACTOR)
3. BULK OIL SYSTEM RECESSED FILL BOX
4. ALUMINUM STOREFRONT SYSTEM WITH 1" CLEAR INSULATED GLASS WITH SOLARBAN 60 COATING
5. EXTERIOR CEMENT PLASTER FINISH COAT OVER CONCRETE CURB
6. INTERNALLY ILLUMINATED SIGNAGE UNDER SEPARATE SUBMITTAL/PERMIT BY OTHERS
7. RECESSED, LOCKABLE, NON-FREEZE HOSE-BIBB ENCLOSURE
8. BUILDING ADDRESS NUMBERS (SIZE AND TYPE REQUIRED PER LOCAL JURISDICTION)
9. SERVICE ENTRY SECTION (SES), REFER TO ELECTRICAL DOCUMENTS
10. 1/2"X1/2" PORCELAIN STONE TILE, MFR.: CROSSVILLE, STYLE: BASALT
11. HOLLOW METAL DOORS AND FRAMES, MISCELLANEOUS TRIM
12. ALUMINUM COPING
13. CO2 TANK STORAGE CABINET W/ FILL BOX STYLE HOSE CONNECTION
14. LIGHT FIXTURE MOUNTED WITHIN CANOPY, REFER TO ELECTRICAL DOCUMENTS
15. WALL MOUNTED LIGHT FIXTURE, REFER TO DETAIL 16/AS.3 AND ELECTRICAL DOCUMENTS
16. DECORATIVE METAL BANDING WITH ALL OUTSIDE CORNERS MITERED, REFER TO DETAIL 20/AS.2
17. NOT USED
18. ENTRANCE DISPLAY HOURS PANEL ←--- (E-CO2)
19. DRIVE-THRU WINDOW TREATMENT AND DISPLAY PANEL
20. FEATURE WINDOW POP OUT WITH ALUMINUM BREAK METAL PANELS & ILLUMINATED LIGHT BOX
21. RECESSED LED LIGHT FIXTURE, REFER TO ELECTRICAL DOCUMENTS
22. PROPOSED GAS METER LOCATION
23. FIRE DEPARTMENT CONNECTION
24. DOORSCOPE, REFER TO SHEET A8.0
25. LOUVERED HOLLOW METAL DOORS AND FRAMES, REFER TO SHEET A8.0
26. 2-COAT STUCCO SYSTEM OVER 8"X8"X16" CONCRETE MASONRY UNITS

**COLOR:**

- A. SHERWIN WILLIAMS: SW 7037 "BALANCED BEIGE"
- B. SHERWIN WILLIAMS: SW 6328 "FIREWEED"
- C. STANDARD STOREFRONT: CLEAR ANODIZED
- D. WHITE TEXT ON RED BACKGROUND
- E. CLEAR ANODIZED
- F. COLOR/FINISH TO MATCH ADJACENT SURFACE
- G. SHERWIN WILLIAMS: SW 6990 "CIVILIAN"
- H. POWDER-COATED ANODIZED SILVER
- I. SHERWIN WILLIAMS: SW 6123 "BAQUETTE"
- J. MAFIC, AV294
- K. SHERWIN WILLIAMS: SW 6120 "BELIEVABLE BUFF"
- L. NATURAL CONCRETE, GRAY
- M. STAINLESS STEEL
- N. SHERWIN WILLIAMS: SW 2813 "DOWNING STRAW"
- O. THREE CUSTOM COLOR RANDOM PATTERN, COLORS TO BE "I", "K", & "N" AS INDICATED
- P. PAINT TO MATCH CLEAR ANODIZED ALUMINUM, TIGER DRYLAC 38/91020

**GENERAL NOTES:**

1. ALL SIGNAGE IS UNDER SEPARATE SUBMITTAL/PERMIT BY OTHERS (N.I.C.).
2. ALL EIFS ACCESSORIES, FLASHINGS ETC. SHALL BE PAINTED TO MATCH ADJACENT SURFACES. (U.O.N.).
3. ALL EXTERIOR WALL OPENINGS FOR RECEPTABLES, HOSE BIBBS, ETC. SHALL BE SEALED. REFER TO FLOOR PLAN, GENERAL NOTES, AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.
4. ALL ROOFTOP MOUNTED EQUIPMENT SHALL BE SCREENED FROM VIEW BY PARAPET WALLS, TYPICAL.
5. ROOF STRUCTURE AND PARAPET WALL LINES SHOWN DASHED FOR REFERENCE, TYPICAL.

RELEASE: AUG. 24, 2018  
P.M. UPDATES: N/A  
SUBMITTAL DATE:  
1: \_\_\_\_\_  
2: \_\_\_\_\_  
3: \_\_\_\_\_  
BD: \_\_\_\_\_  
CONSTRUCTION: \_\_\_\_\_

REVISIONS

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**Looker & Cappello ARCHITECTS INC**

3075 E. SOUTHERN AVE  
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2024  
JUL 10 2024  
LOOKER & CAPPELLO  
ARCHITECTS INC  
IDP: 6/30/2018

**SITE INFORMATION**

MX TYPE: MK93D\_MD2  
JOB #: TBD  
ADDRESS:  
1350 W. BROADWAY RD.  
TEMPE, AZ

DRAWN BY: JLD  
PROJECT #: LC-1022  
SCALE: AS NOTED

**COLOR EXTERIOR ELEVATIONS A4.2**



NORTH ELEVATION

SCALE: 3/16"=1'-0"



WEST ELEVATION

SCALE: 3/16"=1'-0"

EAST ELEVATION

SCALE: 3/16"=1'-0"



SOUTH ELEVATION

SCALE: 3/16"=1'-0"

### EXTERIOR FINISH SCHEDULE

① MATERIAL FINISH  
② COLOR

#### MATERIAL FINISH:

1. EXTERIOR INSULATION FINISH SYSTEM (EIFS), REFER TO SPECIFICATIONS
2. CANOPY & SUPPORT (BY SUB CONTRACTOR)
3. BULK OIL SYSTEM RECESSED FILL BOX
4. ALUMINUM STOREFRONT SYSTEM WITH 1" CLEAR INSULATED GLASS WITH SOLARBAN 60 COATING
5. EXTERIOR CEMENT PLASTER FINISH COAT OVER CONCRETE CURB
6. INTERNALLY ILLUMINATED SIGNAGE UNDER SEPARATE SUBMITTAL/PERMIT BY OTHERS
7. RECESSED, LOOKABLE, NON-FREEZE HOSE-BIBB ENCLOSURE
8. BUILDING ADDRESS NUMBERS (SIZE AND TYPE REQUIRED PER LOCAL JURISDICTION)
9. SERVICE ENTRY SECTION (SES), REFER TO ELECTRICAL DOCUMENTS
10. 12x12 PORCELAIN STONE TILE, MFR.: CROSSVILLE, STYLE: BASALT
11. HOLLOW METAL DOORS AND FRAMES, MISCELLANEOUS TRIM
12. ALUMINUM CORNER
13. CO2 TANK STORAGE CABINET W/ FILL BOX STYLE HOSE CONNECTION
14. LIGHT FIXTURE MOUNTED WITHIN CANOPY, REFER TO ELECTRICAL DOCUMENTS.
15. WALL MOUNTED LIGHT FIXTURE, REFER TO DETAIL 16/A9.3 AND ELECTRICAL DOCUMENTS
16. DECORATIVE METAL BANDING WITH ALL OUTSIDE CORNERS MITERED, REFER TO DETAIL 20/A9.2
17. NOT USED
18. ENTRANCE DISPLAY HOURS PANEL <--- 05-E023
19. DRIVE-THRU WINDOW TREATMENT AND DISPLAY PANEL
20. FEATURE WINDOW POP-OUT WITH ALUMINUM BREAK METAL PANELS & ILLUMINATED LIGHT BOX
21. RECESSED LED LIGHT FIXTURE, REFER TO ELECTRICAL DOCUMENTS
22. PROPOSED GAS METER LOCATION
23. FIRE DEPARTMENT CONNECTION
24. DOORSCOPE, REFER TO SHEET A8.0
25. LOUVERED HOLLOW METAL DOORS AND FRAMES, REFER TO SHEET A8.0
26. 2-COAT STUCCO SYSTEM OVER 8"X8"X16" CONCRETE MASONRY UNITS

#### COLOR:

- A. SHERWIN WILLIAMS: SW 7037 "BALANCED BEIGE"
- B. SHERWIN WILLIAMS: SW 6325 "FIREWEED"
- C. STANDARD STOREFRONT: CLEAR ANODIZED
- D. WHITE TEXT ON RED BACKGROUND
- E. CLEAR ANODIZED
- F. COLOR/FINISH TO MATCH ADJACENT SURFACE
- G. SHERWIN WILLIAMS: SW 6993 "CAVIAR"
- H. POWDERCOATED ANODIZED SILVER
- I. SHERWIN WILLIAMS: SW 6123 "BAGUETTE"
- J. WAFIC, AV295
- K. SHERWIN WILLIAMS: SW 6120 "BELIEVABLE BUFF"
- L. NATURAL CONCRETE, GRAY
- M. STAINLESS STEEL
- N. SHERWIN WILLIAMS: SW 2813 "DOWNING STRAW"
- O. THREE CUSTOM COLOR RANDOM PATTERN, COLORS TO BE "I", "K", & "N" AS INDICATED
- P. PAINT TO MATCH CLEAR ANODIZED ALUMINUM, TIGER DRYLAC 38/91020

#### GENERAL NOTES:

1. ALL SIGNAGE IS UNDER SEPARATE SUBMITTAL/PERMIT BY OTHERS (N.I.C.).
2. ALL EIFS ACCESSORIES, FLASHINGS ETC. SHALL BE PAINTED TO MATCH ADJACENT SURFACES. (U.J.N.).
3. ALL EXTERIOR WALL OPENINGS FOR RECEPTACLES, HOSE BIBBS, ETC. SHALL BE SEALED. REFER TO FLOOR PLAN, GENERAL NOTES, AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.
4. ALL ROOFTOP MOUNTED EQUIPMENT SHALL BE SCREENED FROM VIEW BY PARAPET WALLS, TYPICAL.
5. ROOF STRUCTURE AND PARAPET WALL LINES SHOWN DASHED FOR REFERENCE, TYPICAL.

**Jack**  
in the box  
5330 BALBOA AVENUE  
SAN DIEGO, CA 92123  
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DATE: AUG. 24, 2015

RELEASE: N/A

P.M. UPDATES: N/A

SUBMITTAL DATE: \_\_\_\_\_

1: \_\_\_\_\_

2: \_\_\_\_\_

3: \_\_\_\_\_

BD: \_\_\_\_\_

CONSTRUCTION: \_\_\_\_\_

REVISIONS

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**Looker & Cappello**  
ARCHITECTS INC  
2075 E. SOUTHERN AVE.  
TEMPE, ARIZONA 85282  
480-730-1778  
FAX: 480-968-6671

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EXP. 6/30/2018

SITE INFORMATION

MK TYPE: MK9CD\_MD2

JIB #: TBD

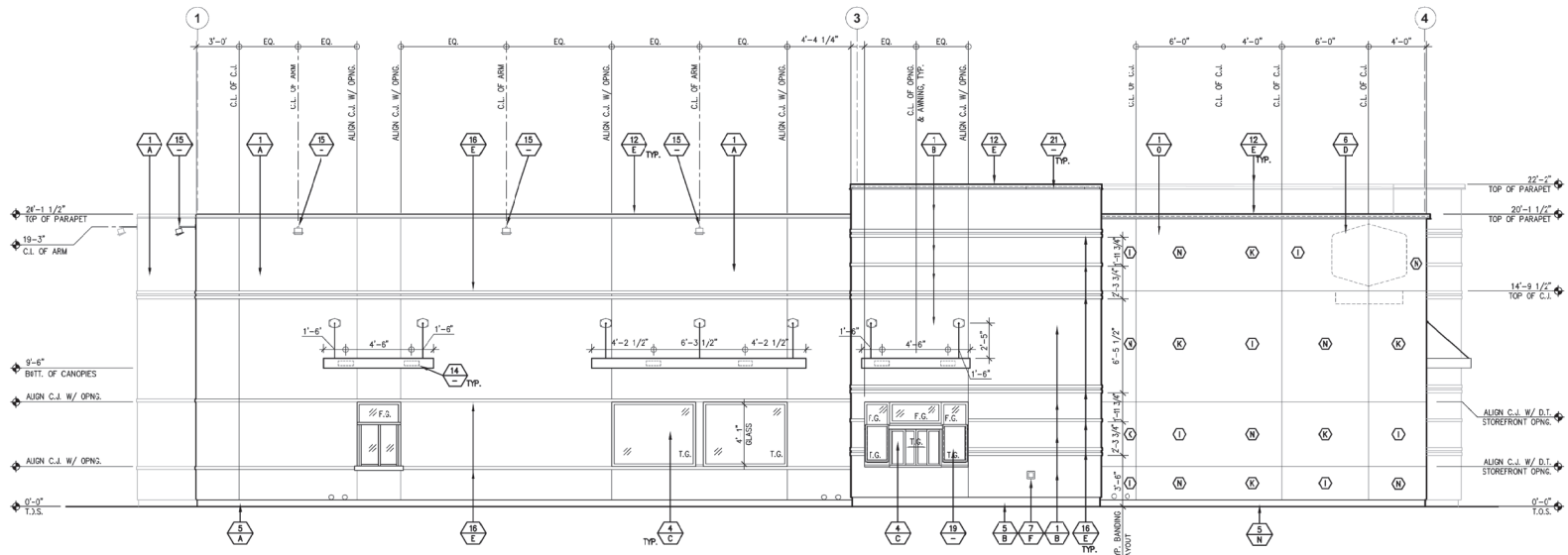
ADDRESS: 1350 W. BROADWAY RD. TEMPE, AZ

DRAWN BY: JLD

PROJECT #: LC-1022

SCALE: AS NOTED

**COLOR EXTERIOR ELEVATIONS**  
**A4.2L**  
WITH LANDSCAPE



**NORTH ELEVATION**

SCALE: 1/4" = 1'-0"

**EXTERIOR FINISH SCHEDULE**

1 — MATERIAL / FINISH  
A — COLOR

**MATERIAL / FINISH:**

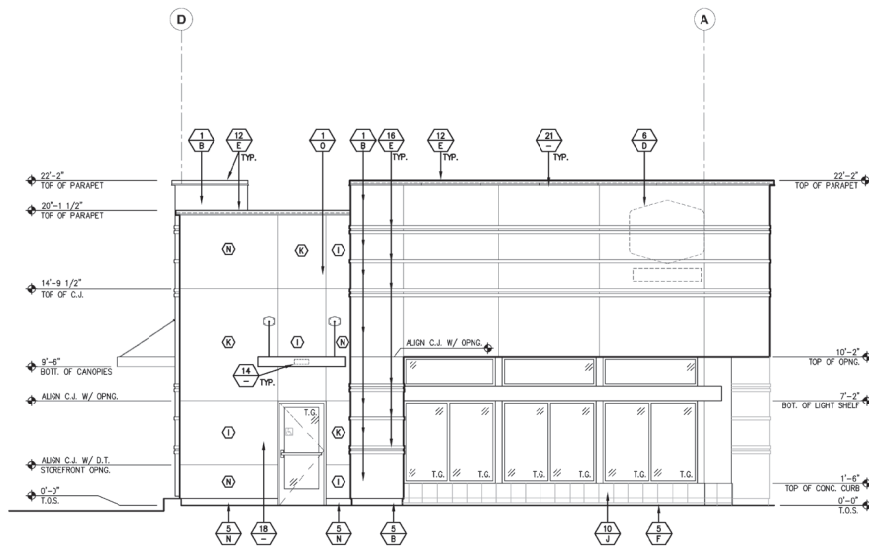
1. EXTERIOR INSULATION FINISH SYSTEM (EIFS). REFER TO SPECIFICATIONS
2. CANOPY & SUPPORT (BY SIGN CONTRACTOR)
3. BULK OIL SYSTEM, RECESSED FILL BOX
4. ALUMINUM STOREFRONT SYSTEM WITH 1" CLEAR INSULATED GLASS WITH SOLARBAN 60 COATING
5. EXTERIOR CEMENT PLASTER FINISH COAT OVER CONCRETE CURB
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7. RECESSED, LOCKABLE, NON-FREEZE HOSE-BIBB ENCLOSURE
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10. 12x12 PORCELAIN STONE TILE, UFR., CROSSVILLE, STYLE: BASALT
11. HOLLOW METAL DOORS AND FRAMES, MISCELLANEOUS TRIM
12. ALUMINUM COPING
13. O22 TANK STORAGE CABINET W/ FILL BOX STYLE HOSE CONNECTION
14. LIGHT FIXTURE MOUNTED WITHIN CANOPY. REFER TO ELECTRICAL DOCUMENTS.
15. WALL MOUNTED LIGHT FIXTURE, REFER TO DETAIL 16/A9.3 AND ELECTRICAL DOCUMENTS
16. DECORATIVE METAL BANDING WITH ALL OUTSIDE CORNERS MITERED, REFER TO DETAIL 20/A9.2
17. NCT USED
18. ENTRANCE DISPLAY HOURS PANEL <---(6F-E022)
19. DRIVE-THRU WINDOW TREATMENT AND DISPLAY PANEL
20. FEATURE WINDOW POP OUT WITH ALUMINUM BREAK METAL PANELS & ILLUMINATED LIGHT BOX
21. RECESSED LED LIGHT FIXTURE, REFER TO ELECTRICAL DOCUMENTS
22. PROPOSED GAS METER LOCATION
23. FIRE DEPARTMENT CONNECTION
24. DOORSOPE, REFER TO SHEET A8.0
25. LOUVERED HOLLOW METAL DOORS AND FRAMES, REFER TO SHEET A8.0
26. 2-COAT STUCCO SYSTEM OVER 8"x8"x16" CONCRETE MASONRY UNITS

**COLOR:**

- A. SHERWIN WILLIAMS: SW 7037 "BALANCED BEIGE"
- B. SHERWIN WILLIAMS: SW 6328 "FIREWEED"
- C. STANDARD STOREFRONT: CLEAR ANODIZED
- D. WHITE TEXT ON FED BACKGROUND
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- I. SHERWIN WILLIAMS: SW 6123 "BAGUETTE"
- J. MAFIC, AV224
- K. SHERWIN WILLIAMS: SW 6120 "BELIEVABLE BUFF"
- L. NATURAL CONCRETE, GRAY
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- O. THREE CUSTOM COLOR RANDOM PATTERN, CO.COLORS TO BE "I", "K", & "N" AS INDICATED
- P. PAINT TO MATCH CLEAR ANODIZED ALUMINUM, TIGER DRYLAC 38/S1020

**GENERAL NOTES:**

1. ALL SIGNAGE IS UNDER SEPARATE SUBMITTAL/PERMIT BY OTHERS (N.I.C.).
2. ALL EIFS ACCESSORIES, FLASHINGS ETC. SHALL BE PAINTED TO MATCH ADJACENT SURFACES. (U.O.I.).
3. ALL EXTERIOR WALL OPENINGS FOR RECEPTACLES, HOSE BIBBS, ETC. SHALL BE SEALED. REFER TO FLOOR PLAN, GENERAL NOTES, AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.
4. ALL ROOF TOP MOUNTED EQUIPMENT SHALL BE SCREENED FROM VIEW BY PARAPET WALLS, TYPICAL.
5. ROOF STRUCTURE AND PARAPET WALL LINES SHOWN DASHED FOR REFERENCE, TYPICAL.



**WEST ELEVATION**

SCALE: 1/4" = 1'-0"

**Jack**  
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SAN DIEGO, CA 92123  
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**DATES**

RELEASE: AUG. 24, 2015  
P.M. UPDATES: N/A  
SUBMITTAL DATE:  
1: \_\_\_\_\_  
2: \_\_\_\_\_  
3: \_\_\_\_\_

BD: \_\_\_\_\_  
CONSTRUCTION: \_\_\_\_\_

**REVISIONS**

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**Looker & Cappello**  
ARCHITECTS INC

2075 E. SOUTHWEST AVE.  
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20134  
JDF &  
LOOKER  
SEP 15 2015  
EXP. 6/30/2016

**SITE INFORMATION**

MK TYPE: MK30C\_MD2  
JOB #: 1394  
ADDRESS:  
1350 W. BROADWAY RD.  
TEMPE, AZ 85281

DRAWN BY: JLD

PROJECT # LC-1022

SCALE: AS NOTED

**BLACK & WHITE**  
EXTERIOR  
ELEVATIONS  
**A4.0**





**View from North on Priest Drive looking at NWC of Building**





**View from intersection of Priest Drive and Broadway Road looking at SWC of Building**







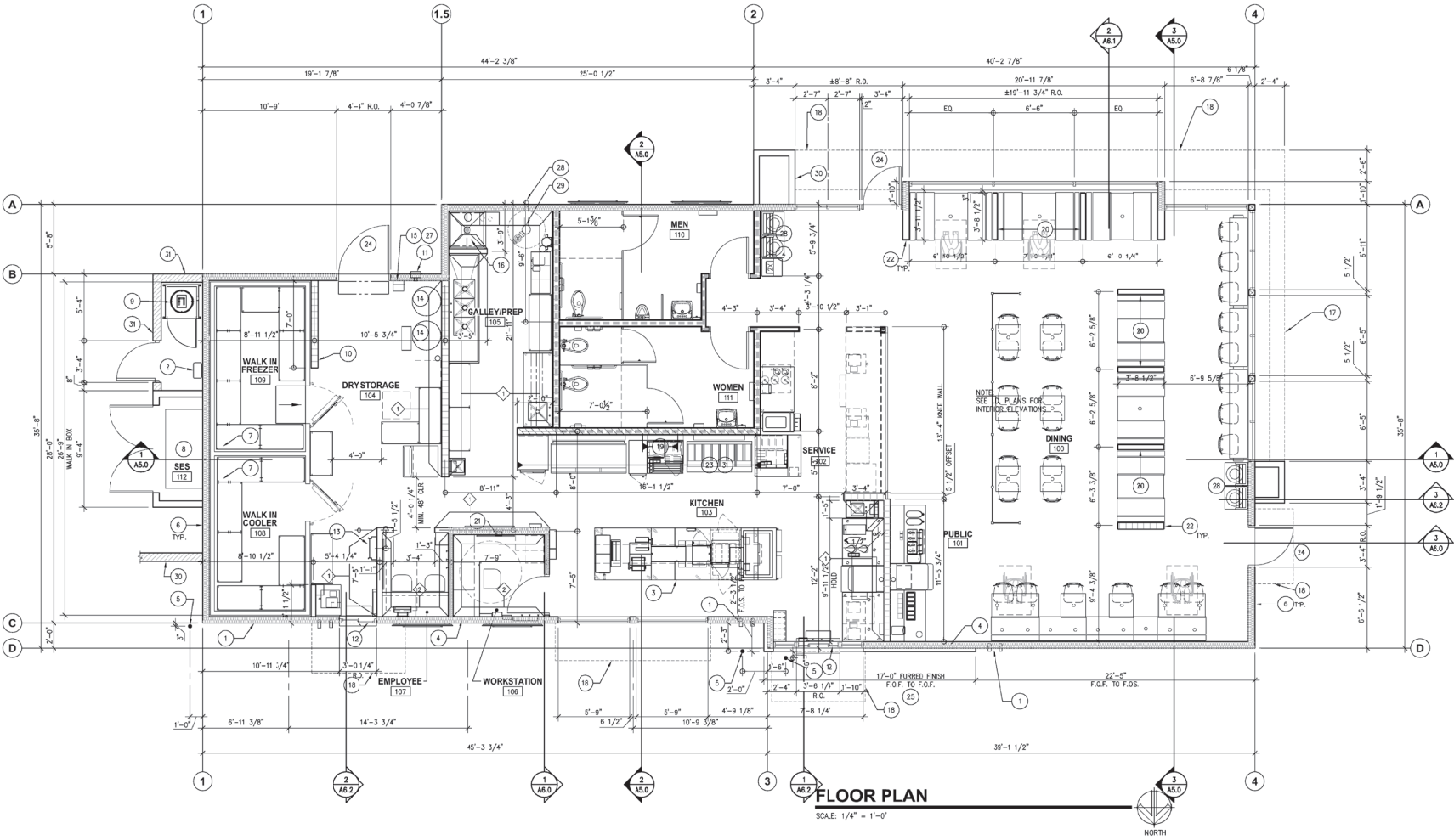
**GENERAL NOTES**

- ALL DIMENSIONS SHOWN TO FACE OF EXTERIOR WALLS ARE FACE OF STUD, ALL DIMENSIONS SHOWN TO INTERIOR WALLS ARE TO CENTERLINE OF STUD, OR FACE OF FINISH GYPSUM BOARD OR PLYWOOD.
- ALL EXTERIOR WALLS SHALL BE 2x6 WOOD STUDS AT 16" O.C. W/ 5/8" WATER RESISTANT GYPSUM BOARD ON THE INTERIOR FACE, U.O.N.
- ALL INTERIOR WALLS SHALL BE 2x4 WOOD STUDS AT 24" O.C. W/ 5/8" WATER RESISTANT GYPSUM BOARD ON BOTH SIDES U.O.N.
  - INDICATES INTERIOR WALL FACE W/ 5/8" PLYWOOD IN LIEU OF 5/8" WATER RESISTANT GYPSUM BOARD.
  - INDICATES INTERIOR WALL W/ 1/4" GYPSUM BOARD OVER 5/8" PLYWOOD.
  - INDICATES EXTERIOR WALL W/ 5/8" GYPSUM BOARD OVER 5/8" GYPSUM BOARD TO BE FLUSH WITH INTERIOR WALL.
  - INDICATES INTERIOR WALLS THAT SHALL BE 2x6 WOOD STUDS AT 24" O.C.
  - INDICATES WALLS THAT SHALL BE INTERIOR: 5 1/2" STL. STUDS AT 24" O.C. PER STRUCTURAL DRAWINGS. USE NON-COMBUSTIBLE BLOCKING AT THIS LOCATION.
  - TYPICAL INTERIOR WALLS. SEE DETAILS 18/AS.2 AND 9/AS.2.
- PROVIDE 2x SOLID BLOCKING IN WALLS AS REQUIRED FOR REINFORCEMENT OF ALL GRAB BARS, RESTROOM FIXTURES, PLUMBING WALL, WALL BUMPERS AND MILLWORK ATTACHMENT, ETC REFER TO SHEET A2.2 FOR RESTROOMS AND SHEETS A2.1, A2.11, AND A2.2 FOR KITCHEN, EMPLOYEE AND WORKSTATION AREAS.
- FOR EXTERIOR WALL TREATMENT, REFER TO EXTERIOR ELEVATIONS.
- ALL EXIT DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT ANY SPECIAL KNOWLEDGE OR EFFORT OR THE USE OF A KEY.
- ALL EXTERIOR DOORS SHALL BE WEATHERSTRIPPED. ALL EXTERIOR JOINTS AROUND DOOR FRAMES & WINDOWS & AT ALL PENETRATIONS THROUGH BUILDING ENVELOPE SHALL BE SEALED USING SEALANT & CAULKING. ADDITIONALLY, FOAM INSULATION SHALL BE PROVIDED IN & AROUND ALL WINDOW AND/OR DOOR FRAMES WHERE METAL MEETS WOOD. FRAMING PLUS ALL EXTERIOR WALL OPENINGS/PENETRATIONS.
- ALL GLAZING WITHIN 48" OF DOORS & 18" FROM FINISHED FLOOR SHALL BE TEMPERED INCLUDING GLAZING OF DOORS.
- POST OCCUPANCY LOAD SIGN IN CONSPICUOUS PLACE NEAR MAIN DOORS AT 6"-10" A.F.F. CAULK AROUND ALL SIDES. "MAXIMUM SEATING CAPACITY = \_\_\_\_\_" FOR SEAT COUNT, SEE "BUILDING DATA" ON SHEET A1.0.
- ALL FINISH SURFACES SHALL HAVE A FLAME SPREAD CLASSIFICATION OF CLASS C OR HIGHER (FLAME SPREAD INDEX 76 THROUGH 200 & 1 SMOKE DENSITY RATING OF 450).
- ALL DRAPES, CURTAINS & DECORATIVE MATERIAL PROVIDED AND/OR INSTALLED BY THE GENERAL CONTRACTOR SHALL BE MADE FROM NONFLAMMABLE MATERIALS OR TREATED WITH FLAME RETARDANT /S APPROVED BY THE LOCAL FIRE MARSHAL.
- OWNER SHALL PROVIDE PORTABLE FIRE EXTINGUISHERS PER LOCAL FIRE MARSHAL. GENERAL CONTRACTOR TO INSTALL.

- BUILDING ADDRESS NUMBERS SHALL BE A MINIMUM 12" HIGH AND BE OF CONTRASTING COLORS.
- ANY TIME THE BUILDING IS OCCUPIED, THE MEANS OF EGRESS SHALL BE ILLUMINATED AT AN INTENSITY OF NOT LESS THAN 1 FOOT-CANDLE AT THE FLOOR LEVEL. REFER TO ELECTRICAL DOCUMENTS.
- PROVIDE EXIT SIGNS FOR EGRESS IDENTIFICATION. REFER TO ELECTRICAL DOCUMENTS.
- PROVIDE APPROVED EGRESS ILLUMINATION AND ILLUMINATED EXIT SIGNS. REFER TO ELECTRICAL DOCUMENTS.
- PROVIDE APPROVED PANIC HARDWARE ON EXIT DOORS.
- CONTRACTOR TO PROVIDE BORIC ACID TERMITE PROTECTION IN ALL WALLS.
- GENERAL CONTRACTOR SHALL COORDINATE THEIR WORK WITH THE WORK OF THE FOOD SERVICE EQUIPMENT CONTRACTOR.
- FOR ITEMS FURNISHED BY OTHERS & INSTALLED BY GENERAL CONTRACTOR SEE KITCHEN DRAWINGS.
- CONSULT CONSTRUCTION MANAGER FOR REQUIREMENTS FOR AIR CURTAINS AT DRIVE THRU AND CASHIER WINDOWS AND AT DINING ENTRIES. PROVIDE DOOR SWITCHES AS NECESSARY.
- EXIT AISLES SHALL MEET ALL APPLICABLE CODES.
- PROVIDE FDC & FACP/FIRE RISER ROOM SIGN AS REQUIRED BY LOCAL JURISDICTION.

**KEY NOTES**

- ROOF DRAINS PER 11/AS.1 SEE SITE PLAN FOR CONTINUATION.
- GAS METER, REFER TO PLUMBING DRAWINGS.
- LINE OF FOOD SERVICE EQUIPMENT, REFER TO KITCHEN DOCUMENTS.
- ROOF OVERHANG ABOVE.
- BARRIER POST, REFER TO SITE DETAILS.
- LINE OF CONCRETE CURB, TYPICAL.
- WALK-IN FREEZER AND COOLER, REFER TO KITCHEN DOCUMENTS.
- SEWAGE ENTRY SECTION (SES), REFER TO EXTERIOR ELEVATIONS AND ELECTRICAL DRAWINGS.
- CO2 TANK WITH ENCLOSURE, REFER TO EXTERIOR ELEVATIONS.
- ELECTRICAL PANELS, REFER TO ELECTRICAL DOCUMENTS.
- BULK OIL SYSTEM FILL BOX (FLUSH MOUNT), REFER TO KITCHEN DRAWINGS.
- COUNTER AT DRIVE-THRU WINDOW SEE GENERAL NOTE 8 THIS SHEET AND DETAIL 12/AS.1.
- LADDER TO ROOF, SEE DETAILS 16/AS.0 AND 22/AS.0.
- BULK OIL SYSTEM, REFER TO KITCHEN DOCUMENTS.
- IRRIGATION CONTROLLER IN TEMPEREPROOF ENCLOSURE. REFER TO LANDSCAPE AND ELECTRICAL DOCUMENTS.
- WOP SINK, SEE DETAIL 16/AS.2.
- R-21 BATT INSULATION IN ALL EXTERIOR WALLS AND SOILING ATTENUATION BATS IN RESTROOM AND WORKSTATION WALLS.
- LINE OF CANOPY ABOVE, TYPICAL.
- PROVIDE NON-COMBUSTIBLE BLOCKING IN WALL FOR KITCHEN EQUIPMENT. SEE GENERAL NOTE 30 THIS SHEET FOR ADDITIONAL INFORMATION.
- PARTIAL HEIGHT INTERIOR WOOD STUD WALL, SEE INTERIOR DRAWINGS AND DETAIL 21/DB.1 FOR ADDITIONAL INFORMATION.
- 6" BLOCK OUT AT THIS LOCATION FOR LIGHTING THE CLOCK, REFER TO ELECTRICAL DOCUMENTS.
- END CAP ON WALL TO BE FLUSH W/ SOFFIT FINISH ABOVE. REFER TO INTERIOR DETAILS FOR ADDITIONAL INFORMATION.
- INSTALL 5/8" GYPSUM BOARD OVER STEEL STUDS. DO NOT INSTALL F.R.P. BEHIND HOODS. REFER TO KITCHEN DRAWINGS FOR STAINLESS STEEL FINISH.
- LANDING BEARING ELEV. 0'-0" TO SLOPE MAX 2% AWAY FROM BUILDING.
- AREA OF ADDITIONAL FURRING.
- PARTIAL HEIGHT INTERIOR WOOD STUD WALL, 4'-0" TALL.
- IRRIGATION TIMER AND CONTROL WIRING SHALL BE IN (2) 1-1/2" EMPTY CONDUITS WITH PULL STRING FROM IRRIGATION CONTROLLER DOWN UNDERGROUND TO NEAREST PLANTER, CUP AND MARK LOCATION.
- FIRE DEPARTMENT CONNECTION (FDC), REFER TO EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION. COORDINATE LOCATION WITH CITY OF TEMPE FIRE DEPARTMENT PRIOR TO INSTALLATION.
- FIRE RISER STANDPIPE WITH 3'-0" UNOBSTRUCTED CLEARANCE. REFER TO FIRE PROTECTION DOCUMENTS UNDER SEPARATE SUBMITTAL/FURNISH BY OTHERS.
- 8"x8"x16"x8"-0" HIGH CONCRETE MASONRY UNIT SCREEN WALL WITH 2-COAT STUCCO SYSTEM. REFER TO EXTERIOR ELEVATIONS SHEETS A4.0 AND A4.1.



**FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**Jack**  
in the box

9330 BALDOD AVENUE  
SAN DIEGO, CA 92123  
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DATE: \_\_\_\_\_  
RELEASE: AUG. 24, 2018  
P.M. UPDATES: MAY 4, 2016

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1: \_\_\_\_\_  
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3: \_\_\_\_\_

BD: \_\_\_\_\_  
CONSTRUCTION: \_\_\_\_\_

REVISIONS


**Looker & Cappello**  
ARCHITECTS INC

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TEMPE, ARIZONA 85282  
480-720-1776  
FAX: 480-968-6571

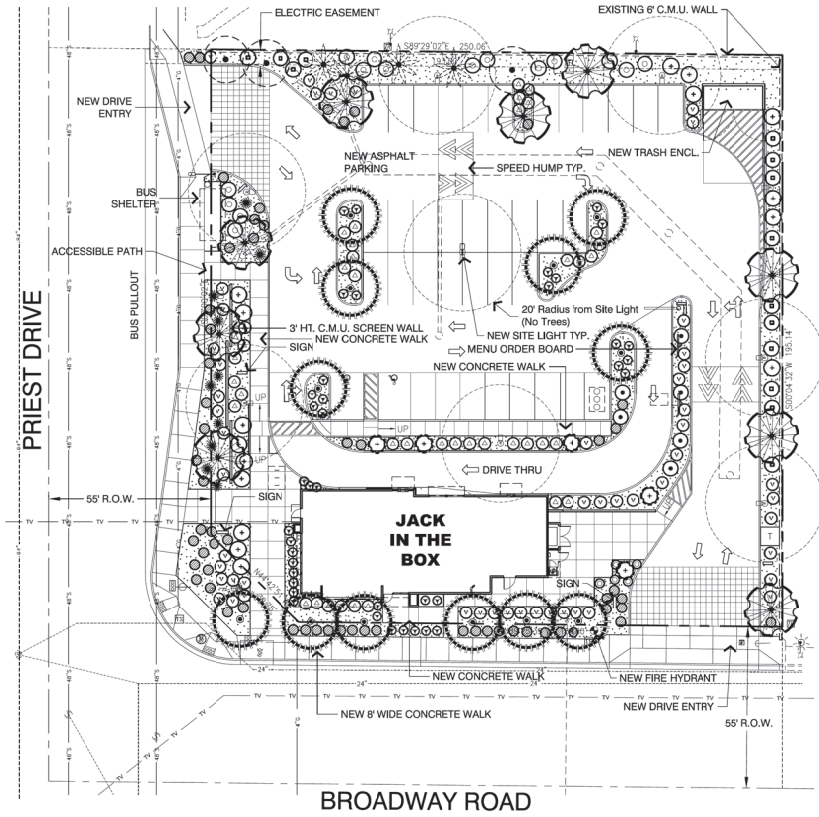
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LOOKER & CAPPELLO ARCHITECTS INC.  
20134  
JOY A.  
LOOKER  
REGISTERED ARCHITECT  
AZ 00000000  
EXP. 6/30/2018

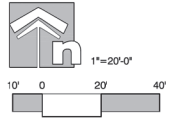
SITE INFORMATION  
MK TYPE: MK3CD\_MD2  
JOB #: 1.09.4  
ADDRESS: 1350 W. BROADWAY RD.  
TEMPE, AZ 85281

DRAWN BY: JLD  
PROJECT #: LC-1022  
SCALE: 1/4" = 1'-0"

**FLOOR PLAN**  
**A1.0**



- EXISTING UTILITY LEGEND**
- METAL COVER
  - WATER METER
  - BOLLARD
  - ⊙ LIGHT POLE
  - ⊕ TRAFFIC SIGNAL
  - ⊕ TRAFFIC SIGNAL BOX
  - ⊕ UTILITY POLE
  - ⊕ TRANSFORMER
  - ⊕ SIGN
  - ⊕ GUY ANCHOR
  - MANHOLE

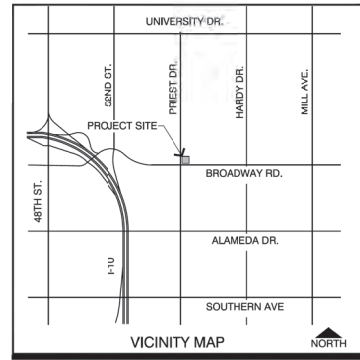


PLANT LIST			
SYMBOL	BOTANICAL NAME COMMON NAME	SIZE QUAN.	REMARKS
☼	PARKINSONIA 'DESERT MUSEUM' DESERT MUSEUM PALO VERDE	36" BOX 9	11' Ht., 7 Sp., 2' Cal., 4" Trunk Min. before Multi-Trunk break
☼	ULMUS PARVIFOLIA EVERGREEN ELM	36" BOX 12	12' Ht., 8' Sp., 2" Cal.
⊙	SOPHORA SECUNDFLORA TEXAS MOUNTAIN LAUREL	5 GAL 6	
⊙	LEUCOPHYLLUM LANGMANIAE 'Rio Bravo' RIO BRAVO SAGE	5 GAL 14	
⊙	SENNA NEMOPHYLLA GREEN CASSIA	5 GAL 16	
⊙	EREMOPHILA MACULATA 'VALENTINE' VALENTINE BUSH	5 GAL 52	
⊙	LANTANA MONTEVIDENSIS 'NEW GOLD' 'NEW GOLD' LANTANA	1 GAL 60	
⊙	ILEX VOMITORIA 'STOKES' DWARF YAUPON HOLLY	5 GAL 38	
⊙	TECOMARIA CAPENSIS CAPE HONEYSUCKLE	5 GAL 15	
⊙	BOUGAINVILLEA CRIMSON JEWEL' BUSH BOUGAINVILLEA	5 GAL 6	
⊙	MYRTUS COMMUNIS 'COMPACTA' COMPACT MYRTLE	5 GAL 40	
⊙	ROSMARINUS OFFINALIS 'HUNTINGTON CARPET' HUNTINGTON CARPET ROSEMARY	1 GAL 5	
⊙	AGAVE GEMNIFLORA TWIN-FLOWERED AGAVE	5 GAL 10	

⊕ DECOMPOSED GRANITE - 1/2" SCREENED, 2" DEPTH IN ALL AREAS OF PLANTING. 'MADISON GOLD' COLOR.

☼ EXISTING TREES TO REMAIN IN PLACE

An automatic underground irrigation system for the plant material will be provided.



**Jack**  
in the box  
1356 W. BROADWAY ROAD  
TEMPE, ARIZONA 85281

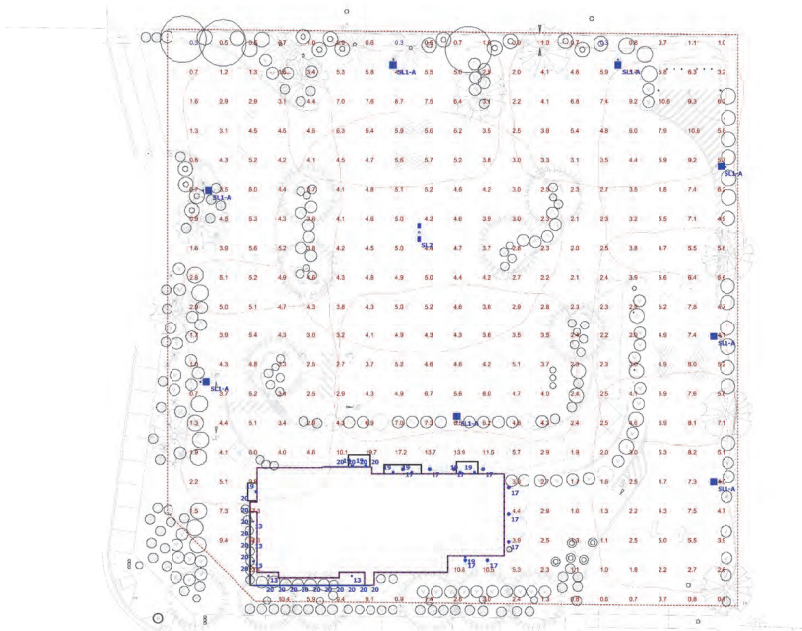
PROJECT 201606  
DATE APRIL 28, 2016  
REVISION MAY 19, 2016 JULY 6, 2016

**Preliminary Landscape Plan**

L1  
of 1

Schedule											
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
	SL1-A	8	CREE INC.	ARE-EDG-4MB-DA-12-E-UL-XX-525-40K (BXAL1J12E-UC7)	Cree Edge Area, Type IV Medium w- Full BLS, 120 LEDs, 525mA, 4000K	One Hundred Twenty White LEDs, Vertical Base-Up Position	1	ARE-EDG-4MB--12-E-UL-525-40K.ies	13152	1	198.4
	SL2	1	CREE INC.	ARE-EDG-3M-xx-05-E-UL-xx-700-40K-xxxx (BXALX306E-UD7)	Cree Edge Area, Type III Medium, 90 LEDs, 700mA, 4000K	Sixty White LEDs, Vertical Base-Up Position	1	ARE-EDG-3M--06-E-UL-700-40K.ies	10656	1	264.6
		5	RULID LIGHTING, INC., A CREE COMPANY	CAN-228-SL--03-3-UL-525-40K or BXC7A'E03-UC7 (525mA)	30 LED PETROLEUM SPARKLE 525mA 4000K 228 SERIES RECESSED CANOPY LUMINAIRE	THIRTY WHITE LIGHT EMITTING DIODES (LED) VERTICAL BASE-UP POSITION	30	CAN-228-SL--03-D-UL-525-40K.ies	156.9699	1	49.8
		9	CREE, INC.	E-CF2L21N2Z	LED FLOODLIGHT, METAL HOUSING WITH INTEGRATED HEAT SINK, ROTATABLE MOUNTING ARM ON TOP CONNECTED TO 1" STEM METAL LIGHT SHIELD IN THE FRONT, ONE LED ARRAY WITH WHITE PLASTIC TRIM PLATE, FLAT GLASS LENS.	ONE CREE CXA1512 LED ARRAY	1	E-CF2L0 SERIES.ies	1626.144	1	19.77
		8	CREE, INC.	E-WP6L03N2	CAST BLACK PAINTED FINISHED METAL HOUSING, 1 CIRCUIT BOARD WITH 1 LED, FORMED WHITE PAINTED METAL REFLECTOR BELOW CIRCUIT BOARD WITH 1.75" ROUND APERTURE, CLEAR CONVEX GLASS LENS WITH VERTICAL LINEAR INTERIOR CENTER PRISMS AND HORIZONTAL EXTERIOR FORWARD AND REAR PRISMS INFORMED BLACK PAINTED METAL TRIM PLATE.	ONE WHITE MULTI-CHIP LIGHT EMITTING DIODE (LED), TILTED 27-DEGREES FROM VERTICAL BASE-UP POSITION.	1	E-WP6L SERIES.ies	2749.667	1	35.1
		21	FOSSIL LIGHTING	ECVLXWET-4-3K-3080-AD3	HIGH EFFICIENCY WET LOCATION COVE LUMINAIRE WITH ADJUSTABLE BRACKET SET TO 15 DEGREES TO WASH EXTERIOR WALL, EXTRUDED ALUMINUM HOUSING WITH TOOLED END CAPS.	LED	1	SSL-CVLXWET-3K-30X80.IES	716	1	10.5

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Exc Zone #2	+	4.4 fc	32.3 fc	0.3 fc	107.7:1	14.7:1



**Plan View**  
Scale - 1" = 20'



**Jack in the Box**  
9330 BALBOA AVENUE  
SAN DIEGO, CA 92123  
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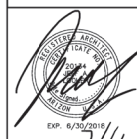
**DATES**  
RELEASE: AUG. 24, 2015  
P.M. UPDATES: N/A  
SUBMITTAL DATE:  
1:  
2:  
3:  
BID:  
CONSTRUCTION:

**REVISIONS**

△	
△	
△	
△	
△	



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8/30/2014

**SITE INFORMATION**  
MK TYPE: MK3CD\_MD2  
JOB #: 1094  
ADDRESS:  
1350 W. BROADWAY RD.  
TEMPE, AZ 85281

DRAWN BY: JLD  
PROJECT #: LC-1022  
SCALE: 1" = 20'-0"

**SITE PHOTOMETRIC PLAN ES1.1**



View from Site (east end) looking South at Denny's

ATTACHMENT 17



View from Site (north end) looking West at Business

ATTACHMENT 18



View from Site (south end) looking West at Convenience Mart



View from Site (west end) looking South at Bank and Bus Shelter

ATTACHMENT 20



View from South (Denny's) looking towards Site

ATTACHMENT 21





View from South (Bank) looking towards Site ATTACHMENT 22



View from West (Local Business) looking towards Site



View from West (Convenience Mart) looking towards Site

## Kingsby II, Obenia

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**From:** David Meyers [REDACTED]  
**Sent:** Saturday, July 23, 2016 4:20 PM  
**To:** Kingsby II, Obenia  
**Subject:** Case # PL160046 Jack In The Box

Good morning Obenia,

I will not be able to attend the Public Hearing concerning the request for a Use Permit for a Jack In The Box at Priest and Broadway, Case # PL 160046. Therefore I am sending you this email to inform you that I am in support of approving this request. That corner has been an eye sore for many years and I think a Jack In The Box will be beneficial to the neighborhood.

As the previous user of that location was a gas station, will there need to be a "clean up" of the soil to remove any fuel that leaked from the underground storage tanks?

Thank you,  
David Meyers  
[REDACTED]  
Tempe, AZ 85281  
[REDACTED]