

**CITY OF TEMPE
DEVELOPMENT REVIEW COMMISSION**

Meeting Date: 12/13/2016
Agenda Item: 5

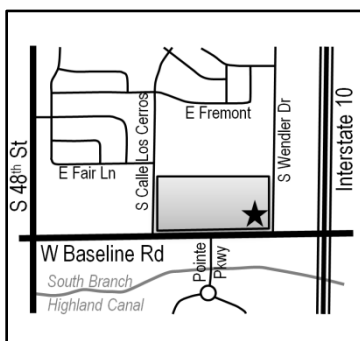
ACTION: Request for a Development Plan Review consisting of a new 3,475 square-foot restaurant with a drive-through and a new 6,880 square-foot fuel service canopy with a 232 square-foot kiosk; a Use Permit Standard to reduce the required side yard setback by 10%; and three (3) Use Permits to allow 1) gas/fuel sales, 2) outdoor retailing, and 3) exceedance of the Parking Maximum (125%) for FRY'S FUEL CENTER 43 (PL160289) located at 5110 South Wendler Drive. The applicant is Sustainability Engineering Group.

FISCAL IMPACT: While this ordinance change does not directly impact revenue, the planned development will result in collection of the standard development fees, calculated according to the approved fee structure at the time of permit issuance.

RECOMMENDATION: Approve, subject to conditions

BACKGROUND INFORMATION: FRY'S FUEL CENTER 43 (PL160289) is a new 9 dispenser Fry's Fuel Center (Lot 3) and a new Burger King fast food restaurant with a drive-through (Lot 2). This new commercial development is proposed for the southeast portion of the existing Fry's Electronics store property, consisting of two (2) lots located on the northwest corner of West Baseline Road and South Wendler Drive. The applicant, Sustainability Engineering Group, is also concurrently processing a subdivision plat application to subdivide the site into three (3) separate lots. The Use Permit Standard request applies to the west side yard building setback for Lot 2. The request includes the following:

1. Use Permit Standard to reduce required side yard setback by 10%.
2. Use Permit to allow gas/fuel sales.
3. Use Permit to allow outdoor retailing.
4. Use Permit to allow exceedance of the Parking Maximum (125%).
5. Development Plan Review including site plan, building elevations, and landscape plan.



Existing Property Owner	Fry's Electronics, Gila LP
Applicant	Sustainable Engineering Group
Developer	Fry's Food Stores of Arizona
Zoning District	PCC-1
Gross site area (Lot 2 / 3)	1.21 / 1.10 acres
Net site area (Lot 2 / 3)	0.94 / 0.85 acres
Total Building Area (Lot 2 / 3)	3,475 s.f. / 232 s.f. (6,880 s.f. fuel canopy)
Lot Coverage (Lot 2 / 3)	8.47% / 19.26% (50% max. allowed)
Building Height (Lot 2 / 3)	25' / 19' (30' maximum allowed)
Building Setbacks (Lot 2 / 3)	72' / 61.85' front, 27.5' / 30' west side, 76.2' / 77.75' east side, 118.3' / 53.6' rear (0', 30', 0', & 30' min.)
Landscape area (Lot 2 / 3)	28.25% / 18.99% (15% min. required)
Vehicle Parking (Lot 2 / 3)	47 / 9 spaces (47 / 2 min. required, 59 / 3 max.)
Bicycle Parking (Lot 2 / 3)	4 / 2 spaces (4 / 2 min. required)

ATTACHMENTS: Development Project File

STAFF CONTACT(S): Lee Jimenez, Senior Planner (480) 350-8486

Department Director: Chad Weaver, Community Development Director
 Legal review by: N/A
 Prepared by: Lee Jimenez, Senior Planner
 Reviewed by: Suparna Dasgupta, Principal Planner

COMMENTS

The project site is located north of West Baseline Road, east of South Calle Los Cerros, and west of South Wendler Drive. The adjacent zoning surrounding the site consists of LID, Light Industrial District to the west; R1-6, Single-Family Residential District to the northwest; R-3R, Multi-Family Residential District and GID, General Industrial District to the north; GID to the east, and CSS, Commercial Shopping & Services District and GID to the south.

Existing entitlements for this property that will remain in effect are: none.

Existing uses on the site include: retail.

This request includes the following:

1. Use Permit Standard to reduce the required side yard setback by 10%.
2. Use Permit to allow gas/fuel sales.
3. Use Permit to allow outdoor retailing.
4. Use Permit to allow exceedance of the Parking Maximum (125%).
5. Development Plan Review which includes: a 3,475 s.f. fast food restaurant with a drive-through and a 6,880 s.f. fuel canopy with a 232 s.f. kiosk and outdoor retailing on a 1.79 net acres.

The applicant is requesting the Development Review Commission take action on items one (1) through five (5) listed above. For further processing, the applicant will need approval for a Subdivision Plat to subdivide the two (2) individual lots into three (3) separate lots.

PRELIMINARY SITE PLAN REVIEW

1. Staff recommended a change in color and material to compliment the existing Fry's Electronics building and introduce modernization of the overall site by incorporating masonry. The applicant accommodated.
2. Staff recommended moving ADA parking space to the north of the fuel canopy and reconfiguring the 90 degree parking along Wendler to parallel parking spaces and match the existing inside parking lot curbing to the north on the proposed Lot 1. The applicant accommodated.
3. Staff recommended including a bus pull-in/pull-out as part the proposed right turn lane along Baseline Road. The applicant accommodated.
4. Staff recommended adjusting the Lot 2 west property line to meet the required side building setback.
5. Staff recommended adding additional parking landscape islands to Lot 2 to allow for additional trees and landscaping. The applicant accommodated.
6. Staff recommended shifting the parking lot screen wall further towards Wendler Drive to allow for additional landscaping. Staff recommended adding additional parking landscape islands to Lot 2 to allow for additional trees and landscaping. The applicant accommodated.
7. Staff recommended an additional variety and configuration of ground coverage on the landscape plan. Staff recommended adding additional parking landscape islands to Lot 2 to allow for additional trees and landscaping. The applicant accommodated.
8. Staff recommended a wider landscape strip to the north of the drive-through on Lot 2 to ensure adequate soil, water, and area for healthy plant growth. Staff also recommended a pedestrian path to be provided through this landscape island to allow for access to parking spaces north of the restaurant as well as employee access to the solid waste and recycling receptacles. The applicant accommodated.

PUBLIC INPUT

- Neighborhood meeting not required.
- Staff received ten (10) emails and four (4) phone calls in opposition to the DPR, Use Permit Standard, and Use Permit requests; all citing concern for increase in traffic and congestion generated by the new development.

PROJECT ANALYSIS

TRAFFIC IMPACT

The applicant provided a Traffic Impact Analysis titled Fry's Electronics Center Addition, revised November 30, 2016. The study evaluated the current and future transportation system within the project study area surrounding the site with and without the proposed addition to the existing Fry's Electronics Center. The analysis determined that this segment of Baseline

Road will provide inadequate level of service with or without this project; thus, the new development shall have minimal impact to the already oversaturated corridor. Baseline Road is a major thoroughfare between the Cities of Tempe and Phoenix, providing access to Interstate 10, Arizona Mills Mall, and other offices which results in large traffic volumes in both AM and PM peak hours. Mitigations and improvements are currently underway through major regional projects such as the construction of the Loop 202 South Mountain Freeway, the preliminary design of the I-10 Near-Term Improvements from 32nd Street to Loop 202 San Tan Freeway, and on-going traffic signal optimization along Baseline Road.

USE PERMIT STANDARD & USE PERMITS

The proposed use requires a Use Permit Standard to reduce the required side yard setback by 10% for Lot 2, and three (3) separate Use Permits to allow 1) gas/fuel sales, 2) outdoor retailing, and 3) exceedance of the Parking Maximum (125%) for Lot 3, all within the PCC-1, Planned Commercial Center Neighborhood District. Lot 2 will consist of a Burger King fast food restaurant with a drive-through and Lot 3 will consist of a Fry's Fuel Center that will provide 9 fuel dispensers with a kiosk and outdoor retailing.

Section 6-308 E Approval criteria for Use Permits and Use Permit Standards (*in italics*):

1. *Any significant increase in vehicular or pedestrian traffic.* The requested uses will have a minimal impact to the existing traffic conditions in the general vicinity. The developer is proposing a combined deceleration lane and bus-pullout to the west of Wendler Drive and east of the new drive-way along Baseline Road.
2. *Nuisance arising from the emission of odor, dust, gas, noise, vibration, smoke, heat or glare at a level exceeding that of ambient conditions.* The outdoor retailing and surplus parking uses provide no nuisances that exceed ambient conditions; and odors associated with fueling operations will be mitigated through the use of Stage I Vapor Recovery techniques.
3. *Contribution to the deterioration of the neighborhood or to the downgrading of property values, the proposed use is not in conflict with the goals objectives or policies for rehabilitation, redevelopment or conservation as set forth in the City's adopted plans or General Plan.* Approval of the proposed uses will not contribute to the deterioration of the neighborhood or to the downgrading of property values nonetheless help support redevelopment goals, objectives, and policies set forth in the City's adopted plans.
4. *Compatibility with existing surrounding structures and uses.* The proposed uses are consistent with and similar to existing developed commercial sites within the surrounding area; five (5) fuel service centers are operating within a half mile radius.
5. *Adequate control of disruptive behavior both inside and outside the premises which may create a nuisance to the surrounding area or general public.* An attendant will process sales transactions from the kiosk daily; only automated credit card transactions at the fuel dispensers will be offered during afterhours. Furthermore, the site will be under constant video surveillance throughout all hours of the day.

The manner of conduct and the buildings for the proposed use will not be detrimental to persons residing or working in the vicinity, to adjacent property, to the neighborhood, or to the public welfare in general, and that the use will be in full conformity to any conditions, requirement or standards prescribed therefore by this code.

DEVELOPMENT PLAN REVIEW

Site Plan

The proposed fuel canopy and kiosk building will be located at the southeast corner of the site on Lot 3 of the preliminary subdivision. The fuel canopy is situated lengthwise along Wendler Drive with the support columns setback 77.75 feet from Wendler Drive and 61.85 feet from Baseline Road. The canopy will shade the entire outdoor display case and approximately 50% of the kiosk. The existing driveway onto Wendler Drive will be shifted 38.62 feet to the north and split evenly between Lots 1 and 2.

The proposed fast food restaurant with drive-through will be located on Lot 2, setback 72 feet from the front property line along Baseline Road and 27.5 feet from the west side property line. The drive-through lane will begin at the rear of the building and curve around to the south within the west side yard setback. A bus pull-in/pull-out will be provided as part of the

proposed deceleration right turn lane along Baseline Road with a new driveway on the southeast corner of Lot 1, the Fry's Electronics parcel directly west of Lot 2. In addition, ADA compliant pedestrian links from Baseline Road and Wendler Drive will be provided.

Building Elevations

The fuel canopy elevations are two-toned painted to match colors of the existing finish of the Fry's Electronics store. The columns will be squared with an 8 foot tall brick wainscot (masonry veneer). The kiosk walls will consist of a stucco finish with a 4 foot tall brick wainscot (masonry veneer).

The restaurant elevations consists of a taupe toned painted stucco finish as the main wall color with a 30 inch tall wainscot provided throughout the perimeter of the building. Building pop outs with composite "artificial wood" siding will be provided at all main entrances, the pickup window, and the northwest corner of the building. In addition to the composite siding, all main entrances will include a portion encased with stack bond patterned ceramic tile. Standing seam metal awnings will be provided on all windows. Portions of the parapet walls will be capped with a red corrugated parapet band top-lit with red LED accent lighting.

Landscape Plan

Approximately 18,595 s.f. of landscape area will be provided on the project site; 28.25% coverage on Lot 2 and 18.99% on Lot 3. Eleven street frontage trees are required and provided along Baseline Road while ten are required and provided along Wendler Drive. The new and reconfigured parking lots require one (1) tree per twelve (12) parking spaces; twenty-three (23) will be provided for a total of thirty (30) new parking spaces. Approximately fifty-five (55) percent ground coverage is provided in the landscape area and zero (0) percent of the landscape area consists of water intensive landscaping.

The planting material palette consists of four (4) species of trees including Swan Hill Fruitless Olive, Desert Museum Palo Brea, Velvet Mesquite, and Chitalpa; four (4) species of ground coverage such as Trailing Lantana Purple, Gold Mound Lantana, Ground Morning Glory, and Myoporum; and eight (8) shrubs/accents species consisting of La Jolla Bougainvillea, Baja Ruellia, Deer Grass, Red Yucca, Valentine Bush, Lynn's Legacy, and Desert Milkweed. All landscaping will be top-dressed with $\frac{3}{4}$ " decomposed granite, 2 inches deep, matching existing site color.

Section 6-306 D Approval criteria for Development Plan Review (*in italics*):

1. *Placement, form, and articulation of buildings and structures provide variety in the streetscape.* The proposed buildings are each unique in aesthetic design, size, and shape through the use of varied materials, colors, and articulation of the building elevations; the site layout provides variety in streetscape.
2. *Building design and orientation, together with landscape, combine to mitigate heat gain/retention while providing shade for energy conservation and human comfort.* The restaurant building will provide shade canopies over each window and entry way while the fuel canopy will provide shade fuel servicing vehicles and approximately 50% of the kiosk. The proposed longer contiguous landscape islands will provide shade trees over paved areas and offer fifty-five (55) percent ground coverage within the landscaping.
3. *Materials are of a superior quality, providing detail appropriate with their location and function while complementing the surroundings.* The proposed materials are of high quality that appropriately ties together the existing Fry's Electronics store design while offering modernization of a commercial site that was last renovated in the late 1990s.
4. *Buildings, structures, and landscape elements are appropriately scaled, relative to the site and surroundings.* The proposed development further creates consistency of the existing site by removing a plethora of rarely if not ever used parking spaces by replacing it with uses that offer lot coverage that otherwise did not exist and increased landscape coverage to the overall site. The restaurant building contains twenty-five (25) foot tower elements to help soften the nineteen (19) foot tall fuel canopy from the surrounding undeveloped and underdeveloped areas.

5. *Large building masses are sufficiently articulated so as to relieve monotony and create a sense of movement, resulting in a well-defined base and top, featuring an enhanced pedestrian experience at and near street level.* The restaurant building provides elements and functions that vary in height and depth and a pronounced entry; and the fuel canopy and kiosk draws and creates movement not only for vehicular traffic but pedestrian traffic as well.
6. *Building facades provide architectural detail and interest overall with visibility at street level (in particular, special treatment of windows, entries and walkways with particular attention to proportionality, scale, materials, rhythm, etc.) while responding to varying climatic and contextual conditions.* The restaurant building consists of quality materials and visual interests of vertical/horizontal elevation facades, window adornments, and varying masses; each opening is treated individually and addresses scale, proportion and rhythm. The fuel canopy form and kiosk colors and materials compliment the anchor store and have close proximity to the street with good visibility and access; the canopy fascia rises slightly above the natural tree canopy which adds another layer of interest between the parking field and street activity and the kiosk windows are designed for surveillance of fuel dispensers and merchandise.
7. *Plans take into account pleasant and convenient access to multi-modal transportation options and support the potential for transit patronage.* Shaded and landscaped public access walkways from Wendler Drive and Baseline Road are provided onto both lots which will offer a comfortable and safe connection for people accessing the site; the existing bus stop will be relocated and placed in an easement with connectivity maintained from sidewalks within the right-of-ways.
8. *Vehicular circulation is designed to minimize conflicts with pedestrian access and circulation, and with surrounding residential uses.* To help mitigate interruptions to traffic flow along Baseline Road, a new deceleration lane/bus pull-out combination will be provided westerly along the major arterial road with a new driveway to allow for access to the new commercial uses without requiring entering the site from the Fry's Electronics storefront drive. Furthermore, the existing drive entrance on Wendler Drive will be relocated slightly to the north to better align with the existing driveway across the street. The design of the parking field provides for safe maneuvering and efficient circulation of vehicles and also conforms to emergency and solid waste/recycling access requirements.
9. *Plans appropriately integrate Crime Prevention Through Environmental Design principles such as territoriality, natural surveillance, access control, activity support, and maintenance.* Both sites are designed to allow employees to scan the exterior of the buildings; and lighting will be incorporated both in the parking field and on the building to provide for improved safety during night time operations.
10. *Landscape accents and provides delineation from parking, buildings, driveways and pathways.* The plant palette will incorporate indigenous and low water plant material with the use of trees and shrubs carefully selected and placed to complement the architecture as well as to blend in with the surrounding environment and adjacent uses.
11. *Signs have design, scale, proportion, location and color compatible with the design, colors, orientation and materials of the building or site on which they are located.* Conceptual signage appears to be appropriately designed and placed; however, all applicable signs will be reviewed and permitted under a separate review.
12. *Lighting is compatible with the proposed building(s) and adjoining buildings and uses, and does not create negative effects.* Lighting will be shielded and directed away from surrounding areas and meet code requirements.

REASONS FOR APPROVAL:

1. The project meets the General Plan Projected Land Use for this site.
2. The project will meet the development standards required under the Zoning and Development Code.
3. The proposed project meets the approval criteria for a Use Permit Standard, Use Permits, and Development Plan Review.

Based on the information provided and the above analysis, staff recommends approval of all requested Use Permit Standard, Use Permits, and Development Plan Review. This request meets the required criteria and will conform to the conditions.

USE PERMIT STANDARD & USE PERMITS CONDITIONS OF APPROVAL:

1. The Use Permit Standard and Use Permits are valid only after a Building Permit has been obtained and the required inspections have been completed and a Final Inspection has been passed. As part of the Building Permit process, on-site storm water retention may be required to be verified or accomplished on this Site.
2. The Use Permit Standard and Use Permits are valid for the plans as submitted within this application. Any additions or modifications may be submitted for review during building plan check process.
3. All required State, County and Municipal permits or licenses shall be obtained or the Use Permit Standard and Use Permits are void.
4. If there are any complaints arising from the Use Permit to allow outdoor retailing that are verified by a consensus of the complaining party and the City Attorney's office, the Use Permit will be reviewed by City staff to determine the need for a public hearing to re-evaluate the appropriateness of the Use Permit, which may result in termination of the Use Permit.

DEVELOPMENT PLAN REVIEW CONDITIONS OF APPROVAL:

General

1. A preliminary and final subdivision plat is required for this development and shall be recorded prior to issuance of building permits.
2. Except as modified by conditions, development shall be in substantial conformance with the site plan received on November 21, 2016, building elevations received on October 14, 2016 (Burger King) and November 29, 2016 (Fry's Fuel Center), and landscape plan received on November 21, 2016. Minor modifications may be reviewed through the plan check process of construction documents; major modifications will require submittal of a Development Plan Review.

Site Plan

3. The site plan is approved as received on November 21, 2016, minor modifications may be reviewed through the plan check process of construction documents; major modifications will require submittal of a Development Plan Review.
4. Provide service yard and mechanical (cooling tower/generator) yard walls that are at least 8'-0" tall as measured from adjacent grade and are at least the height of the equipment being enclosed, whichever is greater. Verify height of equipment and mounting base to ensure that wall height is adequate to fully screen the equipment. Locate electrical service entrance sections inside the service yard, as indicated.
5. Provide gates of steel vertical picket, steel mesh, steel panel or similar construction. Where a gate has a screen function and is completely opaque, provide vision portals for visual surveillance. Provide gates of height that match that of the adjacent enclosure walls. Review gate hardware with Building Safety and Fire staff and design gate to resolve lock and emergency ingress/egress features that may be required.
6. Provide upgraded paving at each driveway consisting of integral colored unit paving. Extend this paving in the driveway from the right-of-way line to 20'-0" on site and from curb to curb at the drive edges. From sidewalk to right-of-way line, extend concrete paving to match sidewalk.
7. Utility equipment boxes for this development shall be finished in a neutral color (subject to utility provider approval) that compliments the coloring of the buildings.
8. Place exterior, freestanding reduced pressure and double check backflow assemblies in pre-manufactured, pre-finished, lockable cages (one assembly per cage). If backflow prevention or similar device is for a 3" or greater water line, delete cage and provide a masonry or concrete screen wall following the requirements of Standard Detail T-214.

Floor Plans

9. Exit Security:
 - a. Provide visual surveillance by means of fire-rated glazing assemblies from stair towers into adjacent circulation spaces.

- b. In instances where an elevator or stair exit is within 21'-0" of an alcove, corner or other potential hiding place, position a refracting mirror to allow someone in the exit doorway to observe in the mirror the area around the corner or within the alcove that is adjacent to the doorway.

10. Public Restroom Security:

- a. Lights in restrooms:
 - 1) Provide 50% night lights
 - 2) Activate by automatic sensors, key or remote control mechanism
- b. Single user restroom door hardware:
 - 3) Provide a key bypass on the exterior side

Building Elevations

11. The materials and colors are approved as presented (received October 14, 2016):

a. Burger King Elevations (received October 14, 2016):

- 1) Wainscot (EB-1G) – Brick Veneer – Evolution Brick – “Sierra Tumbled”
- 2) Exterior Ceramic Tile (ECT-1G) – Graniti – Sensible Stone “Red Natural” stacked bond pattern 12” x 24”
- 3) Main Wall Color (EF-1G) – Stucco – Sherwin Williams “Artistic Taupe” #6030
- 4) Fiber Cement Siding (EF-9G) – Nichiha – “Vintage Wood Cedar”
- 5) Exterior General (EP-2G) – PPG – Sherwin Williams “Artistic Taupe” #6030
- 6) Metal Coping Below Parapet Band (MC-2G) – W.P. Hickman Systems, Inc. – Sherwin Williams “Artistic Taupe” #6030
- 7) Metal Coping at Top of Tower (MC-3G) – W.P. Hickman Systems, Inc. – “Cedar”
- 8) Parapet Band (MP-1G) – Lektron – Red Corrugated Metal
- 9) Metal Canopy (MP-3G) – Custom – Clear Anodized
- 10) Standing Seam Metal Awning (MP-4G) – Firestone Metal Products – Silver Metallic

b. Fry's Fuel Center Elevations (received October 14, 2016):

- 1) Canopy/Canopy Fascia
 - i. ACM Panel (5A) – Match Fry's Electronics color – Sherwin Williams “Safety Red” #4081
 - ii. ACM Panel (5B) – Match Fry's Electronics color – Sherwin Williams “Canvas Tan” #7531
 - iii. 10” Square Canopy Columns (12B) – Match Fry's Electronics color – Sherwin Williams “Canvas Tan” #7531
 - iv. Column Brick Sill, Capstone (6) – Evolution Brick – “Sierra Tumbled”
 - v. Column Wainscot – Thin Brick Panels (E1) – Evolution Brick – “Sierra Tumbled”
 - vi. Island Forms – Stainless Steel
- 2) Kiosk/Kiosk Fascia
 - i. ACM Panel (5A) – Match Fry's Electronics color – Sherwin Williams “Safety Red” #4081
 - ii. ACM Panel (5B) – Match Fry's Electronics color – Sherwin Williams “Canvas Tan” #7531
 - iii. EIFS System (7B) – Painted STO – Match Fry's Electronics color – Sherwin Williams “Canvas Tan” #7531
 - iv. EIFS Wainscot – Brick Sill, Capstone (6) – Evolution Brick – “Sierra Tumbled”
 - v. EIFS Wainscot – Thin Brick Panels (1E) – Evolution Brick – “Sierra Tumbled”
 - vi. 6” Diameter Bollard – Painted – Match Fry's Electronics color Sherwin Williams “Safety Red” #4081

c. Burger King & Fry's Fuel Center Site Plan Details (received November 21, 2016):

- 1) Screen Walls
 - i. Rounded Grout top Stucco – Painted to match existing site wall – Sherwin Williams “Canvas Tan” #7531
 - ii. 8” x 8” x 16” CMU Block – Sonoran Fluted Accent Block – Painted to match existing site wall – Sherwin Williams “Safety Red” #4081
 - iii. Main Wall – Stucco – Painted to match existing site wall – Sherwin Williams “Canvas Tan” #7531
- 2) Burger King Trash Enclosure

- i. 8" x 8" Split Face Concrete Block with Pitched Cap – Sherwin Williams "Artistic Taupe" #6030
 - ii. Pipe Bollard – Painted – Sherwin Williams "Safety Red" #4081
 - iii. 18 GA. Fluted Steel Gate – Painted – Sherwin Williams "Artistic Taupe" #6030
- 3) Fry's Fuel Center Trash Enclosure:
- i. 8" x 8" Split Face Concrete Block with Pitched Cap – Sherwin Williams "Canvas Tan" #7531
 - ii. Pipe Bollard – Painted – Sherwin Williams "Safety Red" #4081
 - iii. 18 GA. Fluted Steel Gate – Painted – Sherwin Williams "Canvas Tan" #7531

Provide primary building colors and materials with a light reflectance value of 75 percent or less. Additions or modifications may be submitted for review during building plan check process.

12. Provide secure roof access from the interior of the building. Do not expose roof access to public view.
13. Conceal roof drainage system within the interior of the building.
14. Incorporate lighting, address signs, and incidental equipment attachments (alarm klaxons, security cameras, etc.) where exposed into the design of the building elevations. Exposed conduit, piping, or related materials is not permitted.
15. Locate the electrical service entrance section (S.E.S.) inside the building or inside a secure yard that is concealed from public view.
16. Upper/lower divided glazing panels in exterior windows at grade level, where lower glass panes are part of a divided pane glass curtain-wall system, shall be permitted only if laminated glazing at these locations is provided.
17. All rear exit doors require a security vision panel. Details to be approved through Building Safety Plan Review.

Lighting

18. This project shall follow requirements of ZDC Part 4, Chapter 8, Lighting, unless otherwise conditioned.
19. Illuminate building entrances from dusk to dawn to assist with visual surveillance at these locations.

Landscape

20. The plant palette is approved as proposed and specified on the landscape plan. Any additions or modifications may be submitted for review during building plan check process.
21. Arterial street trees shall be a minimum of 36" box specimens and a minimum of 1 ½" caliper trunk.
22. Irrigation notes:
 - a. Provide dedicated landscape water meter.
 - b. Provide pipe distribution system of buried rigid (polyvinylchloride), not flexible (polyethylene). Use of schedule 40 PVC mainline and class 315 PVC ½" feeder line is acceptable. Class 200 PVC feeder line may be used for sizes greater than ½". Provide details of water distribution system.
 - c. Locate valve controller in a vandal resistant housing.
 - d. Hardwire power source to controller (a receptacle connection is not allowed).
 - e. Controller valve wire conduit may be exposed if the controller remains in the mechanical yard.
 - f. Repair existing irrigation system (on site or in the adjacent public right of ways) where damaged by work of this project. Provide temporary irrigation to existing landscape on site or in these frontages for period of time that irrigation system is out of repair. Design irrigation so existing plants on site or in frontages is irrigated as part of the reconfigured system at the conclusion of this construction.
23. De-compact soil in planting areas on site and in public right of way and remove construction debris from planting areas prior to landscape installation.
24. Top dress planting areas with a rock or decomposed granite application. Provide rock or decomposed granite of 2"

uniform thickness. Provide pre-emergence weed control application and do not underlay rock or decomposed granite application with plastic.

25. Trees shall be planted a minimum of 16'-0" from any existing or proposed public water or sewer lines. The tree planting separation requirements may be reduced from the waterline upon the installation of a linear root barrier, a minimum of 6'-0" parallel from the waterline, or around the tree. The root barrier shall be a continuous material, a minimum of 0.08" thick, installed 0"-2" above finish grade to a depth of 8'-0" below grade. Final approval subject to determination by the Public Works, Water Utilities Division.

Addressing

26. Provide address sign(s) on the building elevation facing the street to which the property is identified.
 - a. Conform to the following for building address signs:
 - 1) Provide street number only, not the street name
 - 2) Compose of 12" high, individual mount, metal reverse pan channel characters.
 - 3) Self-illuminated or dedicated light source.
 - 4) Coordinate address signs with trees, vines, or other landscaping, to avoid any potential visual obstruction.
 - 5) Do not affix numbers or letters to elevation that might be mistaken for the address.
 - b. Utility meters shall utilize a minimum 1" number height in accordance with the applicable electrical code and utility company standards.

CODE/ORDINANCE REQUIREMENTS:

THE BULLETED ITEMS REFER TO EXISTING CODE OR ORDINANCES THAT PLANNING STAFF OBSERVES ARE PERTINENT TO THIS CASE. THE BULLET ITEMS ARE INCLUDED TO ALERT THE DESIGN TEAM AND ASSIST IN OBTAINING A BUILDING PERMIT AND ARE NOT AN EXHAUSTIVE LIST.

SITE PLAN REVIEW: Verify all comments by the Public Works Department, Community Development Department, and Fire Department given on the Preliminary Site Plan Review. If questions arise related to specific comments, they should be directed to the appropriate department, and any necessary modifications coordinated with all concerned parties, prior to application for building permit. Construction Documents submitted to the Building Safety Division will be reviewed by planning staff to ensure consistency with this Design Review approval prior to issuance of building permits.

DEADLINE: Development plan approval shall be void if the development is not commenced or if an application for a building permit has not been submitted, whichever is applicable, within twelve (12) months after the approval is granted or within the time stipulated by the decision-making body. The period of approval is extended upon the time review limitations set forth for building permit applications, pursuant to Tempe Building Safety Administrative Code, Section 8-104.15. An expiration of the building permit application will result in expiration of the development plan.

STANDARD DETAILS:

- Access to Tempe Supplement to the M.A.G. Uniform Standard Details and Specifications for Public Works Construction, at this link: <http://www.tempe.gov/city-hall/public-works/engineering/standards-details> or purchase book from the Public Works Engineering Division.
- Access to refuse enclosure details DS116 and DS118 and all other Development Services forms at this link: <http://www.tempe.gov/city-hall/community-development/building-safety/applications-forms>. The enclosure details are under Civil Engineering & Right of Way.

BASIS OF BUILDING HEIGHT: Measure height of buildings from top of curb at a point adjacent to the center of the front property line.

WATER CONSERVATION: Under an agreement between the City of Tempe and the State of Arizona, Water Conservation Reports are required for landscape and domestic water use for the non-residential components of this project. Have the landscape architect and mechanical engineer prepare reports and submit them with the construction drawings during the building plan check process. Report example is contained in Office Procedure Directive # 59. Refer to this link: www.tempe.gov/modules/showdocument.aspx?documentid=5327. Contact Public Works Department, Water

Conservation Division, with questions regarding the purpose or content of the water conservation reports.

HISTORIC PRESERVATION: State and federal laws apply to the discovery of features or artifacts during site excavation (typically, the discovery of human or associated funerary remains). Contact the Historic Preservation Officer with general questions. Where a discovery is made, contact the Arizona State Historical Museum for removal and repatriation of the items.

POLICE DEPARTMENT SECURITY REQUIREMENTS:

- Refer to Tempe City Code Section 26-70 Security Plans.
- Design building entrance(s) to maximize visual surveillance of vicinity. Limit height of walls or landscape materials, and design columns or corners to discourage ambush.
- Maintain distances of 20'-0" or greater between a pedestrian path of travel and any hidden area to allow for increased reaction time and safety.
- Follow the design guidelines listed under appendix A of the Zoning and Development Code. In particular, reference the CPTED principal listed under A-II Building Design Guidelines (C) as it relates to the location of pedestrian environments and places of concealment.
- Provide a security vision panel at service and exit doors (except to rarely accessed equipment rooms) with a 3" wide high strength plastic or laminated glass window, located between 43" and 66" from the bottom edge of the door.

TRAFFIC ENGINEERING:

- Provide 8'-0" wide public sidewalk along arterial roadways, or as required by Traffic Engineering Design Criteria and Standard Details.
- Construct driveways in public right of way in conformance with Standard Detail T-320. Alternatively, the installation of driveways with return type curbs as indicated, similar to Standard Detail T-319, requires permission of Public Works, Traffic Engineering.
- Correctly indicate clear vision triangles at both driveways on the site and landscape plans. Identify speed limits for adjacent streets at the site frontages. Begin sight triangle in driveways at point 15'-0" in back of face of curb. Consult Intersection Sight Distance memo, available from Traffic Engineering if needed www.tempe.gov/index.aspx?page=801. Do not locate site furnishings, screen walls or other visual obstructions over 2'-0" tall (except canopy trees are allowed) within each clear vision triangle.

FIRE:

- Clearly define the fire lanes. Ensure that there is at least a 20'-0" horizontal width, and a 14'-0" vertical clearance from the fire lane surface to the underside of tree canopies or overhead structures. Layout and details of fire lanes are subject to Fire Department approval.
- Provide a fire command room(s) on the ground floor of the building(s). Verify size and location with Fire Department.

CIVIL ENGINEERING:

- An Encroachment Permit or License Agreement must be obtained from the City for any projections into the right of way or crossing of a public utility easement, prior to submittal of construction documents for building permit.
- Maintain a minimum clear distance of twenty-four (24) feet between the sidewalk level and any overhead structure.
- Underground utilities except high-voltage transmission line unless project inserts a structure under the transmission line.
- Coordinate site layout with Utility provider(s) to provide adequate access easement(s).
- Clearly indicate property lines, the dimensional relation of the buildings to the property lines and the separation of the buildings from each other.
- Verify location of any easements, or property restrictions, to ensure no conflict exists with the site layout or foundation design.
- 100 year onsite retention required for this property, coordinate design with requirements of the Engineering Department.

SOLID WASTE SERVICES:

- Enclosure indicated on site plan is exclusively for refuse. Construct walls, pad and bollards in conformance with standard detail DS-116.
- Contact Public Works Sanitation Division to verify that vehicle maneuvering and access to the enclosure is

adequate. Refuse staging, collection and circulation must be on site; no backing onto or off of streets, alleys or paths of circulation.

- Develop strategy for recycling collection and pick-up from site with Sanitation. Roll-outs may be allowed for recycled materials. Coordinate storage area for recycling containers with overall site and landscape layout.
- Gates for refuse enclosure(s) are not required, unless visible from the street. If gates are provided, the property manager must arrange for gates to be open from 6:00am to 4:30pm on collection days.

PARKING SPACES:

- Verify conformance of accessible vehicle parking to the Americans with Disabilities Act and the Code of Federal Regulations Implementing the Act. Refer to Building Safety ADA Accessible Parking Spaces Marking/Signage on Private Development details.
- At parking areas, provide demarcated accessible aisle for disabled parking.
- Distribute bike parking areas nearest to main entrance(s). Provide parking loop/rack per standard detail T-578. Provide 2'-0" by 6'-0" individual bicycle parking spaces. One loop may be used to separate two bike parking spaces. Provide clearance between bike spaces and adjacent walkway to allow bike maneuvering in and out of space without interfering with pedestrians, landscape materials or vehicles nearby.

ZONING AND DEVELOPMENT CODE: Specific requirements of the **Zoning and Development Code (ZDC)** are not listed as a condition of approval, but will apply to any application. To avoid unnecessary review time and reduce the potential for multiple plan check submittals, become familiar with the ZDC. Access the ZDC through www.tempe.gov/zoning or purchase from Community Development.

LIGHTING:

- Design site security light in accordance with requirements of ZDC Part 4 Chapter 8 (Lighting) and ZDC Appendix E (Photometric Plan).
- Indicate the location of all exterior light fixtures on the site, landscape and photometric plans. Avoid conflicts between lights and trees or other site features in order to maintain illumination levels for exterior lighting.

LANDSCAPE: Prepare an existing plant inventory for the site and adjacent street frontages. The inventory may be prepared by the Landscape Architect or a plant salvage specialist. Note original locations and species of native and "protected" trees and other plants on site. Move, preserve in place, or demolish native or "protected" trees and plants per State of Arizona Agricultural Department standards. File Notice of Intent to Clear Land with the Agricultural Department. Notice of Intent to Clear Land form is available at www.azda.gov/ESD/nativeplants.htm. Follow the link to "applications to move a native plant" to "notice of intent to clear land".

SIGNS: Separate plan review process is required for signs in accordance with requirements of ZDC Part 4 Chapter 9 (Signs). Refer to www.tempe.gov/signs.

DUST CONTROL: Any operation capable of generating dust, include, but not limited to, land clearing, earth moving, excavating, construction, demolition and other similar operations, that disturbs 0.10 acres (4,356 square feet) or more shall require a dust control permit from the Maricopa County Air Quality Department (MCAQD). Contact MCAQD at <http://www.maricopa.gov/aq/>.

HISTORY & FACTS:

November 29, 1979 City Council approved a rezoning from R1-6 to PCC-1 and General and Final Plan of Development for a Holiday Inn and Office complex consisting of 167,675 s.f. on 20 acres located at 2300 West Baseline Road.

October 28, 1993 City Council approved the request for TANDY CORPORATION (SGF-93.72) for an Amended General and Final Plan of Development for The Incredible Universe consisting of 184,204 s.f. on 17.35 net acres located at 2300 West Baseline Road including the following Variances:

- a. Increase maximum allowed lighting height from 25' to 35' for poles more than 50' from adjacent residential zoning districts.
- b. Increase maximum allowed building height from 30' to 55' for the tower element at the

entrance.

- c. Increase the maximum allowed height from 35' to 75' for one roof-mounted flagpole, and the maximum number of flags flown on site from 3 to 7.

November 4, 1993

Design Review Board approved the request for building elevations, site plan and landscape plan for MONTANA (THE INCREDIBLE UNIVERSE) located at 2300 West Baseline Road in the PCC-1, Planned Commercial Center District.

ZONING AND DEVELOPMENT CODE REFERENCE:

Section 4-201A, Use Permit Standard

Section 6-306, Development Plan Review

Section 6-308, Use Permit

DEVELOPMENT PROJECT FILE

for

FRY'S FUEL CENTER 43
(PL160289)

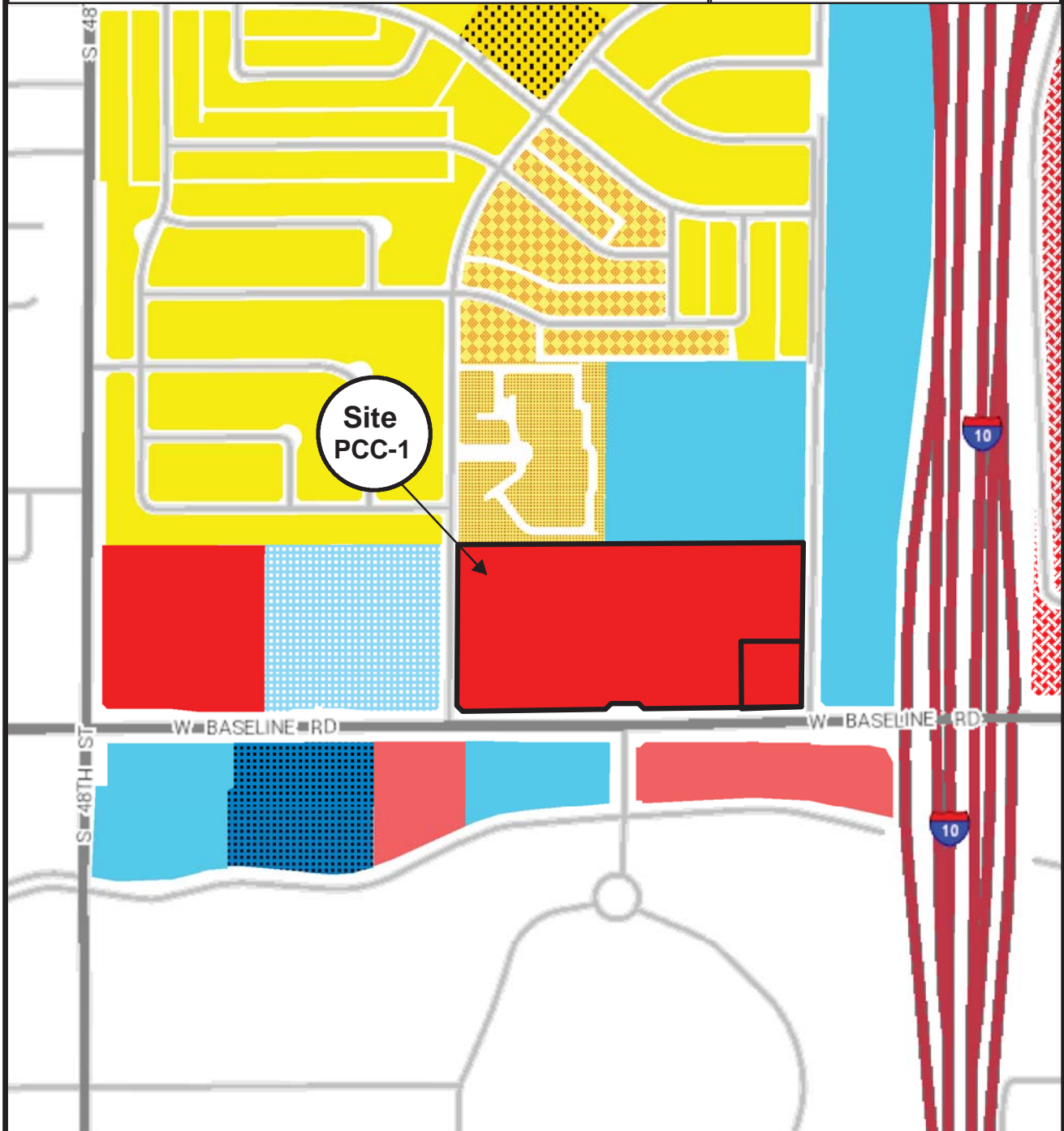
ATTACHMENTS:

1. Location Map
2. Aerial
- 3-4. Gas/Fuel Sales Use Permit Letter of Explanation
- 5-6. Outdoor Retail Use Permit Letter of Explanation
- 7-8. Parking Maximum Use Permit Letter of Explanation
- 9-10. Use Permit Standard Letter of Explanation
- 11-14. Development Plan Review Letter of Explanation
15. Overall Site Plan
16. Enlarged Site Plan
17. Site Plan Details
18. Refuse Plan
19. Landscape Plan
- 20-21. Burger King Black & White Elevations
22. Burger King Building Sections
- 23-24. Burger King Color Elevations
25. Burger King Materials Sample Board
26. Burger King Parapet Band Example

- 27. Burger King Floor Plan
- 28. Fry's Fuel Center Black & White Elevations
- 29-30. Fry's Fuel Center Building Sections
- 31. Fry's Fuel Center Color Elevations
- 32. Fry's Fuel Center Materials Sample Board
- 33-34. Fry's Fuel Center Floor Plan
- 35-38. Traffic Impact Analysis Executive Summary
- 39-41. Existing Conditions Photos
- 42-53. Public Input

FRY'S FUEL CENTER 43

PL160289



Zoning

- CSS
- PCC-1
- MU-3
- RCC
- LID
- GID
- R1-4
- R1-6
- R-2
- R-3R



Location Map

FRY'S FUEL CENTER 43

PL160289



Maricopa County Assessor's Office

Aerials2016

Aerials2016



Aerial Map



Rev: October 26, 2016

City of Tempe – Community Development Department
31 E. 5th Street, Garden Level
Tempe, AZ 85281

RE: Letter of Explanation
Fry’s Fuel Center 43
5110 S. Wendler Drive
RE: Case No. SPR16058
Use Permit – Allow Fuel Center in PCC-1 District

To whom it may concern,

On behalf of Fry’s Food and Drug, we are requesting a Use Permit to allow a new fuel center within the existing Fry’s Electronics parking area. Fry’s Electronics is Parcel 1 of the development (APN 123-22-006E).

The fuel center includes a kiosk, canopy and 9 dispenser fuel area with two underground storage tanks proposed on Parcel 3. This parcel is existing (APN 123-22-006C), however it is proposed to be adjusted as required to accommodate the new use. Parcel 2 is a new proposed lot and is conceptualized to be a 3,475 sq. ft. Burger King restaurant with drive-through.

The site is currently zoned PCC-1 and the proposed uses are allowed with an approved Use Permit.

Approval Criteria (RE: Section 6-308E) A use permit shall be granted only upon a finding by the decision-making body, that the use covered by the permit, the manner of its conduct, and any building which is involved, will not be detrimental to persons residing or working in the vicinity, to adjacent property, to the neighborhood, or to the public welfare in general, and that the use will be in full conformity to any conditions, requirements, or standards prescribed therefore by this Code. In arriving at the above determination, the following factors shall be considered, but not be limited to:

1. Any significant increase in vehicular or pedestrian traffic.

Response: No unusual traffic volumes or characteristics are anticipated and the adjacent arterials are sufficient to handle all traffic demands commonly associated with a fueling facility.

2. Nuisance arising from the emission of odor, dust, gas, noise, vibration, smoke, heat, or glare at a level exceeding that of ambient conditions.



Response: This project will provide no unusual or detrimental impacts on public health, safety, or welfare. Noise will be minimal, which is consistent with the use. No smoke, dust, vibration or odor issues are anticipated for this use. Odors associated with fueling operations are mitigated through the use of Stage I Vapor Recovery techniques.

3. Contribution to the deterioration of the neighborhood or to the downgrading of property values which, is in conflict with the goals, objectives or policies for rehabilitation, redevelopment or conservation as set forth in the city's adopted plans or General Plan.

Response: Approval of the proposed project will advance the goals and objectives of, and is consistent with, the policies of the General Plan and any other applicable City plan and/or policies.

4. Compatibility with existing surrounding structures and uses.

Response: This project is a typical fuel center with a small kiosk and associated canopy, tanks, and dispensers. The use and operation is consistent with, and similar to, existing similarly developed sites in the surrounding area.

5. Adequate control of disruptive behavior both inside and outside the premises, which may create a nuisance to the surrounding area or general public.

Response: This project is located in a well-developed area of the City. All public services, facilities, and infrastructure are available to serve this project.



Rev: October 26, 2016

City of Tempe – Community Development Department
31 E. 5th Street, Garden Level
Tempe, AZ 85281

RE: Letter of Explanation
Fry's Fuel Center 43
5110 S. Wendler Drive
RE: Case No. SPR16058
Use Permit – Allow Outdoor Retail in PCC-1 District

To whom it may concern,

On behalf of Fry's Food and Drug, we are requesting a Use Permit to allow outdoor Retail sales in a PCC-1 district for a new fuel center within the existing Fry's Electronics parking area. Fry's Electronics is Parcel 1 of the development (APN 123-22-006E).

The fuel center includes a kiosk, canopy and 9 dispenser fuel area with two underground storage tanks and exterior merchandising units proposed on Parcel 3. This parcel is existing (APN 123-22-006C), however it is proposed to be adjusted as required to accommodate the new use. Parcel 2 is a new proposed lot and is conceptualized to be a 3,475 sq. ft. Burger King restaurant with drive-through.

The site is currently zoned PCC-1 and the proposed uses are allowed with an approved Use Permit. The use permit requested for outdoor retail is limited to small, lockable, retail cabinets and coolers located adjacent to the proposed kiosk for the convenience of the fuel station patrons.

Approval Criteria (RE: Section 6-308E) A use permit shall be granted only upon a finding by the decision-making body, that the use covered by the permit, the manner of its conduct, and any building which is involved, will not be detrimental to persons residing or working in the vicinity, to adjacent property, to the neighborhood, or to the public welfare in general, and that the use will be in full conformity to any conditions, requirements, or standards prescribed therefore by this Code. In arriving at the above determination, the following factors shall be considered, but not be limited to:

1. Any significant increase in vehicular or pedestrian traffic.

Response: No unusual traffic volumes or characteristics are anticipated and the adjacent arterials are sufficient to handle all traffic demands commonly associated with a fueling



facility. The proposed outdoor merchandising is provided as a convenience to the patrons who come for fuel and is not typically associated as a destination for the retail products available.

2. Nuisance arising from the emission of odor, dust, gas, noise, vibration, smoke, heat, or glare at a level exceeding that of ambient conditions.

Response: This project will provide no unusual or detrimental impacts on public health, safety, or welfare. Noise will be minimal, which is consistent with the use. No smoke, dust, vibration or odor issues are anticipated for this use. Odors associated with fueling operations are mitigated through the use of Stage I Vapor Recovery techniques.

3. Contribution to the deterioration of the neighborhood or to the downgrading of property values which, is in conflict with the goals, objectives or policies for rehabilitation, redevelopment or conservation as set forth in the city's adopted plans or General Plan.

Response: Approval of the proposed project will advance the goals and objectives of, and is consistent with, the policies of the General Plan and any other applicable City plan and/or policies.

4. Compatibility with existing surrounding structures and uses.

Response: This project is a typical fuel center with a small kiosk and associated canopy, tanks, and dispensers. The use and operation is consistent with, and similar to, existing similarly developed sites in the surrounding area.

5. Adequate control of disruptive behavior both inside and outside the premises, which may create a nuisance to the surrounding area or general public.

Response: This project is located in a well-developed area of the City. All public services, facilities, and infrastructure are available to serve this project.



Rev: November 15, 2016

City of Tempe – Community Development Department
31 E. 5th Street, Garden Level
Tempe, AZ 85281

RE: Letter of Explanation

Fry’s Fuel Center 43
5110 S. Wendler Drive

RE: Case No. SPR16058

Use Permit: Allow number of Parking spaces for Lot 3 to exceed 125% of the minimum required.

To whom it may concern,

On behalf of Fry’s Food and Drug and Burger King, we are requesting a Use Permit to allow for the number of parking spaces to exceed 125% of the minimum required by the City of Tempe zoning ordinance for a proposed new fuel center and restaurant/retail development within the existing Fry’s Electronics parking area. Fry’s Electronics is Parcel 1 of the development (APN 123-22-006E).

The fuel center includes a kiosk, canopy and 9 dispenser fuel area with two underground storage tanks proposed on Parcel 3. This parcel is existing (APN 123-22-006C), however it is proposed to be adjusted as required to accommodate the new use. Parcel 2 is a new proposed lot and is conceptualized to be a 3,475 sq. ft. Burger King restaurant with drive-through.

The site is currently zoned PCC-1 and the proposed uses are allowed with an approved Use Permit. Parking calculations for each lot are as follows:

	<u>Required Spaces</u>	<u>Proposed Spaces</u>	<u>Existing Spaces</u>	<u>% Excess</u>
LOT 1 Existing:	663 per “Final Plan of Development”		1,179	77.8%
LOT 1 Proposed:	663	972		46.6%
LOT 2 Proposed:	47	47		0.0%
LOT 3 Proposed:	2	9		350.0%
OVERALL SITE:	712	1,028		44.4%

Approval Criteria (RE: Section 6-308E) A use permit shall be granted only upon a finding by the decision-making body, that the use covered by the permit, the manner of its conduct, and any building which is involved, will not be detrimental to persons residing or working in the vicinity, to adjacent property, to the neighborhood, or to the public welfare in general, and that the use will be in full conformity to any conditions, requirements, or standards prescribed therefore by this Code. In arriving at the above determination, the following factors shall be considered, but not be limited to:

1. Any significant increase in vehicular or pedestrian traffic.



Response: No unusual traffic volumes or characteristics are anticipated and the adjacent arterials are sufficient to handle all traffic demands commonly associated with fast food restaurants and fueling facilities. The parking proposed for the new uses is integrated within the existing parking field and maintains safe circulation for vehicles and pedestrians. The overall parking has been reduced from a 80.4% increase from code requirements to a 44.4% increase.

2. Nuisance arising from the emission of odor, dust, gas, noise, vibration, smoke, heat, or glare at a level exceeding that of ambient conditions.

Response: This project will provide no unusual or detrimental impacts on public health, safety, or welfare. Noise will be minimal, which is consistent with the use. No smoke, dust, vibration or odor issues are anticipated for this use. Odors associated with fueling operations are mitigated through the use of Stage I Vapor Recovery techniques.

3. Contribution to the deterioration of the neighborhood or to the downgrading of property values which, is in conflict with the goals, objectives or policies for rehabilitation, redevelopment or conservation as set forth in the city's adopted plans or General Plan.

Response: Approval of the proposed project will advance the goals and objectives of, and is consistent with, the policies of the General Plan and any other applicable City plan and/or policies.

4. Compatibility with existing surrounding structures and uses.

Response: This project is a typical fuel center with a small kiosk and associated canopy, tanks, and dispensers and fast food restaurant. The use and operation is consistent with, and similar to, existing similarly developed sites in the surrounding area. This project is proposed within an existing commercial site.

5. Adequate control of disruptive behavior both inside and outside the premises, which may create a nuisance to the surrounding area or general public.

Response: This project is located in a well-developed area of the City. All public services, facilities, and infrastructure are available to serve this project.



November 10, 2016

City of Tempe – Community Development Department
31 E. 5th Street, Garden Level
Tempe, AZ 85281

RE: Letter of Explanation

Fry’s Fuel Center 43 & Burger King
5110 S. Wendler Drive

RE: Case No. SPR16058

Use Permit: Allow 10% building setback reduction.

To whom it may concern,

On behalf of Fry’s Food and Drug and Burger King, we are requesting a Use Permit to allow for a building setback reduction by 10% from the required City of Tempe zoning ordinance for a proposed restaurant/retail development within lot 2 of the proposed development.

The proposed Burger King in Lot 2, as shown on the attached overall site plan consists of a 3475 SF building with a drive through.

The site is currently zoned PCC-1 and the proposed uses are allowed with an approved Use Permit. The request is to reduce the required 30 feet side setback on the proposed Lot 2 to a minimum 27 feet setback. The reduced setback will not adversely affect the adjoining property or the surrounding area.

Approval Criteria (RE: Section 6-308E) A use permit shall be granted only upon a finding by the decision-making body, that the use covered by the permit, the manner of its conduct, and any building which is involved, will not be detrimental to persons residing or working in the vicinity, to adjacent property, to the neighborhood, or to the public welfare in general, and that the use will be in full conformity to any conditions, requirements, or standards prescribed therefore by this Code. In arriving at the above determination, the following factors shall be considered, but not be limited to:

1. Any significant increase in vehicular or pedestrian traffic.

Response: No unusual traffic volumes or characteristics are anticipated and the adjacent arterials are sufficient to handle all traffic demands commonly associated with fast food restaurants. The reduced setback will not affect traffic or circulation on adjoining Fry’s electronics parking field

2. Nuisance arising from the emission of odor, dust, gas, noise, vibration, smoke, heat, or glare at a level exceeding that of ambient conditions.

Response: This project will cause no unusual or detrimental impacts on public health, safety, or welfare. Noise will be minimal, which is consistent with the use. No smoke, dust, vibration or odor

8280 E. Gelding Dr., Suite 101

Attachment 9AZ 85260



issues are anticipated for this use. A reduced building setback will not have a negative impact on these considerations.

3. Contribution to the deterioration of the neighborhood or to the downgrading of property values which, is in conflict with the goals, objectives or policies for rehabilitation, redevelopment or conservation as set forth in the city's adopted plans or General Plan.

Response: Approval of the proposed project will advance the goals and objectives of, and is consistent with, the policies of the General Plan and any other applicable City plan and/or policies.

4. Compatibility with existing surrounding structures and uses.

Response: This project is a typical fast food restaurant. The use and operation is consistent with, and like, existing similarly developed sites in the surrounding area. This project is proposed within an existing commercial site and provides approximately 200' separation between the proposed Burger King and the existing Fry's Electronics building.

5. Adequate control of disruptive behavior both inside and outside the premises, which may create a nuisance to the surrounding area or general public.

Response: This project is located in a well-developed area of the City. All public services, facilities, and infrastructure are available to serve this project. The requested building setback modification does not impact this concern.



Rev: October 26, 2016

City of Tempe – Community Development Department
31 E. 5th Street, Garden Level
Tempe, AZ 85281

RE: Fry’s Fuel Center 43 & Burger King
5110 S. Wendler Drive
RE: Case No. SPR16058
Development Plan Review
Letter of Explanation

Demonstrate approval criteria in Section 6-306D

To whom it may concern,

On behalf of Fry’s Food and Drug and Burger King, we are requesting Development Plan Approval of a new fuel center and restaurant/retail development within the existing Fry’s Electronics parking area. Fry’s Electronics is Parcel 1 of the development (APN 123-22-006E).

The fuel center includes a kiosk, canopy and 9 dispenser fuel area with two underground storage tanks proposed on Parcel 3. This parcel is existing (APN 123-22-006C), however it is proposed to be adjusted as required to accommodate the new use. Parcel 2 is a new proposed lot and is conceptualized to be a 3,475 sq. ft. Burger King restaurant with drive-through.

The site is currently zoned PCC-1 and the proposed uses are allowed with an approved Use Permit.

Approval Criteria (RE: Section 6-306D) - Development plan approval shall be based on consideration of the following criteria:

1. Placement, form, and articulation of buildings and structures provide variety in the streetscape;

Response: Through the use of varied materials, colors, and articulation of the building elevations, the proposed buildings are each unique in aesthetic design, size, and shape and present a variety of forms to those passing by the site.

2. Building design and orientation, together with landscape, combine to mitigate heat gain/retention while providing shade for energy conservation and human comfort;



Response: The proposed development increases the pervious area compared to the existing single use as a parking field. Longer contiguous landscape islands proposed in a north/south configuration will help create additional shade across the paved areas aiding in reduced heat gain from the site.

3. Materials are of a superior quality, providing detail appropriate with their location and function while complementing the surroundings;

Response: Material boards are provided indicating detail and colors associated with the individual uses.

4. Buildings, structures, and landscape elements are appropriately scaled, relative to the site and surroundings;

Response: The design of the buildings takes queues from the building design standards, ensuring compatibility not only with the standards but also with the surrounding neighborhood. Roof-top mechanical equipment is screened from public view.

5. Large building masses are sufficiently articulated so as to relieve monotony and create a sense of movement, resulting in a well-defined base and top, featuring an enhanced pedestrian experience at and near street level;

Response: Regarding the Burger King development, the building mass is well expressed, not only with different materials but the building elements and functions receiving their own varying heights and depths. The entry mass is quite pronounced being higher than adjacent forms and of quality material. The thin canopy/shade and small kiosk/convenience items inherently draws and creates movement not only for vehicular traffic but also pedestrians.

6. Building facades provide architectural detail and interest overall with visibility at street level (in particular, special treatment of windows, entries and walkways with particular attention to proportionality, scale, materials, rhythm, etc.) while responding to varying climatic and contextual conditions; City of Tempe, AZ 6-18 Amended Zoning and Development Code [October 22, 2009] 6-300 Applications

Response: The Burger King brand is well represented with quality materials and visual interest of vertical/horizontal elevation facades, window adornments and varying masses. Each opening is treated individually and addresses scale, proportion and rhythm. The canopy form and kiosk colors and materials compliment the anchor store and have relatively close proximity to the street with good visibility and access. The canopy fascia at 15'-6" height rises slightly above the natural tree canopy which adds another layer of interest between the parking field and street activity. The kiosk windows are designed for direct supervision of fuel dispenser/merchandise activities, also taking consideration of the climate with insulated,

appropriate tint and low solar heat gain glazing units. They are also bullet resistant for security protection.

7. Plans take into account pleasant and convenient access to multi-modal transportation options and support the potential for transit patronage;

Response: Pedestrian connectivity for the surrounding residential developments are improved with proposed public access walks from both Wendler Drive and Baseline Road, as-well-as internal connectivity from the public walks through the parking field to the buildings. These pedestrian connections will be enhanced with shade/landscaping in some locations to provide a comfortable, and safe connection point for people arriving at the site. The existing bus stop is being relocated and placed in an easement, with connectivity maintained from sidewalks within the Right-of-Ways.

8. Vehicular circulation is designed to minimize conflicts with pedestrian access and circulation, and with surrounding residential uses;

Response: A new access drive is proposed from Baseline Road to allow access to the new retail uses without having to enter the site at the Fry’s Electronics store front drive. This new access will extend the existing right turn deceleration lane easterly along Baseline Road. The deceleration lane extension will help to mitigate interruptions to traffic flow along the arterial road for the anticipated traffic trips expected with this project. The design of the parking field provides for safe maneuvering and efficient circulation of vehicles and conforms to emergency access requirements. The existing drive entrance on Wendler Road is being relocated slightly north to better align with the existing drive across the street.

9. Plans appropriately integrate Crime Prevention through Environmental Design principles such as territoriality, natural surveillance, access control, activity support, and maintenance.

Response: The new uses have visibility for employee’s to scan the exterior of the buildings. Lighting will be incorporated, both in the parking field and on the building to provide improved safety during night time operations.

10. Landscape accents and provides delineation from parking, buildings, driveways and pathways

Response: The plant palette will incorporate indigenous and low water use plant material. Trees and shrubs will be carefully selected and designed to complement the architecture, blend with the surrounding environment and relate to the adjacent uses.

11. Signs have design, scale, proportion, location and color compatible with the design, colors, orientation and materials of the building or site on which they are located.



Response: Signs are proposed in accordance with City codes and amended as requested by city staff.

12. Lighting is compatible with the proposed building(s) and adjoining buildings and uses, and does not create negative effects.

Response: Lighting will be shielded and directed away from surrounding areas and meet code requirements.

CONCLUSION

The proposed Development / Site Plan Approval requests are consistent with the vision of the City of Tempe providing goods, services, and sales tax revenues to the residents of the city. The proposed retail development will provide much needed commercial services to the area residents and travelers along the I-10 and Baseline Roads. The property’s site plan has been designed to conform with all development standards of the Tempe Zoning Ordinance while providing adequate buffering to adjacent residents.

PROJECT ADDRESS
5110 S. WENDLER DRIVE, TEMPE, AZ 85282

LEGAL DESCRIPTION
A REPART OF THE INCREDIBLE UNIVERSE 2300 WEST BASELINE ROAD, AS RECORDED IN BOOK 3711 OF MAPS, PAGE 05, MARICOPA COUNTY RECORDS, ALSO BEING A PART OF THE SOUTHWEST QUARTER OF SECTION 32, TOWNSHIP 1 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

PROJECT DESCRIPTION

THE PROJECT IS A PROPOSED 9 DISPENSER FRY'S FUEL CENTER AND A FAST FOOD PAD. EXISTING LOT CONFIGURATIONS TO BE REVISED TO SUIT PROJECT NEEDS.

OWNER:
FRY'S ELECTRONICS
GILA LP
P.O. BOX 7458
MENLO PARK, CA 94026

ENGINEER
SUSTAINABILITY ENGINEERING GROUP
8280 E. GELDING DR., SUITE 101
SCOTTSDALE, ARIZONA 85250
PHONE 480-588-7226
ATTN. ALI FAKH, P.E. #45621

DEVELOPER
FRY'S FOOD STORES OF ARIZONA
500 S. 90TH AVE.
TOLLESON, ARIZONA 85353
623-907-7188

ZONING DATA
CURRENT ZONING PCC-1
PROPOSED ZONING PCC-1 (UNCHANGED)

PROJECT DATA

LOT 1 BUILDING SETBACK:	REQUIRED	EXISTING
SOUTH	50'	70.97'
EAST	50'	654.45'
NORTH	50'	81'
WEST	50'	157.2'
LOT 2 BUILDING SETBACK:	REQUIRED	PROPOSED
SIDE(EAST)	30'	76.2'
SIDE(WEST)	30'	27.5' (3' MAX REDUCTION WITH USE PERMIT STANDARD)
LOT 3 BUILDING SETBACK:	REQUIRED	PROPOSED
SIDE(EAST)	30'	77.75*
SIDE(WEST)	30'	30'
REAR	30'	53.6*
FRONT	0'	61.85*

* SETBACK MEASURED FROM CANOPY COLUMNS

OVERALL SITE PLAN

FRY'S ELECTRONICS - FRY'S #43 FUEL CENTER

5110 S. WENDLER DRIVE, TEMPE, AZ 85282

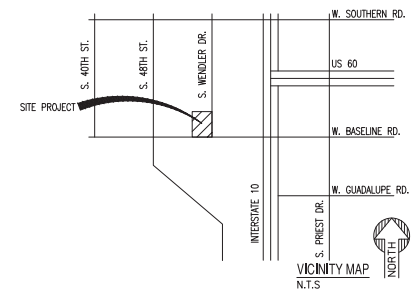
LOT COVERAGE (MAX 50% - PCC-1):
LOT 1 (667,952 SF): 156,263 / 667,952 = 23.38%
LOT 2 (41,004 SF): 3,475 / 41,004 = 8.47%
LOT 3 (36,918 SF): 7,112 / 36,918 = 19.26%

LANDSCAPE AREA (15% MIN.):
LOT 1 (667,952 SF): 108,264 / 667,952 = 16.21%
LOT 2 (41,004 SF): 11,583 / 41,004 = 28.25%
LOT 3 (36,918 SF): 7,012 / 36,918 = 18.99%

PROPOSED BUILDING HEIGHT (30' MAX.):
LOT 2: 25' (BUILDING)
LOT 3: 19' (CANOPY)

LOT AREAS:
LOT 1
NET: 667,952 SF
GROSS: 754,542 SF
LOT 2
NET: 41,004 SF
GROSS: 52,855 SF
LOT 3
NET: 36,918 SF
GROSS: 47,969 SF

DEVELOPMENT STANDARDS:
LOT 1 EXISTING GOOD STANDARDS
LOT 2 SECTION 4-203 OF THE ZDC
LOT 3 SECTION 4-203 OF THE ZDC



SUSTAINABILITY ENGINEERING GROUP
8800 E. GELDING DR. SUITE 101, SCOTTSDALE, ARIZONA 85260
WWW.AZSEG.COM TEL: 480.588.7226



FRY'S FOOD STORES OF ARIZONA
500 South 90th Avenue, Suite A
Tolleson, AZ 85353
Phone: 602.707.1984
Fax: 602.907.1974

The Kroger Co.
1000 E. East St. Suite A
Tempe, AZ 85282
Phone: 602.715.9197
Fax: 602.715.5995



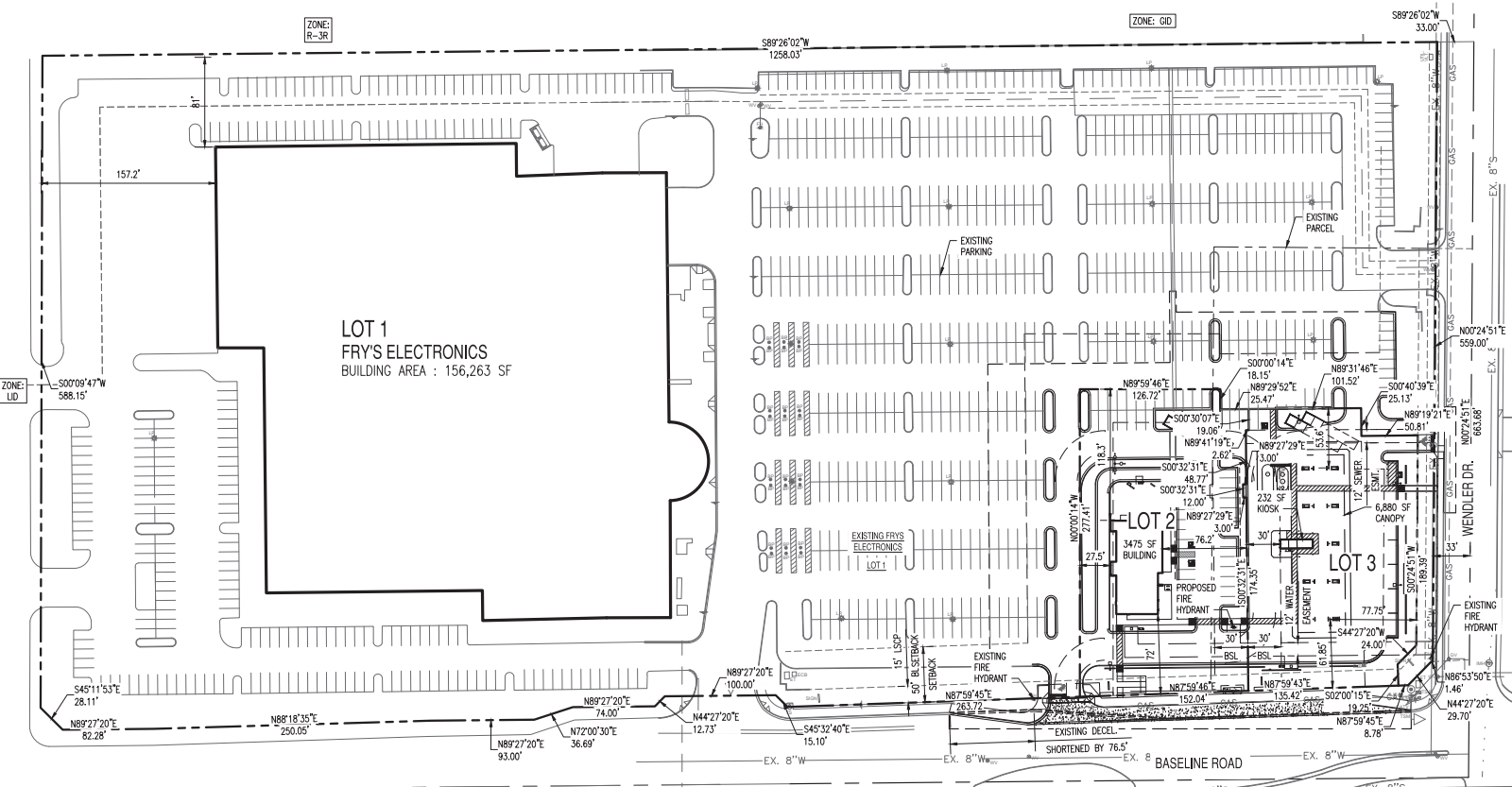
PROJECT: FRY'S #43 FUEL CENTER
LOCATION: 5110 S WENDLER DR TEMPE, AZ 85282

DATE: 11/21/2016
ISSUED FOR: CUP/SITE PLAN

REVISION NO.:	DATE:

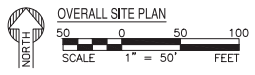
JOB NO.: CD160143
SHEET TITLE: OVERALL SITE PLAN

SHEET NO.: C2.00



PER GENERAL AND FINAL PLAN OF DEVELOPMENT, DATED DEC 9, 1993: 663 PARKING REQUIRED

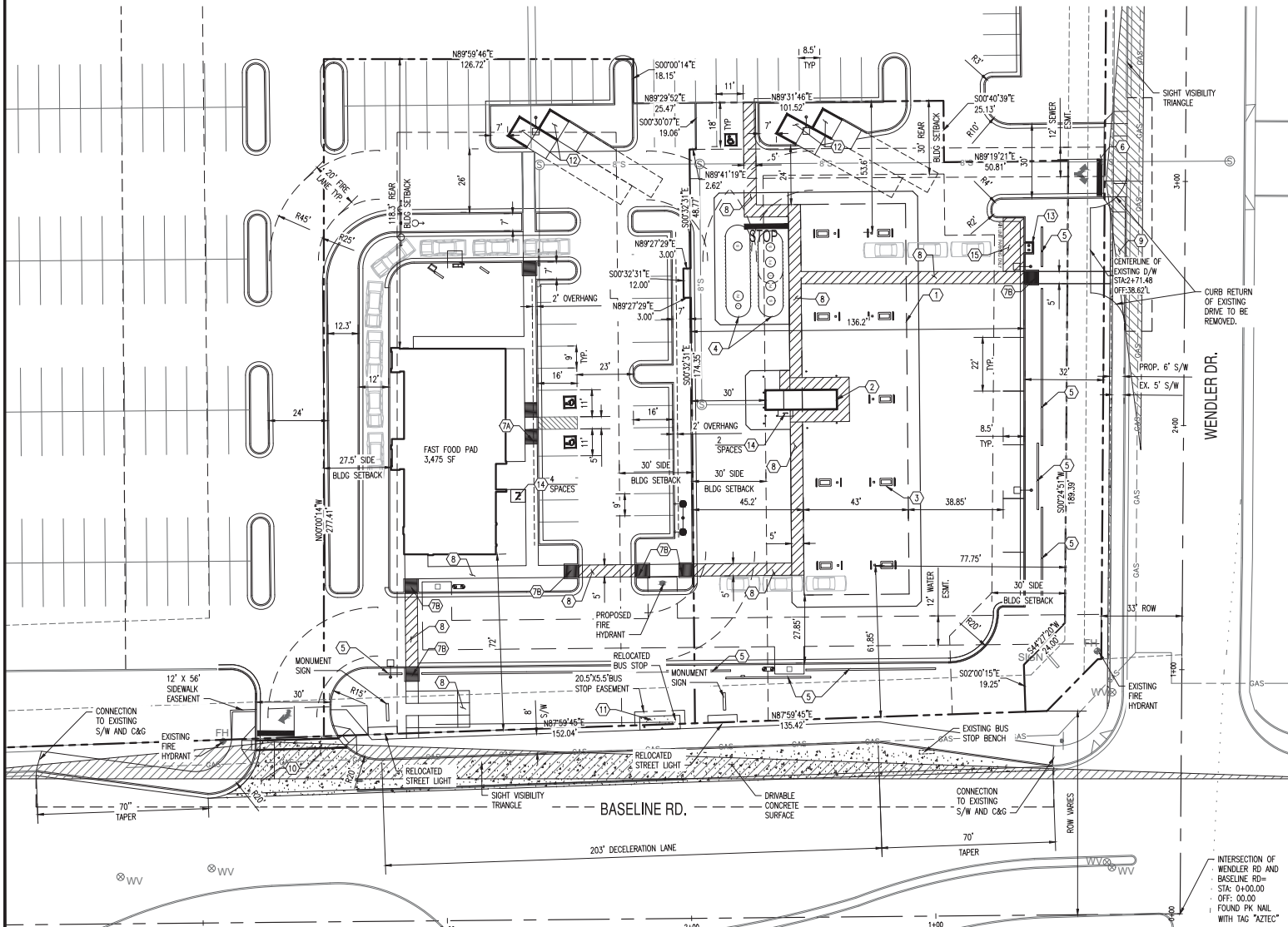
ANCHOR #1 AREA	RESTAURANT
LOT AREA: 666,619 SF	13.37 AC
123-22-0006	
BUILDING AREA: 156,263 SF	1/500 SF
123-22-0006	
TOTAL AREA: 785,878 SF	17.12 AC
BUILDING #1 USE: RETAIL MAJOR ANCHOR	
ANCHOR #2 AREA	FUEL CENTER
LOT AREA: 41,004 SF	0.94 AC
123-22-0006	
BUILDING AREA: 3,475 SF	1/775 SF
123-22-0006	
TOTAL AREA: 44,479 SF	1.02 AC
BUILDING #2 USE: PREP	
ANCHOR #3 AREA	FUEL CENTER
LOT AREA: 36,918 SF	0.85 AC
123-22-0006	
BUILDING AREA: 222 SF	1/500 SF
123-22-0006	
TOTAL AREA: 37,140 SF	0.85 AC
BUILDING #3 USE: FUEL CENTER	



ENLARGED SITE PLAN

FRYS ELECTRONICS - FRY'S #43 FUEL CENTER

5110 S. WENDLER DRIVE, TEMPE, AZ 85282



- KEY NOTES**
- ① 43' X 160' CANOPY (6880 S.F.). REFER TO ARCHITECTURAL DRAWINGS.
 - ② 8' X 29' KIOSK (232 S.F.). REFER TO ARCHITECTURAL DRAWINGS.
 - ③ DISPENSER ISLAND (TYP. 9) REFER TO FUEL PIPING PLANS.
 - ④ DOUBLE WALL UNDERGROUND STORAGE TANK (1 ~ 20,000 GAL. REGULAR UNLEADED) & (1 ~ 18,000 GAL. TWO COMPARTMENT PREMIUM (8,000 GAL)/DIESEL (10,000 GAL)).
 - ⑤ 3' SCREEN WALL PER DETAIL 1/C2.20.
 - ⑥ DRIVEWAY PER COT DET T-320.
 - ⑦ ADA RAMP PER COT DET T-347.
 - ⑧ ADA RAMP.
 - ⑨ ADA PATH.
 - ⑩ ABANDONED DRIVEWAY TO HAVE CURB, GUTTER, SIDEWALK, AND LANDSCAPE TO MATCH THE EXISTING SURROUNDINGS.
 - ⑪ RETURN TYPE DRIVEWAY PER COT DET T-319.
 - ⑫ BUS PULL-OUT SHELTER PER COT DET T-654 TYPE 'A'
 - ⑬ TRASH ENCLOSURE PER DETAIL 2/C2.20.
 - ⑭ AIR UNIT
 - ⑮ BIKE RACK PER COT DET T-578.
 - ⑯ STRIPING AT AIR UNIT. TEXT TO READ "AIR UNIT PARKING ONLY"

- SITE PLAN NOTES:**
1. ALL SITE IMPROVEMENTS INCLUDING LANDSCAPE AND SITE CLEANUP, MUST BE COMPLETED PRIOR TO CERTIFICATE OF OCCUPANCY FOR ANY BUILDING WITHIN A PHASE.
 2. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY PARAPET WALLS EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
 3. SOLID MASONRY WALLS AND GATES EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT SHALL SCREEN ALL GROUND MOUNTED MECHANICAL EQUIPMENT.
 4. ALL EXTERNAL LIGHTING SHALL BE LOCATED AND DESIGNED TO PREVENT RAYS FROM BEING DIRECTED OFF OF THE PROPERTY UPON WHICH THE LIGHTING IS LOCATED.
 5. THE FIRE DEPARTMENT DOUBLE CHECK ASSEMBLY SHALL BE PAINTED TO MATCH THE ADJACENT WALL COLOR.
 6. SIGNS REQUIRE SEPARATE PERMIT.
 7. THERE SHALL BE NO OBSTRUCTION OF SITE SIGNAGE BY LANDSCAPE PLANT MATERIAL, AND THAT SUCH MUST BE RELOCATED/CORRECTED BEFORE THE FIELD INSPECTION WILL ACCEPT/PASS THE SIGN IN THE FIELD OR ISSUE A CERTIFICATE OF OCCUPANCY FOR A PROJECT.
 8. ALL TRANSFORMER BOXES, METER PANELS AND ELECTRIC EQUIPMENT, BACKFLOW DEVICES OR ANY OTHER UTILITY EQUIPMENT NOT ABLE OR REQUIRED TO BE SCREENED BY LANDSCAPING OR WALLS, SHALL BE PAINTED TO MATCH THE BUILDING COLOR.
 9. ALL WALLS OVER 7' IN HEIGHT, SITE LIGHTING, SIGNAGE, RAMADAS AND SHADE STRUCTURES REQUIRE SEPARATE SUBMITTAL AND PERMITS.



SEAL

EXPIRES 12-31-17

SUSTAINABILITY ENGINEERING GROUP

SEG

CHIL ENGINEER

frys

FOOD & DRUG STORES

Fry's Food Stores of Arizona
500 South 9th Avenue, Suite A
Tempe, AZ 85282
Phone (602) 907-1984
Fax (602) 907-1974

hroger

The Kroger Co.
1000 E. East of Steve, Suite A
500 South 9th Avenue, Suite A
Tempe, AZ 85282
Phone (602) 715-9197
Fax (602) 715-5995

PROJECT: **FRY'S #43 FUEL CENTER** LOCATION: **5110 S WENDLER DR TEMPE, AZ 85282**

DATE: **11/21/2016**

ISSUED FOR: **CUP/SITE PLAN**

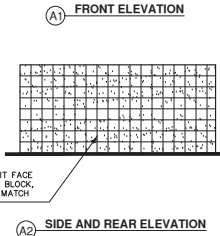
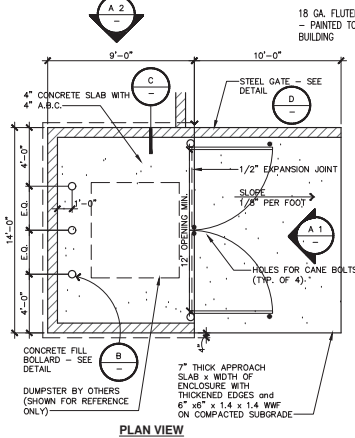
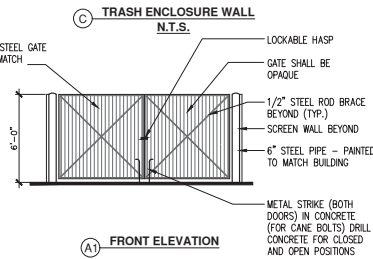
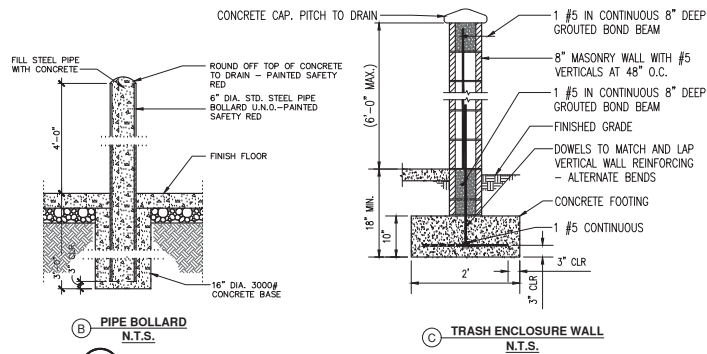
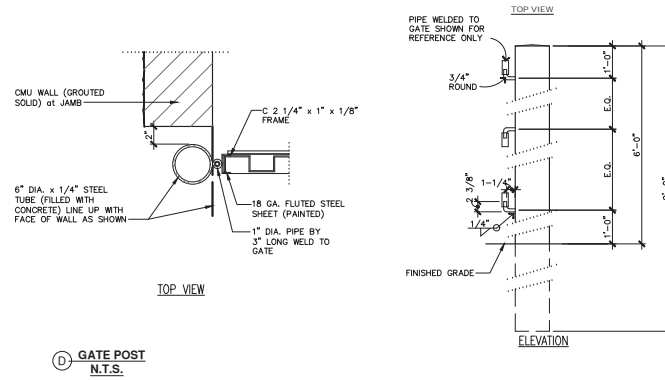
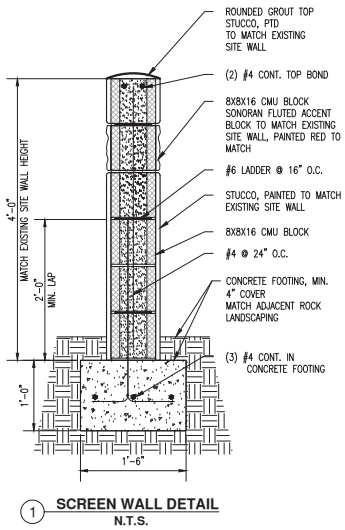
REVISION NO.	DATE

JOB NO.: **CD160143**

SHEET TITLE: **ENLARGED SITE PLAN**

SHEET NO.: **C2.10**

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SUSTAINABILITY ENGINEERING GROUP

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CHIL ENGINEER

fruity

FOOD & DRUG STORES

Fruity Food Stores of Arizona
500 South 19th Avenue, Suite A
Phoenix, AZ 85004
Phone: (602) 907-1984
Fax: (602) 907-1974

hroger

The Kroger Co.
1000 East 61st Street, Suite A
Phoenix, AZ 85006
Phone: (602) 715-9977
Fax: (602) 715-9995

PROJECT: **FRUITY FUEL CENTER**

LOCATION: **5110 S WENDLER DR TEMPE, AZ 85283**

DRAWN: _____ FOUNDS

DESIGNED: _____ FOUNDS

CHECKED: _____ COUNSELL

PROJ. MGR: _____ FAHRI

DATE: **11/21/2016**

ISSUED FOR: **CUP/SITE PLAN**

REVISION NO.: _____ DATE: _____

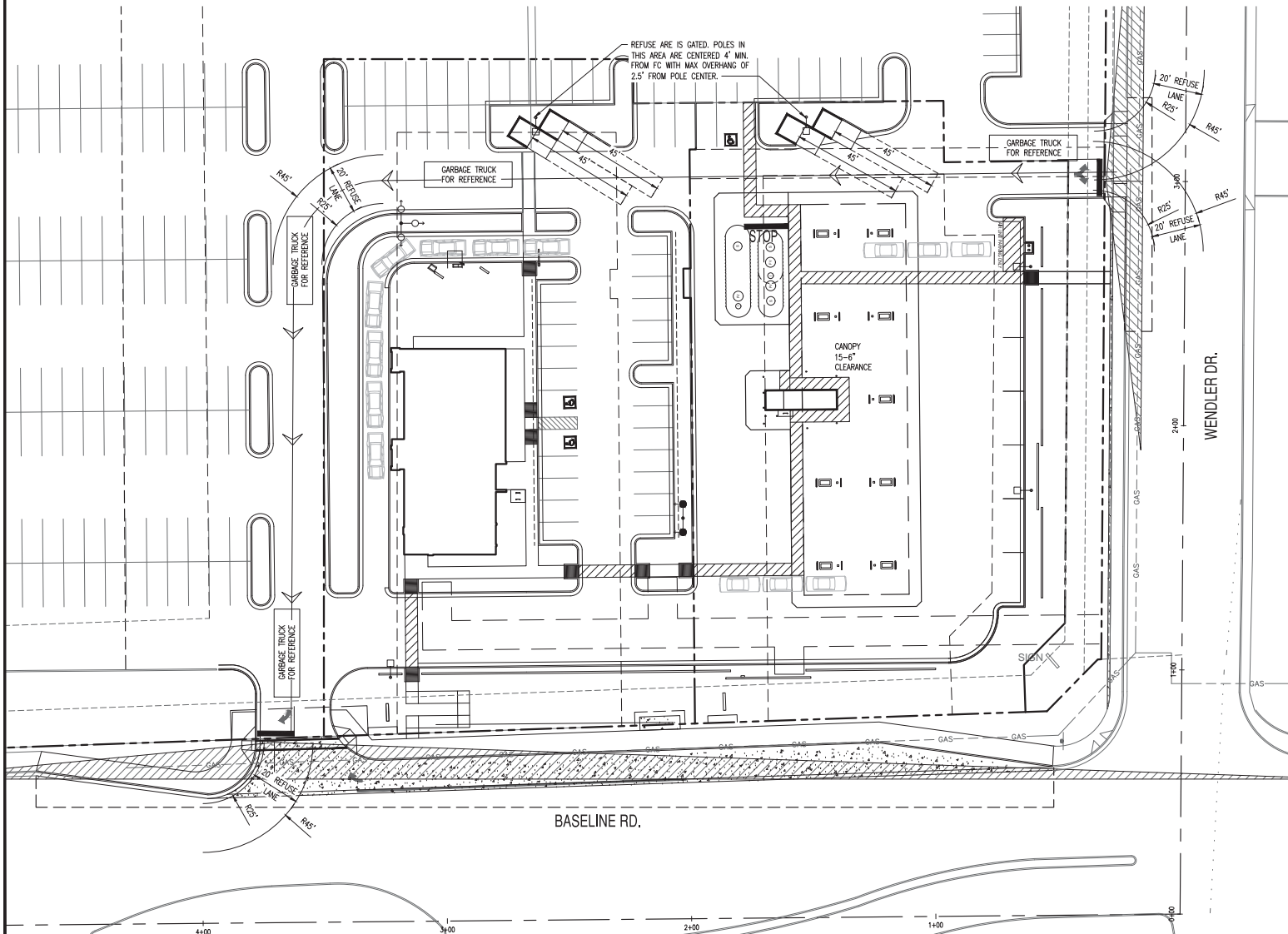
JOB NO.: **CD160143**

SHEET TITLE: **SITE PLAN DETAILS**

SHEET NO.: **C2.20**



REFUSE PLAN
FRYS ELECTRONICS - FRY'S #43 FUEL CENTER
 5110 S. WENDLER DRIVE, TEMPE, AZ 85282



SEAL
 PROFESSIONAL ENGINEER
 STATE OF ARIZONA
 45621
 AJJ SAMH
 FRY'S
 EXPIRES 12-31-17
 PROFESSIONAL ENGINEER - LICENSED
 8000 E. GLENN DR., SUITE 101, SCOTTSDALE, ARIZONA 85260
 WWW.AZSEEG.COM TEL. 480.988.7238

CIVIL ENGINEER
SUSTAINABILITY ENGINEERING GROUP
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frys
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 Fry's Food Stores of Arizona
 500 South 19th Avenue, Suite A
 Phoenix, AZ 85084
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 Fax (602) 907-1974

hroger
 The Kroger Co.
 10200 East 41st Street, Suite A
 Phoenix, AZ 85177
 Phone (602) 715-5977
 Fax (602) 715-5995

PROJECT: **FRY'S #43 FUEL CENTER**
 LOCATION: **5110 S WENDLER DR TEMPE, AZ 85282**

DATE: **11/21/2016**

ISSUED FOR: **CUP/SITE PLAN**

REVISION NO.: _____ DATE: _____

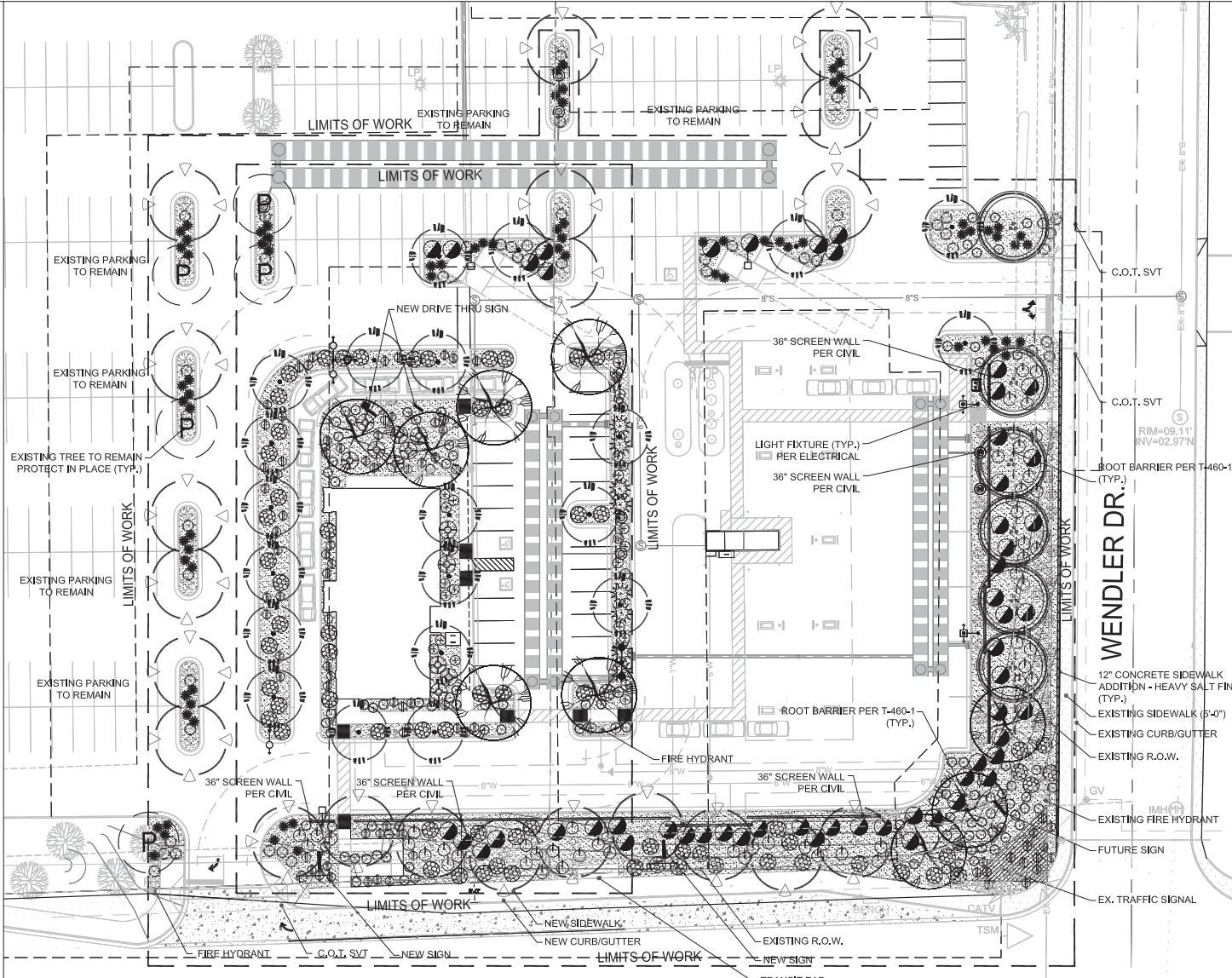
JOB NO.: **CD160143**

SHEET TITLE: **REFUSE PLAN**

SHEET NO.: **RP EXHIBIT**

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Note: Responsibility for any method in part which is prohibited without DP-CD action consent.



PLANTING MATERIAL LEGEND

TREES	SIZE	NOTES	QTY
<i>Olea europaea</i> 'Svan Hill'	48" Box	*ADWR	21
Svan Hill Frithless Olive			
Calliper Size: 3" Cal.			
Parkinsonia x 'Desert Museum'	36" Box		9
Desert Museum Palo Brea			
Calliper Size: 1.5"			
<i>Prosopis juliflora</i>	36" Box	standard	21
Valved Mesquite			
Calliper Size: 2" Cal.			
<i>Chilopsis lasiantheris</i>	36" Box	*ADWR	6
Chilopsis			
Calliper Size: 2" Cal.			
Existing Tree	-	Protect Tree	5
Spotted Varies			
Calliper Size: varies			
GROUNDCOVERS			QTY
<i>Lantana montevidensis</i>	5 Gallon	*ADWR	68
Trailing Lantana 'Purple'			
<i>Lantana nana</i> 'Gold Mound'	1 Gallon	*ADWR	47
Gold Mound Lantana			
<i>Convolvulus mauritanicus</i>	1 Gallon	*ADWR	84
Ground Morning Glory			
<i>Myoporum parvifolium</i>	5 Gallon	*ADWR	31
Myoporum			
SHRUBS / ACCENTS			QTY
<i>Bougainvillea gl. v. La Jolla</i>	5 Gallon	*ADWR	59
La Jolla Bougainvillea			
<i>Ruellia californica</i>	5 Gallon	*ADWR	29
Baja Ruellia			
<i>Mandevilla ligens</i>	5 Gallon	*ADWR	58
Deer Grass			
<i>Hesperaloe parviflora</i>	5 Gallon	*ADWR	77
Red Yucca			
<i>Eriosema maculata</i> 'Valentine'	5 Gallon	*ADWR	97
Valentine Bush			
<i>Leucophyllum la. 'Lynn's Legacy'</i>	5 Gallon	*ADWR	8
Lynn's Legacy			
<i>Acadelpas subulata</i>	5 Gallon	*ADWR	13
Desert Mileweed			
LANDSCAPE MATERIALS			QTY
Decomposed Granite, 3/4" screened, match existing site color.			27,400 s.f.
*ADWR = Arizona Department of Water Resources Approved Low-Water Use Plant			

CITY OF TEMPE GENERAL NOTES

- ALL CONSTRUCTION UNDER THE PUBLIC WORKS PERMIT SHALL CONFORM TO THE MARICOPA ASSOCIATION OF GOVERNMENTS UNIFORM STANDARD SPECIFICATIONS AND DETAILS, CITY OF TEMPE SUPPLEMENT TO THE MAG SPECIFICATIONS AND DETAILS, AND TEMPE TRAFFIC BARRICADE MANUAL.
- A PERMIT ISSUED BY THE ENGINEERING DIVISION SHALL BE REQUIRED FOR ALL WORK IN THE CITY OF TEMPE RIGHT-OF-WAY. AN INVESTIGATION FEE, IN THE AMOUNT GREATER OF \$250.00 OR DOUBLE THE PERMIT FEE, NOT TO EXCEED \$2,500.00, WILL BE CHARGED FOR ANY WORK WITH THE CITY OF TEMPE RIGHT-OF-WAY IN WHICH A PERMIT HAS NOT BEEN ISSUED PRIOR TO COMMENCEMENT OF WORK.
- THE ENGINEERING DIVISION SHALL BE NOTIFIED 24 HRS PRIOR TO STARTING THE DIFFERENT PHASES OF CONSTRUCTION FOR SCHEDULING INSPECTIONS.
- LOCATION OF ALL WATER VALVES, MANHOLES, AND CLEANOUTS MUST BE REFERENCED AT ALL TIMES DURING CONSTRUCTION AND MADE AVAILABLE TO THE WATER AND WASTEWATER DIVISION.
- NO JOB WILL BE CONSIDERED COMPLETE UNTIL ALL CURBS, PAVEMENT, AND SIDEWALKS HAVE BEEN CHECKED CLEAN OF ALL DEBRIS AND CURBS AND ALL SURVEY MONUMENTS ARE INSTALLED ACCORDING TO THE PLANS.
- THE CONTRACTOR SHALL CONTACT BLUE STAKE (602-263-1100) 48 HRS PRIOR TO CONSTRUCTION.
- ALL EXISTING STREET MONUMENTS MUST BE PRESERVED. PRIOR TO CONSTRUCTION, MONUMENTS WILL BE REFERENCED HORIZONTALLY AND VERTICALLY. AFTER CONSTRUCTION, MONUMENTS SHALL BE RESET AND FIELD NOTED, INCLUDING NEW ELEVATION, SHALL BE FILED WITH THE CITY.
- THIS SET OF PLANS HAS BEEN REVIEWED FOR COMPLIANCE WITH CITY REQUIREMENTS PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS, HOWEVER, SUCH REVIEW SHALL NOT PREVENT THE CITY FROM REQUESTING CORRECTION OF ERRORS IN PLANS FOUND TO BE IN VIOLATION OF ANY LAW OR ORDINANCE.
- THE CITY DOES NOT WARRANT ANY QUANTITIES SHOWN ON THESE PLANS.
- AN APPROVED SET OF PLANS SHALL BE AVAILABLE ON THE JOB SITE AT ALL TIMES.
- THE CITY SHALL BE NOTIFIED 24 HRS PRIOR TO ANY CONSTRUCTION WORK. CONSTRUCTION WORK CONCEALED WITHOUT INSPECTION BY THE CITY SHALL BE SUBJECT TO EXPOSURE AT THE CONTRACTORS EXPENSE.
- CONSTRUCTION ITEMS SHALL NOT BE ACCEPTED UNTIL 3 MIL MYLAR REPRODUCIBLE "AS-BUILT" PLANS HAVE BEEN SUBMITTED TO AND APPROVED BY THE ENGINEERING DIVISION.
- THE CONTRACTOR SHALL BARRICADE CONSTRUCTION SITES AT ALL TIMES PER THE CITY OF TEMPE TRAFFIC BARRICADE MANUAL. WHEN REQUIRED BY THE CITY, A TRAFFIC CONTROL PLAN SHALL BE SUBMITTED FOR APPROVAL IN ADVANCE OF CONSTRUCTION.
- NO PAVING CONSTRUCTION SHALL BE STARTED UNTIL ALL UNDERGROUND UTILITIES WITHIN THE PATH PRIOR ARE COMPLETED.
- THE MAXIMUM STAKE INTERVAL FOR GRADES OF 0.2% OR LESS SHALL BE 25' FOR CONCRETE WORK AND 50' FPR ASPHALT ROADWAY SECTION, EXCEPT ON HORIZONTAL OR VERTICAL CURVES WHERE A MAXIMUM STAKE INTERVAL OF 20' FOR CONCRETE WORK SHALL BE REQUIRED. ALL CONCRETE SHALL BE STAKED AT THE PG, FT, AND MIDPOINT. NO GRADE STAKE INTERVAL SHALL EXCEED 50'.
- DRAINAGE SWALES AND DRAINAGE CHANNELS WILL BE WATER TESTED IN THE PRESENCE OF THE CITY ENGINEER OR HIS AUTHORIZED REPRESENTATIVE TO INSURE PROPER DRAINAGE, PRIOR TO FINAL APPROVAL BY THE ENGINEERING DIVISION.
- EXACT POINT OF MATCHING, TERMINATION, AND OVERLAY, IF NECESSARY, MAY BE DETERMINED IN THE FIELD BY THE ENGINEERING DIVISION.

LANDSCAPE CALCULATIONS CITY OF TEMPE

	REQUIRED	PROVIDED
LANDSCAPE AREA TOTAL:		27,400 SF.
TREES ALONG BASELINE ROAD	1 PER 30' OF 84 TREES	11 TREES
TREES ALONG WENDLER DR	1 PER 30' OF 84 TREES	10 TREES
PAVING LOT TREES (BY NEW SPACES)	1 PER 12 SPACES 81 TREES	8 TREES
WATER INTENSIVE LANDSCAPE AREA	80% OF LS AREA	88% OF LS AREA
GROUND COVERAGE LANDSCAPE AREA	80% OF LS AREA	70% OF LS AREA

E. BASELINE ROAD

SITE HARDSCAPE NOTES

- FIELD VERIFY EXISTING SITE PRIOR TO BID AND CONSTRUCTION.
- REFER TO CIVIL ENGINEERING PLANS FOR VERTICAL AND HORIZONTAL CONTROL.
- PROTECT ALL UTILITIES DURING CONSTRUCTION.
- ALL VENDOR PRODUCTS LISTED MAY BE SUBMITTED WITH COMPARABLE / EQUAL, AS APPROVED BY OWNER.
- SIGN AND MONUMENTS ARE FOR REFERENCE ONLY, A SEPARATE SUBMITTAL FOR PERMIT IS REQUIRED.
- EXISTING LANDSCAPE IN LIMITS OF WORK TO BE REMOVED AND REPLACED WITH NEW LANDSCAPE DESIGN.
- COMPLY WITH LANDSCAPE PLANT HEIGHTS WITHIN ALL CITY OF TEMPE SIGHT VISIBILITY REQUIREMENTS.
- COMPLY WITH CLEAR VISION REQUIREMENTS FOR PATHWAYS PER CITY OF TEMPE DEVELOPMENT CODE. LIMITED PLANT HEIGHTS NEAR PATHWAYS AND SIDEWALKS.
- PROVIDE ROOT BARRIER PER COT T-460-1 FOR ALL TREE LOCATIONS WITHIN 18FT OF A WATER LINE.

ARIZONA BLUESTAKE CENTER
 CALL THE NUMBER DAYS BEFORE YOU DO
1.800.782.5348

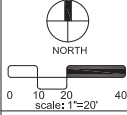
HPD
HARRINGTON PLANNING + DESIGN
 3116 S. Mill Avenue, Suite 305
 Tempe, Arizona 85282
 TEL: 480.259.4119
 www.harringtonplanning.com



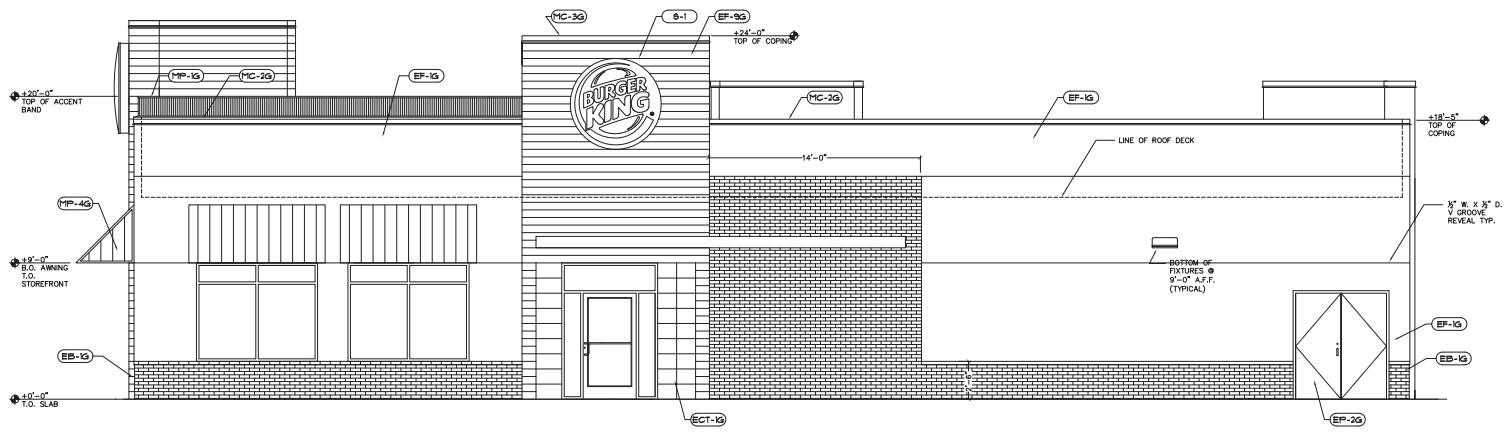
FRY'S FUEL CENTER #43
 North of the NWC of Baseline Rd. & Wendler Dr.
 Tempe, Arizona 85282

REV.	COMMENT	DATE

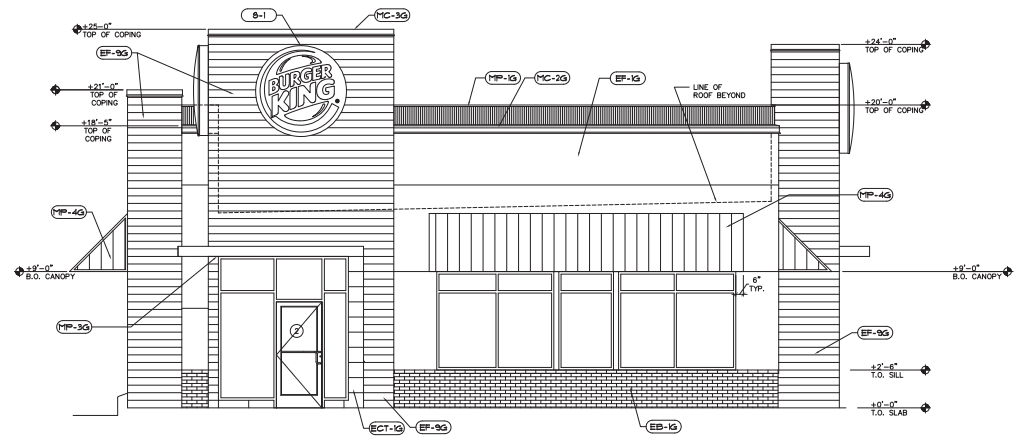
1ST City Permit Set 11.07.16
 ISSUE DATE
Landscape Package
 NOVEMBER 7, 2016
 DRAWN BY: JEH
 CHECK BY: JEH
 PERS. NO.: 2016-015
 CASE NO.:



LANDSCAPE CONCEPT PLAN
L0.2
 1 of 1



EAST ELEVATION
1/8" = 1'-0"



SOUTH ELEVATION
1/8" = 1'-0"

COLORS & MATERIAL EXHIBIT			
SYMBOL	ITEM	MANUFACTURER	COLOR
EB-12	BRICK WAHNSCOT	EVOLUTION BRICK	SIERRA TUMBLED
ECT-12	EXTERIOR CERAMIC TILE	GRANITE	SENSIBLE STONE "RED NATURAL" STACKED BOND PATTERN 12" X 24"
EF-12	MAIN WALL COLOR	STC	MATCH PPG TAUPE TONE
EP-12	FIBER CEMENT SIDING	NICHIA	VINTAGE WOOD CEDAR
EP-22	EXTERIOR GENERAL	PPG	TAUPE TONE
MC-22	METAL COPING BELOW PARAPET BAND	W.P. HECKMAN SYSTEMS, INC.	TAUPE TONE
MC-32	METAL COPING AT TOP OF TOWER	W.P. HECKMAN SYSTEMS, INC.	CEDAR
MP-12	PARAPET BAND	LEKTRON	RED COORUGATED METAL
MP-32	METAL CANOPY	CUSTOM	CLEAR ANNOXIDIZED
MP-42	STANDING SEAM METAL AWNING	PRESTONE METAL PRODUCTS	SILVER METALLIC
S-1	SIGN	72" BK SIGN	-

SIGNS TO BE PERMITTED SEPARATELY

HITCHENS ASSOCIATES ARCHITECTS
 287 NORTH NORFOLK MESA, ARIZONA 85205
 TELEPHONE: 480.944.8331

REVISIONS
 6-24-16 OWNER REVISIONS
 8-22-16 BK REVISIONS
 10-10-16 CITY REVISIONS

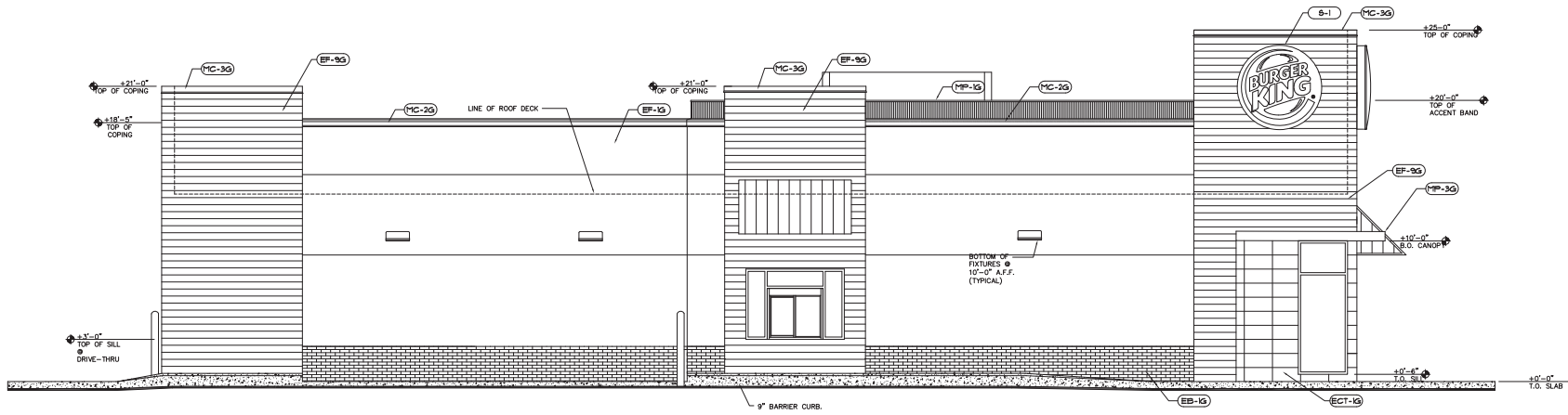
CLIENT: KRAF Inc.
 5073 N. 40th Street, Suite 100
 Phoenix, Arizona 85018

BURGER KING
 NWC Wandler Dr. & Baseline Rd.
 Tempe, Arizona

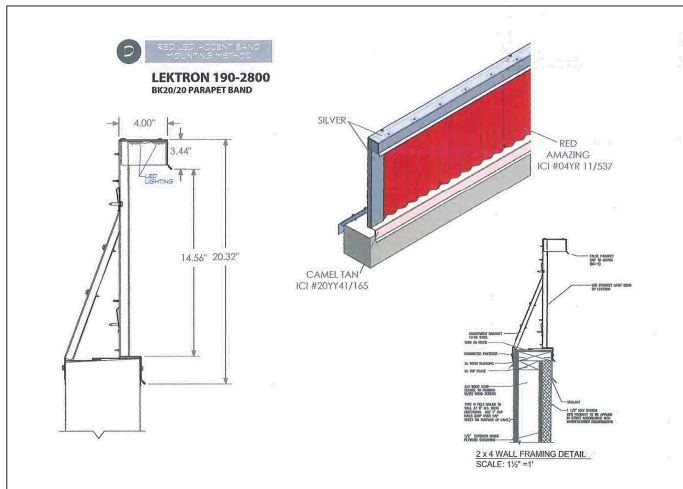
PROJECT NO: 21516
 DRAWN BY: GJH
 DATE: 06-08-2016

BUILDING ELEVATIONS
A2.0

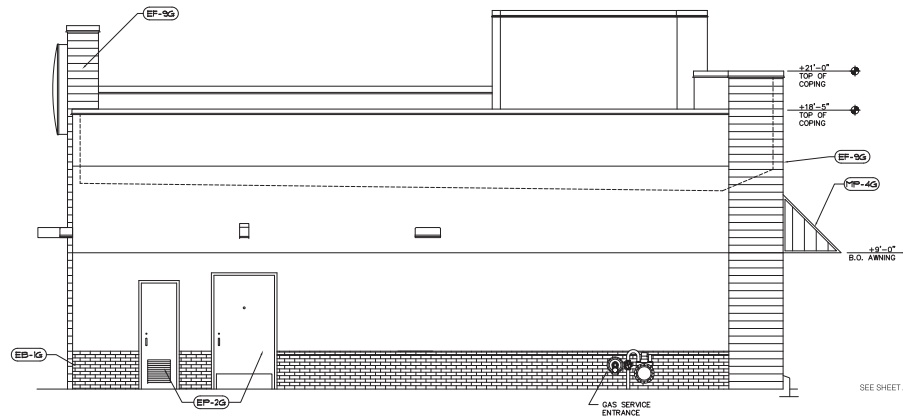
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WEST ELEVATION
1/4" = 1'-0"



PARAPET BAND DETAIL
NOTES
1) LED LIGHT COLOR IS RED AND PRODUCES 19 LUMENS PER FOOT



NORTH ELEVATION
1/4" = 1'-0"

HITCHENS ASSOCIATES ARCHITECTS
 287 NORTH NORFOLK
 MESA, ARIZONA 85205
 TELEPHONE: 480.944.8331

HITCHENS ASSOCIATES ARCHITECTS
 15942 GREGORY L. HITCHENS
 ARCHITECT
 STATE OF ARIZONA, U.S.A.
 EXPIRES: 03/31/2018

REVISIONS

6-24-16	OWNER REVISIONS
6-27-16	OWNER REVISIONS
8-22-16	BK REVISIONS
10-10-16	CITY REVISIONS

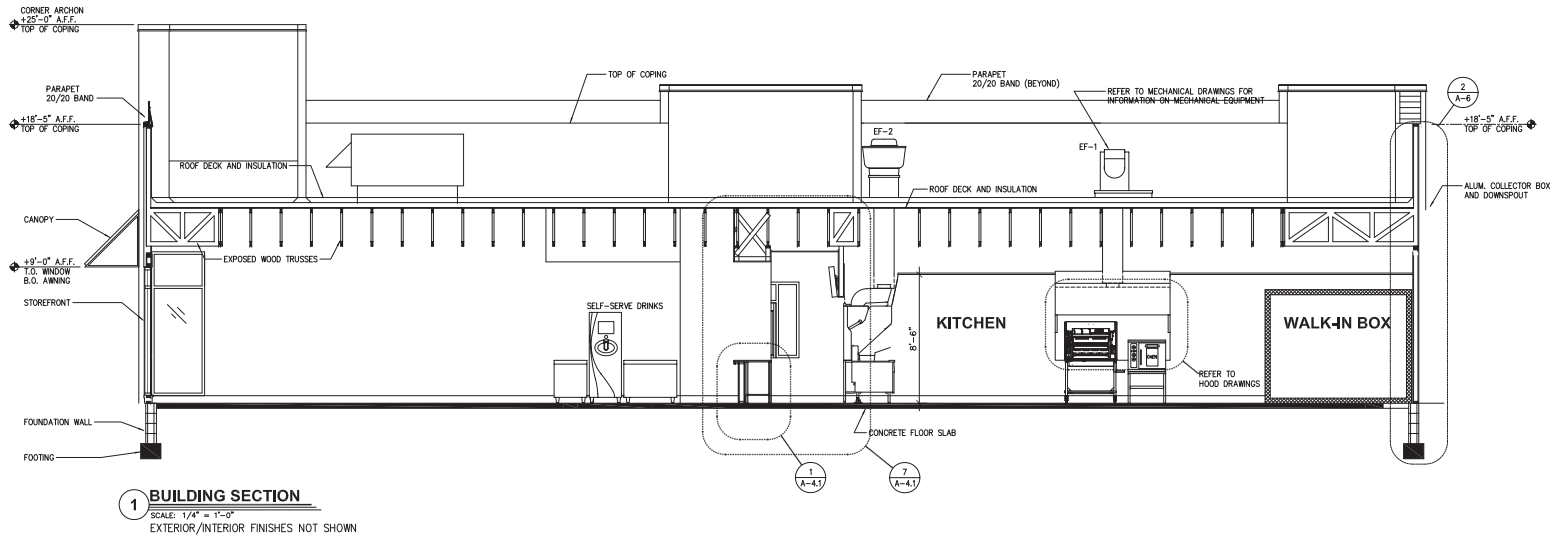
CLIENT: KRAF Inc.
5073 N. 40th Street, Suite 100
Phoenix, Arizona 85018

BURGER KING
NWC Wender Dr. & Baseline Rd.
Tempe, Arizona

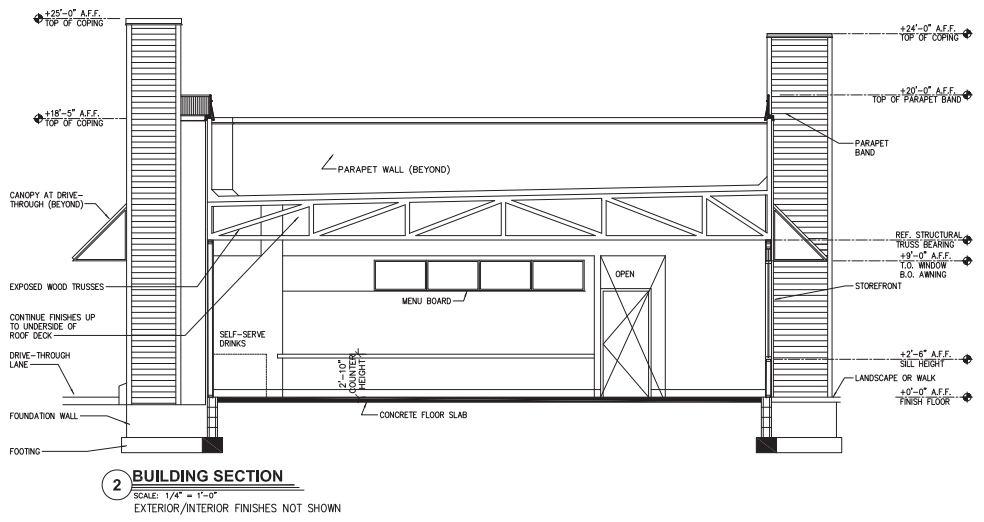
PROJECT NO: 21510
 DRAWN BY: GJH
 DATE: 06-08-2016

BUILDING ELEVATIONS
A2.1

SEE SHEET A2.0 FOR MATERIALS LIST



1 BUILDING SECTION
 SCALE: 1/4" = 1'-0"
 EXTERIOR/INTERIOR FINISHES NOT SHOWN



2 BUILDING SECTION
 SCALE: 1/4" = 1'-0"
 EXTERIOR/INTERIOR FINISHES NOT SHOWN

HITCHENS ASSOCIATES ARCHITECTS
 287 NORTH NORFOLK
 MESA, ARIZONA 85205
 TELEPHONE: 480.944.8331



REVISIONS

CLIENT: KRAF Inc.
 5070 N. 40th Street, Suite 100
 Phoenix, Arizona 85018

BURGER KING
 NWC Wender Dr. & Baseline Rd.
 Tempe, Arizona



PROJECT NO: 21510
 DRAWN BY: GJH
 DATE: 06-08-2016

BUILDING SECTIONS
A3.0



EAST ELEVATION
1/8" = 1'-0"

COLORS & MATERIAL EXHIBIT			
SYMBOL	ITEM	MANUFACTURER	COLOR
EB-10	BRICK WAINSCOT	EVOLUTION BRICK	SIERRA TUMBLED
CT-10	EXTERIOR CERAMIC TILE	GRANTI	SENSIBLE STONE RED NATURAL STACKED BOND PATTERN 12" X 24"
EF-10	MAIN WALL COLOR	STO	MATCH PPD TALPE TONE
EF-90	FIBER CEMENT SIDING	NICHHA	VINTAGE WOOD CEDAR
EP-20	EXTERIOR GENERAL	PPG	TALPE TONE
MC-20	METAL COPING BELOW PARAPET BAND	W.P. HOKMAN SYSTEMS, INC.	TALPE TONE
MC-30	METAL COPING AT TOP OF TOWER	W.P. HOKMAN SYSTEMS, INC.	CEDAR
MP-10	PARAPET BAND	LEKTRON	RED CORRUGATED METAL
MP-30	METAL CANOPY	CUSTOM	CLEAR ANODIZED
MP-40	STANDING SEAM METAL AWNING	FIRESTONE METAL PRODUCTS	SILVER METALLIC
S-1	72" BK SIGN	-	-

SIGNS TO BE PERMITTED SEPARATELY



SOUTH ELEVATION
1/8" = 1'-0"

HITCHENS ASSOCIATES ARCHITECTS
287 NORTH NORFOLK MESA, ARIZONA 85205
TELEPHONE: 480.944.8383



REVISIONS	
Δ 8-24-16	OWNER REVISIONS
Δ 8-22-16	BK REVISIONS
Δ 10-10-16	DTY REVISIONS

CLIENT: KRAF Inc.
5070 N. 40th Street, Suite 100
Phoenix, Arizona 85018

BURGER KING
NWC Wender Dr. & Baseline Rd.
Tempe, Arizona



PROJECT NO: 21518
DRAWN BY: GLH
DATE: 06-08-2016

BUILDING ELEVATIONS
A2.0

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WEST ELEVATION
1/4" = 1'-0"



NORTH ELEVATION
1/4" = 1'-0"

SEE SHEET A2.0 FOR MATERIALS LIST

HITCHENS ASSOCIATES ARCHITECTS
 287 NORTH NORFOLK MESA, ARIZONA 85205
 TELEPHONE: 480.944.4383

REVISIONS
 Δ 8-24-16 OWNER REVISIONS
 Δ 8-27-16 OWNER REVISIONS
 Δ 8-22-16 BK REVISIONS
 Δ 10-10-16 CITY REVISIONS

CLIENT: KRAF Inc.
 5075 N. 40th Street, Suite 100
 Phoenix, Arizona 85018

BURGER KING
 NWC Wender Dr. & Baseline Rd.
 Tempe, Arizona

PROJECT NO: 21518
 DRAWN BY: GLH
 DATE: 08-08-2016

BUILDING ELEVATIONS
A2.1



EF-9G
COMPOSITE SIDING



EF-9G
BRICK WAINSOT



MP-1G
PARAPET BAND



MP-4G
STANDING SEAM METAL AWNING

MP-3G
METAL CANOPY



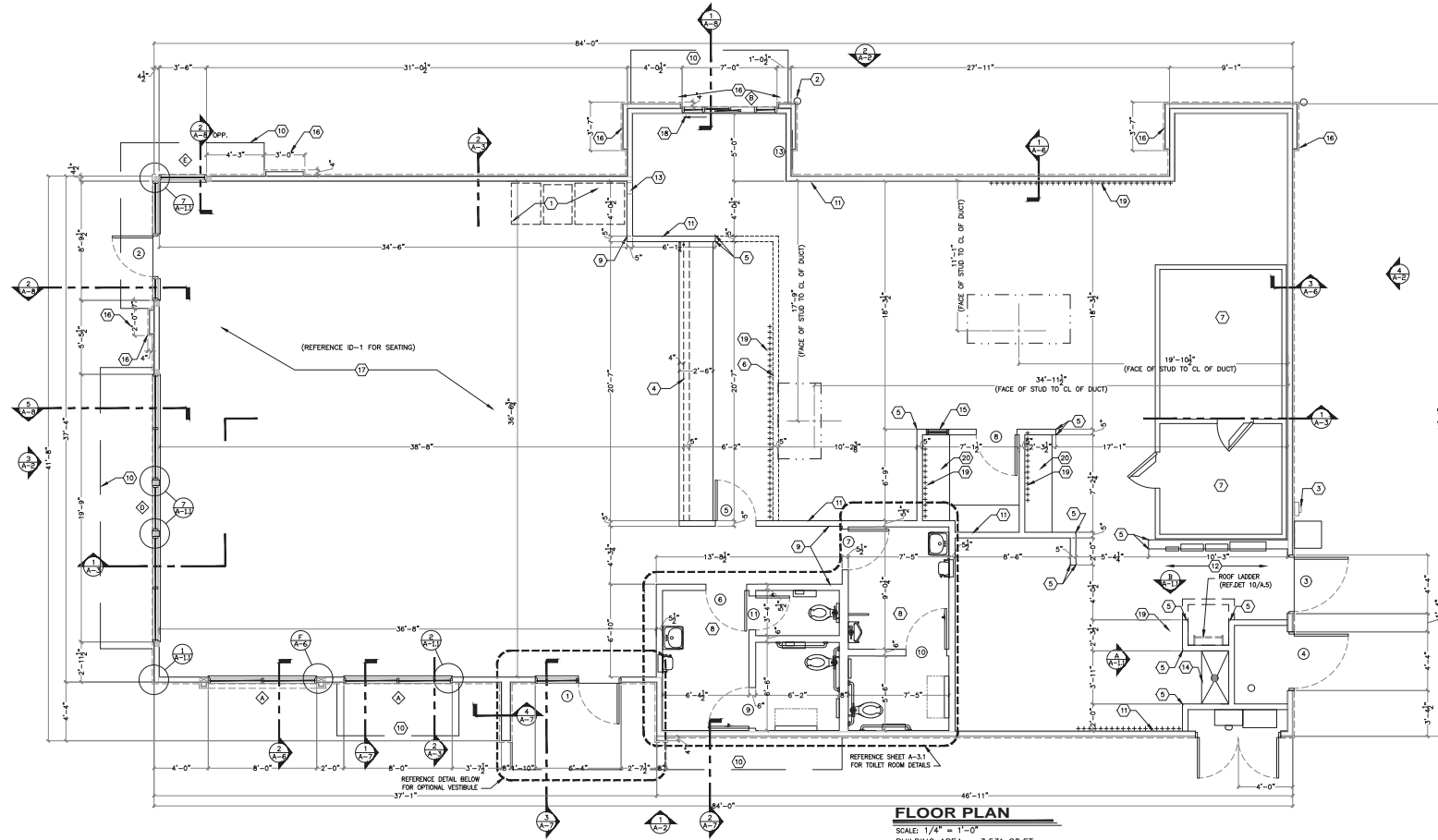
ECT-1G
EXTERIOR CERAMIC TILE



EP-2G
EXTERIOR GENERAL

BURGER KING MATERIAL SAMPLE BOARD
8110 S. WENDLER DRIVE TEMPE, ARIZONA





FLOOR PLAN

SCALE: 1/4" = 1'-0"
 BUILDING AREA = 3,531 SQ.FT.

GENERAL NOTES:

- A. EXTERIOR DIMENSIONS ARE TO FACE OF MASONRY. INTERIOR DIMENSIONS ARE TO FINISH.
- B. OVERALL DIMENSIONS TO EXTERIOR WALLS ARE THE SAME AS TO THE OUTSIDE.
- C. FACE OF FOUNDATION WALL BELOW.
- D. ALL IN-SIDE WALLS ARE AT 90° UNLESS NOTED OTHERWISE.
- E. FIRE EXTINGUISHER, SHALL COMPLY WITH APPLICABLE BUILDING CODES AND LOCAL RESTRICTIONS.
- F. ELEVATION OF DRIVE-THROUGH LANE 2" (MAXIMUM) BELOW FINISH FLOOR IS PREFERRED. REFERENCE DETAIL #6, SHEET A-11.
- G. DESIGNER NOTE: WHEN UTILIZING A DIFFERENT EXTERIOR WALL CONSTRUCTION, HOLD INTERIOR DIMENSIONS.
- H. FOR DOOR AND WINDOW TYPES, REFER TO SHEET A-10.

KEYED NOTES:

- 1. SELF-SERVE DRINKS AND CONDIMENT STAND. REFER TO SHEET EQ-1.
- 2. STEEL BOLLARD - REFER TO SHEET S-1.
- 3. ELECTRIC SERVICE. REFER TO ELECTRICAL DRAWINGS.
- 4. SERVICE COUNTER PARTITION BY G.C. REFER TO DETAILS ON SHEET E-4 FOR ADDITIONAL INFORMATION. COORDINATE COUNTER TOP/FINISHES INSTALLATION RESPONSIBILITIES WITH THE DECOR SUPPLIER. MAXIMUM COUNTER HEIGHT = 32" A.F.F.
- 5. CORNER GUARDS - REFER TO DETAIL #4, SHEET A-11.
- 6. MENU BOARD BULKHEAD ABOVE. REFER TO DETAIL 1, SHEET A-4
- 7. INTERIOR WALK-IN BOX WITH FLOOR ON CONCRETE SLAB. VERIFY SIZE WITH MANUFACTURER.
- 8. PROVIDE ADDITIONAL BLOCKING IN WALLS BEHIND URINAL SCREEN AND BEHIND PLUMBING FITURES FOR SUPPORT OF WATER LINES (TYPICAL).
- 9. ALL WALLS AT EXPOSED TRUSSES TO BE FRAMED AND FINISHED TO THE ROOF DECK.
- 10. LINE OF AWNING/CANOPY ABOVE.
- 11. SUBSTRATE PANELS:
 5/8" USG "DUROCK" PANELS AT FINISH FLOOR TO 24" A.F.F.
 5/8" WATER RESISTANT GYPSUM BOARD FROM 24" A.F.F. TO 4" ABOVE FINISHED CEILING.
 PROVIDE ALTERNATE BID OF 5/8" USG "TIBEROCK" PANELS IN LIEU OF DUROCK.
- 12. RECESS ELECTRICAL, CONTACTOR PANEL AND PANELS "A", "B" AND "M" IN FURRED-OUT WALL ADJACENT TO EXTERIOR FRAMING. G.C. TO VERIFY PANEL SIZES PRIOR TO FURR-OUT TO INSURE ADEQUATE SPACE.

- OPTION #2:
 HILL PHOENIX INTEGRATED WALL UNIT INCLUDES PANELS "A", "B", "M" AND MASTER CONTACTOR PANEL IN ONE CABINET. UNIT TO BE SURFACE MOUNTED ON A 4" HIGH CONCRETE CURB. REFERENCE SHEET E-5 FOR ADDITIONAL INFORMATION.
- 13. PROVIDE 10"x10" FINISHED OPENING THROUGH WALL CENTERED AT 13" A.F.F. FOR ROUTING OF UTILITIES.
- 14. CAN WASH - BUROCK SUBSTRATE ON ALL THREE SIDES, FLOOR TO CEILING.
- 15. SERVICE WINDOW - REFERENCE SHEET A-10.
- 16. 4" DEEP FURR-OUT ELEMENT (FINISH WIDTH SHOWN) AT TOWER. REFER TO WALL SECTIONS. PROVIDE 1" DEEP CONCRETE CURB (4" A.F.F.) AND FRAMING AS REQUIRED FOR FINISH DIMENSION REQUIREMENTS.
- 17. TILE FLOOR (REFERENCE SPECIFICATIONS ON ID SHEETS).
- 18. DRIVE-THROUGH SLIDING WINDOW.
- 19. ++++++ INDICATES 5/8" PLYWOOD BACKING ON WALLS FOR EQUIPMENT AS INDICATED ON PLAN OR SHELF SUPPORT FROM 48" A.F.F. TO 90" A.F.F. BEHIND 3-COMPARTMENT SINK AND PREP SINK AND ON BULKHEAD AT MENU BOARD WALL FROM 6'-8" A.F.F. TO BOTTOM OF ROOF TRUSSES.
- 20. COUNTER TOP - REFERENCE DETAIL #6, A-11.
- 21. 4" CONCRETE WALK BETWEEN DRIVE-THROUGH BUMP-OUTS

PROJECT #:
 BOC-2020 20/02/ MUSE, SEPTEMBER 2014 DESIGN RELEASE

BURGER KING RESTAURANT
 BRIDGE ROAD AND INDOOR STREET
 DEPT. WAGON, EBWA

DATE: _____
 REVISION: _____

CHECKED BY: _____
 DRAWN BY: _____

IND. DATE: _____
 REV. DATE: _____

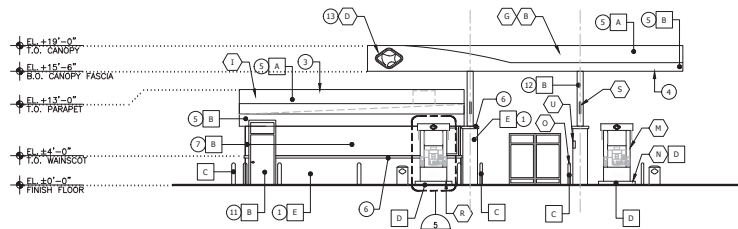
BURGER KING CORP. FRANCHISEE
 STREET ADDRESS _____
 CITY, STATE, ZIP _____
 PHONE: _____

SEG SUSTAINABILITY ENGINEERING GROUP

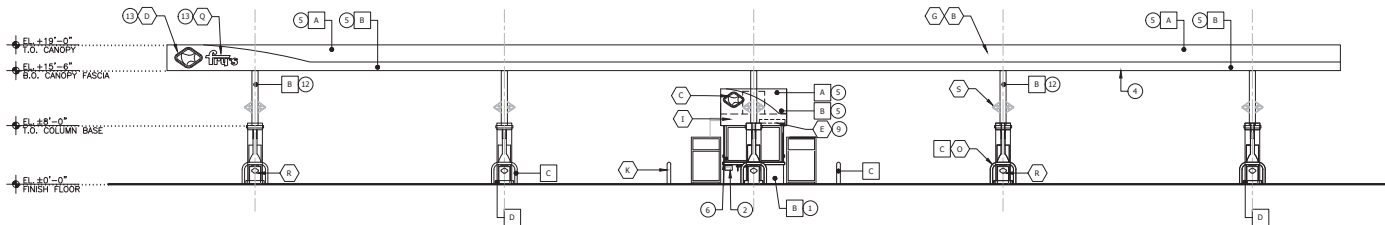
8206 E. GILBERT DR #101, SCOTTSDALE, AZ 85260
 WWW.AZSEG.COM TEL: 480.989.7228

OPTIONAL VESTIBULE

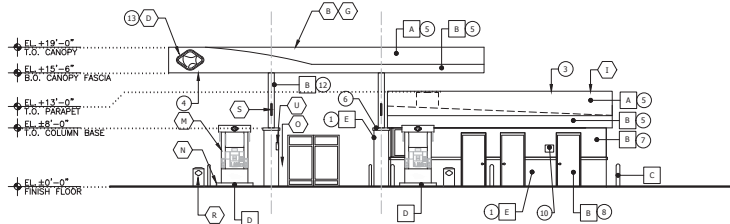
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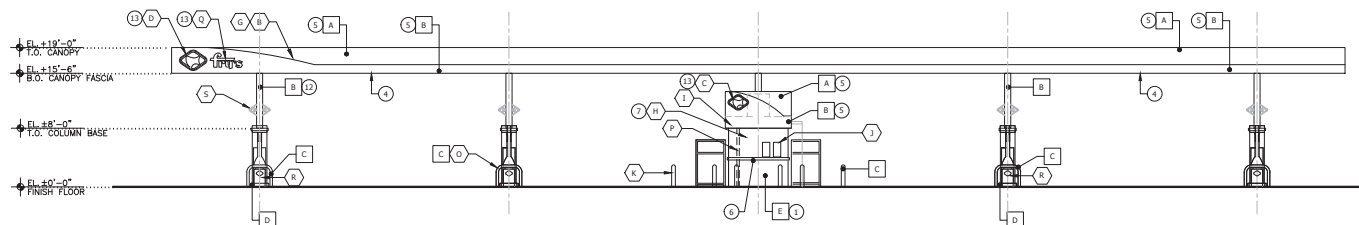
1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



2 EAST ELEVATION
SCALE: 1/8" = 1'-0"



3 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



4 WEST ELEVATION
SCALE: 1/8" = 1'-0"

GENERAL NOTES:

- A. CONTRACTOR SHALL SUBMIT: MASONRY, MORTAR AND PAINT SAMPLES TO FRY'S CONSTRUCTION REPRESENTATIVE FOR APPROVAL PRIOR TO ORDERING MATERIALS.
- B. PREMANUFACTURED CANOPY AND KIOSK PROVIDED BY OTHERS.
- C. ALL ONSITE SIGNAGE UNDER SEPARATE PERMIT.
- D. FUEL DISPENSERS SHALL COMPLY WITH ACCESSIBLE GUIDELINES.

KEYED NOTE:

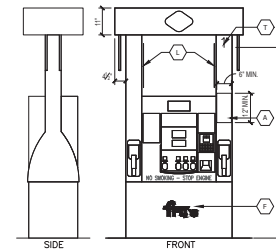
1. THIN BRICK PANELS
2. EMERGENCY STOP SWITCH 42" AFF PARAPET AT KIOSK TO BE TALL ENOUGH TO COMPLETELY CONCEAL ROOF MOUNTED MECHANICAL EQUIPMENT.
3. CANOPY LIGHTS SHALL BE FLUSH OR RECESSED.
4. ACM PANEL.
5. BRICK SILL, CAPSTONE
6. EIFS SYSTEM
7. H.M. DOOR AND FRAME.
8. PROVIDE MIN. 12" HIGH W/2" STROKE BUILDING ADDRESS IN CONTRASTING COLOR TO WALL IN ACCORDANCE WITH C.O.A.J. ORDINANCE.
9. PROVIDE 4" MIN. NO SMOKING SIGNAGE IN ACCORDANCE WITH C.O.A.J. NO SMOKING ORDINANCE AND STATE REQUIREMENTS.
10. FIRE RISER ENCLOSURE.
11. 12" SQUARE CANOPY COLUMN.
12. SIGNAGE TO BE PERMITTED SEPARATELY.

COLOR/FINISH LEGEND:

- A SHERWIN WILLIAMS, SW4081 "SAFETY RED" MATCH FRY'S ELECTRONICS COLOR LRV < 75%
- B SHERWIN WILLIAMS, SW7531 "CANVAS TAN" MATCH FRY'S ELECTRONICS COLOR LRV < 75%
- C SHERWIN WILLIAMS, SW4081 "SAFETY RED" MATCH FRY'S ELECTRONICS COLOR LRV < 75%
- D STAINLESS STEEL NOT PAINTED
- E EVOLUTION BRICK, SIERRA TUMBLED

EQUIPMENT SCHEDULE:

ITEM	DESCRIPTION	COLOR	MANUFACTURER	MODEL	FURNISHED BY	INSTALLED BY
A	STATIC WARNING DECAL (MIN. 12" H X 6" W)		WAYNE		DISPENSER MANUFACTURER	DISPENSER MANUFACTURER
B	CANOPY		MADISON		CANOPY FABRICATOR	CANOPY FABRICATOR
C	LOGO - NON-ILLUMINATED (28" H X 37 1/2" W)		DUALITE		OWNER	SIGN INSTALLER
D	ILLUMINATED LOGO SIGN		DUALITE		OWNER	SIGN INSTALLER
E	PRE-CUT BLACK VINYL ADDRESS DECALS PER LOCAL AUTHORITY SPECIFICATIONS, IF REQUIRED				GENERAL CONTRACTOR	GENERAL CONTRACTOR
F	DISPENSER DOOR GRAPHICS	RED WITH WHITE LETTERS	WAYNE		DISPENSER MANUFACTURER	DISPENSER MANUFACTURER
G	CANOPY FASCIA	PER SCHED.	MADISON		CANOPY FABRICATOR	CANOPY FABRICATOR
H	KIOSK - PREFABRICATED	PER SCHED.	SAGEBRUSH		GENERAL CONTRACTOR	GENERAL CONTRACTOR
I	KIOSK FASCIA	PER SCHED.	SAGEBRUSH		GENERAL CONTRACTOR	GENERAL CONTRACTOR
J	ELECTRICAL DISCONNECTS				GENERAL CONTRACTOR	GENERAL CONTRACTOR
K	6" DIAMETER BOLLARD - G.C. TO PAINT	SAFETY RED			GENERAL CONTRACTOR	GENERAL CONTRACTOR
L	HEALTH AND SAFETY DECALS		WAYNE		DISPENSER MANUFACTURER	GENERAL CONTRACTOR
M	DISPENSER		WAYNE		OWNER	GENERAL CONTRACTOR
N	ISLAND FORMS - STAINLESS STEEL				GENERAL CONTRACTOR	GENERAL CONTRACTOR
O	U-SHAPED BOLLARD - G.C. TO PAINT, 3'-0" IN HEIGHT	SAFETY RED	RIVERSIDE		OWNER	GENERAL CONTRACTOR
P	3"x2" DOWNSPOUT - INTERNAL		SAGEBRUSH		KIOSK FABRICATOR	KIOSK FABRICATOR
Q	ILLUMINATED CHANNEL LETTERS		DUALITE		OWNER	SIGN INSTALLER
R	WASTE RECEPTACLE/WINDSHIELD SERVICE CENTER		DCI MARKETING		OWNER	GENERAL CONTRACTOR
S	PUMP NUMBER FLAG				CANOPY FABRICATOR	GENERAL CONTRACTOR
T	4" BLACK VINYL DECAL (DISPENSER NUMBER)				OWNER	GENERAL CONTRACTOR
U	FIRE EXTINGUISHER				OWNER	GENERAL CONTRACTOR



5 DISPENSER ELEVATION
SCALE: 1/2" = 1'-0"



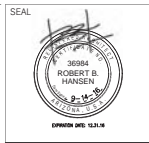
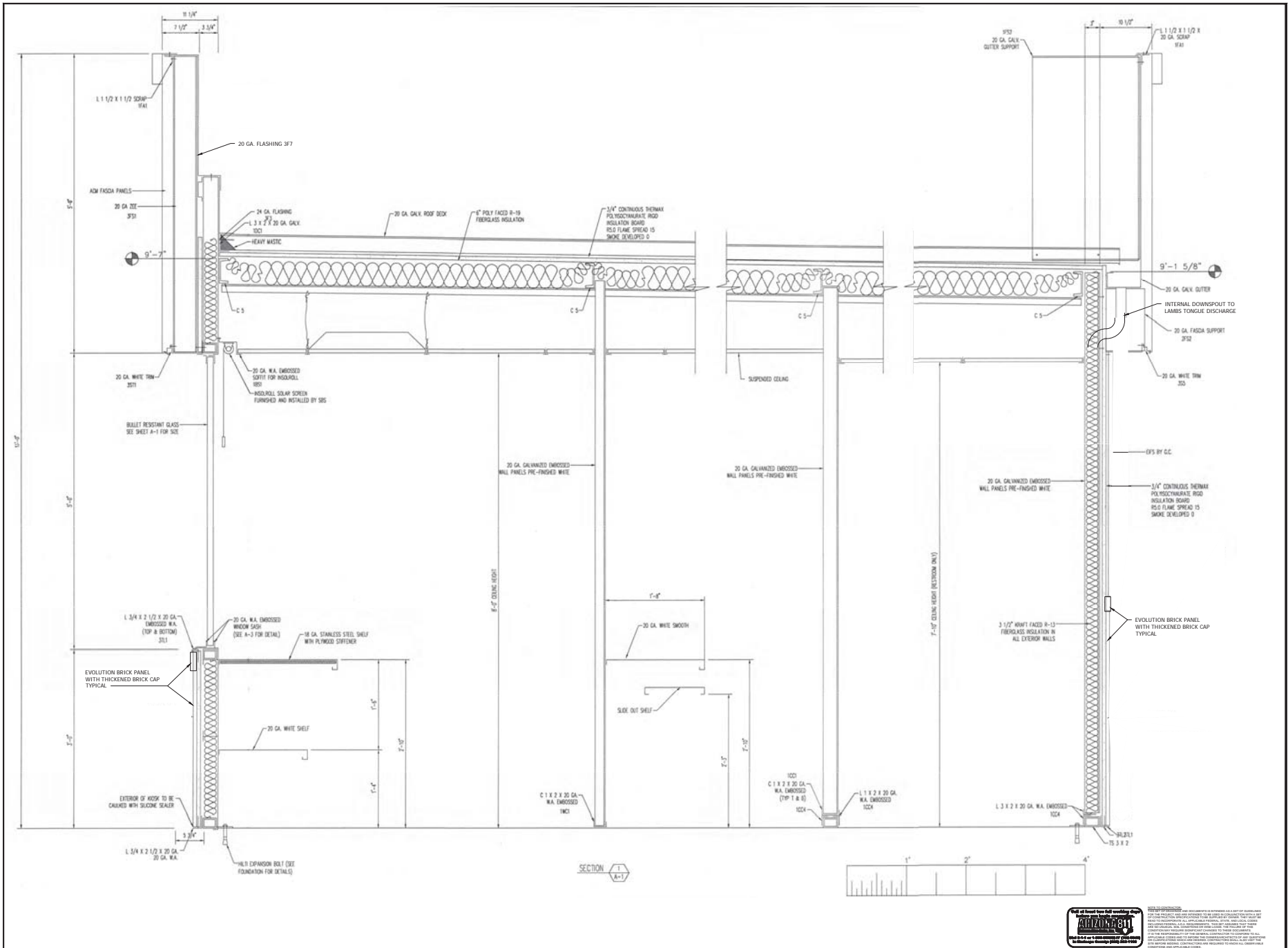
PROJECT: FRY'S FUEL CENTER
LOCATION: 5110 S WENDER DR TEMPE, AZ 85283

DRAWN: POUNDS
DESIGNED: MILES
CHECKED: COUNSELL
PROJ. MGR.: FAKH
DATE: 10/31/2016
ISSUED FOR: CITY REVIEW

REVISION NO.: DATE:
JOB NO.: CD160143

SHEET TITLE: ARCHITECTURAL ELEVATIONS

SHEET NO.: A2.00



SUSTAINABILITY ENGINEERING GROUP
SEG
 6808 E. GELDING DR. SUITE 101, SCOTTSDALE, ARIZONA 85060
 WWW.AZSEG.COM TEL: 480.368.7228



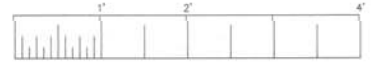
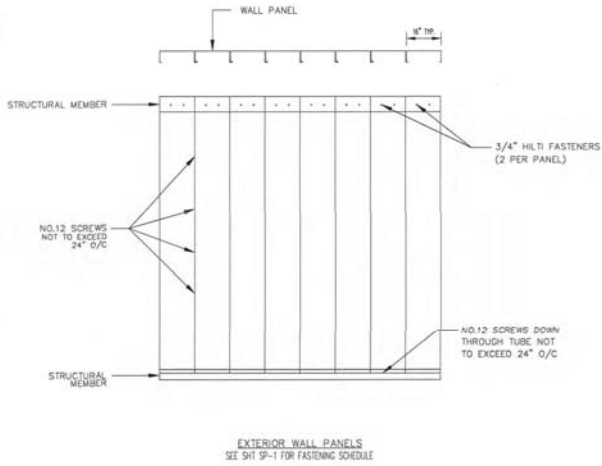
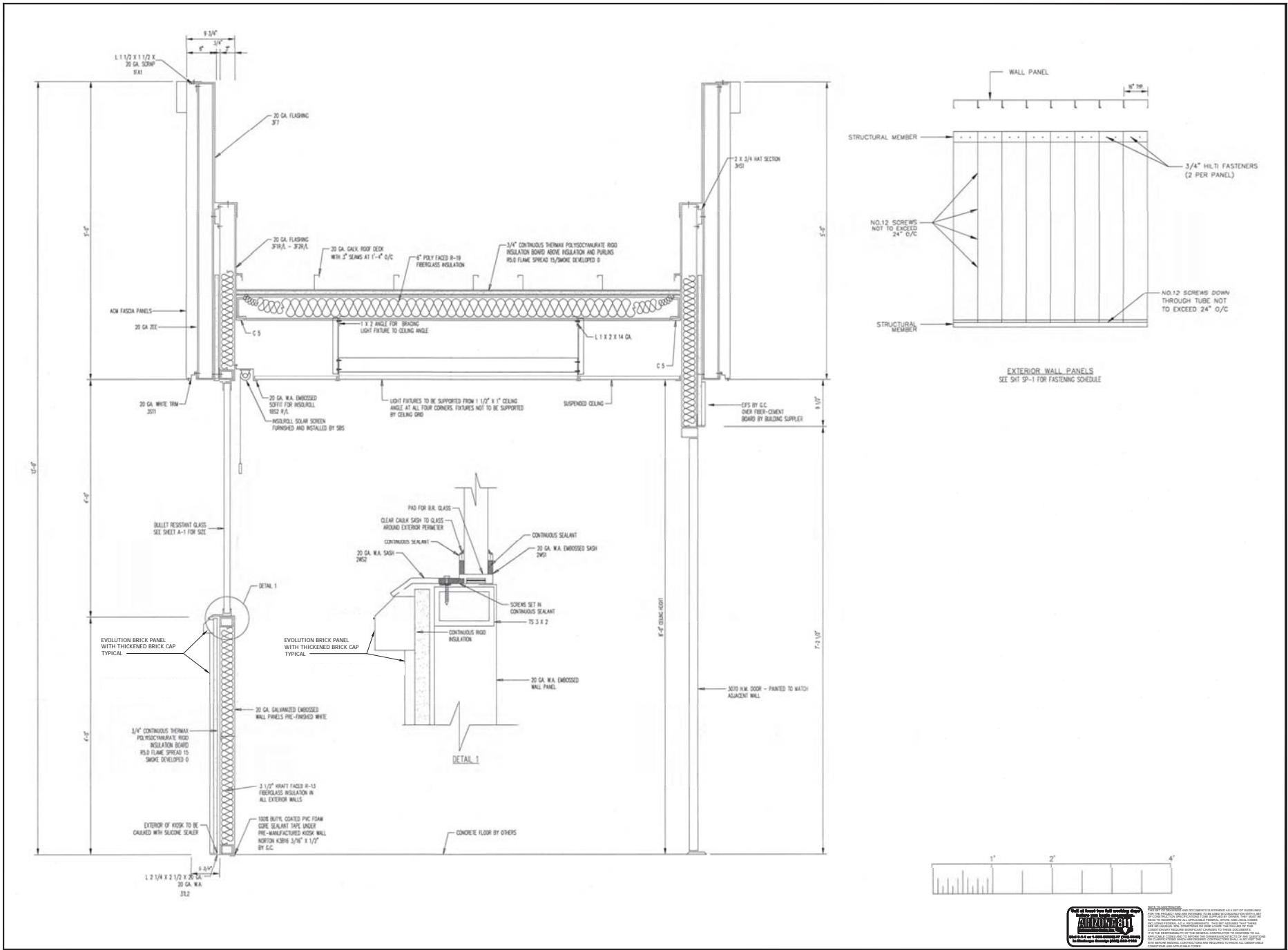
fray's
 Fry's Food Stores of Arizona
 10000 N. 19th Ave., Suite 100
 Tempe, AZ 85288
 Tel: (480) 987-1234
 Fax: (480) 987-1234

Project: FRAY'S #43 FUEL CENTER
Location: 5110 S WENDER DR TEMPE, AZ 85283

Drawn: _____	Pounds: _____
Designed: _____	Miles: _____
Checked: _____	Counsell: _____
Proj. Mgr.: _____	Flash: _____
Date: 09/21/2016	
Issued For: _____	
Revision No.: _____	Date: _____
▲	
▲	
▲	
Job No.: CD160143	

SHEET TITLE:
 ARCHITECTURAL SECTIONS

SHEET NO.: A3.01

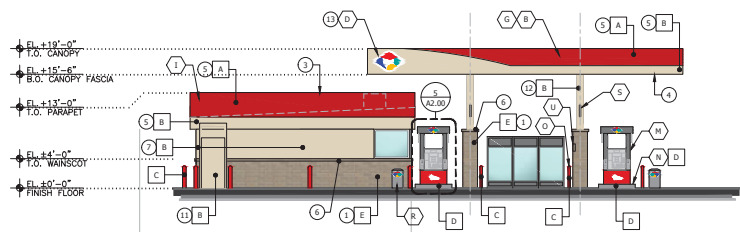


SUSTAINABILITY ENGINEERING GROUP
SEG
 CIVIL ENGINEER
 6808 E. GELBING DR., SUITE 101, SCOTTSDALE, ARIZONA 85060
 WWW.AZSEG.COM TEL: 480.368.7228

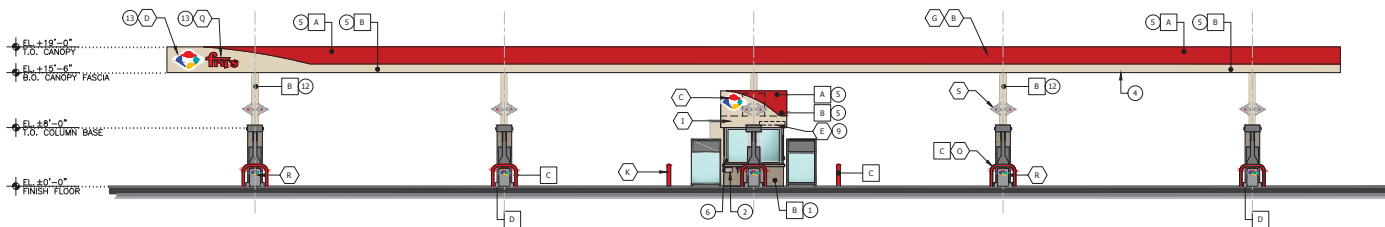
fray's
 Fry's Food Stores of Arizona
 1110 S. WENDLER DR
 TEMPE, AZ 85283
 THE KROGER CO.
 5110 S. WENDLER DR
 TEMPE, AZ 85283

PROJECT	FRY'S #43 FUEL CENTER
LOCATION	5110 S WENDLER DR TEMPE, AZ 85283
DRAWN	POUNDS
DESIGNED	MILES
CHECKED	COUNSELL
PROJ. MGR.	FRANK
DATE:	09/21/2016
ISSUED FOR:	
REVISION NO.:	DATE:
▲	
▲	
▲	
JOB NO.:	CD160143

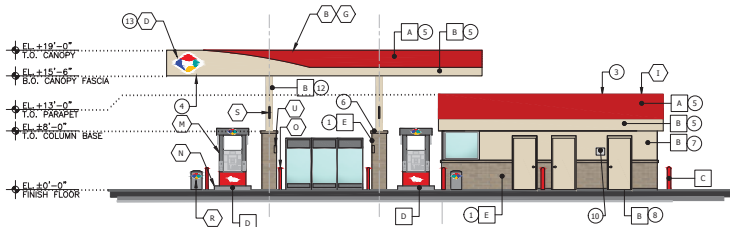
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 ARCHITECTURAL SECTIONS
 SHEET NO.:
 A3.02



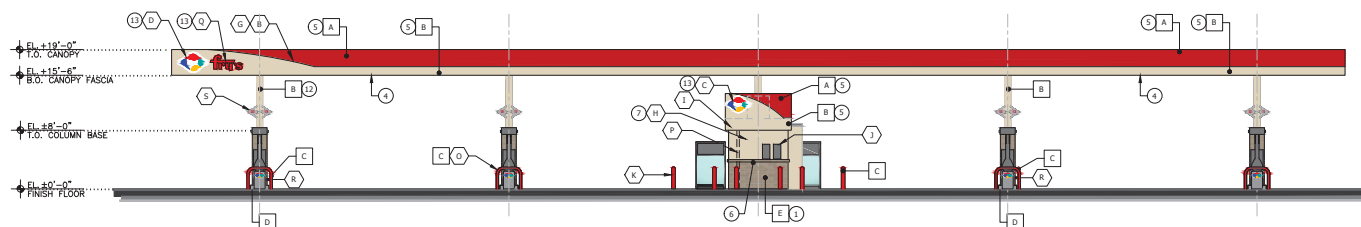
1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



2 EAST ELEVATION
SCALE: 1/8" = 1'-0"



3 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



4 WEST ELEVATION
SCALE: 1/8" = 1'-0"

GENERAL NOTES

- A. CONTRACTOR SHALL SUBMIT MASONRY MORTAR AND PAINT SAMPLES TO FRY'S CONSTRUCTION REPRESENTATIVE FOR APPROVAL PRIOR TO ORDERING MATERIALS.
- B. PREMANUFACTURED CANOPY AND KIOSK PROVIDED BY OTHERS.
- C. ALL ONSITE SIGNAGE UNDER SEPARATE PERMIT.
- D. FUEL DISPENSERS SHALL COMPLY WITH ACCESSIBLE GUIDELINES.

KEYED NOTES

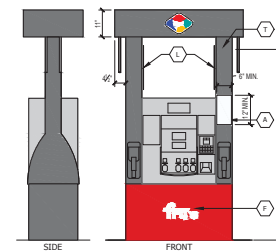
- 1. THIN BRICK PANELS
- 2. EMERGENCY STOP SWITCH 42" AFF
- 3. PARAPET AT KIOSK TO BE TALL ENOUGH TO COMPLETELY CONCEAL ROOF MOUNTED MECHANICAL EQUIPMENT.
- 4. CANOPY LIGHTS SHALL BE FLUSH OR RECESSED.
- 5. JACK PANEL
- 6. BRICK SILL/STEPSTONE
- 7. EIFS SYSTEM
- 8. HM DOOR AND FRAME
- 9. PROVIDE MIN. 12" HIGH W/2" STROKE BUILDING ADDRESS IN CONTRASTING COLOR TO WALL IN ACCORDANCE WITH C.O.A.I. ORDINANCE
- 10. PROVIDE #1 MBL/NO SMOKING SIGNAGE IN ACCORDANCE WITH C.O.A.I. NO SMOKING ORDINANCE AND STATE REQUIREMENTS.
- 11. FIRE RISER ENCLOSURE
- 12. 15' SQUARE CANOPY COLUMN
- 13. SIGNAGE TO BE PERMITTED SEPARATELY.

COLOR FINISH LEGEND

- A ■ SHERWIN WILLIAMS, SW4081 'SAFETY RED' MATCH FRY'S ELECTRONICS COLOR LRV < 75%
- B ■ SHERWIN WILLIAMS, SW7531 'CANVAS TAN' MATCH FRY'S ELECTRONICS COLOR LRV < 75%
- C ■ SHERWIN WILLIAMS, SW4081 'SAFETY RED' MATCH FRY'S ELECTRONICS COLOR LRV < 75%
- D ■ STAINLESS STEEL NOT PAINTED
- E ■ EVOLUTION BRICK, SIERRA TUMBLED MATCH BURGER KING

EQUIPMENT SCHEDULE

ITEM	DESCRIPTION	COLOR	MANUFACTURER	MODEL	FURNISHED BY	INSTALLED BY
A	STATIC WARNING DECAL (26" L X 12" H CB7 W/C)		WAYNE		DISPENSER MANUFACTURER	DISPENSER MANUFACTURER
B	CANOPY		HAZISON		CANOPY FABRICATOR	CANOPY FABRICATOR
C	LOGO (NONILLUMINATED) (26" H CB7 1/2" W/C)		DUALITE		OWNER	SIGN INSTALLER
D	ILLUMINATED LOGO SIGN		DUALITE		OWNER	SIGN INSTALLER
E	PREDIIT BLACK (26" H) ADDRESS DECALS PER LOCAL AUTHORITY SPECIFICATIONS REQUIRED		GENERAL CONTRACTOR		GENERAL CONTRACTOR	GENERAL CONTRACTOR
F	DISPENSER DOOR GRAPHICS	RED WITH WHITE LETTERS	WAYNE		DISPENSER MANUFACTURER	DISPENSER MANUFACTURER
G	CANOPY FASCIA		HAZISON		CANOPY FABRICATOR	CANOPY FABRICATOR
H	KIOSK (PREFABRICATED)	PER SCHED.	SAGEBRUSH		KIOSK FABRICATOR	GENERAL CONTRACTOR
I	KIOSK FASCIA	PER SCHED.	SAGEBRUSH		KIOSK FABRICATOR	GENERAL CONTRACTOR
J	ELECTRICAL DISCONNECTS		GENERAL CONTRACTOR		GENERAL CONTRACTOR	GENERAL CONTRACTOR
K	6" DIAMETER BOLLARD (E.G. TO PAINT) (30" IN HEIGHT)	SAFETY RED	GENERAL CONTRACTOR		GENERAL CONTRACTOR	GENERAL CONTRACTOR
L	HEALTH AND SAFETY DECALS		WAYNE		DISPENSER MANUFACTURER	GENERAL CONTRACTOR
M	DISPENSER		WAYNE		OWNER	GENERAL CONTRACTOR
N	ISLAND FORMS (STAINLESS STEEL)		GENERAL CONTRACTOR		GENERAL CONTRACTOR	GENERAL CONTRACTOR
O	U SHAPED BOLLARD (E.G. TO PAINT) (30" IN HEIGHT)	SAFETY RED	RIVERSIDE		OWNER	GENERAL CONTRACTOR
P	3/2" DOWNSPOUT CENTRAL		SAGEBRUSH		KIOSK FABRICATOR	KIOSK FABRICATOR
Q	ILLUMINATED CHARGE LETTERS		DUALITE		OWNER	SIGN INSTALLER
R	WASTE RECEPTACLE (BIN) SERVICE CENTER		DIGI MARKETING		OWNER	GENERAL CONTRACTOR
S	PUMP NUMBER FLAG		CANOPY FABRICATOR		CANOPY FABRICATOR	GENERAL CONTRACTOR
T	4" BLACK (26" H) DECAL (DISPENSER NUMBER)		OWNER		GENERAL CONTRACTOR	GENERAL CONTRACTOR
U	FIRE EXTINGUISHER		OWNER		GENERAL CONTRACTOR	GENERAL CONTRACTOR



5 DISPENSER ELEVATION
SCALE: 1/2" = 1'-0"



30984
ROBERT B.
HANSEN
EXPIRES 12/31/24

SUSTAINABILITY
ENGINEERING
GROUP



SEAL
CIVIL ENGINEER
frays
FOOD & DRINK STORES
Fry's Food Stores of Arizona
500 South 19th Avenue, Bay A
Phoenix, AZ 85004
Phone (602) 907-1984
Fax (602) 907-1984

hroger
The Kroger Co.
10201 East at Street, Suite A
Phoenix, AZ 85028
Phone (602) 715-5977
Fax (602) 715-5995

PROJECT: FRY'S FUEL CENTER
LOCATION: 5110 S WENDER DR TEMPE, AZ 85283

DATE: 09/14/2016
ISSUED FOR: FUEL CENTER PERMITS
REVISION NO.: DATE:
JOB NO.: CD160143

SHEET TITLE: ARCHITECTURAL ELEVATIONS

SHEET NO.: A2.00



SHERWIN WILLIAMS
SW4081 "SAFETY RED"
MATCH STORE COLOR
LRV < 75%



SW 7531
Canvas Tan



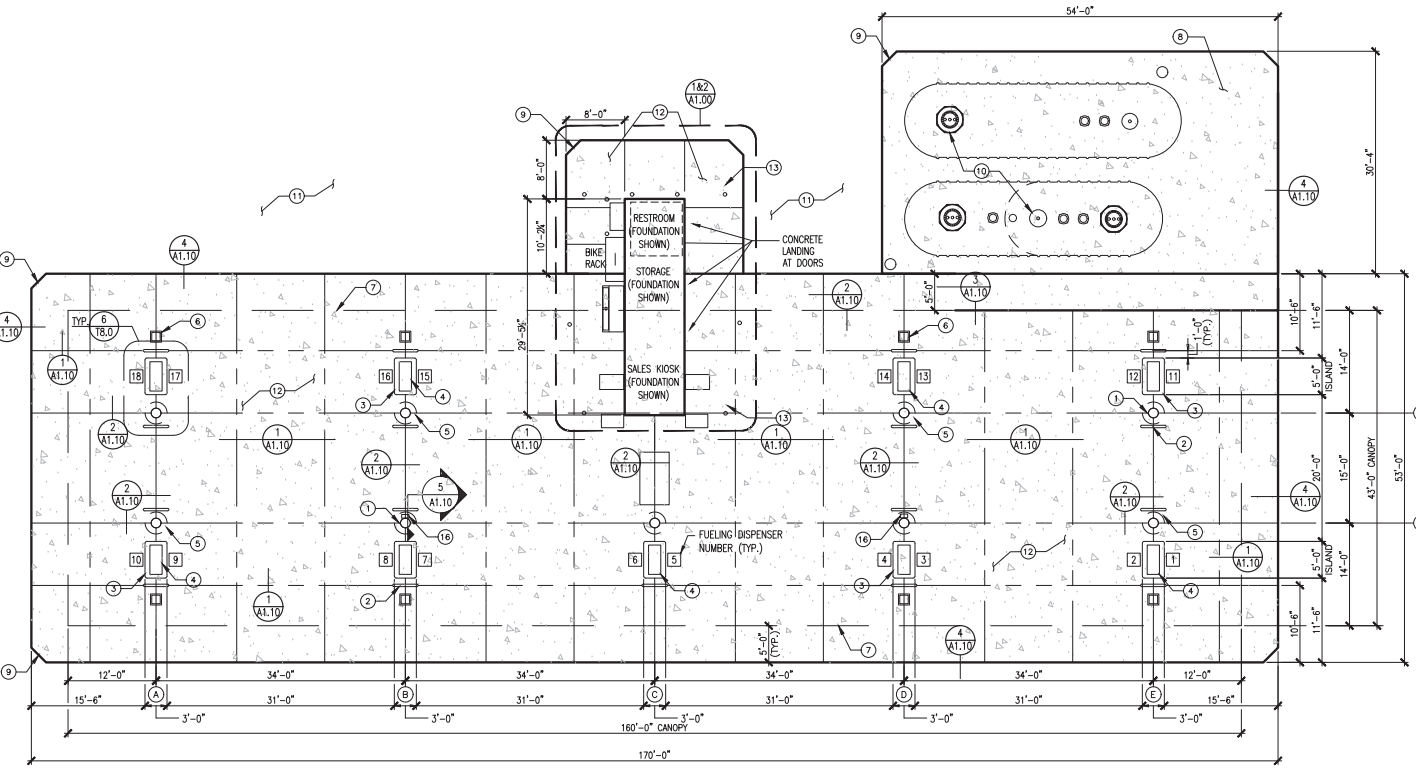
EIFS ABOVE WAINSCOT AT KIOSK
STO MEDIUM FINISH
SHERWIN WILLIAMS, SW7531 "CANVAS TAN"
MATCH STORE COLOR
LRV < 75%

SHERWIN WILLIAMS
SW7531 "CANVAS TAN"
MATCH STORE COLOR
LRV < 75%

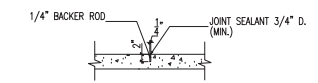
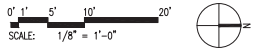


KIOSK AND CANOPY COLUMN WAINSCOT/CAP
EVOLUTION BRICK, SIERRA TUMBLED
MATCHING ADJACENT BURGER KING MATERIAL

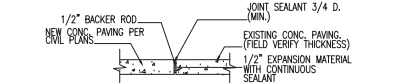
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SEP 26 2016
BY: _____



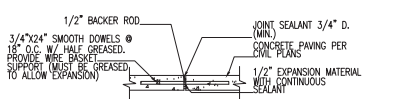
ARCHITECTURAL FLOOR PLAN



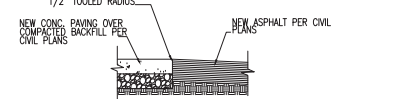
1 CONTROL JOINT
SCALE: NONE



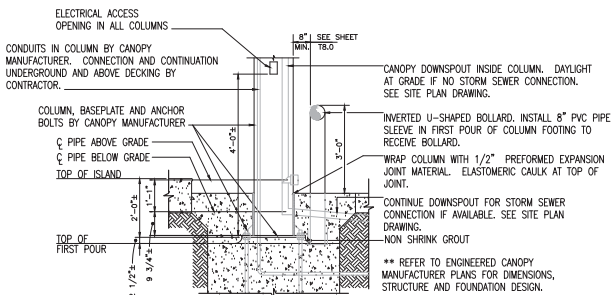
2 EXPANSION JOINT
SCALE: NONE



3 CONSTRUCTION JOINT
SCALE: NONE



4 PAVING TRANSITION DETAIL
SCALE: NONE



5 TYPICAL CANOPY COLUMN
SCALE: 1/2" = 1'-0"

GENERAL NOTES:

- A. CONTRACTOR SHALL BE RESPONSIBLE FOR FINAL COORDINATION OF INSTALLATION SCHEDULE WITH CANOPY SUPPLIER. ANY DEVIATION FROM THE MINIMUM SITE CONDITIONS LISTED OR CHANGES IN SCHEDULE RESULTING IN ADDITIONAL COST TO THE CANOPY SUPPLIER WILL BE BACK CHARGED TO CONTRACTOR.

FLOORPLAN KEYED NOTES: (XX)

- 1. NEW COLUMNS, TYPICAL 10 LOCATIONS, PAINT, REFER TO A2.00 FOR FINISH SCHEDULE.
- 2. "U-SHAPED" BUMPER POST (TYP.)
- 3. CONCRETE CURB WITH METAL EDGE SURROUND, BY KROGER, TYPICAL ALL FUEL DISPENSER ISLAND LOCATIONS.
- 4. NEW FUEL DISPENSER- (MPD) MULTI PRODUCT DISPENSER- BY OTHERS.
- 5. CANOPY COLUMN FOOTING- SEE CANOPY DESIGN (TYP.)
- 6. TRASH RECEPTACLE/ WINDSHIELD SERVICE CENTER (TYP.)
- 7. LINE OF CANOPY FRAMING ABOVE
- 8. 8" CONCRETE PAD. REFER TO CIVIL PLANS FOR LOCATION REQUIREMENTS.
- 9. 2"x2" CHAMFER AT CORNERS OF CONCRETE SLAB
- 10. UNDERGROUND FUEL STORAGE TANKS. REFER TO MANUFACTURER'S DRAWINGS FOR ADDITIONAL INFORMATION.
- 11. ASPHALT PAVEMENT. REFER TO CIVIL DRAWINGS FOR ADDITIONAL INFORMATION.
- 12. 6" THICK CONCRETE PAD.
- 13. 6" CONCRETE-FILLED PIPE BOLLARDS. TEN (10) LOCATIONS AROUND KIOSK.
- 14. KIOSK WITH RESTROOM. SEE ENLARGED DRAWING, SHEET A1.00.
- 15. NOT USED.
- 16. 2-A 20-ABC FIRE EXTINGUISHER IN STEEL CABINET (TYP.- QUANTITIES AND LOCATIONS INSTALLED PER LOCAL CODE) (EMDCO.COM #FEC25). G.C. TO MOUNT BOTTOM 32" ABOVE PAVING.



SUSTAINABILITY ENGINEERING GROUP
SEG
6200 E. GELDING DR. SUITE 101, SCOTTSDALE, ARIZONA 85060
WWW.AESG.COM TEL: 480.388.7720

fruity's
Fruity's Food Stores
Fruity's Food Stores of Arizona
Tombasa, AZ 85033
Tel: (602) 582-1000
Fax: (602) 582-1024

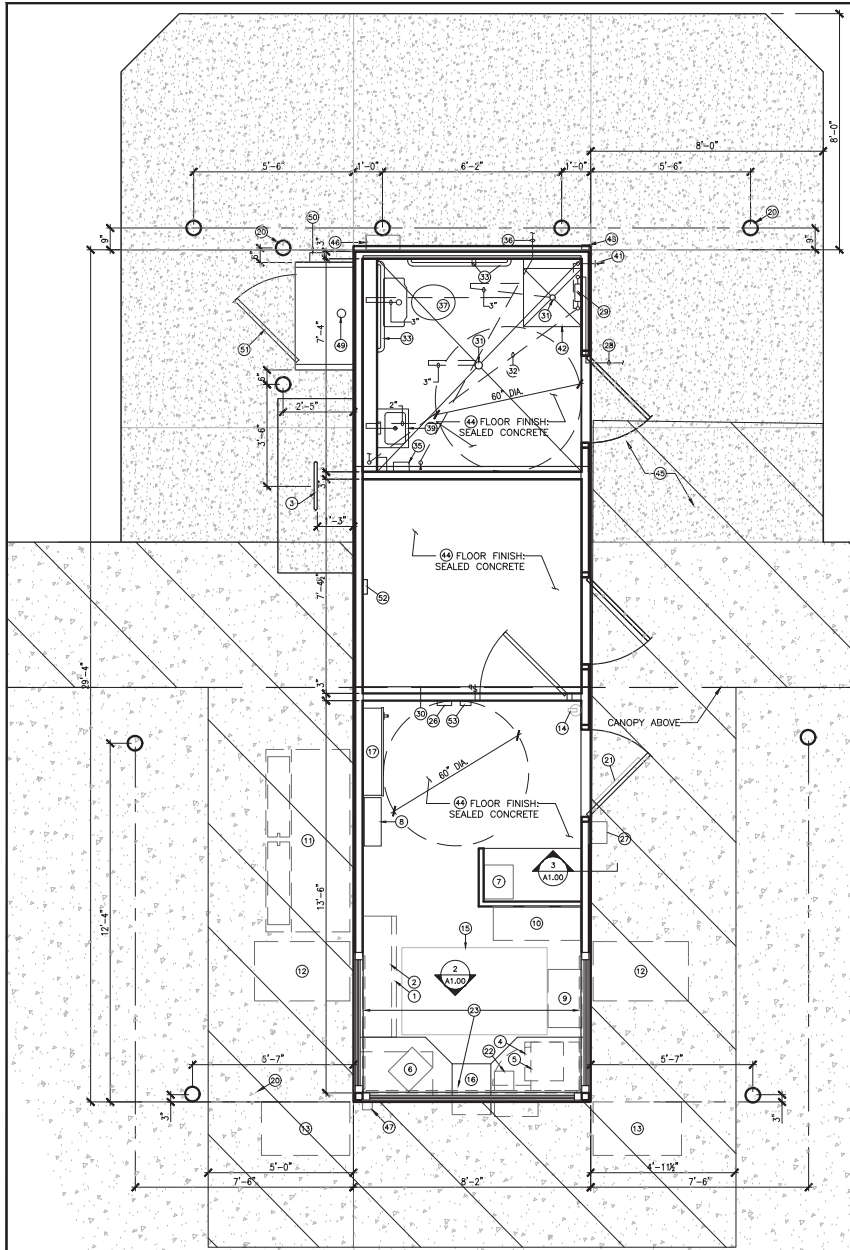
Kroger
The Kroger Co.
Attn: Design, Bldg. A
Denver, CO 80239
Tel: (303) 712-5907
Fax: (303) 712-5907

PROJECT	FRUITY'S #43 FUEL CENTER
LOCATION	5110 S WENDLER DR TEMPE, AZ 85283
DRAWN	POUNDS
DESIGNED	MELES
CHECKED	CONDELL
PROJ. MGR.	FARSH
DATE:	09/21/2016
ISSUED FOR:	
REVISION NO.:	DATE:
▲	
▲	
▲	
JOB NO.:	CD160143

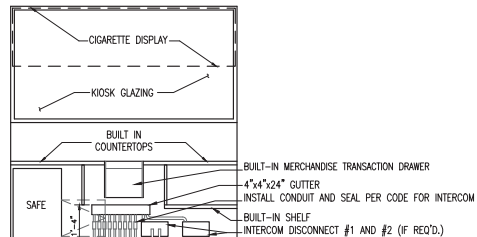
SHEET TITLE:
ARCHITECTURAL FLOOR PLAN & DETAILS

SHEET NO.: A1.10

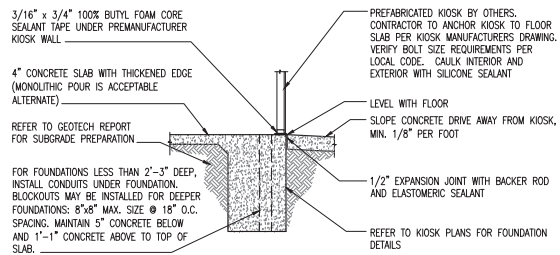




1 KIOSK EQUIPMENT PLAN
SCALE: 1/2"=1'-0"



2 KIOSK INTERIOR ELEVATION
SCALE: 1/2"=1'-0"



3 KIOSK FOUNDATION WALL
NOT TO SCALE

EQUIPMENT LEGEND

- ALL EQUIPMENT FURNISHED BY OWNER UNLESS OTHERWISE SPECIFIED
- 1 4" STORAGE RACK - FURNISHED AND INSTALLED BY G.C.
 - 2 CANDY RACK
 - 3 BICYCLE PARKING RACK LOCATION
 - 4 LOTTO MACHINE
 - 5 SAFE
 - 6 P.O.S. REGISTER
 - 7 BACK OFFICE P.O.S. INSTALLED BY OWNER
 - 8 TANK MONITOR
 - 9 CIGARETTE CARTON MERCHANDISER
 - 10 CIGARETTE PACK MERCHANDISER
 - 11 46 C.F. ICE MERCHANDISER
 - 12 6' REACH-IN PEPS/COKE COOLER - BY VENDOR
 - 13 4' REACH-IN ENERGY/HYDRATION COOLER - BY VENDOR
 - 14 2-A-20-B-C FIRE EXTINGUISHER BY G.C. QUANTITIES AND LOCATIONS INSTALLED PER LOCAL CODE. MOUNT BOTTOM AT 32" A.F.F.
 - 15 ANTI-FATIGUE MAT
 - 16 DEAL TRAY/MERCHANDISE DRAWER
 - 17 PANEL BOARD
 - 18 NOT USED
 - 19 NOT USED
 - 20 6" PIPE BOLLARD - FURNISHED AND INSTALLED BY G.C. (TYP. 10)
 - 21 BULLETIN BOARD - G.C. TO MOUNT ABOVE PEEPHOLE.
 - 22 INTERCOM MASTER STATION INSTALLED BY G.C.
 - 23 CIGARETTE MERCHANDISING SIGN PANELS.
 - 24 NOT USED
 - 25 NOT USED
 - 26 INTRUSION ALARM KEYPAD
 - 27 EMERGENCY 911 CALL BOX MOUNT CENTERLINE AT +48" A.F.F.
 - 28 3/4" COLD WATER SERVICE BY G.C. TO PUBLIC CONNECTION. SEE SITE PLAN FOR CONTINUATION.
 - 29 3/4" BACKFLOW PREVENTER APPROVED BY LOCAL AUTHORITIES BY G.C. INSTALL DEVICE A MINIMUM OF 36" TO A MAXIMUM OF 48" A.F.F. THE DEVICE SHALL HAVE A MINIMUM OF 24" OF CLEAR SPACE IN FRONT OF DEVICE FROM FLOOR TO CEILING. G.C. TO PROVIDE LOCKABLE ALUMINUM COVER FOR BACKFLOW PREVENTER AND VALVES. SUBMIT TO KROGER CONSTRUCTION ENGINEER FOR APPROVAL PRIOR TO FABRICATION.
 - 30 4" FLOOR CLEAN OUT BY G.C.
 - 31 3" FLOOR DRAIN BY G.C., TYPE JAY R. SMITH #2005-B
 - 32 3/4" COLD WATER LINE UNDER SLAB BY G.C.
 - 33 ADA GRAB BARS (TYP.) - INSTALLED BY KIOSK MANUFACTURER.
 - 34 NOT USED. REFER TO ITEM 4 SHEET P-1.
 - 35 INSTANTANEOUS ELECTRIC WATER HEATER - INSTALLED BY KIOSK MANUFACTURER.
 - 36 CONNECT 4" WASTE LINE BY G.C. TO CITY SEWER. SEE SITE PLAN FOR CONTINUATION.
 - 37 WATER CLOSET BY G.C. AMERICAN STANDARD MODEL #2377.100 (WHITE). PROVIDE WITH FLUSH LEVER ON OPEN SIDE OF FIXTURE, OPEN-FRONT SEAT (WHITE), & POLISHED CHROME WATER SUPPLY/STOP.
 - 38 NOT USED. REFER TO ITEM E SHEET P-1.
 - 39 LAVATORY - INSTALLED BY KIOSK MANUFACTURER.
 - 40 NOT USED
 - 41 FROSTPROOF HOSE BIBB OF LENGTH REQUIRED TO REACH INSIDE THERMAL ENVELOPE, ZURN 3121C-M-WC SUPPLIED BY KIOSK MANUFACTURER AND INSTALLED BY G.C.
 - 42 2"x2" MOP SINK, FAUCET AND ALL TRIM, SUPPLIED BY KIOSK MANUFACTURER - INSTALLED BY G.C.
 - 43 ALL CONDUIT IN FLOOR TO BE LOCATED IN THESE AREAS. TYPICAL OF 3.
 - 44 4" CONCRETE SLAB WITH THICKENED EDGE. FINISH SMOOTH WITH STEEL TROWEL.
 - 45 5'-0" CONCRETE WALKWAY SURROUNDING KIOSK, SLOPE PAVED SURFACE 1:20 FROM DOOR(S) TO ADJACENT SITE PAVING. LEVEL (1:50 MAX SLOPE).
 - 46 ELECTRICAL METER/PANEL & SERVICE CONDUIT. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
 - 47 EMERGENCY SHUT-OFF SWITCH PER 2011 NEC 514.11.
 - 48 3"x2" SHEET METAL ROOF DRAIN LEADER.
 - 49 FIRE RISER PIPE. PAINT TO MATCH ADJACENT SURFACE COLOR OF KIOSK.
 - 50 PROVIDE KNOX BOX PER FIRE DEPT. REQUIREMENTS.
 - 51 PROVIDE SIGNAGE AT FIRE RISER ROOM LABELED "FIRE RISER", IN BLACK LETTERS A MINIMUM OF 6" HIGH BY 1" STROKE IN COLOR CONTRASTING WITH DOOR COLOR PER IFC REQUIREMENTS.
 - 52 SMOKE ALARM
 - 53 FIRE ALARM BOX

GENERAL NOTES

- A. CONTRACTOR TO COORDINATE EXACT LOCATION OF CONDUIT STUB-UP WITH KIOSK LAYOUT.
- B. REFER TO MODULAR KIOSK DRAWINGS FOR ADDITIONAL INFORMATION.
- C. CONTRACTOR TO VERIFY ALL DIMENSIONS WITH KIOSK MANUFACTURER FOUNDATION PLANS & COORDINATE WITH OWNER'S REP. PRIOR TO POURING.



SEAL

SUSTAINABILITY ENGINEERING GROUP

SEG

CIVIL ENGINEER

frays
FOOD & DRUG STORES
Fry's Food Stores of Arizona
500 South 19th Avenue, Suite A
Phoenix, AZ 85004
Phone: (602) 907-1584
Fax: (602) 907-0174

Kroger
The Kroger Co.
1025 East 1st Street, Suite A
Phoenix, AZ 85004
Phone: (602) 715-9117
Fax: (602) 715-9505

PROJECT: **FRY'S #43 FUEL CENTER**

LOCATION: **101 S. WINDLER DR TEMPE, AZ 85283**

DATE: **09/21/2016**

ISSUED FOR:

REVISION NO.: DATE:

JOB NO: **CD160143**

SHEET TITLE: **KIOSK EQUIPMENT PLAN FOUNDATION PLAN & DETAILS**

SHEET NO.: **A1.00**



SOUTHWEST TRAFFIC
ENGINEERING, LLC

TRAFFIC IMPACT ANALYSIS

FRY'S ELECTRONICS CENTER ADDITION

WENDLER DRIVE/BASELINE ROAD

REVISED 30 NOVEMBER 2016

REVISED 8 NOVEMBER 2016

10 AUGUST 2016



Expires 3-31-19

PREPARED FOR

SUSTAINABILITY ENGINEERING GROUP
8280 EAST GELDING DRIVE, SUITE 101
SCOTTSDALE, ARIZONA 85260

SOUTHWEST TRAFFIC ENGINEERING, LLC
3838 NORTH CENTRAL AVENUE, SUITE 1810
PHOENIX, AZ 85012
T 602.266.SWTE (7983) F 602.266.1115



**TRAFFIC IMPACT ANALYSIS
FRY'S ELECTRONIC'S CENTER ADDITION
WENDLER DRIVE/BASELINE ROAD**

Executive Summary

The purpose of this traffic study is to evaluate the current and future transportation system within the project study area surrounding the site without and with the proposed addition to the existing Fry's Electronics Center on the northwest corner of Wendler Drive/Baseline Road. The expansion includes the construction of a new fast food restaurant with drive through window and eighteen (18) fueling station fuel center.

Existing and Future Traffic Data Without Project

In order to form a basis for analysis of the project impacts, weekday AM and PM peak hour turning movement traffic counts were conducted at eight (8) existing intersections within the study area.

The intersections of Baseline Road/Interstate 10 (I-10) Eastbound Ramps and Baseline Road/I-10 Westbound Ramps operate at an inadequate LOS during the existing AM and PM peak hours. These delays are expected to continue in 2017 and 2022 without the project.

The intersections of Arizona Grand Parkway/Baseline Road and Arizona Mills South/Baseline Road operate at an overall inadequate LOS during the existing AM and/or PM peak hours and are expected to continue to do so in 2017 and 2022 without the project.

The remaining study intersections currently operate at an adequate LOS during the AM and PM peak hours and are expected to continue to operate adequately in 2017 and 2022 without the project.

Future Traffic Data With Project

Approximately 50% of the trips associated with the proposed Fry's Electronics Center addition can be considered pass-by trips where vehicles make intermediate stops on the way from an origin to a primary trip destination without a route diversion.

The intersections of Baseline Road/I-10 Eastbound Ramps and Baseline Road/I-10 Westbound Ramps are expected to continue to operate at an inadequate LOS during the AM and/or PM peak hours in 2017 and 2022 with and without the project.

The intersections of Arizona Grand Parkway/Baseline Road and Arizona Mills South/Baseline Road continue to operate at an overall inadequate LOS during the AM and PM peak hours in 2017 and 2022 with and without the project.

At the proposed West Access/Baseline Road intersection, the southbound right turn movement operates at an inadequate LOS during the AM and PM peak hours in 2017 and 2022 with the project.



The remaining study intersections operate at adequate LOS during the AM and PM peak hours in 2017 and 2022 with the project.

Turn Lane Calculations

Spillover can occur at turn lanes that do not provide adequate storage capacity and can negatively impact progression along the roadway. While the additional traffic volumes associated with the site are relatively low compared to the existing and future volumes at the turn lanes without the site, a majority of the turn lanes at the study intersections do not provide adequate storage for the 2022 traffic volumes without and with the project. The extension of these turn lanes is limited due to adjacent turn lanes.

A westbound right turn lane is warranted at the proposed West Access based on the 2017 weekday peak hour traffic volumes with the project.

Drive-Through Queue Analysis

The proposed fast food restaurant provides 170 feet of queue length between the drive through window and the drive through entrance. This accommodates the expected maximum queue length of forty (40) feet.

Mitigation

Baseline Road is a major thoroughfare between the cities of Tempe and Phoenix, provides access to Interstate 10 near the site, and provides a parallel route to I-10. As a result, large traffic volumes are experienced on Baseline Road during not only the AM and PM peak periods, but also throughout the day, causing delays at the existing study intersections.

Additional through lanes along Baseline Road could potentially reduce the delays; however, this would require major construction costs due to the right of way limitations along the corridor. Baseline Road re-alignment options are also limited and would require major right of way acquisitions from established businesses and neighborhoods. The regional widening of I-10 and/or the addition of an I-10 east/west reliever route has the potential to shift traffic volumes from Baseline Road. Such an approach would require multiple agencies and valley wide coordination and funding.

In the vicinity of the site, there are two future projects that have the potential to provide relief to Baseline Road. The Loop 202 South Mountain Freeway project to build a multi lane freeway from the Pecos Road/I-10 interchange to 59th Avenue/I-10 is currently under construction. The freeway will connect the east and west valley while providing relief to existing freeway corridors and local streets. In addition, a future widening project on I-10 between United State Route 60 (US 60) and the Broadway Road Bridge is currently in the planning process.



Traffic signal timing improvements at the signalized study intersections were evaluated as a potential mitigation measure. However, the traffic signals on Baseline Road near the project site currently operate on a coordinated network. Although LOS is improved at the Arizona Grand Parkway/Baseline Road and Arizona Mills South/Baseline Road intersections with traffic signal timing improvements, changing the signal timing at these two intersections could negatively impact the coordination along Baseline Road.

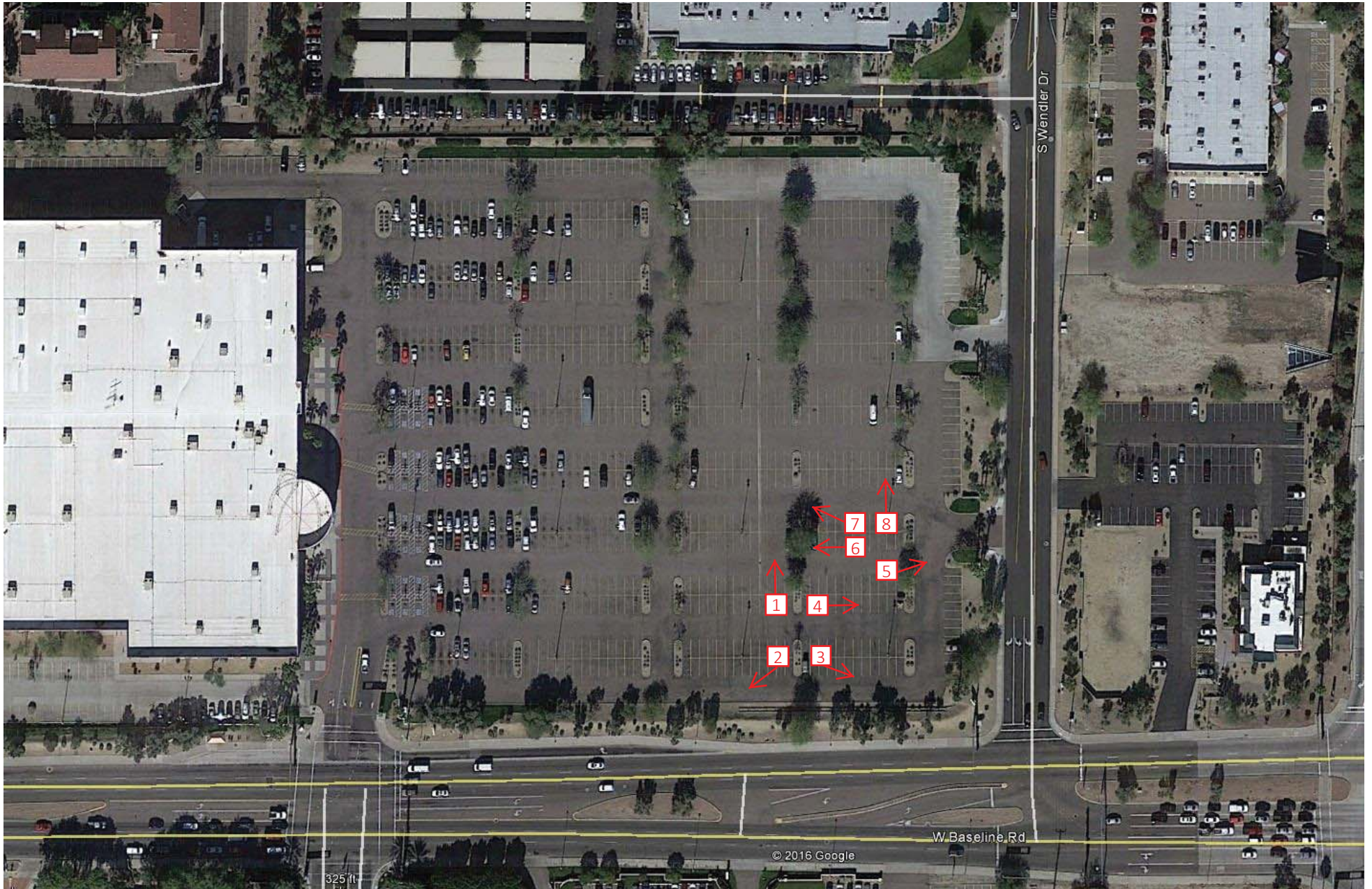
The inadequate LOS experienced for the southbound right turn movement at the proposed West Access/Baseline Road intersection is caused by a limited number of gaps on Baseline Road as a result of the high through traffic volumes. These delays do not impact progression on the major roadway and only affect a small number of vehicles.

Recommendations

It is recommended that a westbound right turn lane at the West Access/Baseline Road driveway be constructed with the project. The westbound right turn lane at the Arizona Grand Parkway/Baseline Road intersection should be shortened to begin immediately west of the proposed West Access/Baseline Road intersection. This will accommodate the westbound right turn lane at West Access/Baseline Road and remove a possible continuous right turn lane scenario along westbound Baseline Road.

The westbound right turn lane at the West Access will also serve as a bus pullout per direction from the City of Tempe. To accommodate a future shelter for the buss pullout, a concrete pad should be installed with the project per City of Tempe standards. In addition, roadway signing for the right turn lane should include an R3-5, right turn only sign, with a specialty sign stating "EXCEPT BUSES" mounted under the right turn only sign.

PHOTO CONTEXT PLAN



EXISTING CONDITIONS



1

Facing North



2

Facing Southwest



3

Facing Southeast



4

Facing East



5

Facing Northeast



6

Facing West



7

Facing Northwest



8

Facing North

Jimenez, Lee

From: Mary Bradley [REDACTED]
Sent: Tuesday, November 22, 2016 4:29 PM
To: Jimenez, Lee
Subject: Proposed Wendler fuel station

We have lived near the proposed fuel station for 30 plus years. The traffic now on Baseline in that immediate area is extremely heavy with so many traffic lights. We already have issues of cars cutting/speeding through our neighborhood trying to avoid the backups. We adamantly oppose any further development in said area. There is also three fuel stations at 48th and Baseline. There certainly is not a need for another.

Sincerely,

Larry and Mary Bradley
4807 S Potter Dr
Tempe, Az 85282

Jimenez, Lee

From: Barb Brooks [REDACTED]
Sent: Tuesday, October 25, 2016 6:25 PM
To: Jimenez, Lee
Subject: Regarding proposal for Frys fuel pumps, etc Wendler and Baseline

Hello Lee. My name is Barb Brooks and I live on Desiree Lane, in Tempe Gardens behind the Frys Electronics. We received an email from one of our neighborhood leaders regarding the Proposed business for Wendler/Baseline and we are pretty concerned. I am not sure how many neighbors we can get to attend the meeting but I am confident we could get signatures, memos from many, if not all neighbors in this area. We are trying hard to get the word out as it appeared some got notice and many did not. This issue is huge to our neighborhood.. We struggle immensely getting out of here onto Baseline as it is, and more commercial coming in will be way too much overload.

We have addressed some of our traffic struggles with Shauna Warner and she has referred to traffic dept., and we look forward to following up with them.

I ask you Lee, what is the best route for our neighborhood in fighting this proposed construction? Is there a petition we can circulate or collection of emails? Any direction would be appreciated. Thank you.

Barb Brooks
2007 W. Desiree Lane
[REDACTED]

Sent from my iPad

Jimenez, Lee

From: [REDACTED]
Sent: Tuesday, November 15, 2016 7:18 PM
To: Jimenez, Lee
Subject: re: Fry's Fuel Center at Baseline and Wendler

I am writing to ask you to please not allow this proposal of the Fry's Fuel Center to go through. I have lived in this neighborhood for almost 40 years now, and have seen the increased traffic and the resultant huge increase in the traffic accidents in this area. There are already too many cars traveling through here, and all the existing traffic lights, corridors, etc. have only added to the problems. The accidents lately have been horrible, affecting those directly involved, but also have tied up traffic in this area for hours. I read that the traffic will lessen with the building of the new freeway south or here, but I'm sorry, I've heard all of that before, and I don't see that easing the congestion, and problems in this area. And especially if another business is added, one that is designed to bring in even more traffic. There are already more than enough gas stations in this area. We don't need more. And we definitely do not need any more traffic, or traffic areas that cause problems.

Please, do not allow this to occur.

Sincerely,
Nichole Brown
2601 W. Fremont Dr.
Tempe, AZ

Jimenez, Lee

From: M BROWNELL FOR [REDACTED]
Sent: Tuesday, October 25, 2016 7:32 AM
To: Jimenez, Lee
Subject: Re: Frys fuel center 43

*I received this notice in the mail last Saturday. I will not be able to attend the meeting but would like to put in my notice that **I do not approve of this.***

I feel that this would add to the existing traffic problem that would already have in that area. We have 4 gas stations close enough to the freeway on both east & west sides on I10 that are kept busy.

We are a neighborhood that has only 3 exits in our out so if there is a problem we will absorb even more traffic.

Wendler is a dead end street which will stop traffic there but they will be able to cut thru Frys electronics into our neighborhood.

I hope that you will be able to pass my choice to the Development review commission.

Thank you,

Marion Brownell

[REDACTED]

Jimenez, Lee

From: Maria Garcia [REDACTED]
Sent: Monday, December 05, 2016 3:27 PM
To: Jimenez, Lee
Subject: Fwd: Dev plan Tempe, Az

Sent from my iPhone

Begin forwarded message:

From: Maria Garcia [REDACTED]
Date: December 5, 2016 at 2:09:40 PM MST
To: lee.jimenez@tempe.gov
Subject: Dev plan Tempe, Az

Mr Jimenez

I am writing regarding the potential plan to build 3475 sq feet restaurant, parking lot and gas station at the corner of Wendler and Baseline. I would like to voice my objection to the plan due to the increased traffic. Why the additional gas station? I say wait until 2019 and then revisit again.

I can be reached at [REDACTED] or my email [REDACTED]

Sent from my iPhone

Jimenez, Lee

From: Paulina Harner [REDACTED]
Sent: Wednesday, November 09, 2016 3:47 PM
To: Jimenez, Lee
Subject: Fw: Fry's Fuel Center/restaurant

Good afternoon Mr. Jimenez,

First of all, there was some confusion about the date of the hearing about the subject. Could you clarify the date and time please?

I have been a resident on Dunbar Drive (close to 48th St and Baseline) for 32 years, and the problems on Baseline Rd with such heavy traffic have been getting worse. As you know, there are 5 stoplights between 48th and Priest for which I'm grateful; otherwise, residents would not be able to get in and out of their neighborhoods. But by building two businesses in such a tight location in an already congested area will only make it worse for everyone.

Sometimes when there is an accident on Baseline, traffic comes through Dunbar and other streets in the area in order to get to their destination. There have been times when people couldn't even get out of their own driveways because cars would be lined up trying to get through Dunbar.

Also, I've learned to stay away from Baseline during the holidays because of the stop and go traffic involving The Arizona Mills. Unless you live in this area, you can't know how bad it is for all of our residents.

Please consider the heavy traffic there will be on top of the heavy congestion that we already have. A restaurant and gas station need a larger access, so please don't allow this to happen.

Paulina Harner
2527 W. Dunbar Drive
Tempe, AZ 85282
[REDACTED]

Jimenez, Lee

From: Pamela Thompson Lefkowitz [REDACTED]
Sent: Saturday, October 29, 2016 3:17 PM
To: Jimenez, Lee; M. BROWNELL FOR
Subject: Fw: FRY'S FUEL CENTER PROPOSAL ON BASELINE & WENDLER

Mr. Jimenez,

I can't be there, but I am against this. The traffic is already a nightmare on Baseline between 48th St and Priest. It is extremely difficult to turn from Baseline onto Wendler or from Wendler to Baseline much of the day. A Fry's Fuel Center at Baseline and Wendler would only make the traffic worse. Why don't they locate it in the parking lot at 48th Street and Baseline.

There is also a QT at 48th Street. The traffic nightmare does not need to be made worse, which this will.

I would also like to suggest that the intersections be crosshatched with no stopping between 48th Street and the street just east of Priest (by Home Depot). Drivers constantly push thru on red and block traffic by stopping in the middle of the intersections.

Pamela Thompson Lefkowitz
2244 W. Fremont Dr.

----- Forwarded Message -----

From: M BROWNELL FOR [REDACTED]
To: Pamela Thompson Lefkowitz [REDACTED]
Sent: Friday, October 28, 2016 7:02 AM
Subject: Re: FRY'S FUEL CENTER PROPOSAL ON BASELINE & WENDLER

Just send a note to Mr Jimenez to let him know.

Marion

From: Pamela Thompson Lefkowitz [REDACTED]
Sent: Thursday, October 27, 2016 9:57 PM
To: M BROWNELL FOR
Subject: Re: FRY'S FUEL CENTER PROPOSAL ON BASELINE & WENDLER

I can't be there, but I am against this. The traffic is already a nightmare there. There is a QT at 48th Street. The traffic nightmare does not need to be made worse, which this will.

Pamela Thompson Lefkowitz
2244 W. Fremont Dr.

From: M BROWNELL FOR [REDACTED]
To:
Sent: Sunday, October 23, 2016 12:20 PM
Subject: RE: FRY'S FUEL CENTER PROPOSAL ON BASELINE & WENDLER

I just wanted to send this out to everyone just in case you did not receive this notice. I wanted to make sure that this gets to everyone unlike the last mailing.

If you know of anyone that is not on the email list please pass this on to them.

Thanks,

Marion

Jimenez, Lee

From: R&P Leonard [REDACTED]
Sent: Wednesday, November 09, 2016 1:47 PM
To: Jimenez, Lee
Subject: re: Fry's Fuel Center 43 - Case Number PL 160289

Mr. Jimenez:

We live in the neighborhood adjoining Fry's Electronics and are wondering if you would be able to tell us what traffic studies or mitigation have been researched in relation to this proposal?

Thank you,

Rich & Paula Leonard
2509 W. Dunbar Dr.

Jimenez, Lee

From: Douglas R. Newton [REDACTED]
Sent: Sunday, October 23, 2016 1:06 PM
To: Jimenez, Lee
Subject: Frys fuel center # 43

Lee: We live at 4812 South fair lane which is just north of the fry's food store at 48th street and baseline. We have a concern about this development as it relates to traffic on Baseline road which at times is very congested.

Can Baseline handle another gas station and restaurant between 48th street and I 10?

We are not against the project, but there are already 3 restaurants between Baseline and I 10 and three gas stations at the intersection of 48th street and baseline road. Again our concern is with the additional traffic. Thank you. Doug Newton.

Jimenez, Lee

From: Jane Newton [REDACTED]
Sent: Wednesday, November 30, 2016 9:08 PM
To: Jimenez, Lee
Subject: Fry's Fuel Center 43 Case number 160289

Mr. Jimenez,

I am writing to oppose the building of the Fry's Fuel Center 42. I doubt that anyone who wants this building lives within a 3 mile radius of the site. If they do, they should know that there are three gas stations to the west of the site and three restaurants. There is also the Mall just East of this site with many restaurants. Two other gas stations are right there also. Trying to access Baseline before 9 on a work day or after 3pm is really troublesome. Saturdays are just as bad. The lights are ran on the late yellows and early reds all the time. It can take up to two lights to access Baseline during this time and with the other three light attempting to access the onramp or going East is unbelievable. Our neighborhood does not need another gas station nor restaurant. We do not need the extra traffic either. Please do not pass this proposal. Thank you, Jane Newton

Jimenez, Lee

From: Colin [REDACTED]
Sent: Tuesday, November 15, 2016 8:35 AM
To: Jimenez, Lee
Subject: Fry's Fuel Center 43

Lee,

The last thing our neighborhood needs is another line-up of cars/trucks on Wendler Drive adding to the abortion of traffic snarl with the existing 8 controlled traffic intersections within one mile of Baseline Road, from Priest to 48th Street, three of which are directly related to Fry's Electronics. This proposal is certainly not needed, nor is it wanted as part of our small community.

When the Mills was first proposed, there were heated hearings when the "politicians" wanted ideas (as if they ever want ideas that are not theirs) about the traffic jams and the increased neighborhood traffic. The complaints were proved to be true and the traffic jams, between 6am to 9am, and 3pm to 7pm, continue to get worse with the grid lock, from Priest to 48th. Do you think the City listens?

The added traffic on Wendler will get worse. Between Fry's Electronics, Denny's, Aunt Chillida's and I-10, traffic will come to a standstill and there is no path around the T.I.

Fry's Electronics bought the property from Radio Shack, back around the turn of the Century, full knowing that they would have a large part of their parking lot that would not be used. One thing for sure, the traffic will get worse and Fry's will, sooner or later go out of business and our community will end up with another abandoned gasoline station to deal with. Within a mile, there are 5 gas stations, with two not doing much business, and now Fry's wants to plant another one. The idea is absolutely ludicrous.

When is the City going to start thinking on their own and taking care of what the people want?

Colin Sword
2708 West Ellis Drive
Tempe, AZ 85282

"False is the idea of utility that sacrifices a thousand real advantages for one imaginary of trifling inconvenience; that would take fire from men because it burns, and water because one may drown in it; that has no remedy for evil, except destruction. The laws that forbid the carrying of arms are laws of such nature. Such laws make things worse for the assaulted and better for the assailants; they serve rather to encourage than prevent homicides, for an unarmed man may be attacked with greater confidence than an armed man."