

**CITY OF TEMPE
DEVELOPMENT REVIEW COMMISSION**

Meeting Date: 08/08/2017
Agenda Item: 5

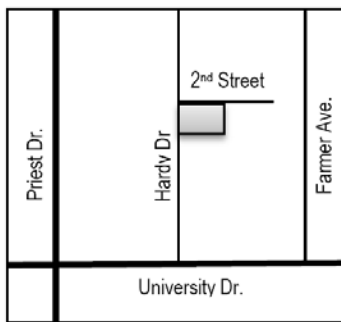
ACTION: Request approval for a Use Permit to allow tandem parking; a Use Permit Standard to increase the maximum allowed building height from 30 to 32 feet; and a Development Plan Review for a new 20-unit, attached single-family development for 2nd & HARDY TOWNHOMES, located at 225 South Hardy Drive. The applicant is Pacific Rim Property Investments, Ltd.

FISCAL IMPACT: There is no fiscal impact on City funds.

RECOMMENDATION: Approve, subject to conditions

BACKGROUND INFORMATION: 2nd & HARDY TOWNHOMES (PL170152) will consists of three, three-story attached single-family buildings, containing 20 units. All of the townhouses will have a two-car garage with tandem spaces, the applicant is also proposing thirteen surface parking spaces for guests. The request includes the following:

1. Use Permit to allow tandem parking.
2. Use Permit Standard to increase the maximum allowed building height from 30 to 32 feet.
3. Development Plan Review including a site plan, building elevations, and landscape plan.



Property Owner	Anthony Miachika, Pacific Rim Property Investment, Ltd.
Applicant	Anthony Miachika, Pacific Rim Property Investment, Ltd.
Zoning District	R-3 (Multi-Family Residential)
Net Site Area	1.0053 acres
Density / Number of Units	20 du/ac / 20 dwelling units
Unit Types	20 three bedroom
Total Building Area	48,927 SF
Lot Coverage	40.4% (50% max. allowed)
Building Height	31'-8" (30'-0" max. allowed)
Building Setbacks	20' front (2 nd Street), 10' street side (Hardy Drive), 67'-2 3/8" east side, 15' rear (20, 10, 10', 10' min.)
Landscape area	25.6% (25% min. allowed)
Vehicle Parking	53 spaces (40 min. required)
Bicycle Parking	0 spaces (0 min. required)

ATTACHMENTS: Development Project File

STAFF CONTACT(S): Obenia Kingsby II, Planner II (480) 858-2394

Department Director: Chad Weaver, Community Development Director
 Legal review by: N/A
 Prepared by: Obenia Kingsby II, Planner II
 Reviewed by: Suparna Dasgupta, Principal Planner

COMMENTS:

This site is located on the southeast corner of 2nd Street and Hardy Drive, is slightly over one acre in size and is within the R-3 (Multi-Family Residential) zoning district. The site is currently comprised of two lots; one is a single-family residence, the other an 8-unit apartment complex, both of which will be demolished for construction of this development. Multi-family uses exist on every corner of the intersection of 2nd Street and Hardy Drive. There is currently an 8-unit apartment complex and single-family residence located on the project site, both will be demolished upon construction of the proposed development.

This request includes the following:

1. Use Permit to allow tandem parking.
2. Use Permit Standard to increase the maximum allowed building height from 30 to 32 feet.
3. Development Plan Review which includes a site plan, building elevations, and landscape plan for a new 20-unit, attached single-family development, containing three, three-story buildings.

The applicant is requesting the Development Review Commission take action on the items listed above. For further processing, the applicant will need approval for a Subdivision Plat, to combine the individual lots into one and a Horizontal Regime Subdivision, to create individual for-sale condominium units.

PRELIMINARY SITE PLAN REVIEW

Four (4) Site Plan Reviews have been completed for this project; two preliminary (12/07/16 and 03/01/17) and two formal (05/24/17 and 07/05/17) submittals. The majority of comments for this project were requests such as providing more detailed plans, correcting errors, presenting the project data/plans more clearly, and design recommendations. The major comments provided to the applicant for this project are listed below.

12/07/16:

1. A second Preliminary Site Plan Review was required; consisting of a revised site plan, blackline elevations and a landscape plan.
2. Staff recommended the applicant reduce unit count to improve site functionality.
3. Clearly identify project as a single-family or multi-family project.

03/01/17:

1. Clearly identify project as a single-family or multi-family project.
2. Staff unable to provide significant design related comments as elevations did not identify materials and finishes.

05/24/17:

1. Clearly identify project as a single-family or multi-family project
2. Use Permit Standard required for increase in allowed building height.
3. Staff not in support of building design, requested applicant to incorporate additional materials.

07/05/17

1. Staff not in support of Chitalpa as a street tree.

PUBLIC INPUT

A neighborhood meeting was not required for this request. Staff did not receive any public input prior to completion of this report.

PROJECT ANALYSIS

USE PERMIT AND USE PERMIT STANDARD

The proposed development requires the approval of a Use Permit and Use Permit Standard. The Use Permit is to allow tandem parking. The development requires a total of 40 vehicle parking spaces, all of which are provided within garages.

Each unit contains a two-car garage. The applicant is also providing 13 surface guest parking spaces. Tandem parking requires residents to coordinate vehicle positions; the garages for each unit are individually accessed, allowing this coordination to occur between residents of the same unit.

The Use Permit Standard is to increase the maximum building height from 30'-0" to 32'-0"; the applicant is proposing the buildings to be 31'-8", so requesting 32'-0" will allow some flexibility during building code review and construction. Table 4-202B of the Zoning and Development Code permits an increase of the maximum allowed building height by 10% of the development standard; which could allow the applicant to go up to 33'-0".

Section 6-308 E Approval criteria for Use Permit (*in italics*):

1. *Any significant increase in vehicular or pedestrian traffic.*
Approval of the Use Permit and Use Permit Standard will not result in a significant increase in vehicular or pedestrian traffic.
2. *Nuisance arising from the emission of odor, dust, gas, noise, vibration, smoke, heat or glare at a level exceeding that of ambient conditions.*
Neither the request for tandem parking or the request for a two-foot increase in building height will create a nuisance exceeding that of ambient conditions.
3. *Contribution to the deterioration of the neighborhood or to the downgrading of property values, the proposed use is not in conflict with the goals objectives or policies for rehabilitation, redevelopment or conservation as set forth in the city's adopted plans or General Plan.*
These requests should not contribute to the deterioration of the neighborhood or downgrading of property values. The requests provide flexibility in garage and building design, creating a unique project.
4. *Compatibility with existing surrounding structures and uses.*
The tandem parking spaces will not be noticeable from the perimeter of the site. The increased building height is minimal and will be compatible with other structures at this intersection.
5. *Adequate control of disruptive behavior both inside and outside the premises which may create a nuisance to the surrounding area or general public.*
Neither of the requests should lead to disruptive behavior.

The manner of conduct and the building for the proposed use will not be detrimental to persons residing or working in the vicinity, to adjacent property, to the neighborhood, or to the public welfare in general, and that the use will be in full conformity to any conditions, requirement or standards prescribed therefore by this code.

DEVELOPMENT PLAN REVIEW

Site Plan

The applicant is proposing three attached townhouse buildings and an amenity building. There is one ten-plex building on Hardy Drive and two five-plex buildings that are mostly interior to the site and visible from 2nd Street; the amenity building is in the southeast corner of the project near the pool. The site has three driveways; two are used to allow access to the town house garages and circulation for refuse collection. The other driveway is proposed to allow access to a row of thirteen (13) parking spaces provided for guests. The majority of vehicular maneuvering will occur on-site and pedestrian pathways have been located to reduce conflict between pedestrians and vehicles.

Building Elevations

The proposed townhouses are 3-story and contemporary in design, with flat roofs. The maximum building height allowed for this development would 32'-0" with a Use Permit Standard, though the applicant plan only shows the residential buildings at 31'-8". The Use Permit Standard will allow for flexibility in building height upon submitting for permits and during construction. Building materials consists of ground-face/split-face CMU block, overlapping fiber cement panels and stucco. The amenity building will be 15'-4" in height and will have complimentary finishes to that of the residential units.

Landscape Plan

Project is providing 25.6% of landscape coverage. Staff has conditioned that Chitalpa not be used as a street tree specimen and provide a minimum of 50% ground cover. Applicant is providing trees along east property line which abuts a multi-family residence, these trees should assist in providing privacy for both developments.

Section 6-306 D Approval criteria for Development Plan Review (*in italics*):

1. *Placement, form, and articulation of buildings and structures provide variety in the streetscape*; the buildings are designed with variation in materials, colors, fenestration, and wall planes on all elevations. The design provides variety in the streetscapes.
2. *Building design and orientation, together with landscape, combine to mitigate heat gain/retention while providing shade for energy conservation and human comfort*; canopies and balcony overhangs provide shade for windows, patios, and walkways adjacent to the building. Landscaping adjacent to sidewalks and within pedestrian courtyard areas will provide shade for human comfort.
3. *Materials are of a superior quality, providing detail appropriate with their location and function while complementing the surroundings*; building materials include stucco, ground-face/split-face integral colored CMU, overlapping fiber cement panels and glass. The use of these materials is appropriate for the building design and the surroundings.
4. *Buildings, structures, and landscape elements are appropriately scaled, relative to the site and surroundings*; the building and landscape elements are appropriately scaled to the site and surrounding neighborhood.
5. *Large building masses are sufficiently articulated so as to relieve monotony and create a sense of movement, resulting in a well-defined base and top, featuring an enhanced pedestrian experience at and near street level*; the buildings contain variations in height, wall planes, and materials, resulting in a sense of movement and enhanced pedestrian experience near the street level.
6. *Building facades provide architectural detail and interest overall with visibility at street level (in particular, special treatment of windows, entries and walkways with particular attention to proportionality, scale, materials, rhythm, etc.) while responding to varying climatic and contextual conditions*; building facades provide architectural detail and the design is appropriate to the scale and context of the development.
7. *Plans take into account pleasant and convenient access to multi-modal transportation options and support the potential for transit patronage*; all dwelling units have a direct pedestrian access route to a public sidewalk.
8. *Vehicular circulation is designed to minimize conflicts with pedestrian access and circulation, and with surrounding residential uses*; vehicular circulation will occur at driveways and do not interfere with pedestrian access to or around the site.
9. *Plans appropriately integrate Crime Prevention Through Environmental Design principles such as territoriality, natural surveillance, access control, activity support, and maintenance*; the design and landscaping will comply with CPTED principles.
10. *Landscape accents and provides delineation from parking, buildings, driveways and pathways*; landscape accents the perimeter of the project as well as internal walkways and driveways.
11. *Signs have design, scale, proportion, location and color compatible with the design, colors, orientation and materials of the building or site on which they are located*. Signage was not reviews at a part of the request and requires a separate plan review process.
12. *Lighting is compatible with the proposed building(s) and adjoining buildings and uses, and does not create negative effects*. Lighting is designed to be compatible with the development and adjacent uses.

REASONS FOR APPROVAL:

1. The project will meet the development standards required under the Zoning and Development Code.
2. The proposed project meets the approval criteria for a Use Permit and Development Plan Review.

Based on the information provided and the above analysis, staff recommends approval of the requested Use Permit, Use Permit Standard and Development Plan Review. This request meets the required criteria and will conform to the conditions.

USE PERMIT CONDITIONS OF APPROVAL (Tandem Parking):

1. Tandem Parking is only permitted in dwelling unit garages, not allowed for surface parking spaces.
2. This Use Permit is valid only after a Building Permit has been obtained, the required inspections have been completed, and a Final Inspection has been passed.
3. The Use Permit is valid for the plans as submitted within this application.
4. Any intensification or expansion of the use shall require a new Use Permit.

USE PERMIT STANDARD CONDITIONS OF APPROVAL (Building Height):

1. This Use Permit is valid only after a Building Permit has been obtained, the required inspections have been completed, and a Final Inspection has been passed.
2. The Use Permit is valid for the plans as submitted within this application.
3. Any intensification or expansion of the use shall require a new Use Permit.

DEVELOPMENT PLAN REVIEW CONDITIONS OF APPROVAL:**General**

1. Except as modified by conditions, development shall be in substantial conformance with the site plan, building elevations and landscape plan; attachments 6, 8-11 and 22. Minor modifications may be reviewed through the plan check process of construction documents; major modifications will require submittal of a Development Plan Review.
2. An Amended Subdivision Plat is required for this development and shall be recorded prior to issuance of building permits. The plat should demonstrate an individual lot for each dwelling unit of this project and common areas is shown as tracts.

Site Plan

3. Provide a minimum of four (4) bicycle parking spaces for guests.
4. The turnaround space noted on site plan, located in the row of guest parking spaces and accessed from 2nd Street, shall be striped and demarcated for no parking.
5. Provide a parking screen wall on 2nd Street. Wall should have a height that does not exceed four (4) feet and constructed of integral colored CMU to match dwelling patio walls.
6. Provide service yard and mechanical (cooling tower/generator) yard walls that are at least 8'-0" tall as measured from adjacent grade and are at least the height of the equipment being enclosed, whichever is greater. Verify height of equipment and mounting base to ensure that wall height is adequate to fully screen the equipment. Locate electrical service entrance sections inside the service yard.

7. Provide gates of steel vertical picket, steel mesh, steel panel or similar construction. Where a gate has a screen function and is completely opaque, provide vision portals for visual surveillance. Provide gates of height that match that of the adjacent enclosure walls. Review gate hardware with Building Safety and Fire staff and design gate to resolve lock and emergency ingress/egress features that may be required.
8. Provide upgraded paving at each driveway consisting of integral colored unit paving. Extend this paving in the driveway from the right-of-way line to 20'-0" on site and from curb to curb at the drive edges. From sidewalk to right-of-way line, extend concrete paving to match sidewalk.
9. Utility equipment boxes for this development shall be finished in a neutral color (subject to utility provider approval) that compliments the coloring of the buildings.
10. Place exterior, freestanding reduced pressure and double check backflow assemblies in pre-manufactured, pre-finished, lockable cages (one assembly per cage). If backflow prevention or similar device is for a 3" or greater water line, delete cage and provide a masonry or concrete screen wall following the requirements of Standard Detail T-214.

Building Elevations

11. The materials and colors are approved as presented on attachments 8-11:

Primary – painted, sand finished stucco – Dunn Edwards – Watermist (DE6240)

– Pewter Patter (DET627)

– Charcoal Briquette (DET601)

Accent – smooth ground-face CMU block – Graphite Gray

Accent/Mechanical Screening – painted, overlapping fiber cement panels with wood grain finish – Watermist (DE6240)

Patio – split-faced CMU – dark gray

Metal – Dwelling Door – painted Dunn Edwards – Sage Leaf (DET5572)

Garage Door – painted Dunn Edwards – Pewter Patter (DET627)

Window Mullions, Metal Trim and Railings – Dark Bronze

Windows – clear glass

Provide primary building colors and materials with a light reflectance value of 75 percent or less. Additions or modifications may be submitted for review during building plan check process.

12. Corners of the overlapping fibers cement panels shall be mitered or concealed with a trim cap that complements the material and finish of panels.
13. Ground-face CMU located at the Base of the Left and Right End Elevations should continue those entire façades at the height shown, and wrap around to the respective corner.
14. The lower pop-out stucco element on Right End Elevations should be raised in height six (6) to twelve (12) inches to provide more visual interest in this elevation by shifting the vertical planes.
15. Provide secure roof access from the interior of the building. Do not expose roof access to public view.
16. Conceal roof drainage system within the interior of the building.
17. Incorporate lighting, address signs, and incidental equipment attachments (alarm klaxons, security cameras, etc.) where exposed into the design of the building elevations. Exposed conduit, piping, or related materials is not permitted.
18. The electrical service entrance section (S.E.S.) for each unit should be recessed into building, flush to adjacent wall; and if allowed by building code provide a decorative access hatch painted to match.

19. Upper/lower divided glazing panels in exterior windows at grade level, where lower glass panes are part of a divided pane glass curtain-wall system, shall be permitted only if laminated glazing at these locations is provided.

Lighting

20. This project shall follow requirements of ZDC Part 4, Chapter 8, Lighting.
21. Illuminate building entrances from dusk to dawn to assist with visual surveillance at these locations.

Landscape

22. Project should provide a minimum of six (6) street trees along 2nd Street and seven (7) along Hardy Drive.
23. Chitalpa is not allowed as a street tree. Provide Red Push Pistache, Delbergia Sissoo or Arizona Ash as a street tree. Only use one specimen type for street trees.
24. Provide a minimum of 50% ground cover in landscape areas with shrubs and accents, non-organic materials should not count towards this calculation.
25. Arterial street trees shall be a minimum of 36" box specimens and a minimum of 1 ½" caliper trunk.
26. Irrigation notes:
 - a. Provide dedicated landscape water meter.
 - b. Provide pipe distribution system of buried rigid (polyvinylchloride), not flexible (polyethylene). Use of schedule 40 PVC mainline and class 315 PVC ½" feeder line is acceptable. Class 200 PVC feeder line may be used for sizes greater than ½". Provide details of water distribution system.
 - c. Locate valve controller in a vandal resistant housing.
 - d. Hardwire power source to controller (a receptacle connection is not allowed).
 - e. Controller valve wire conduit may be exposed if the controller remains in the mechanical yard.
27. Include requirement to de-compact soil in planting areas on site and in public right of way and remove construction debris from planting areas prior to landscape installation.
28. Top dress planting areas with a rock or decomposed granite application. Provide rock or decomposed granite of 2" uniform thickness. Provide pre-emergence weed control application and do not underlay rock or decomposed granite application with plastic.

Building Address Numerals

29. Provide address sign(s) on the building elevation facing the street to which the property is identified.
 - a. Conform to the following for building address signs:
 - 1) Provide street number only, not the street name
 - 2) Compose of 12" high, individual mount, metal reverse pan channel characters.
 - 3) Self-illuminated or dedicated light source.
 - 4) On multi-story buildings, locate no higher than the second level.
 - 5) Coordinate address signs with trees, vines, or other landscaping, to avoid any potential visual obstruction.
 - 6) Do not affix numbers or letters to elevation that might be mistaken for the address.
 - b. Utility meters shall utilize a minimum 1" number height in accordance with the applicable electrical code and utility company standards.

CODE/ORDINANCE REQUIREMENTS:

THE BULLETED ITEMS REFER TO EXISTING CODE OR ORDINANCES THAT PLANNING STAFF OBSERVES ARE PERTINENT TO THIS CASE. THE BULLET ITEMS ARE INCLUDED TO ALERT THE DESIGN TEAM AND ASSIST IN OBTAINING A BUILDING PERMIT AND ARE NOT AN EXHAUSTIVE LIST.

SITE PLAN REVIEW: Verify all comments by the Public Works Department, Community Development Department, and Fire Department given on the Preliminary Site Plan Reviews from 12/07/2016, 03/01/2017; and formal Site Plan Reviews on 05/24/2017 and 07/05/2017. If questions arise related to specific comments, they should be directed to the appropriate department, and any necessary modifications coordinated with all concerned parties, prior to application for building permit. Construction Documents submitted to the Building Safety Division will be reviewed by planning staff to ensure consistency with this Design Review approval prior to issuance of building permits.

DEADLINE: Development plan approval shall be void if the development is not commenced or if an application for a building permit has not been submitted, whichever is applicable, within twelve (12) months after the approval is granted or within the time stipulated by the decision-making body. The period of approval is extended upon the time review limitations set forth for building permit applications, pursuant to Tempe Building Safety Administrative Code, Section 8-104.15. An expiration of the building permit application will result in expiration of the development plan.

CC&R'S: The owner(s) shall provide a continuing care condition, covenant and restriction for all of the project's landscaping, required by Ordinance or located in any common area on site. The CC&R's shall be reviewed and placed in a form satisfactory to the Community Development Manager and City Attorney.

STANDARD DETAILS:

- Access to Tempe Supplement to the M.A.G. Uniform Standard Details and Specifications for Public Works Construction, at this link: <http://www.tempe.gov/city-hall/public-works/engineering/standards-details> or purchase book from the Public Works Engineering Division.
- Access to refuse enclosure details DS116 and DS118 and all other Development Services forms at this link: <http://www.tempe.gov/city-hall/community-development/building-safety/applications-forms>. The enclosure details are under Civil Engineering & Right of Way.

BASIS OF BUILDING HEIGHT: Measure height of buildings from top of curb at a point adjacent to the center of the front property line.

HISTORIC PRESERVATION: State and federal laws apply to the discovery of features or artifacts during site excavation (typically, the discovery of human or associated funerary remains). Contact the Historic Preservation Officer with general questions. Where a discovery is made, contact the Arizona State Historical Museum for removal and repatriation of the items.

POLICE DEPARTMENT SECURITY REQUIREMENTS:

- Design building entrance(s) to maximize visual surveillance of vicinity. Limit height of walls or landscape materials, and design columns or corners to discourage ambush.
- Maintain distances of 20'-0" or greater between a pedestrian path of travel and any hidden area to allow for increased reaction time and safety.
- Follow the design guidelines listed under appendix A of the Zoning and Development Code. In particular, reference the CPTED principal listed under A-II Building Design Guidelines (C) as it relates to the location of pedestrian environments and places of concealment. Provide method of override access for Police Department (punch pad or similar) to controlled access areas including pool, clubhouse or other gated common areas.
- Provide a security vision panel at service and exit doors (except to rarely accessed equipment rooms) with a 3" wide high strength plastic or laminated glass window, located between 43" and 66" from the bottom edge of the door.

TRAFFIC ENGINEERING:

- Provide 8'-0" wide public sidewalk along arterial roadways, or as required by Traffic Engineering Design Criteria and Standard Details.

- Construct driveways in public right of way in conformance with Standard Detail T-320. Alternatively, the installation of driveways with return type curbs as indicated, similar to Standard Detail T-319, requires permission of Public Works, Traffic Engineering.
- Demonstrate clear vision triangles at all driveways on the site and landscape plans. Identify speed limits for adjacent streets at the site frontages. Begin sight triangle in driveways at point 15'-0" in back of face of curb. Consult Intersection Sight Distance memo, available from Traffic Engineering if needed www.tempe.gov/index.aspx?page=801. Do not locate site furnishings, screen walls or other visual obstructions over 2'-0" tall (except canopy trees are allowed) within each clear vision triangle.

FIRE:

- Clearly define the fire lanes. Ensure that there is at least a 20'-0" horizontal width, and a 14'-0" vertical clearance from the fire lane surface to the underside of tree canopies or overhead structures. Layout and details of fire lanes are subject to Fire Department approval.
- Provide a fire command room(s) on the ground floor of the building(s). Verify size and location with Fire Department.

CIVIL ENGINEERING:

- An Encroachment Permit or License Agreement must be obtained from the City for any projections into the right of way or crossing of a public utility easement, prior to submittal of construction documents for building permit.
- Maintain a minimum clear distance of twenty-four (24) feet between the sidewalk level and any overhead structure.
- Underground utilities except high-voltage transmission line unless project inserts a structure under the transmission line.
- Coordinate site layout with Utility provider(s) to provide adequate access easement(s).
- Clearly indicate property lines, the dimensional relation of the buildings to the property lines and the separation of the buildings from each other.
- Verify location of any easements, or property restrictions, to ensure no conflict exists with the site layout or foundation design.
- 100-year onsite retention required for this property, coordinate design with requirements of the Engineering Department.

SOLID WASTE SERVICES:

- Contact Public Works Sanitation Division to verify that vehicle maneuvering and access to the enclosure is adequate. Refuse staging, collection and circulation must be on site; no backing onto or off of streets, alleys or paths of circulation.
- Develop strategy for recycling collection and pick-up from site with Sanitation. Roll-outs may be allowed for recycled materials. Coordinate storage area for recycling containers with overall site and landscape layout.
- Gates for refuse enclosure(s) are not required, unless visible from the street. If gates are provided, the property manager must arrange for gates to be open from 6:00am to 4:30pm on collection days.

PARKING SPACES:

- Verify conformance of accessible vehicle parking to the Americans with Disabilities Act and the Code of Federal Regulations Implementing the Act. Refer to Building Safety ADA Accessible Parking Spaces Marking/Signage on Private Development details.
- At parking areas, provide demarcated accessible aisle for disabled parking.
- Distribute bike parking areas nearest to main entrance(s). Provide parking loop/rack per standard detail T-578. Provide 2'-0" by 6'-0" individual bicycle parking spaces. One loop may be used to separate two bike parking spaces. Provide clearance between bike spaces and adjacent walkway to allow bike maneuvering in and out of space without interfering with pedestrians, landscape materials or vehicles nearby.

ZONING AND DEVELOPMENT CODE:

- Specific requirements of the **Zoning and Development Code (ZDC)** are not listed as a condition of approval, but will apply to any application. To avoid unnecessary review time and reduce the potential for multiple plan check

submittals, become familiar with the ZDC. Access the ZDC through www.tempe.gov/zoning or purchase from Community Development.

LIGHTING:

- Design site security light in accordance with requirements of ZDC Part 4 Chapter 8 (Lighting) and ZDC Appendix E (Photometric Plan).
- Indicate the location of all exterior light fixtures on the site, landscape and photometric plans. Avoid conflicts between lights and trees or other site features in order to maintain illumination levels for exterior lighting.

LANDSCAPE:

- Trees shall be planted a minimum of 16'-0" from any existing or proposed public utility lines. The tree planting separation requirements may be reduced to no less than 8'-0" from utility lines upon the installation of a linear root barrier. Per Detail T-460, the root barrier shall be a continuous material, a minimum of 0.08" thick, installed to a minimum depth of 4'-0" below grade. The root barrier shall extend 6'-0" on either side of the tree parallel to the utility line for a minimum length of 12'-0". Final approval is subject to determination by the Public Works, Water Utilities Division.
- Prepare an existing plant inventory for the site and adjacent street frontages. The inventory may be prepared by the Landscape Architect or a plant salvage specialist. Note original locations and species of native and "protected" trees and other plants on site. Move, preserve in place, or demolish native or "protected" trees and plants per State of Arizona Agricultural Department standards. File Notice of Intent to Clear Land with the Agricultural Department. Notice of Intent to Clear Land form is available at www.azda.gov/ESD/nativeplants.htm. Follow the link to "applications to move a native plant" to "notice of intent to clear land".

SIGNS: Separate plan review process is required for signs in accordance with requirements of ZDC Part 4 Chapter 9 (Signs). Refer to www.tempe.gov/signs.

DUST CONTROL: Any operation capable of generating dust, include, but not limited to, land clearing, earth moving, excavating, construction, demolition and other similar operations, that disturbs 0.10 acres (4,356 square feet) or more shall require a dust control permit from the Maricopa County Air Quality Department (MCAQD). Contact MCAQD at <http://www.maricopa.gov/aq/>.

HISTORY & FACTS:

- | | |
|--------------|--|
| May 15, 1974 | A Certificate of Occupancy was issued for an 8-unit apartment complex with thirteen 13 parking spaces, at 225 South Hardy Drive, the northern portion of the proposed project site. This apartment complex will be demolished as part of this project. |
| 1938 | Based on the Maricopa County Assessor's website a single-family residence was built on the southern portion of the proposed project site, addressed at 305 South Hardy Drive. Additional square footage has been erected on this property, the most recently in 1982. This residence will be demolished as part of this project. |

ZONING AND DEVELOPMENT CODE REFERENCE:

Section 6-306, Development Plan Review
Section 6-308, Use Permit



DEVELOPMENT PROJECT FILE
for
2ND & HARDY TOWNHOMES
(PL170152)

ATTACHMENTS:

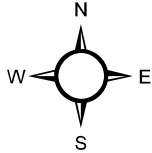
1. Location Map
2. Aerial
- 3-5. Letter of Explanation
6. Site Plan
7. Context Site Plan
- 8-9. Blackline Elevations
- 10-11. Color Elevations
12. Street Elevations
13. Building Sections
- 14-15. Renderings
- 16-17. Materials
- 18-20. Floor Plans
21. Roof Plan
22. Landscape Plan
- 23-24. Lighting Plan
25. Site Photos

2nd & Hardy Townhomes

PL 170152



- | | |
|--|---|
| General Industrial District (GID) | Single-Family Residential Planned Area Dev (R1-PAD) |
| Mixed Use Med (MU-2) | Multi-Family Residential (R-2) |
| Mixed Use High (MU-4) | Multi-Family Residential Restricted (R-3R) |
| Commercial Shopping and Services (CSS) | Multi-Family Residential Limited (R-3) |
| Residential/Office (RO) | Multi-Family Residential General (R-4) |
| Single-Family Residential (R1-6) | |



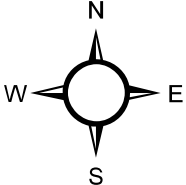
City of Tempe Enterprise GIS, Data & Analytics, Community Development Department, Enterprise GIS Group

2nd & Hardy Townhomes

PL 170152



Aerial Map



Project Narrative

Date: June 18, 2017

To: City of Tempe
Community Development Department
31 East Fifth Street
Tempe, AZ 85281

Re: 2nd & Hardy Townhomes: Project narrative with request for a height and tandem parking use permits.

Narrative: This is a new construction owner-occupied townhouse development of 20 units consisting of one 3-story building that has 10 units and two 3-story buildings of 5 units each. All units feature three bedroom 3-bath floor plans with a second floor exterior patio off the main living area. In addition to the townhouse units the project will include a common area pool and amenity building.

There are 40 total parking spaces required and there are 53 proposed. Of the 53 proposed spaces, 40 are tandem parking within oversized private garages and 13 are uncovered and unreserved.

The proposed and existing zoning shall remain the same at R-3. The landscape area required is 25% and 25.6% is proposed. The lot coverage allowed is 50% and 40.4% is proposed.

The existing land is comprised of two lots on the SE corner of West 2nd Street and South Hardy Drive. The two lots will be subdivided into twenty (20) lots and four (4) tracts. There is no native protected vegetation. The existing outdated single story buildings will be demolished.

Per the City of Tempe Zoning and Development Code, this project meets the following criteria because the placement, form, and articulation of buildings and structures provide offsets and a variety in the streetscape while the building design and orientation, together with landscape, combine to mitigate heat gain/retention while providing shade for energy conservation and human comfort.

In addition, the stucco, smooth face and split face block, and modern fiber cement siding are of a superior quality ideally suited for the desert climate, providing details appropriate with their location and function while the buildings, structures, and landscape elements are appropriately scaled and a compliment relative to the site and surroundings.

The main ten-plex building mass is articulated so as to relieve monotony and create a sense of horizontal and vertical movement, resulting in a well-defined base and top, featuring an enhanced pedestrian experience at and near street level. The building facades provides modern architectural detail and interest overall with visibility at street level.

The overall design takes into account pleasant and convenient access to multi-modal transportation options like biking, walking and transit, while on-site vehicular circulation is designed to minimize conflicts with pedestrian access in harmony with surrounding residential uses.

Crime prevention is accomplished through environmental design principles such as site lighting, territoriality, natural surveillance, access control, activity support, and regular maintenance and 8' tall block fencing at common property lines.

Landscape accents provides delineation from parking, buildings, driveways and pathways while the signage at the east 2nd street entry is designed to be in scale, proportion, location and color compatible with the rest of the development.

This owner-occupied townhouse development project is requesting a use permit for tandem garage spaces and a height variance of less than 10% (proposing 31'-8" above the 30' height limit) because it will not be detrimental to persons residing or working in the vicinity, to adjacent property, to the neighborhood, or to the public welfare in general. This proposed use will be in full conformity to the conditions, requirements, and standards prescribed the Tempe Zoning and Development Code insofar as there will not be any significant increase in vehicular or pedestrian traffic, there will be no additional nuisance arising from the emission of odor, dust, gas, noise, vibration, smoke, heat, or glare at a level exceeding that of ambient conditions for tandem parking or increased height, and this tandem parking use permit will provide a the smallest street level garage door impact that will increase neighborhood property values in conformance with the General Plan directives. In consideration for the tandem use permit, 13 additional on-site unreserved parking spaces is being proposed which is over 30% more than the required minimum.

It should also be noted that the developer of this project also built a very successful three-story 19 unit project last year at 5th & Hardy with a similar height and a tandem parking use permit. That development was a very successful addition to the city and there have been no complaints or problems associated with either the height or tandem parking use permits. It should be noted that the garages for this proposal are much wider than the garages on 5th which will further offer homeowners additional storage and a more convenient ease of

access. As such, this proposed development's tandem parking use permit and height variance request are in compatibility with existing surrounding structures and uses where no disruptive behavior both inside and outside the premises to the general public are expected to will occur as a result of the tandem parking approval.

This narrative shows how we are demonstrating the appropriateness in requesting approval for a minor height increase and tandem parking.

The purpose of this height increase is to attract owner-occupied residents who are actively seeking an upscale development where low eight-foot ceilings are not typical of their expectations. Providing an additional foot of height will allow the first and second floors to have nine-foot ceilings (while the third floor will have an eight-foot ceiling). The height increase also creates a roof line profile with greater aesthetic variability for a more attractive development.

The purpose of the tandem parking is to allow for a flexible design approach that minimizes the garage door impact from the street on this corner lot while providing for extra width within the narrow footprint of the garage for storage and ease of access.

We believe these use permits for height and tandem parking should be granted because we meet the following 5 criteria:

1. Allowing a two-foot height increase and tandem parking does not cause any significant vehicular or pedestrian traffic to adjacent areas, and
2. Allowing a two-foot height increase and tandem parking does not cause any nuisance (odor, dust, gas, noise, vibration, smoke, heat or glare etc.) exceeding that of ambient conditions, and
3. Allowing a two-foot height increase and tandem parking does not deteriorate the neighborhood or be in conflict with the goals, objectives and policies of the city, and
4. Allowing a two-foot increase and tandem parking increase is compatible with existing surrounding structures, and
5. Allowing a two-foot height increase and tandem parking does not result in any disruptive behavior which may create a nuisance to the surrounding area or general public.

Respectfully submitted,



Tor Stuart, Architect

cc: AM/BS File

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2nd & Hardy Townhomes

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 Scottsdale, Arizona 85255

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 Tel 602.456.1917
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GENERAL CONTRACTOR:
WMS Builders

BLI Stanley
 Tel 480.266.7945
 Fax 480.888.2041
 Bli@WMSBuilders.com
 POC 4043827

MATERIAL AND COLOR SCHEDULE
 REFER TO PLAN ONLY WHERE OCCURS

CO	COLORS & STAMPED CONCRETE W/ SALT FINISH
AS	COHILLS: GRANITE ROCK
CA	CONCRETE

TABLE 4-202B - DEVELOPMENT STANDARDS IN MULTI-FAMILY DISTRICTS

Criterion	2nd Zoning	Permitted
Maximum Density (units/acre)	20	18.8
Minimum Lot Area (sq. ft.)	2,880 s.f.	2,889 s.f.
Maximum Height	30 Feet	31'-4" with Use Permits
Lot Coverage	50%	48.4%
Maximum Landscaped Area (Landscaped Area)	25%	25.4%
Building setbacks (Front, Side, Rear)	20'-0", 10'-0", 10'-0"	20'-0", 10'-0", 10'-0"
Building setbacks (Front, Side, Rear) for units with private parking	20'-0", 10'-0", 10'-0"	20'-0", 10'-0", 10'-0"
Maximum Floor Area Ratio (FAR)	1.0	1.0
Maximum Floor Area Ratio (FAR) for units with private parking	1.0	1.0
Maximum Floor Area Ratio (FAR) for units with private parking and reserved parking	1.0	1.0
Maximum Floor Area Ratio (FAR) for units with private parking and reserved parking and guest parking	1.0	1.0
Maximum Floor Area Ratio (FAR) for units with private parking and reserved parking and guest parking and bicycle parking	1.0	1.0
Maximum Floor Area Ratio (FAR) for units with private parking and reserved parking and guest parking and bicycle parking and amenity building	1.0	1.0

OWNER:
 2nd and Hardy, LP
 28645 N 83rd Place
 Scottsdale, Arizona 85255

PROJECT NARRATIVE
 A (20) TWENTY DWELLING UNIT TOWNHOUSE DEVELOPMENT CONSISTING OF A 3-STORY 10-FLEX AND TWO 3-STORY 5-FLEX BUILDINGS PLUS AN AMENITY BUILDING WITH COMMON SPACE AND A PRIVATE POOL.

THIS DEVELOPMENT SHALL BE DIVIDED INTO 20 LOTS AND FOUR TRACTS. THERE SHALL BE A DEMO OF EXISTING CONDITIONS BY SEPARATE PERMIT. VEHICLE PARKING *TANDEN PARKING BY USE PERMIT

RESERVED PARKING: 40 SPACES PER UNIT = 40 SPACES
 GUEST PARKING: 0 SPACES PER UNIT @ 20 UNITS = 0 SPACES
 TOTAL PARKING PROVIDED: 40 SPACES
 UNRESERVED PARKING PROVIDED: 13 SPACES
 TOTAL PARKING PROVIDED: 53 SPACES

BIKE PARKING: ZERO BIKE PARKING REQUIRED, ZERO PROVIDED
 TYPICAL SIGNAGE NOTE: ALL SIGNS SHALL BE BY SEPARATE PERMIT

SITE DATA
 NET LOT AREA: 1.0553 ACRES (43,788.85 SQ. FT.)
 ZONING: EXISTING R-3, PROPOSED R-3

LANDSCAPE STANDARDS
 LANDSCAPE AREA (BASED ON NET LOT AREA): MIN. 25% REQUIRED: 10,947 SQ. FT., 25.6% PROPOSED = 11,253 SQ. FT.
 LOT COVERAGE (BASED ON NET LOT S.F.): MAX 50% ALLOWED = 21,944 SQ. FT., 40.4% PROPOSED = 17,704 SQ. FT.

PARKING LOT LANDSCAPE (BASED ON NET LOT S.F.): PARKING SURFACE AREA = 5,138 SQUARE FEET OPTION #1 STANDARD DIMENSION (0% REQUIRED) = 528 SQ. FT., (2.8% PROPOSED) = 658 SQ. FT.

CONSTRUCTION TYPE: VNI
 FIRE SPRINKLERS / FIRE ALARMS: FIRE SPRINKLERS AND ALARMS SHALL BE PROVIDED

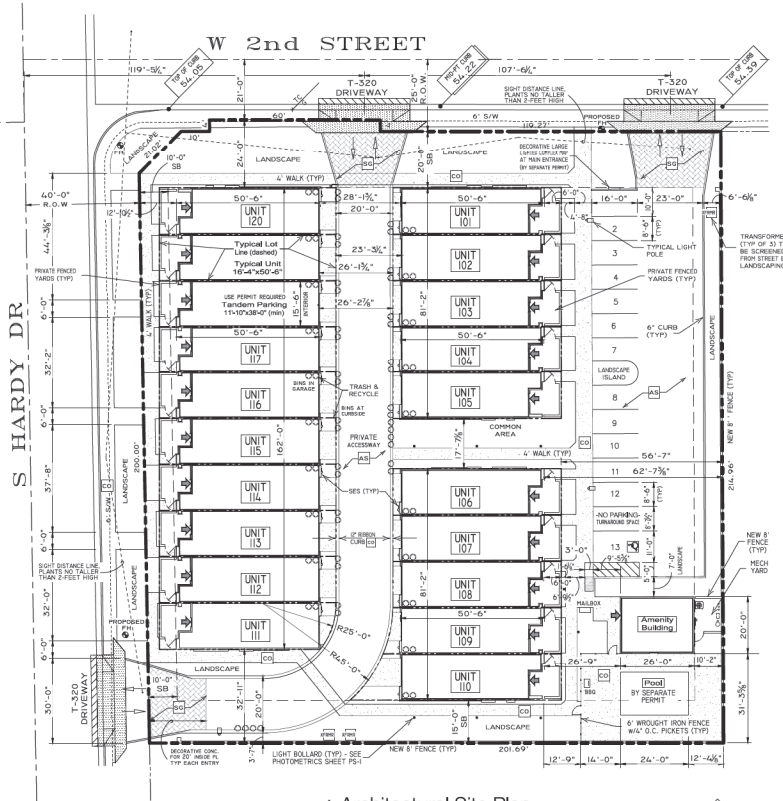


2nd & Hardy Townhomes

4/30/2017

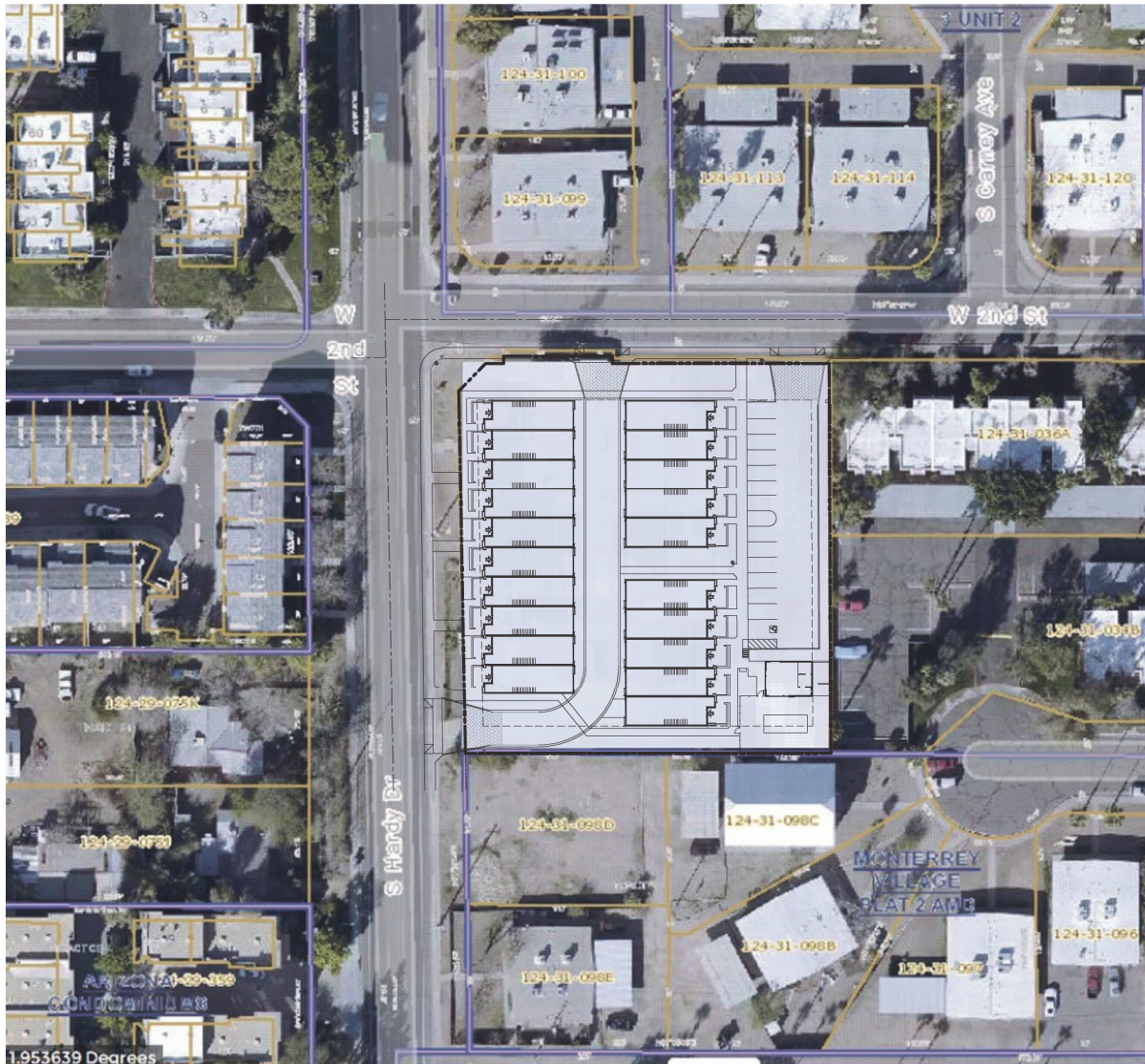
2nd & Hardy Townhomes
PROJECT SQUARE FOOTAGES

	FIRST FLOOR LIVABLE	SECOND FLOOR LIVABLE	THIRD FLOOR LIVABLE	TOTAL LIVABLE	GARAGE, STG, MECH 1ST/2ND/3RD FLR	COV'D PATIOS 1ST/2ND FLR	TOTAL UNDER ROOF
UNIT 101	218	769	734	1,721	555/20/20	4,971	2,436
UNIT 102	214	761	726	1,701	551/20/20	4,971	2,412
UNIT 103	214	761	726	1,701	551/20/20	4,971	2,412
UNIT 104	214	761	726	1,701	551/20/20	4,971	2,412
UNIT 105	216	769	734	1,719	558/20/20	4,971	2,437
FIVE-FLEX TOTALS	1,076	3,821	3,646	8,543	2,966	600	12,109
UNIT 106	218	769	734	1,721	555/20/20	4,971	2,436
UNIT 107	214	761	726	1,701	551/20/20	4,971	2,412
UNIT 108	214	761	726	1,701	551/20/20	4,971	2,412
UNIT 109	214	761	726	1,701	551/20/20	4,971	2,412
UNIT 110	216	769	734	1,719	558/20/20	4,971	2,437
FIVE-FLEX TOTALS	1,076	3,821	3,646	8,543	2,966	600	12,109
UNIT 111	218	769	734	1,721	555/20/20	4,971	2,436
UNIT 112	214	761	726	1,701	551/20/20	4,971	2,412
UNIT 113	214	761	726	1,701	551/20/20	4,971	2,412
UNIT 114	214	761	726	1,701	551/20/20	4,971	2,412
UNIT 115	214	761	726	1,701	551/20/20	4,971	2,412
UNIT 116	214	761	726	1,701	551/20/20	4,971	2,412
UNIT 117	214	761	726	1,701	551/20/20	4,971	2,412
UNIT 118	214	761	726	1,701	551/20/20	4,971	2,412
UNIT 119	214	761	726	1,701	551/20/20	4,971	2,412
UNIT 120	216	769	734	1,719	558/20/20	4,971	2,437
TEN-FLEX TOTALS	2,146	7,626	7,276	17,048	5,921	1,200	24,169
AMENITY BLDG TOTALS	454	—	—	454	86	—	540
PROJECT TOTALS	4,752	15,268	14,568	34,588	11,939	2,400	48,927
FOOTPRINT UNDER ROOF	FIVE-FLEX 8,584	FIVE-FLEX (1) 4,301	FIVE-FLEX (2) 4,301	AMENITY BLDG 520	PROJECT FOOTPRINT 17,706		



1 Architectural Site Plan
 ALL MECHANICAL UNITS TO BE ROOF MOUNTED AND SCREENED FROM VIEW
 MAILBOXES SHALL BE LIT BY A MINIMUM 5 FOOT CANDLES OF LIGHT WITHIN A 15 FOOT RADIUS.
 SCALE: 1" = 20'

2nd & Hardy Townhomes



Context Site Plan

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2nd & Hardy Apts
 Tempe, AZ

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 Fax: 480.988.2041
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 POC: 4043827

● FORMAL SITE PLAN SUBMITTAL (2)
 DRAWN BY: _____
 DATE: _____
 TITLE: _____

Context Site Plan
 SHEET NO. **A1.2**



A Ten-Plex West Elevation

SCALE: 1/8" = 1'-0"



B Ten-Plex East Elevation

SCALE: 1/8" = 1'-0"



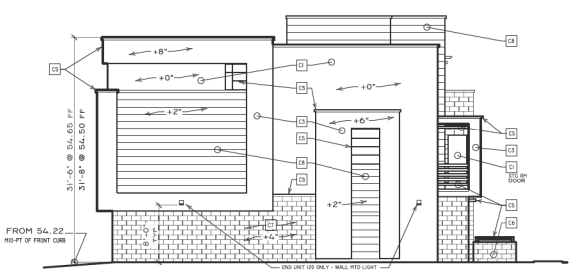
D Five-Plex West Elevation

SCALE: 1/8" = 1'-0"



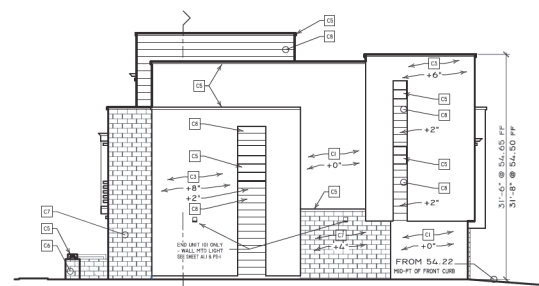
C Five-Plex East Elevation

SCALE: 1/8" = 1'-0"



F Five- or Ten-Plex Left End Elevation

SCALE: 1/8" = 1'-0"



E Five- or Ten-Plex Right End Elevation

SCALE: 1/8" = 1'-0"

REVISION:

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2nd & Hardy Townhomes

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MATERIAL AND COLOR SCHEDULE

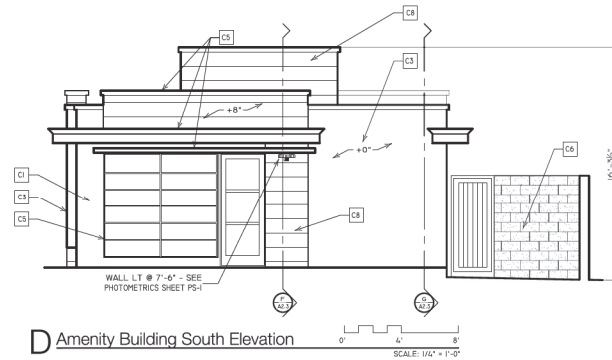
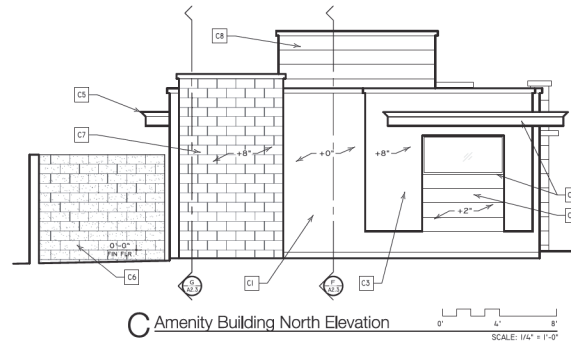
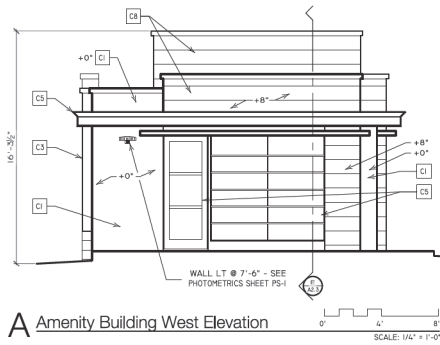
- REFER: TYPICAL ONLY UNLESS OTHERWISE NOTED
- [1] SAND FINISH STUCCO (DOWNY) COLOR: DET505 CHARCOAL BRICKS
 - [2] SAND FINISH STUCCO (UPPER) COLOR: DET543 WATERMIST
 - [3] SAND FINISH STUCCO (UPPER) COLOR: DET 547 PEWTER PATTERN
 - [4] METAL DOOR COLOR: DET572 SAGE LEAF
 - [5] WINDOWS, MTL TRIM, & RAILINGS COLOR: DARK BRONZE (BLACK) WINDOW TINT: CLEAR
 - [6] BLOCK FENCE WALLS FINISH: SPLIT FACE COLOR: DAWN GRAY (CHARCOAL)
 - [7] 8x8 BLOCK VENER SANDBLASTED FINISH COLOR: RUTHERFORD GRAY
 - [8] FINER CEMENT SIDING HORIZONTAL, WIDTH: 12" FINISH: TEXTURE, WOOD GRAIN COLOR: DET624 WATERMIST
 - [9] GARAGE DOORS COLOR: DET 547 PEWTER PATTERN

ROOF DRAINAGE TO BE CONCEALED WITHIN THE INTERIOR OF THE BUILDING (TYP)

● FORMAL SITE PLAN SUBMITTAL (2)
DRAW BY: TS
DATE: June 23, 2017
TITLE:

Townhouse Elevations
SHEET NO.

A3.0



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 Fax: 480.988.2041
 B@WMSBuilders.com
 POC 404322

MATERIAL AND COLOR SCHEDULE

- Refer: Typical, only where occurs
- [C1] SAND FINISH STUCCO (DARK) COLOR: DET05 CHARCOAL BRIGLETTE
 - [C2] SAND FINISH STUCCO (L) COLOR: DET04 WATERMIST
 - [C3] SAND FINISH STUCCO (M) COLOR: DET 67 PEWTER PATTERN
 - [C4] METAL DOOR COLOR: DET0572 SAGE LEAF
 - [C5] WINDOWS, MTL TRIM, & RAILINGS COLOR: DARK BRONZE (BLACK) WINDOW TINT: CLEAR
 - [C6] BLOCK FENCE WALLS FINISH: SPLIT FACE COLOR: DARK GRAY (CHARCOAL)
 - [C7] 8x8 BLOCK VENER SANDBLASTED FINISH COLOR: RUTHERFORD GRAY
 - [C8] FIBER CEMENT SIDING HORIZONTAL, WIDTH: 12" FINISH: TEXTURE, WOOD GRAIN COLOR: DET0240 WATERMIST

ROOF DRAINAGE TO BE CONCEALED WITHIN THE INTERIOR OF THE BUILDING (TYP)

● FORMAL SITE PLAN SUBMITTAL: (2)
 DRAWN BY: TS
 DATE: June 23, 2017
 TITLE:

Amenity Building Elevations

SHEET NO. **A3.2**



A Ten-Plex West Elevation



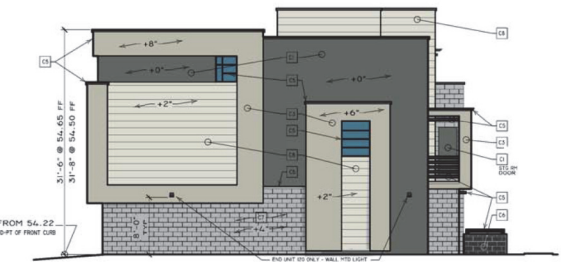
B Ten-Plex East Elevation



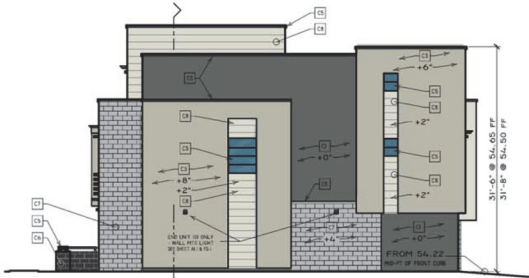
D Five-Plex West Elevation



C Five-Plex East Elevation



F Five- or Ten-Plex Left End Elevation



E Five- or Ten-Plex Right End Elevation

REVISION:
 PROJECT:
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**2nd & Hardy
 Townhomes**

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 BSN@WMSBuilders.com
 POC: 8245827

MATERIAL AND COLOR SCHEDULE
 REFER TO PLAN AND VIEW LOCATIONS

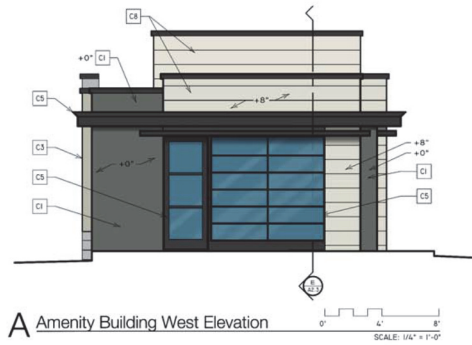
(1)	SAND FINISH STUCCO (INTERIOR)
(2)	SAND FINISH STUCCO (EXTERIOR)
(3)	SAND FINISH STUCCO (BASEMENT)
(4)	BLOCK FENCE WALLS
(5)	FIBER CEMENT SIDING
(6)	FINISH TEXTURE: WOOD GRAIN
(7)	FINISH TEXTURE: WOOD GRAIN
(8)	FINISH TEXTURE: WOOD GRAIN
(9)	FINISH TEXTURE: WOOD GRAIN
(10)	FINISH TEXTURE: WOOD GRAIN
(11)	FINISH TEXTURE: WOOD GRAIN
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(47)	FINISH TEXTURE: WOOD GRAIN
(48)	FINISH TEXTURE: WOOD GRAIN
(49)	FINISH TEXTURE: WOOD GRAIN
(50)	FINISH TEXTURE: WOOD GRAIN

ROOF DRAINAGE TO BE CONCEALED WITHIN THE INTERIOR OF THE BUILDING (TYP)

● FORMAL SITE PLAN SUBMITTAL (2)
 DRAWN BY:
 DATE: June 21, 2017
 TITLE:
 SHEET NO.

Townhouse Elevations
A3.0

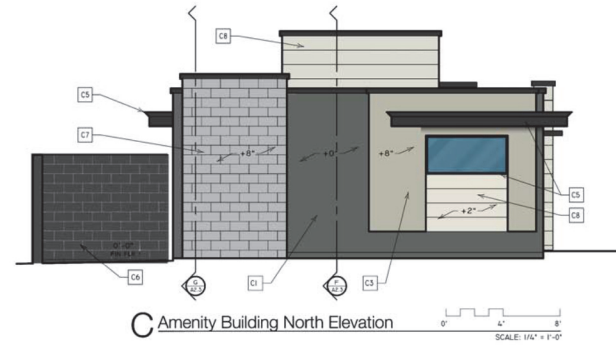
REVISION:



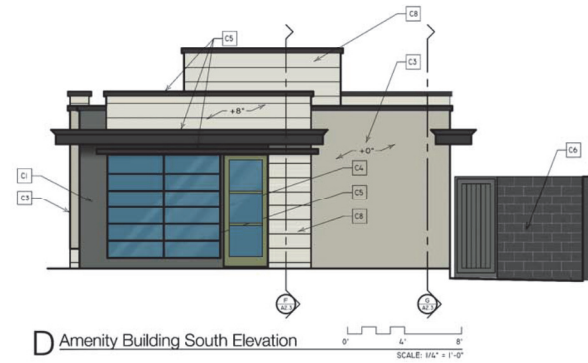
A Amenity Building West Elevation



B Amenity Building East Elevation



C Amenity Building North Elevation



D Amenity Building South Elevation

PROJECT:
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2nd & Hardy Townhomes

OWNER:
Pacific Rim Property Investments, Ltd
 23845 N 33rd Place
 Scottsdale, Arizona 85255
 Anthony Maschka
 Tel: (602) 456-1917
 Anthony@PacificRimDevelopments.com

GENERAL CONTRACTOR:
WMS Builders

888 Starkey
 Tel: 480.268.7345
 Fax: 480.988.3241
 BNP@WMSBuilders.com
 POC: SCALISEZ

MATERIAL AND COLOR SCHEDULE

- REFER: Typical and/or Aerial Columns
- C1 SAND FINISH STUCCO (CHARCOAL)
COLOR: DET5572 CHARCOAL BRUNETTE
 - C2 SAND FINISH STUCCO (SAGE LEAF)
COLOR: DET549 WATERMIST
 - C3 SAND FINISH STUCCO (SPLIT FACE)
COLOR: DET 627 PEWTER PATTERN
 - C4 METAL DOOR
COLOR: DET5572 SAGE LEAF
 - C5 WINDOWS, HTL TRIM, & RAILINGS
COLOR: DARK BRONZE (BLACK)
 - C6 BLOCK FENCE WALLS
FINISH: SPLIT FACE
COLOR: DARK GRAY (CHARCOAL)
 - C7 BRK BLOCK (SMOOTH FINISH)
COLOR: GRAPHITE GRAY
 - C8 FIBER CEMENT SIDING
HORIZONTAL WIDTH 12"
FINISH TEXTURE: WOOD GRAIN
COLOR: DET549 WATERMIST
 - C9 GARAGE DOORS
COLOR: DET 627 PEWTER PATTERN
 - C10 COLORED & STAMPED CONCRETE w/ SALT FINISH
CONCRETE: GRANITE ROCK
 - C11 ASPHALT
 - C12 CONCRETE

ROOF DRAINAGE TO BE CONCEALED WITHIN THE INTERIOR OF THE BUILDING (TYP)

● / FORMAL SITE PLAN SUBMITTAL (2)
 DRAWN BY: _____
 DATE: _____
 TITLE: June 16, 2017

SHEET NO.

REVISION:

ARCHITECT:
ARCHITECTOR P.C.
2030 E. Northern Avenue
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Phoenix, Arizona 85026
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2nd & Hardy Townhomes

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Bill Stanley
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Fax: 480.988.3241
Bill@WMSBuilders.com
ROC #243627



A Street View From S Hardy Drive

SCALE: 1/8" = 1'-0"
0" 1" 2" 4" 8"



B Street View From W 2nd Street

SCALE: 1/8" = 1'-0"
0" 1" 2" 4" 8"

● FORMAL SITE PLAN SUBMITTAL
DRAWN BY: TS
DATE: April 30, 2017
TITLE:

Street Elevations
SHEET NO. **A3.3**

REVISION:

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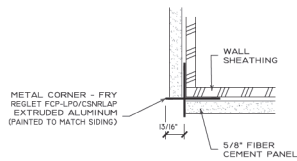
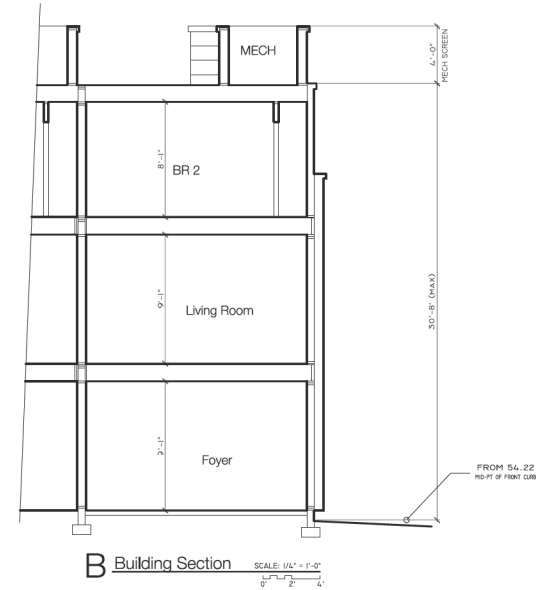
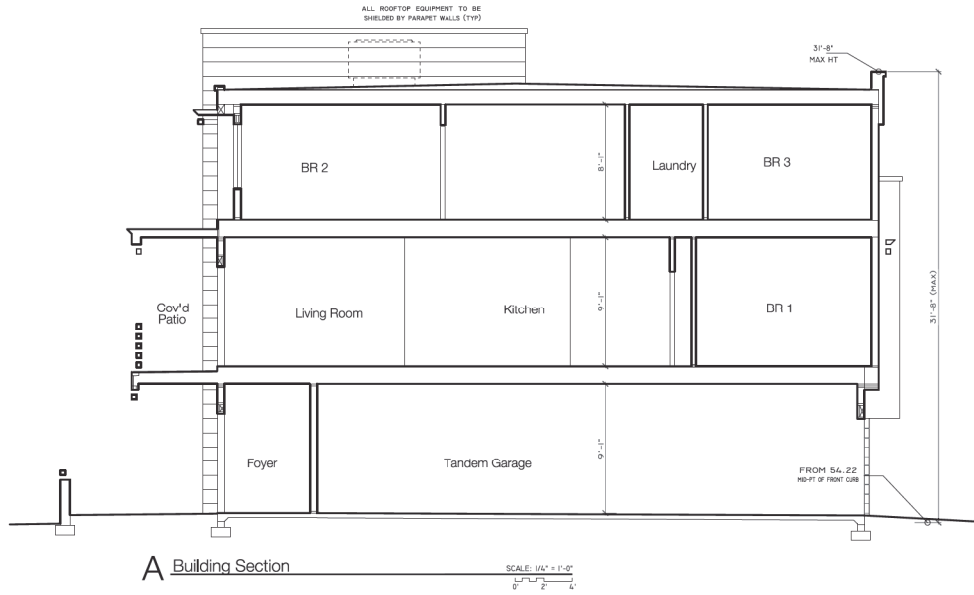


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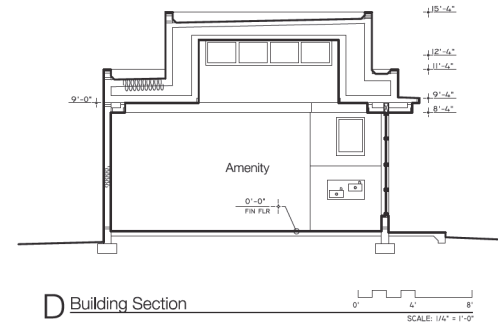
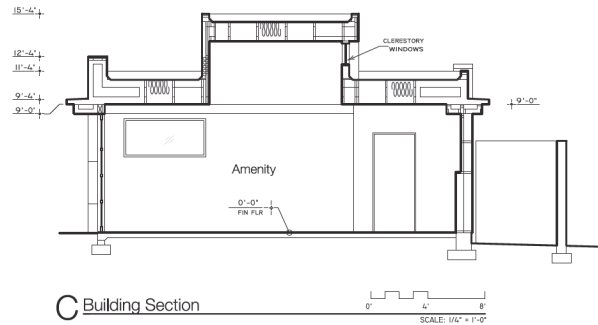
2nd & Hardy Townhomes

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 POC: 4043827



1 METAL EDGE CORNER DETAIL AT SIDING
 SCALE: 1/2" = 1'-0"



FORMAL SITE PLAN SUBMITTAL (2)
 DRAWN BY: TS
 DATE: June 19, 2017
 TITLE:

Building Sections
 SHEET NO. **A3.1**

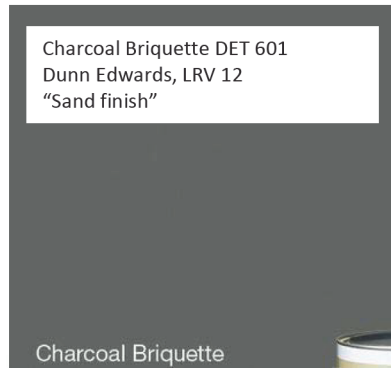




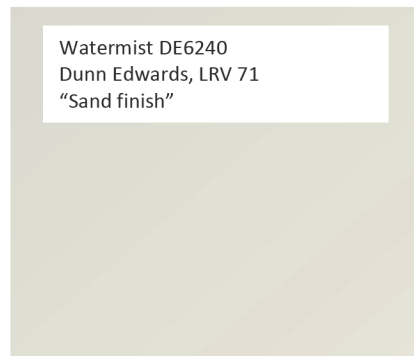
2nd & Hardy Exterior Colors

Note: All stucco to be “sand finish”

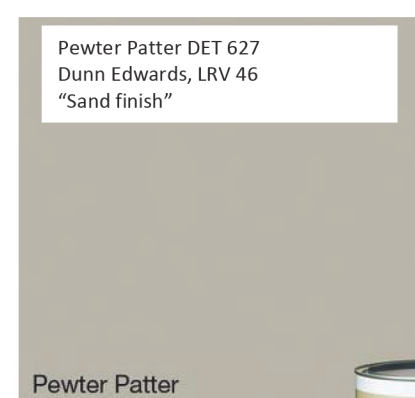
C1 Stucco Color



C2 Stucco Color



C3 Stucco Color



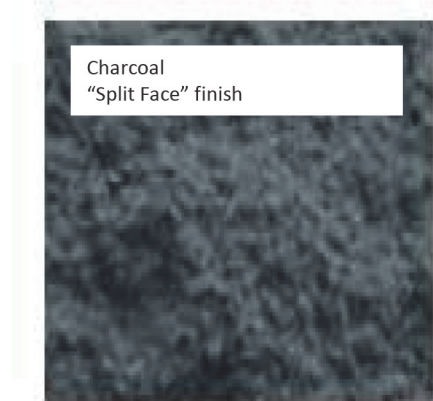
C4 Door



C5 Windows and trim

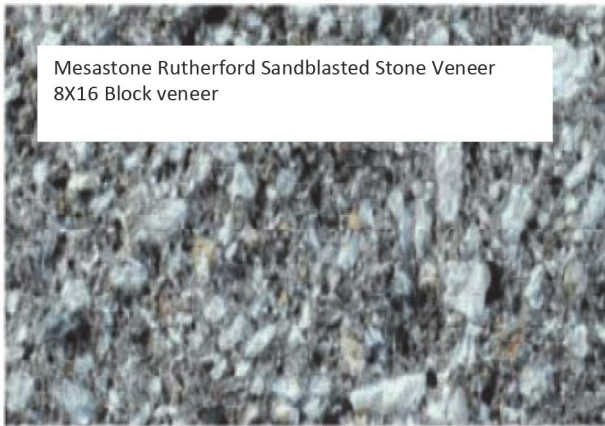


C6 Block fence walls



2nd & Hardy Exterior Finishes

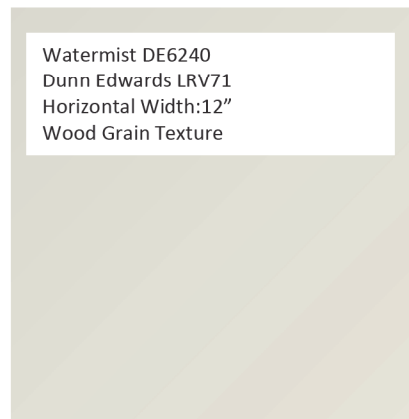
C7 Block Veneer



Mesastone Rutherford Sandblasted Stone Veneer
8X16 Block veneer

Rutherford
West Group D

C8 Fiber Cement Siding



Watermist DE6240
Dunn Edwards LRV71
Horizontal Width:12"
Wood Grain Texture

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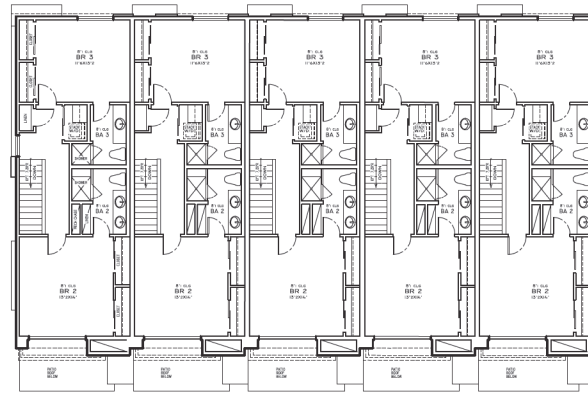
2nd & Hardy Townhomes

OWNER:
Pacific Rim Property Investments, Ltd

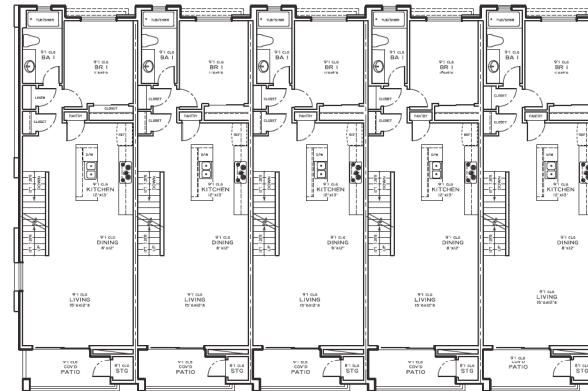
23645 N 83rd Place
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GENERAL CONTRACTOR:
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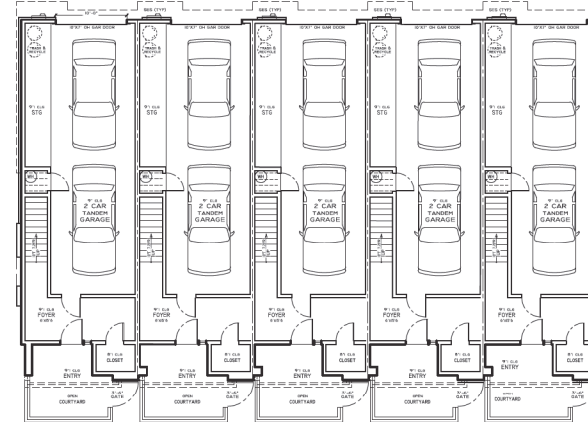
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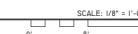
3 Five-Plex 3rd Floor Plan



2 Five-Plex 2nd Floor Plan



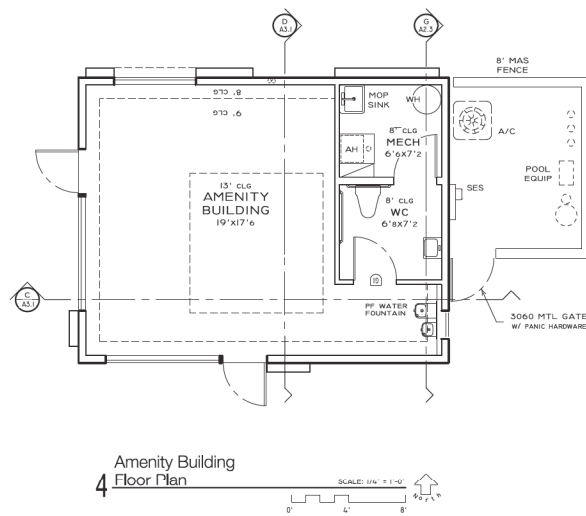
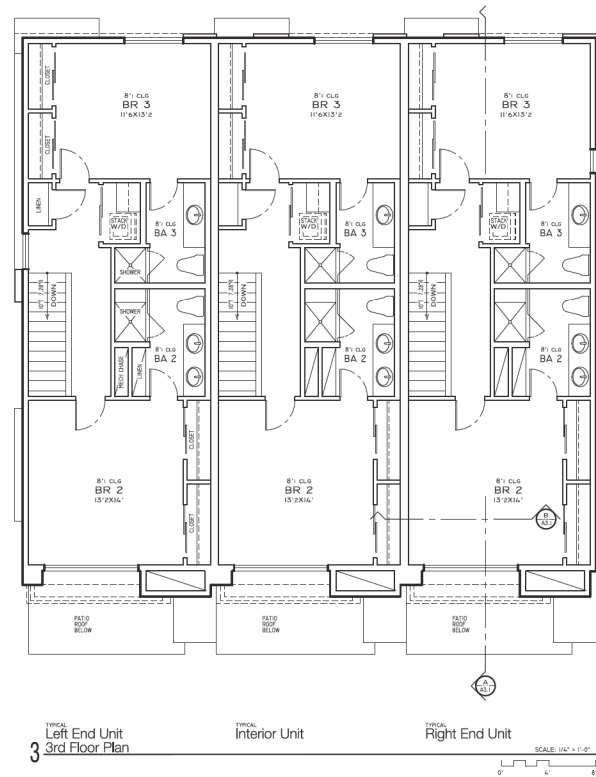
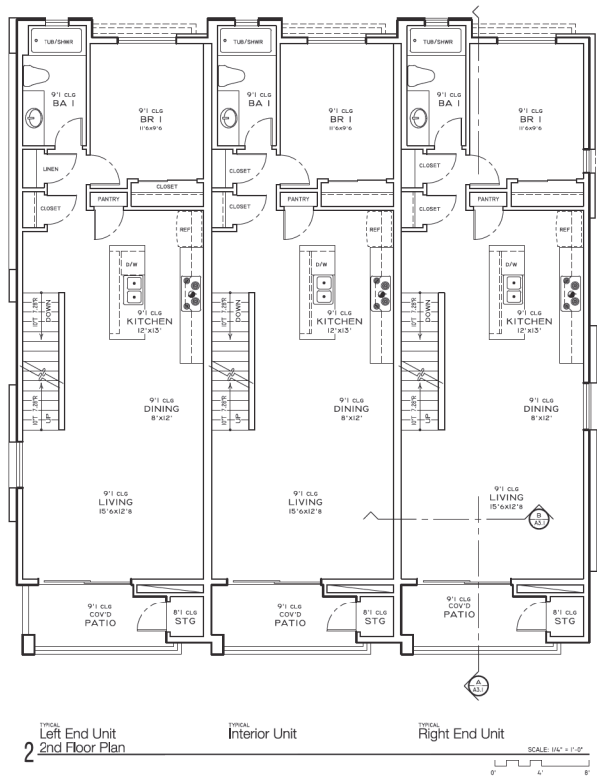
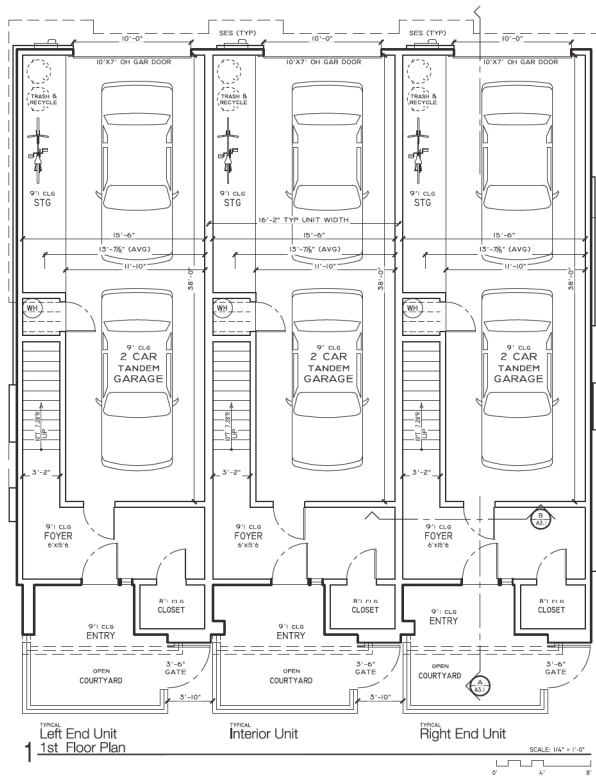
1 Five-Plex 1st Floor Plan



● FORMAL SITE PLAN SUBMITTAL (2)
DRAWN BY: TS
DATE: June 16, 2017
TITLE:

Five-Plex Floor Plans
SHEET NO.

A2.2



UNIT TYPE	FIRST FLOOR LIVABLE	SECOND FLOOR LIVABLE	THIRD FLOOR LIVABLE	TOTAL LIVABLE
INTERIOR	214	761	726	1,701
RIGHT END	216	769	734	1,719
LEFT END	218	769	734	1,721

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2nd & Hardy
Townhomes

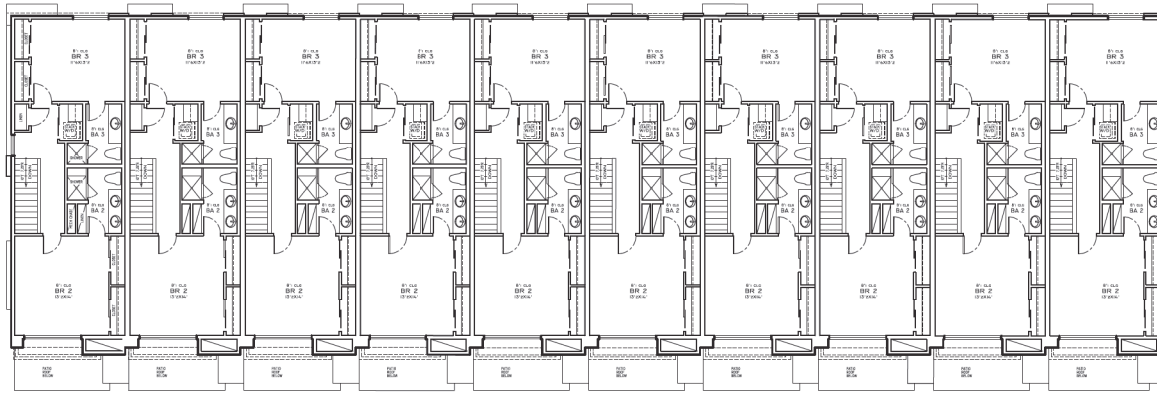
OWNER:
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GENERAL CONTRACTOR:
WMS Builders

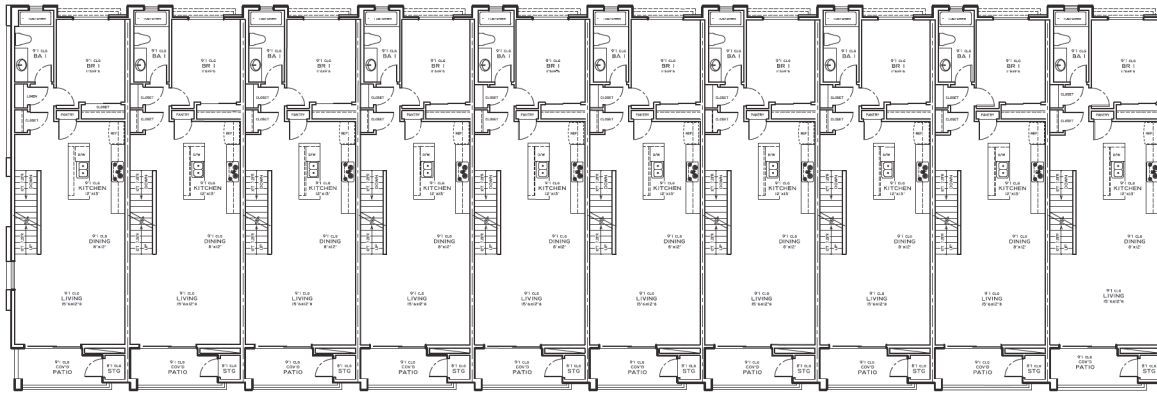
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PDOC-4043027

FORMAL SITE PLAN SUBMITTAL (2)
DRAWN BY: TS
DATE: June 16, 2017
TITLE:
Amenity Floor Plan &
Typical First, Second,
& Third Floor Plans
SHEET NO.

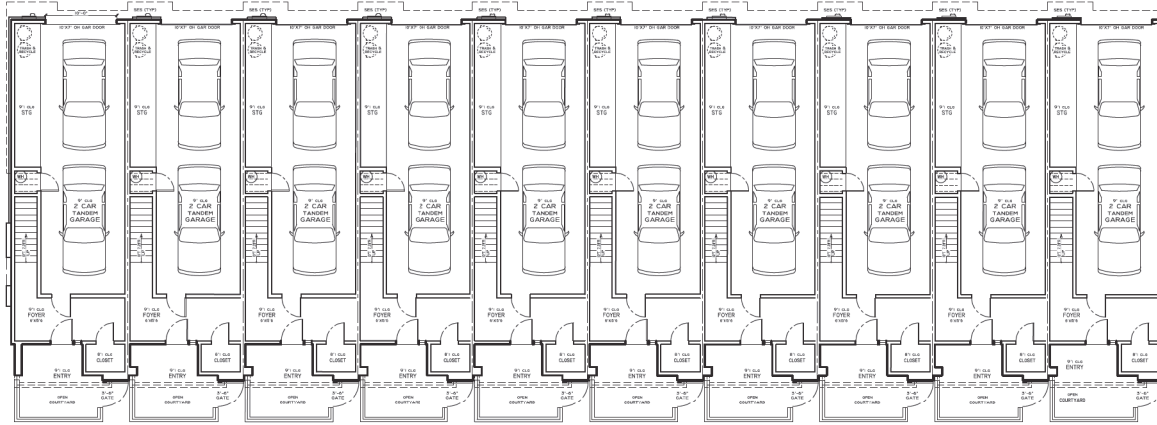
A2.0



3 Ten-Plex 3rd Floor Plan SCALE: 1/8" = 1'-0"
0' 5' 10'



2 Ten-Plex 2nd Floor Plan SCALE: 1/8" = 1'-0"
0' 5' 10'



1 Ten-Plex 1st Floor Plan SCALE: 1/8" = 1'-0"
0' 5' 10'

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2nd & Hardy Townhomes

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BMR@WMSBuilders.com
PDOC-4043827

● FORMAL SITE PLAN SUBMITTAL (2)
DRAWN BY: _____
DATE: June 16, 2017
TITLE: _____

Ten-Plex Floor Plans
SHEET NO. **A2.1**

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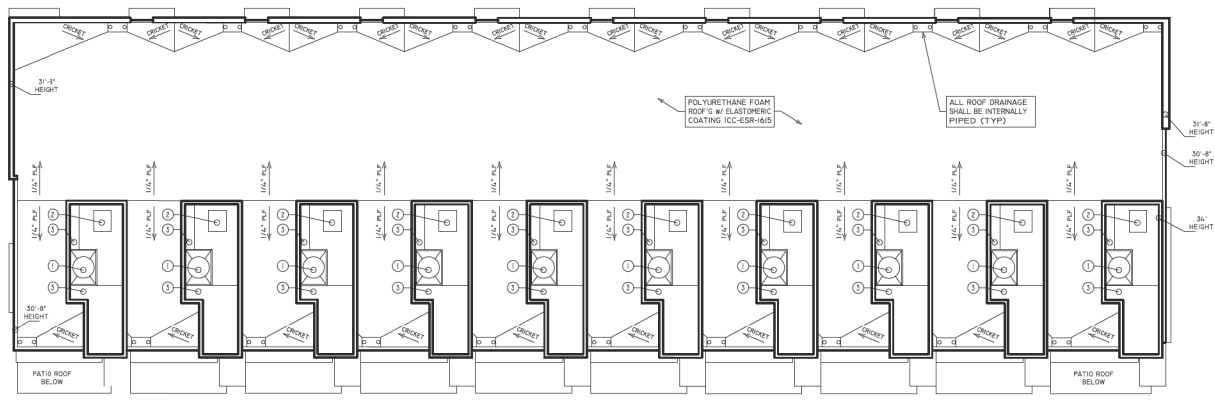
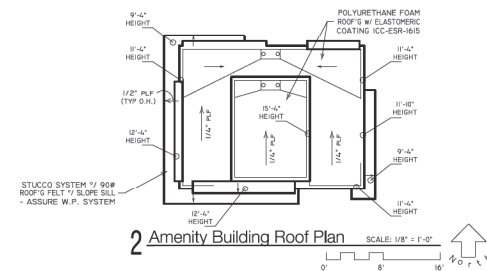


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880WMSBuilders.com
PDOC-4043627



- Roof Plan Key Notes**
- ① ROOF MOUNTED PACKAGE A/C - SEE MECHANICAL PLANS FOR LOCATION
 - ② BILCO TYPE S 30"x36" ROOF SCUTTLE
 - ③ RAISED ROOF FOR AIR-PLENUM VERIFY W/ MECH CONTR.
- TYPICAL WHERE OCCURS



● FORMAL SITE PLAN SUBMITTAL (2)
DRAWN BY: _____ TS
DATE: _____
June 16, 2017
TITLE: _____

Typical Roof Plan
SHEET NO. **A4**



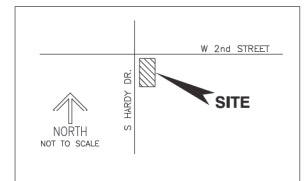
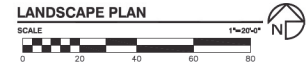
2nd & Hardy Townhomes
 SEC of 2nd Street and Hardy Drive
 Tempe, Arizona

Revisions	
1st Review	6-19-17

PROJECT NO. 17002
 DRAWN BY: SCP
 DATE: 6/19/17
 COPYRIGHT:
 PARSONS DESIGN STUDIO

LANDSCAPE PLAN

L-101
 SHEET 1



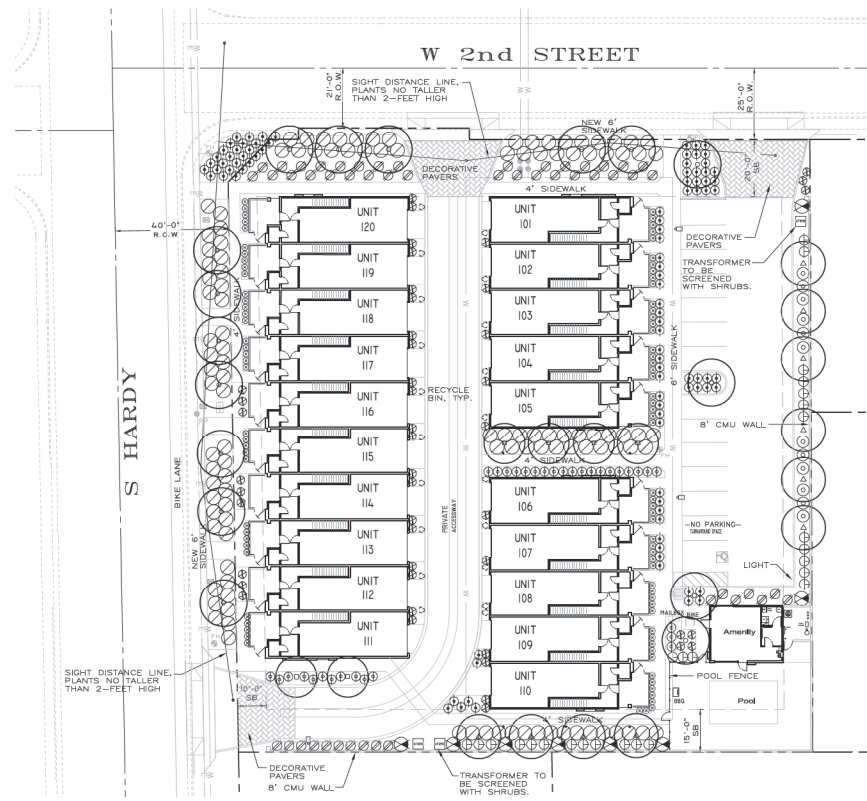
SITE DATA
 NET LOT AREA: 1.0053 ACRES (43,788.85 SQ. FT.)
 ZONING: existing R-3, proposed R-3
LANDSCAPE STANDARDS
 LANDSCAPE AREA (BASED ON NET LOT AREA):
 MIN. 25% REQUIRED: 10,947 SQ.FT.
 25.6% PROPOSED = 11,253 SQ.FT.
 LOT COVERAGE (BASED ON NET LOT S.F.):
 MAX 50% ALLOWED = 21,894 SQ.FT.
 38.3 % PROPOSED = 16,771 SQ.FT.
 PARKING LOT LANDSCAPE (BASED ON NET LOT S.F.):
 PARKING SURFACE AREA = 5,268 SQUARE FEET
 OPTION #1 STANDARD DIMENSION
 10% REQUIRED = 528 SQ.FT.
 10% PROPOSED = 528 SQ.FT.

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 (602) 456-1917
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LANDSCAPE ARCH.
 PARSONS DESIGN STUDIO, PLLC
 Stephen C. Parsons
 1209 W. Medlock Drive
 Phoenix, AZ 85013
 (602) 999-9209
 EMAIL: SP@parsonsd.com



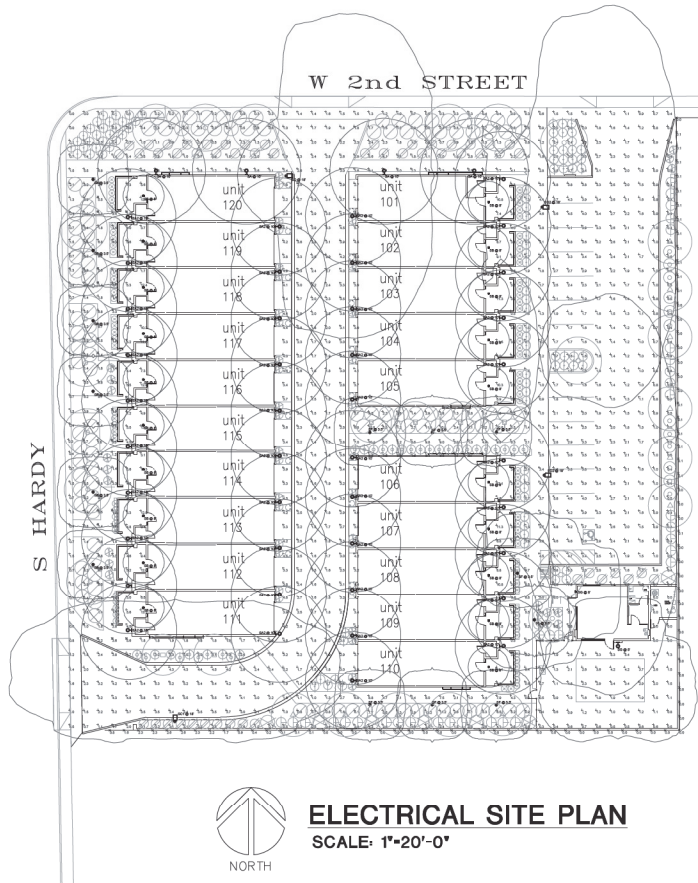
PLANT SCHEDULE

SYMBOL	BOTANICAL/COMMON NAME	CLPR/SIZE	MAT. SIZE (HW)	QTY.	REMARKS
TREES					
△	ACACIA STENOPHYLLA SHOESTRING ACACIA	2"	25'X20'	10	STAKE AS REQUIRED
○	ACACIA WILLARDIANA PALO BLANCO	1.5"	20'X15'	6	STAKE AS REQUIRED
○	CHITALPA TASH-KENTIENSIS CHITALPA	2"	20'X20'	16	STAKE AS REQUIRED
SHRUBS/ACCENTS					
⊗	EUPHORBIA ANTISYPHYLLICA GANDOLLA	1 GAL.	2'X2'	88	1 GPH EMITTER
⊗	HESPERALOE PARVIFLORA RED YUCCA	5 GAL.	3'X3'	47	1 GPH EMITTER
⊗	MUHLENBERGIA CAPILLARIS 'REGAL MIST' REGAL MIST DEER GRASS	5 GAL.	3'X3'	50	2 GPH EMITTER
⊗	PENNESETUM SETACEUM 'EATON CANYON' COMPACT FOUNTAIN GRASS	5 GAL.	4'X3'	27	2 GPH EMITTER
⊗	RUELLIA PENINSULARIS BAJA RUELLIA	5 GAL.	4'X4'	12	2 GPH EMITTER
⊗	TECOMA x 'SOLAR FLARE' SOLAR FLARE ESPERANZA	5 GAL.	5'X5'	8	2 GPH EMITTER
GROUNDCOVER					
⊗	EREMOPHILA G. MINGENWOLD GOLD OUTBACK SUNRISE EMU	5 GAL.	1'X6'	117	2 GPH EMITTER
⊗	LANTANA SPP. 'NEW GOLD' LANTANA	3 GAL.	2'X3'	33	2 GPH EMITTER
⊗	LANTANA MONTEVIDENSIS PURPLE TRAILING LANTANA	3 GAL.	1'X3'	94	2 GPH EMITTER
⊗	DECOMPOSED GRANITE EXPRESS BROWN	1/2"	SCREENED	2"	DEPTH ALL LANDSCAPE AREAS

NOTES:
 1) IRRIG. HEIGHTS AND CALIPERS WILL COMPLY WITH "ARIZONA NURSERY ASSOCIATION SPECIFICATIONS" FOR THAT TYPE AND SIZE OF TREE.
 2) LANDSCAPE TO BE WATERED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM.

LANDSCAPE NOTES

- CONTRACTOR TO OBTAIN PERMITS FROM LOCAL AGENCIES AND UTILITY COMPANIES HAVING JURISDICTION OVER THIS SITE.
- CONTRACTOR TO VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO ANY INSTALLATION.
- CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO INSTALL THE WORK INDICATED ON THE LANDSCAPE DOCUMENTS. HE SHALL BE RESPONSIBLE FOR CAREFUL SITE INSPECTION, DETAILED REVIEW OF THE PLANS, AND COORDINATION WITH OTHER CONTRACTORS ON-SITE PRIOR TO ANY INSTALLATION. ANY DISCREPANCIES SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE OWNER'S AGENT.
- PRIOR TO INITIATING THESE LANDSCAPE IMPROVEMENTS, THE LANDSCAPE CONTRACTOR MUST SCHEDULE A PRE-CONSTRUCTION MEETING ON-SITE WITH THE APPROVAL OF THE OWNER AND THE GENERAL CONTRACTOR. THE OWNER'S REPRESENTATIVE AND/OR THE PROJECT LANDSCAPE ARCHITECT MUST BE PRESENT. THE PURPOSE OF THIS MEETING IS TO RESOLVE ANY EXISTING SITE CONDITIONS THAT MAY BE IN CONFLICT WITH THE LANDSCAPE CONSTRUCTION DOCUMENTS AND THEREFORE IMPACT THE INSTALLATION OF ANY OF THE PROPOSED IMPROVEMENTS. THIS FIRST MEETING SHOULD BE SCHEDULED TO OCCUR AT THE COMPLETION OF ON-SITE AND OFF-SITE IMPROVEMENTS INCLUDING: ALL UNDERGROUND UTILITIES, MASS GRADING, AND STREET IMPROVEMENTS.
- DAMAGE TO EXISTING LANDSCAPING, UNDERGROUND UTILITIES, IRRIGATION LINES, ELECTRICAL LINES, ETC. SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE.
- ANY DISCREPANCIES FOUND BETWEEN THE PLANS AND THE SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
- ALL QUANTITIES PROVIDED ARE FOR BIDDING PURPOSES ONLY. LANDSCAPE CONTRACTOR SHALL VERIFY ALL QUANTITIES PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FINISH GRADES IN LANDSCAPED AREAS. HE SHALL DETERMINE, WITH THE GENERAL CONTRACTOR, THE EXTENT OF ROUGH GRADING AND/OR FINE GRADING TO BE ESTABLISHED BY OTHERS.
- ALL GRADING AND DRAINAGE SHALL BE IN ACCORDANCE WITH THE PLANS PREPARED BY THE PROJECT CIVIL ENGINEER, OR AS DIRECTED BY THE OWNER'S AGENT. PROVIDE POSITIVE DRAINAGE AWAY FROM THE BUILDING(S) IN ALL CONDITIONS. CONTRACTOR TO MEET ALL EXISTING GRADES AT PROJECT BOUNDARIES. FINISH GRADE SHALL BE 5" BELOW THE TOP OF ADJACENT WALKS AND CURBS PRIOR TO RECEIVING MULCH OR DECOMPOSED GRANITE.
- ALL AREAS DISTURBED DURING CONSTRUCTION TO BE FINE GRADED. ADJACENT UNDISTURBED AREAS DAMAGED OR DISTURBED TO BE RESTORED TO ITS ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL FINE GRADE ENTIRE LANDSCAPED AREA AS REQUIRED FOR INSTALLATION OF PLANTING. ALL GRADES SHALL BE NEAT, RAKED SMOOTH AND BE FREE OF DEBRIS PRIOR TO SUBSTANTIAL COMPLETION.
- PRIOR TO SPREADING MATERIAL GROUNDCOVERS, ADJUST AND COMPACT FINISH GRADES. APPLY WEED PRE-EMERGENT SURFLAN PER MANUFACTURER'S INSTRUCTIONS. THEN SPREAD DECOMPOSED GRANITE OR MULCH AS INDICATED ON PLANS. DECOMPOSED GRANITE SHALL BE RAKED AND WATERED TO SETTLE FINES WITH A MINIMUM FINAL DEPTH OF 2". PROVIDE A SECOND APPLICATION OF TIC PRE-EMERGENT SURFLAN AT THE END OF THE MAINTENANCE PERIOD.
- ALL LANDSCAPED AREAS SHALL RECEIVE A 2" TOP DRESSING OF DECOMPOSED GRANITE. PROVIDE SAMPLE OF SIZE AND COLOR FOR APPROVAL BY OWNER'S AGENT PRIOR TO DELIVERY.
- STAKE LOCATIONS OF ALL TREES FOR APPROVAL PRIOR TO INSTALLATION OF ANY PLANT MATERIAL.
- ALL PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED (IN-LEAF) AS IS TYPICAL FOR THE SPECIES. THEY SHALL HAVE HEALTHY, WELL DEVELOPED ROOT SYSTEMS (NOT POT BOUND), A NORMAL HABIT OF GROWTH CONSISTENT WITH INDUSTRY STANDARDS, AND FREE OF ANY BRUISES, CUTS, OR OTHER ABNORMALITIES. PLANT MATERIAL SHALL BE SIZED IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMAN; AND THE ARIZONA NURSERYMAN ASSOCIATION.
- BACKFILL MIXTURES, EXCEPT AS NOTED, TO BE COMPRISED OF 75% NATIVE SOIL AND 25% DECOMPOSED GRANULAR BARK MULCH, AND 2 LBS. DISPERSAL PER CUBIC YARD OF BACKFILL.
- ADD AGRI-FORM FERTILIZER TABLETS AT THE FOLLOWING RATES:
 1 GALLON PLANT = 4 TABLETS
 5 GALLON PLANT = 20 TABLETS
 5 GALLON PLANT = 20 TABLETS (MIN.)
 TABLETS TO BE PLACED NO DEEPER THAN 6" BELOW SOIL SURFACE.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ALL PLANTS SHOWN ON PLANTING PLAN. DO NOT SUBSTITUTE PLANTS BY TYPE OR QUANTITY WITHOUT WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT OR OWNER'S AGENT.
- THE OWNER'S AGENT RESERVES THE RIGHT TO REJECT ANY SELECTION OF PLANT MATERIAL THAT DOES NOT SATISFY THE INTENT OF THE LANDSCAPE DESIGN BASED ON: SIZE, SHAPE, EVIDENCE OF STRESS OR IMPROPER CARE.
- PRIOR TO INITIATING THE 90-DAY MAINTENANCE PERIOD, COMPLETE ANY INITIAL PUNCH LIST ITEMS, THEN OBTAIN APPROVAL FROM OWNER'S AGENT OF SUBSTANTIAL COMPLETION. DETERMINE WITH OWNER'S AGENT THE START DATE FOR THE 90-DAY MAINTENANCE PERIOD. CONTRACTOR TO THEN MAINTAIN LANDSCAPE WHICH MAY INCLUDE WATERING, WEEDING, PRUNING, AND REPLACEMENT OF ANY MATERIAL THAT HAS DIED OR IS SHOWING EVIDENCE OF STRESS. SUBMIT WRITTEN REQUEST FOR FINAL PUNCH LIST ONE WEEK PRIOR TO END OF MAINTENANCE PERIOD.
- PROVIDE OWNER WITH A WRITTEN GUARANTEE OF ONE YEAR FOR ALL TREES AND SIX MONTHS FOR ALL OTHER PLANT MATERIAL DATED FROM START OF THE MAINTENANCE PERIOD AGAINST DEFECTS INCLUDING DEATH AND UNSATISFACTORY GROWTH. PROVIDE OWNER WITH WRITTEN INSTRUCTIONS OUTLINING MAINTENANCE PROCEDURES TO BE ADOPTED IN ORDER TO PROTECT GUARANTEE. INCLUDE A SEASONAL WATERING SCHEDULE AND FERTILIZER PROGRAM.



ELECTRICAL SITE PLAN
SCALE: 1"=20'-0"

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2nd & Hardy Townhomes
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GENERAL CONTRACTOR:
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Bill Stanley
Tel 480.266.7945
Fax 480.595.3241
BB@WMSBuilders.com
RDC #243627

Power Statistics

Description	# Luminaires	Total Watts	Area	Density
	76	1623.1 W	47706.5 SF	0.33 W/FT ²

Statistics

Description	Symbol	Avg	Min	Max	Max/Min	Avg/Min
FCR	X	0.5 N	2.4 N	0.5 N	N/A	N/A
MAILBOX	X	0.5 N	0.5 N	0.5 N	1.21	1.11
SITE FC/FIS	+	2.6 N	13.7 N	0.5 N	N/A	N/A
WEST SIDEWALK ENTRANCES		2.5 N	0.7 N	0.5 N	19.41	4.91


Schedule

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Luminaire	Light Loss Factor	Wattage
SA	SA	4	Lithonia Lighting	OLW1 LED 20W 40K DOB	20W 4000K LED WALL PACK	LED	1	OLW1_LED_20W_40K_DOB.as	1400	0.91	21.77
SA2	SA2	41	Lithonia Lighting	OLW1 LED 15W 40K DOB	15W 4000K LED WALL PACK	LED	1	OLW1_LED_15W_40K_DOB.as	1200	0.91	14
SB	SB	30	Lithonia Lighting	LDN6 30/10 LOGAR	1000LM 800K 3000K P LED COMMERCIAL DOWNLIGHT	LED	1	LDN6_30_10_LOGAR.as	1050	0.91	17.87
SC1	SC1	1	Lithonia Lighting	DS10 LED 100 1000 30K BLC MVOLT	DS10 LED WITH 40 LEDs @1000 MA 3000K BACKLIGHT CONTROL OPTIC	LED	1	DS10_LED_100_1000_30_K_BLC_MVOLT.as	10324	0.91	138
SD	SD	1	Lithonia Lighting	DS10 LED 400 1000 30K 14M MVOLT 140 550 10.5 W WITH 2/5 BASE	DS10 LED WITH 20 LED LIGHT ENGINE TYPE 14M OPTIC 3000K @ 1000MA WITH HOUSE SIDE SHIELD	LED	1	DS10_LED_400_1000_30_K_14M_MVOLT_140.as	8050	0.91	138
SD2	SD2	2	Lithonia Lighting	DS10 LED 400 1000 30K 17M MVOLT HS	DS10 LED WITH 40 LEDs @1000 MA 3000K Type 3 Medium Optics with HOUSE SIDE SHIELD	LED	1	DS10_LED_400_1000_30_K_17M_MVOLT_140.as	11104	0.91	138
SF	SF	14	Lithonia Lighting	DS18 LED 160 700 30K 07M	D-SERIES BOLLARD WITH 18 3000K LEDs OPERATED AT 700MA AND SYMMETRIC DISTRIBUTION	LED	1	DS18_LED_160_700_30_K_07M.as	1634	0.91	30
SG	SG	3	Lithonia Lighting	DS1W1 LED 100 1000 40K 171M MVOLT	DS1W1 LED WITH (1) 10 LED LIGHT ENGINE, TYPE 171M OPTIC, 4000K @ 1000MA	LED	1	DS1W1_LED_100_1000_40K_171M_MVOLT.as	3945	0.91	38.3

FORMAL SITE PLAN SUBMITTAL
DRAWN BY: TRD
DATE: 5-2-2017
TITLE:

TULLEY ENGINEERING PROFESSIONALS
DONALD A. TULLEY
REGISTERED PROFESSIONAL ENGINEER
NO. 10000
PHOENIX, AZ
6501 S. 19TH
TEL: (602) 997-6699
FAX: (602) 992-1941
SHEET NO.
PS-1

SC1, SD, & SD2



D-Series Size 0 LED Area Luminaire

Specifications

Depth: 7.5" (193 mm)
 Length: 12" (305 mm)
 Width: 3" (76 mm)
 Height: 1" (25 mm)
 Weight (max): 1.5 lbs (680 g)

***A+ Capable Luminaire**

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency.
- This luminaire is A+ Certified when ordered with DTL* controls marked by a **DLG** (Dimmable LED Lighting) logo. DTL* equipped luminaires meet the A+ specification for luminaires to photocell control interoperability.
- This luminaire is part of an A+ Certified solution for RDM2P or M+net™ Wireless control networks, provided out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a **DLG** (Dimmable LED Lighting) logo.

To learn more about A+, visit www.acuitybrands.com/a+.

1. See ordering tree for details.

2. A+ Certified Solutions for RDM require the order of one RDM node per luminaire. Sold Separately. Link to RDM Node Link to DTL DTL.

Ordering Information EXAMPLE: DSX0 LED 40C 1000 40K T3M MVOLT SFA DOBKX

Series	Size	Color	Temp	Beam	Mount	Control	System
DSX00	DSX0	1000	40K	100°	1" (25 mm)	None	None
	DSX0	1000	40K	100°	1" (25 mm)	DTL*	None
	DSX0	1000	40K	100°	1" (25 mm)	DTL*	None
	DSX0	1000	40K	100°	1" (25 mm)	DTL*	None

Accessories

None available with this system.

1. See the ordering tree for details.


2. See the ordering tree for details.

Notes

1. Only available with 120V system.
2. Only available with 120V system.
3. See the ordering tree for details.
4. See the ordering tree for details.
5. See the ordering tree for details.
6. See the ordering tree for details.
7. See the ordering tree for details.
8. See the ordering tree for details.
9. See the ordering tree for details.
10. See the ordering tree for details.

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SA & SA2



OLWX1 LED Wall Luminaire

Specifications

Width: 7.5" (193 mm)
 Height: 8" (203 mm)
 Depth: 3" (76 mm)
 Weight: 5 lbs (2270 g)

Introduction

As versatile as it is efficient, the OLWX1 is designed to replace up to 250W metal halide while saving over 80% in energy costs. It combines multiple mounting options with the latest generation of LEDs for a wall pack luminaire that converts to a whole lot more. Whether you are mounting it to a recessed junction box, conduit/through wiring, as an up light, as a down light, or as a flood light—the OLWX1 has you covered.

Ordering Information EXAMPLE: OLWX1 LED 20W 50K

Series	Power	Temp	Beam	Mount	Control	System
OLWX1	OLWX1	20W	50K	100°	None	None
	OLWX1	20W	50K	100°	DTL*	None
	OLWX1	20W	50K	100°	DTL*	None
	OLWX1	20W	50K	100°	DTL*	None

Accessories

None available with this system.

1. See the ordering tree for details.


2. See the ordering tree for details.

Notes

1. Only available with 120V system.
2. Only available with 120V system.
3. See the ordering tree for details.
4. See the ordering tree for details.
5. See the ordering tree for details.
6. See the ordering tree for details.
7. See the ordering tree for details.
8. See the ordering tree for details.
9. See the ordering tree for details.
10. See the ordering tree for details.

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SF



D-Series LED Bollard

Specifications

Diameter: 4" (102 mm)
 Height: 42" (1067 mm)
 Weight: 27 lbs (12270 g)

Introduction

The D-Series LED Bollard is a stylish, energy-saving, long-life solution designed to perform the way a bollard should—with zero uplift. An optical lens forward, this full cut-off luminaire will meet the most stringent of lighting codes. The D-Series LED Bollards rugged construction, durable finish and long-lasting LEDs will provide years of maintenance free service.

Ordering Information EXAMPLE: DSXB LED 14C 700 40K 5'YMVOLT DOBKX

Series	Size	Power	Temp	Beam	Mount	Control	System
DSXB0	DSXB0	14C	40K	100°	1" (25 mm)	None	None
	DSXB0	14C	40K	100°	1" (25 mm)	DTL*	None
	DSXB0	14C	40K	100°	1" (25 mm)	DTL*	None
	DSXB0	14C	40K	100°	1" (25 mm)	DTL*	None

Accessories

None available with this system.

1. See the ordering tree for details.


2. See the ordering tree for details.

Notes

1. Only available with 120V system.
2. Only available with 120V system.
3. See the ordering tree for details.
4. See the ordering tree for details.
5. See the ordering tree for details.
6. See the ordering tree for details.
7. See the ordering tree for details.
8. See the ordering tree for details.
9. See the ordering tree for details.
10. See the ordering tree for details.

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SG



D-Series Size 1 LED Wall Luminaire

Specifications

Width: 12" (305 mm)
 Height: 12" (305 mm)
 Depth: 3" (76 mm)
 Weight: 10 lbs (4536 g)

Introduction

The D-Series Wall Luminaire is a stylish, fully integrated LED solution for building mount applications. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy-efficient lighting with a variety of optical and control options for customized performance. With an expected service life of over 20 years of nighttime use and up to 70% in energy savings over comparable 250W metal halide luminaires, the D-Series Wall is a reliable, low-maintenance lighting solution that produces sites that are exceptionally illuminated.

Ordering Information EXAMPLE: DSXW1 LED 20C 1000 40K T3M MVOLT DOBKX

Series	Size	Power	Temp	Beam	Mount	Control	System
DSXW1	DSXW1	20C	40K	100°	1" (25 mm)	None	None
	DSXW1	20C	40K	100°	1" (25 mm)	DTL*	None
	DSXW1	20C	40K	100°	1" (25 mm)	DTL*	None
	DSXW1	20C	40K	100°	1" (25 mm)	DTL*	None

Accessories

None available with this system.

1. See the ordering tree for details.

2. See the ordering tree for details.

Notes

1. Only available with 120V system.
2. Only available with 120V system.
3. See the ordering tree for details.
4. See the ordering tree for details.
5. See the ordering tree for details.
6. See the ordering tree for details.
7. See the ordering tree for details.
8. See the ordering tree for details.
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2nd & Hardy Townhomes

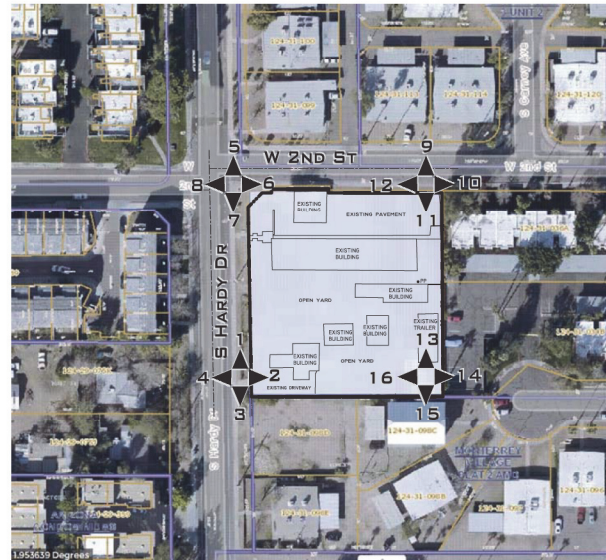
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 Anthony@PacificRimDevelopments.com

GENERAL CONTRACTOR:
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 Fax: 480.968.2041
 info@wmsbuilders.com
 604.646.9227

FORMAL SITE PLAN SUBMITTAL (2)
 DRAWN BY: TS
 DATE: June 16, 2017
 TITLE:

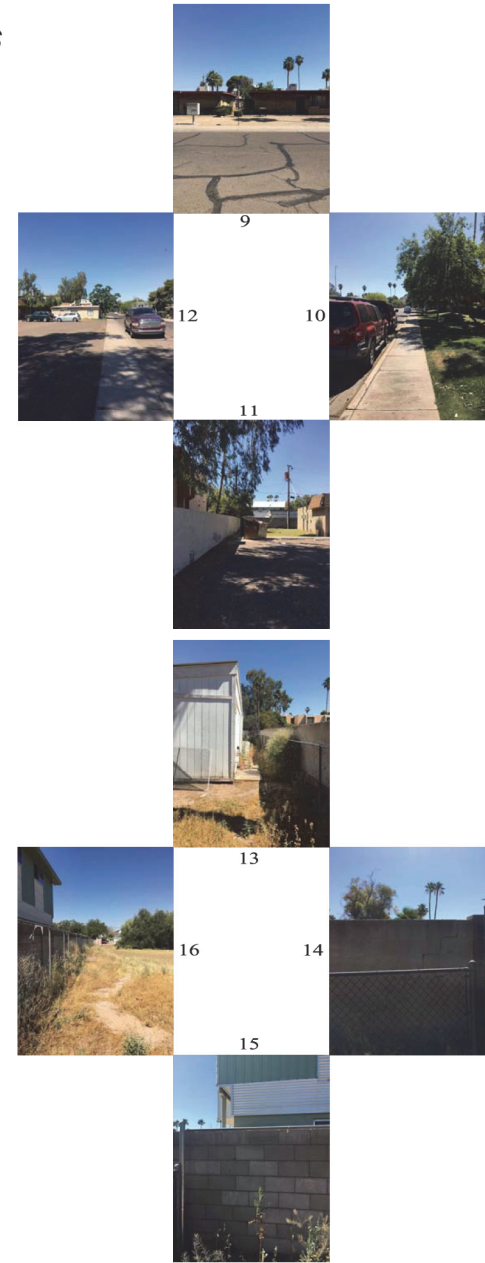
Lighting Specifications
 SHEET NO. **PS-2**

2nd & Hardy Townhomes



Context Site Plan

SCALE: 1" = 60'



REVISION:

ARCHITECT:
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● FORMAL SITE PLAN SUBMITTAL
 DRAWN BY: _____
 DATE: _____
 TITLE: April 30, 2017

Site
 Context Photos
 SHEET NO. **A1.4**