

CITY OF TEMPE
DEVELOPMENT REVIEW COMMISSION

Meeting Date: 11/27/2018
Agenda Item:

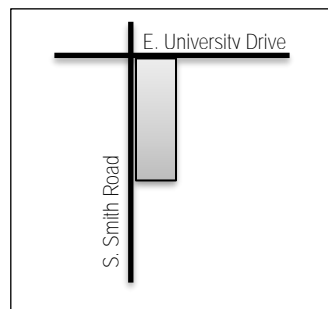
ACTION: Request a Zoning Map Amendment, Planned Area Development and Development Plan Review for a single-family residential development consisting of 80 two-story attached units for THE LEVEL, located at 915 South Smith Road. The applicant is Earl, Curley & Lagarde.

FISCAL IMPACT: While this ordinance change does not directly impact revenue, the planned development will result in collection of the standard development fees, calculated according to the approved fee structure at the time of permit issuance.

RECOMMENDATION: Approve, subject to conditions

BACKGROUND INFORMATION: THE LEVEL (PL180235) is located on the south east corner of Smith Road and University Drive in the Apache Boulevard Character Area. The project includes 80 new single-family two-story attached townhomes with common amenity and landscape areas. The site includes seven existing lots with four existing zoning districts. The request includes the following:

- ZON180019 Zoning Map Amendment from CSS Commercial Shopping & Service, RO Residential Office, R-3 Multi-Family Residential Limited and RMH Residential Mobile Home Park to R-4 Multi-Family General.
- PAD180016 Planned Area Development Overlay to establish development standards for building setbacks on individual lots and perimeter setback reductions on the **front (north) from 20' to 10' and side (east) from 10' to 8' and minimum lot area per dwelling unit from 1,740 to 1,500 square feet.**
- DPR180117 Development Plan Review including site plan, building elevations, and landscape plan



Existing Property Owner	Tom Stapley, Treehouse Tempe, LLC
Existing Property Owner	Ali Homsy, Homsy Enterprises, LLC
Applicant	Steven Earl, Earl Curley & Lagarde
Zoning District (current/proposed)	CSS, RO, R-3 & RMH / R-4 Multi-Family General
Gross / Net site area	6.585 gross acres / 5.454 net acres
Density / Number of Units	12 du/ac / 80 units
Unit Types	3 Bedroom Units
Total Bedrooms	240 Bedrooms
Total Building Area	86,208 s.f.
Lot Coverage	38% (60% maximum allowed in R-4)
Building Height	30' (40' maximum allowed in R-4)
Development Setbacks	10' front (north on University), 10' street side (west on Smith), 8' side (east), 12' rear (south) (20', 10', 10', 10' minimum in R-4)
Building Setbacks	4' front, 0' sides and 0' rear
Landscape area	26% (25% minimum required in R-4)
Vehicle Parking	218 spaces provided, 160 in garage (160 min. required for single-family, 216 required for multi-family)
Bicycle Parking	84 spaces provided (76 required for multi-family)

ATTACHMENTS: Development Project File

STAFF CONTACT(S): Diana Kaminski, Senior Planner (480) 858-2391
 Department Director: Chad Weaver, Community Development Director
 Legal review by: N/A
 Prepared by: Diana Kaminski, Senior Planner

Reviewed by: Suparna Dasgupta, Principal Planner

COMMENTS:

This site is located on the south east corner of Smith Road and University Drive, east of McClintock Drive, south of Rio Salado Parkway, west of the Price Road. Smith Road is a half-mile collector street that connects to Apache Boulevard and light rail a half mile to the south. University Drive is an arterial with access to the 101 Freeway to the east. The site is north of the Escalante Neighborhood Association, with single family homes built in 1958. The site is west of the Rio Ventana Townhomes built in 2002 and Questa Vida Condominiums, built in 1983. Cameron Creek Apartments are on the west side of Smith Road across from the proposed development of 80 single-family attached townhomes. Five of the lots have been used as a mobile home park for almost 60 years, these lots were purchased at the end of 2017 and the mobile home park vacated at the end of July 2018. The two corner lots which comprise a commercial office building and storage yard are under contract for purchase in February, contingent upon this entitlement process. The project includes seven parcels of land which have never been platted, a Preliminary and Final Subdivision plat will be required as a part of this project. The parcels currently have four zoning classifications. This request includes the following:

1. Zoning Map Amendment from CSS Commercial Shopping & Service, RO Residential Office, R-3 Multi-Family Residential Limited and RMH Residential Mobile Home Park to R-4 Multi-Family General.
2. Planned Area Development Overlay to establish development standards for building setbacks on individual lots **and perimeter setback reductions on the front (north) from 20' to 10' and side (east) from 10' to 8' and minimum lot area per dwelling unit from 1,740 to 1,500 square feet.**
3. Development Plan Review including building elevations for 80 three-story units, and site plan and landscape plan for 5.49 acres.

The applicant is requesting the Development Review Commission provide recommendations to City Council for items one through three listed above. For further processing, the applicant will need approval for a Preliminary and Final Subdivision Plat, to create 80 individual for-sale lots with common tracts for the landscape and amenity areas.

SITE PLAN REVIEW

The first Preliminary Site Plan Review for this project was April 26, 2017. Staff comments included: Smith and University Drive street frontages must be addressed by the design solution: orient units with front doors facing Smith and on University, consider either front patio condition w/ pony wall behind common landscape buffer to street, or back yard condition w/ landscape buffer. Dead end drive with garages facing University is not an ideal solution, consider relocation of these units to the south end, shifting the site plan north, so that the Units along University have a landscape buffer between street and unit. There were questions about the product, it was not clear if it was condominium or townhome. Provide elevations with building articulation in vertical and horizontal planes, not flat rectangular boxes or minimal recesses/projections. Provide recessed and shaded windows on the west and south elevations, consider solar orientation of units and opportunities for panel installation and passive solar benefits. For townhome product, design elevations to show individual character between units, as an owner-occupied product on a fee simple lot; do not make one block of uniform buildings. Provide private outdoor living space for each unit, dimension this area and provide s.f. of space. Reference was made to the Apache Character Area Plan for design guidelines. Dedication of right of way was required.

The second Preliminary Site Plan Review was June 7, 2017. Comments remained similar to the first, and addressed technical information needed for further review.

The third Preliminary Site Plan Review was February 14, 2018. Comments remained similar to the prior reports and requested further refinement of the design.

The fourth Preliminary Site Plan Review was May 2, 2018 Comments included:

- Provide elevations with building articulation in vertical and horizontal planes, not flat rectangular boxes or minimal recesses/projections.
- Provide recessed and shaded windows on the west and south elevations, consider solar orientation of units and opportunities for panel installation and passive solar benefits.
- For townhome product, design elevations to show individual character between units, as an owner-occupied product on a fee simple lot; do not make one block of uniform buildings.
- Provide private outdoor living space for each unit, dimension this area and provide s.f. of space.
- If yards are provided, refer to building code egress requirements from bedrooms and provide exit path of travel and

egress easements as needed.

- For a development of 74 single family townhomes, the design expectation would be more than 2-unit floorplan options, and more than 1 elevation design.
- This site is within the Apache Character Area, refer to this document for building architecture and landscape design guidance and specifically identify in the letter of explanation how this character area plan was implemented by this project.
- Grey stucco boxes do not provide enough architectural detail and variation. Please do not repeat designs approved on a smaller scale for such a large site; this requires more building articulation and street front interest.
- Staff recommends going to a study session with the DRC to discuss the site layout and design; staff concern is based **on prior project DRC comments that may be applicable to this project; such as narrow 24' wide drive aisles to access garages, with no landscape area and flat building elevations creating a 30' high by 24' wide concrete canyon, and no private open space.**
- Show location of storage and staging of refuse and recycle on plans with circulation/access.
- Street front character along Smith should reflect what is built on west side, with street trees and landscape area.
- Identify location of HVAC and SES, demonstrate screening.

The fifth Preliminary Site Plan Review was July 11, 2018. Further comments regarding the refinement of the design were provided. Although the colors were changed to warmer tones and more floor plans and building types were provided, the colors looked very similar, giving the overall development an apartment quality in terms of building typology. Staff remained concerned about the elevation colors and design and requested masonry and more variation in the elevations.

The first Formal Site Plan Review was August 22, 2018. There remained concern about the lack of landscape frontage on Smith Road. There must be sufficient room for street trees west of the patio walls. Dimensions were needed, and staff requested that a planting plan include street front **landscape not hidden by a 6' patio wall.**

The second Formal Site Plan Review was October 17, 2018 after the first formal review, and the subsequent neighborhood meeting on August 29th, the site was changed to incorporate the corner lots previously not available. This added six units to the development and re-oriented the street configuration and perimeter street frontage. An enhanced elevation with more masonry was provided around the north and west perimeter of the development, to address concerns about the street front appearance. Staff requested that the elevations adjacent to the community amenity space, which is also considered public and visible, have the enhanced elevations similar to the perimeter units. Staff also requested masonry wrap around all the garages to provide protection and ground the units with a textural pattern at the pedestrian level. The color schemes remained very similar with variation provided in the door colors. Staff provided additional input on these colors. Most of the previously itemized issues were addressed. Further refinement was made to the landscape plan to incorporate a diverse planting palette that met the Apache Character Area Plan design intent.

PUBLIC INPUT

- A neighborhood meeting was required
- A neighborhood meeting was held: August 29, 2018 from 6-7:00 p.m. at 2102 E Rio Salado Parkway Hilton Garden Inn conference room.
- See attached summary of meeting provided by the applicant.
- Community Development staff attended the meeting.
- Residents from the adjacent townhomes to the east and single-family houses to the south were present and asked about the timing of the project, discussion about site walls, landscape, building heights, traffic, and improvements to Smith Road were addressed.
- At this time, the corner commercial lot was not a part of the project, and there would be limited improvements made to Smith Road to have safe pedestrian, bike and vehicle access to the intersection. The owner of the corner lot was in attendance; subsequent conversations with the representatives resulted in an agreement to redevelop the corner into the new development. This change to the plans meant a right-of-way dedication to enable full street improvements to the intersection and enhanced landscape at the street front. This resulted in a delay to the project processing to redesign the five lots to include the two additional lots.

PROJECT ANALYSIS

GENERAL PLAN

The project site is designated Residential Land Use with up to 25 dwelling units per acre density in the General Plan. The proposed project would be 14 dwelling units per acre, providing a new owner-occupied product that diversifies and balances the existing housing stock of surrounding apartments, townhomes, condominiums and single-family houses. The proposed project unifies the zoning into a district in conformance with the General Plan and meets many of the long-term objectives for redevelopment and housing. The applicant has provided a written justification for the proposed zoning amendment.

CHARACTER AREA PLAN

The site is located in the Apache Boulevard Character Area Plan.

- Principle 1 is not applicable to this site, there are no historic structures to preserve.
- Principle 2 Landscape Treatments: The site uses Arizona Ash, Chinese Evergreen Elm, Chaste Tree, Crepe Myrtle, Date Palm from the historic palette with the addition of newer hybrids such as Chinese Pistache, Cathedral Oak, Willow Acacia to diversify the palette. Agave and Rosemary were used for shrubs, with newer plants such as Muhlenbergia, Brakelight Red Yucca, Orange Jubilee Tecoma, Little John Callistemon, Baja Ruellia and both purple and gold Lantanas for color around the site. These plants meet the landscape principles 1-3. #4 is a function of maintenance of the site to retain a natural plant form and not overprune and was added as a note for the CC&Rs to address in the landscape maintenance plan. The site configuration did not lend itself to larger tree specimens sought in 5.
- Principle 3 Shade: The project will enhance Smith Road with 29 street trees and University Drive with 12 street trees, providing a shaded pedestrian sidewalk on both street fronts, with a significant addition to the urban canopy. Shade is provided over doorways and some windows, and high efficiency windows are used to reduce energy demand.
- Principle 4 Mobility & 20-minute City: The completion of the Smith and University intersection with enhanced bike and pedestrian paths will mitigate current vehicle conflicts and provide safer access to the bus stop on University and the Light Rail on Apache.
- Principle 5 The Living City: The project significantly increases the number of trees within the area and utilizes drought tolerant plans.
- Principle 6 is not applicable, as it is site specific to other properties.
- Principle 7 Streetscapes and Streets as Open Space: The Smith and University frontages are relatively narrow, but will be significantly enhanced with safe pedestrian, bicycle and vehicle paths of circulation enhanced with lighting, landscape and community surveillance by the additional units along the street. Interstitial space between the attached units on Smith are landscaped and have view fences to open up the site providing visual open space while securing the property.
- Principle 8 Transitions: The scale of this project takes into consideration the building heights of adjacent properties and is proposing a less dense development in order to provide owner-occupied townhomes with amenities as a transition from the higher density developments on University to the west.
- Principle 9 Crossings: The Smith Road improvements included dedication of right of way for approximately 860 feet along the east side of the street and will address the turn lane configuration at the intersection, making necessary changes for safer circulation for all modes of transportation.
- Principle 10: Live/Work/Innovate: the units provide 80 new residents who may work from home, or commute to local businesses. The project does not fully address 10.7 “Construction materials throughout the Apache Area must be **“honest” in nature, exposing their raw characteristics [glass, steel, metal, copper, rammed earth, concrete, concrete block, brick, wood, stone, masonry, terrazzo, wire rope/cables]; while limiting building materials with add-on surface treatments such as stucco, paint, laminates, veneers, “faux” materials, etc.”** or 10.8 “Landscape treatments must be Sonoran-appropriate and modern in design, avoiding treatments such as stucco screening walls, pink decomposed granite, and yellow lantana.”
- Principle 11 Pedestrian Scale: The project uses a combination of decorative screen walls and view fences to support private and public areas, units have doors to patios with gates accessing the public sidewalk for quick access to transit. The attached units are three stories with projected balconies and shade canopies, the unit types are broken up to reduce the overall building massing and keep a pedestrian scale to the site.

- Principle 12 Green Infrastructure: The project does not propose unique design solutions that address this principle. Rainwater is directed to retention areas, including underground.
- Principle 13 Connectivity/Green Alleys: There are no alleys within the development, but connectivity is provided within the development for residents and around the development along the street frontages.
- Principle 14 Walkable: The street improvements encourage a walkable environment.
- Principle 15 Neighborhood Identity, Authentic Character: This principle is specific to other sites, although this site could be considered a gateway to the neighborhood. The project does not have outdoor art or unique architecture, it is fairly uniform.
- Principle 16 Pocket Parks: The site provides outdoor amenity space for the residents, secured within the gated community, and provides views from the street through the development to visually open the site. However, it does not provide public pocket parks which would require maintenance and security.
- Principle 17 Public Art: The project is not a part of the Art in Private Development program, which only applies to commercial projects. As an HOA, they would qualify for future grant opportunities and could implement this in the future if the residents chose to apply. The site provides good opportunity for artwork with the extensive street frontage along Smith and University. A transit shelter provides future opportunity for artistic enhancement.
- Principle 18 Canal-Oriented Development: The canal to the south was undergrounded prior to the water pump station being built. This site is not applicable to this principle.

ZONING

The existing seven lots have four different zoning district designations: CSS Commercial Shopping & Service, RO Residential Office, R-3 Multi-Family Residential Limited and RMH Residential Mobile Home Park. The proposed Zoning Map Amendment would change the 5.454 net acre site to R-4 Multi-Family Residential General District. The apartments to the west and condominiums to the east are R-3, the townhomes to the east are R1-PAD and the houses to the south are R1-6. The area is within a half mile from the Light Rail on Apache Boulevard and is projected as Residential up to 25 du/ac in the General Plan. The 6.585 gross acre site requires 1.131 acres of property to be dedicated as right of way to implement the Transportation Master Plan for improvements to Smith Road and University Drive for safe vehicle, bicycle and pedestrian circulation. These improvements are being installed as a part of this development, including new striped traffic lanes, curb and gutter, public sidewalk, street lights, undergrounded powerlines and landscaping with street trees. These will be significant improvements to the surrounding community. The prior 42-unit mobile home park had a density of 7 du/ac, the General Plan would allow this property to be developed as an apartment or condominium multi-family development at a density of 25 du/ac, two times the proposed project 12 dwelling units per acre. The proposed density is appropriate to the area, the adjacent townhome development is 12 dwelling units per acre. All units are three-bedroom, and are parked with 2.7 parking spaces per unit, which is higher than required by code for single family. Providing 80 new single-family townhomes available for purchase diversifies the housing available in this area while redeveloping an underutilized property that has had no improvements in sixty years. The applicant has provided a letter of explanation for the implementation of the General Plan.

Section 6-304 C.2. Approval criteria for Zoning amendment (*in italics*):

1. *The proposed zoning amendment is in the public interest* as described in the above analysis.
2. *The proposed zoning amendment conforms with and facilitates implementation of the General Plan* as described in the above analysis.

PLANNED AREA DEVELOPMENT

The requested development substantially conforms to the R-4 zoning, with the exception to the minimum lot area per unit, and the setbacks at the perimeter of the development. The lot area per unit is being reduced by 240 square feet but there is an amenity area and common open space. The front (north) setback is being reduced to accommodate a six-foot tall decorative screen wall, that would not be allowed in the front yard setback along University Drive. This is for noise mitigation from traffic as well as privacy and security. The townhomes are set back more than the minimum 20 feet, the encroachment in the setback is 10 feet from the property line to accommodate the wall. The lot is approximately 290 feet wide; the east setback is reduced two feet, from ten feet to eight feet, and the west street side setback is reduced by five feet, from 15 to ten feet. These reductions were necessary to accommodate the relatively narrow width of the site and required circulation dimensions for fire and refuse, while still allowing rear yards to each of the east side units. The units require egress from the rear yards for building safety, which requires a small pedestrian corridor outside of the privatized yards. The adjacent townhomes were built in 2002 and **are 10' from** the property line, with very few windows on the second level facing west.

Many lots along the west side of Rio Ventana Townhomes have trees within the yards east of the proposed development. A condition has been added to provide size appropriate trees to help with privacy between the two townhome developments. The rear setback was increased by two feet to provide a larger landscape buffer to the south side, adjacent to single family residences. The building height and lot coverage are lower than the allowed standards in the R-4 and are more in keeping with the RO and R-3 zoning, and in scale with the surrounding development patterns. The apartments to the west are three-story and the townhomes to the east are two-story and the Escalante Neighborhood are single-story but have allowed height of up to 30 feet. The proposed building height would not exceed 30 feet.

The chart below compares the existing zoning classifications, as well as the compared change from R-4 to R-4 PAD :

Standard	RMH	CSS	RO	R-3	R-4	PROPOSED R-4 (PAD)	Change
Residential Density (du/ac)	7	20	10	20	25	12	Decrease
Dwelling Units (allowed)	46	131	65	131	164	80	Decrease
Minimum Lot Area Per Unit	3,500 sf	2,180 sf			1,740 sf	1,500 sf	Decrease
Building Height (feet)							
Building Height Maximum	30 ft	35 ft	30 ft	30 ft	40 ft	30 ft	Decrease
Maximum Lot Coverage (% of net site area)	60%	50%	35%	50%	60%	38%	Decrease
Minimum Landscape Area (% of net site area)	N/A	15%	30%	25%	25%	26%	Increase
Setbacks (feet)							
Front (north on University Dr) Parking	5 ft	10 ft 20 ft	10 ft 20 ft	15 ft 20 ft	20 ft 20 ft	20 ft (10 ft for decorative wall) 20 ft	Decrease
Side (east adjacent to townhomes)	20 ft	0 ft	10 ft	10 ft	10 ft	8 ft	Decrease
Rear (south adjacent to water pump)	5 ft	0 ft	15 ft	20 ft	10 ft	12 ft	Increase
Street Side (west on Smith Rd) Parking	5 ft	0 ft 20 ft	10 ft 20 ft	10 ft 20 ft	15 ft 20 ft	10 ft 20 ft	Decrease
Vehicle Parking	2.2 / unit or 101 spaces	2.7 / 3-bedroom unit or 354 spaces	2.7 / 3-bedroom unit or 176 spaces	2.7 / 3-bedroom unit or 354 spaces	2.7 / 3-bedroom unit or 443 spaces	2.7 / 3-bedroom unit or 216 spaces (single family only requires 160 spaces, no guest parking)	No Change
Bicycle Parking						86	

Section 6-305 D. Approval criteria for P.A.D. (*in italics*):

1. *The development fulfills certain goals and objectives in the General Plan and the principles and guidelines of other area policy plans.* The project implements the Neighborhood Revitalization, Redevelopment, and Housing Elements of the Land Use Chapter. The area has had a history of code violations and no investment in sixty years. This project will introduce 80 new single-family homes to the neighborhood, increasing the opportunity for home ownership in the area. The use of an HOA will assure maintenance of the landscape and amenity area, reducing the need for code enforcement. The addition of 38 street trees for shade along Smith and University and an approximately 80 additional trees on site will help implement the Urban Forestry goals for increased shade cover in Tempe. The above report analysis and that provided in the letter of explanation by the applicant outline how this criterion is met.
2. *Standards requested through the PAD Overlay district shall take into consideration the location and context for the site for which the project is proposed.* The proposed density, building height, lot coverage and landscape coverage are similar to **the surrounding developments. The 2' deviation on the east setback allows egress from rear yards to meet building code.** As outlined in the above analysis and that provided in the letter of explanation by the applicant, this criterion is met.
3. *The development appropriately mitigates transitional impacts on the immediate surroundings.* The east side does not have significant room for trees adjacent to the townhomes to the east. A condition of approval has been added to address landscape in the rear yards of the units along the east side. The existing street configuration on Smith Road is substandard for vehicles, bikes and pedestrians. The proposed development will be making improvements to vehicle lanes for safe left and right turns, as well as full paving for bike and pedestrian travel. This is a significant improvement to the entrance to the neighborhoods to the south.

DEVELOPMENT PLAN REVIEW

Site Plan

The site is approximately 290' wide along University Drive by 840' long along Smith Road. The narrowness of the lot presents a challenge for site circulation for fire and refuse, however, minimum dimensions have been met. The units closest to University at the north end are set back about 36' from the property line, and another 25' from the street edge to provide a landscape buffer for residents and provide a street front landscape adjacent to the bus stop and 8' public sidewalk. The units along Smith are 10' from the property line, with a patio encroachment into the setback. The patios have decorative masonry walls that are 6' tall, with the top 2' open cell block to provide visual surveillance to the street. There is a 6'7" landscape strip west of the patio walls, adjacent to the 6' sidewalk, which provides street trees and understory plantings viewed from the public right of way. The gate on University is exit and fire/refuse truck access only, reducing traffic conflicts along University and keeping the majority of vehicle movements at the lighted intersection at Smith Road. The street along Smith will be improved with new paving, sidewalk and striping for safe vehicle travel. There are 24 buildings comprised of attached two and four-unit buildings. Along Smith Road, the four-unit buildings are spaced to allow open space ranging from 10'-80' wide, with view fence securing the site while opening the community by visual connectivity to the street front, allowing the landscape area to provide a buffer between buildings and opens the site visually, rather than creating a walled community. The 80 units are oriented facing east to west, with a central looped drive serving both ends of the site and connecting from a single drive at the gated entrance on Smith, adjacent to the pool and amenity area. Guest parking is interspersed throughout the community, providing 58 guest spaces on-site. Each of the 80 units are a three-bedroom townhome with a two-car garage, providing 160 parking spaces. Refuse and recycle cans are stored in the garage and placed by the front door on collection days. Each unit has a 112 or 142 s.f. ground floor patio and an 84 or 130 s.f. second floor balcony. The rear yards of each unit vary in size depending on location but provide a range from 135 s.f. to approximately 567 s.f. of private outdoor space, including the patio, per unit. The site took extensive review by fire, solid waste services, planning, engineering, police and building safety; the final site design meets the technical requirements and presents a solution for a very narrow site which allows a townhome product unique to this area.

Building Elevations

The design includes two building types, a 2-unit and a 4-unit attached model, each with a combination of 4 different interior floorplans. The first floor of each unit includes a garage and varies from having the main living area on the first floor, to having the bedrooms on the first floor. The front of each elevation includes a masonry wrapped garage door opening, with three different masonry veneers that vary in texture and color. There are four garage door options, all with different window configurations. The front doors of each unit are also unique, and conditions have been included to assure that each adjacent unit has a unique door front. The balconies are painted perforated metal. The primary building material is exterior finish insulated stucco, in four color schemes, ranging from warm browns to cooler taupes and greys, accented by door colors of brown, rust, blue-black and gold-brown. The stucco is accented by reveals in the surface that break up larger elements of the building and create a pattern around windows. Canopies over doors and balconies are a dark grey to match the balcony metal railings. The forms of the buildings are contemporary, with clean simple lines and massing. The building blocks are broken by changes in surface plane, with recessed entryways and balconies, projected sections that add depth and create shade on the structure.

Landscape Plan

The 5.4-acre site provides 38 street trees along the street frontage: the Smith Road primary tree is Cathedral Oak, which as a conical growth form appropriate to narrower planting areas, this tree is accented by the Arizona Ash which is a tree identified in the Apache Character Area Plan. At the main entrance, Chinese Pistache line the gated drive, this will provide a seasonal change to the street front. Along University, the primary tree is the Chinese Pistache, with the Cathedral Oak and Chaste Tree as accents. Within the interior of the site, Evergreen Elm shade the guest parking areas, Acacia Willow are used at the south perimeter as a buffer and in between units. Date Palms are used at the amenity area. Evergreen Elm are used as a buffer along the east side where the amenity area provides a larger buffer. Crepe Myrtle provides additional color and ties back to the Apache Character Area Plan plant list. The understory plants include Muhlenbergia, Brake Light Red Yucca, **Agave**, **Tecoma 'Orange Jubilee'**, **Callistemon 'Little John'**, **Gold and Purple Lantana**, Rosemary and Baja Ruellia. The Smith street frontage has a dense planting under the trees, adjacent to the patio walls, to provide privacy to residents and to soften the wall edge along the public sidewalk. Plantings are massed in semi-formal clusters of xeric plants, emphasizing the color and texture by similar species in groupings.

Section 6-306 D Approval criteria for Development Plan Review (*in italics*):

1. *Placement, form, and articulation of buildings and structures provide variety in the streetscape*; the buildings are set back from the street edge to provide privacy, while addressing Smith as a neighborhood frontage by balconies and patios looking out to the street. The buildings are patterned with four and two-unit clusters to provide variation in massing and allow open space between structures. There is limited articulation on the building.
2. *Building design and orientation, together with landscape, combine to mitigate heat gain/retention while providing shade for energy conservation and human comfort*; the attached units will provide shade and energy savings by design. The west side units will have shade from the Smith Road street trees, however interior units are limited in landscape surrounding the units.
3. *Materials are of a superior quality, providing detail appropriate with their location and function while complementing the surroundings*; Materials are similar to the surrounding developments.
4. *Buildings, structures, and landscape elements are appropriately scaled, relative to the site and surroundings*; buildings are two-story, similar to the townhomes, apartments and condominiums surrounding the site, and are consistent in scale and massing. Landscape elements take into consideration the size of the area and are proportionate to the area provided for healthy plant growth.
5. *Large building masses are sufficiently articulated so as to relieve monotony and create a sense of movement, resulting in a well-defined base and top, featuring an enhanced pedestrian experience at and near street level*; the widest building **is 120' for the four-unit building**, these are articulated with patio walls, balcony railings, shade canopies over doors, and masonry around the garages. The colors vary from building to building in a unified scheme that relieves monotony in the design, providing diverse continuity between individual units and the overall building design.
6. *Building facades provide architectural detail and interest overall with visibility at street level (in particular, special treatment of windows, entries and walkways with particular attention to proportionality, scale, materials, rhythm, etc.) while responding to varying climatic and contextual conditions*; the applicant has provided a letter of explanation to describe the architectural detail of the project, and how it meets this requirement.
7. *Plans take into account pleasant and convenient access to multi-modal transportation options and support the potential for transit patronage*; the site makes significant improvements along both Smith and University, serving transit users with the bus pull-out and bus stop on University and shaded sidewalks along both streets.
8. *Vehicular circulation is designed to minimize conflicts with pedestrian access and circulation, and with surrounding residential uses*; the site has limited sidewalks due to the narrowness of the lot. Egress paths are provided as necessary, and it is anticipated that drives would be shared between pedestrians and vehicles for internal resident circulation.
9. *Plans appropriately integrate Crime Prevention Through Environmental Design principles such as territoriality, natural surveillance, access control, activity support, and maintenance*; the design provides windows on all sides of the units, balconies and patios with views to the street, and a landscape supportive of surveillance.
10. *Landscape accents and provides delineation from parking, buildings, driveways and pathways*; the landscape provides a strong street frontage and shades guest parking areas and highlights the amenity area.
11. *Signs have design, scale, proportion, location and color compatible with the design, colors, orientation and materials of the building or site on which they are located*; signs will be addressed by separate application.
12. *Lighting is compatible with the proposed building(s) and adjoining buildings and uses, and does not create negative effects*. Lighting will comply with code requirements and provides sufficient but sensitive illumination for safety and aesthetics.

REASONS FOR APPROVAL:

1. The project meets the General Plan Projected Land Use and Projected Residential Density for this site.
2. The project will meet the development standards required under the Zoning and Development Code.
3. The PAD overlay process was specifically created to allow for greater flexibility in site design, and is necessary due to the narrowness of the site.
4. The proposed project meets the approval criteria for a Zoning Amendment, Planned Area Development and Development Plan Review.

Based on the information provided and the above analysis, staff recommends approval of the requested Zoning Amendment, Planned Area Development and Development Plan Review. This request meets the required criteria and will conform to the conditions.

ZONING AMENDMENT AND PLANNED AREA DEVELOPMENT CONDITIONS OF APPROVAL:

EACH NUMBERED ITEM IS A CONDITION OF APPROVAL. THE DECISION-MAKING BODY MAY MODIFY, DELETE OR ADD TO THESE CONDITIONS.

General

1. A building permit application shall be made within two years of the date of City Council approval or the zoning of the property may revert to that in place at the time of application. Any reversion is subject to a public hearing process as a zoning map amendment.
2. The property owner(s) shall sign a waiver of rights and remedies form. By signing the form, the Owner(s) voluntarily waive(s) any right to claim compensation for diminution of Property value under A.R.S. §12-1134 that may now or in the future exist, as a result of **the City's approval of this Application, including any conditions, stipulations and/or** modifications imposed as a condition of approval. The signed form shall be submitted to the Community Development Department no later than 30 days from the date of City Council approval, or the Zoning Map Amendment, and Planned Area Development approval shall be null and void.
3. The Planned Area Development Overlay for THE LEVEL shall be put into proper engineered format with appropriate **signature blanks and kept on file with the City of Tempe's Community Development Department** within sixty (60) days of the date of City Council approval and prior to issuance of building permits.

DEVELOPMENT PLAN REVIEW CONDITIONS OF APPROVAL: (Non-standard conditions are identified in bold)

EACH NUMBERED ITEM IS A CONDITION OF APPROVAL. THE DECISION-MAKING BODY MAY MODIFY, DELETE OR ADD TO THESE CONDITIONS.

General

1. Except as modified by conditions, development shall be in substantial conformance with the site plan and building elevations dated October 29, 2018 and landscape plan dated November 5, 2018. Minor modifications may be reviewed through the plan check process of construction documents; major modifications will require submittal of a Development Plan Review.
2. The Planned Area Development Overlay for THE LEVEL is required and shall be submitted within sixty (60) days of Development Plan Review approval. The amendment shall be put into proper engineered format with appropriate **signature blanks and kept on file with the City of Tempe's Community Development Department prior to issuance of** building permits.
3. A preliminary and final subdivision plat to create 80 individual for-sale lots with common tracts for the landscape and amenity areas is required for this development and shall be recorded prior to issuance of building permits.

Site Plan

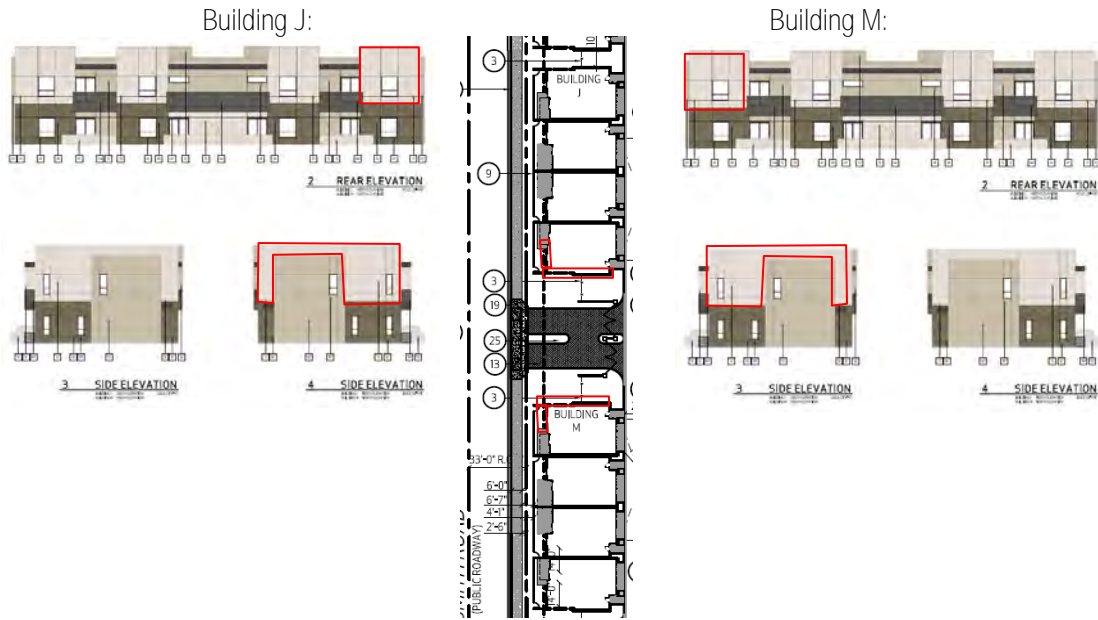
4. Provide service yard and mechanical yard walls that are at least 8'-0" tall as measured from adjacent grade and are at least the height of the equipment being enclosed, whichever is greater. Verify height of equipment and mounting base to ensure that wall height is adequate to fully screen the equipment.
5. Provide gates of steel vertical picket, steel mesh, steel panel or similar construction. Where a gate has a screen function and is completely opaque, provide vision portals for visual surveillance. Provide gates of height that match that of the adjacent enclosure walls. Review gate hardware with Building Safety and Fire staff and design gate to resolve lock and emergency ingress/egress features that may be required.
6. Provide upgraded paving at each driveway consisting of integral colored unit paving. Extend this paving in the driveway from the right-of-way line to 20'-0" on site and from curb to curb at the drive edges. From sidewalk to right-of-way line, extend concrete paving to match sidewalk.
7. Utility equipment boxes for this development shall be finished in a neutral color (subject to utility provider approval) that compliments the coloring of the buildings.
8. Place exterior, freestanding reduced pressure and double check backflow assemblies in pre-manufactured, pre-finished, lockable cages (one assembly per cage). If backflow prevention or similar device is for a 3" or greater water line, delete cage and provide a masonry or concrete screen wall following the requirements of Standard Detail T-214.

Building Elevations

9. Provide secure roof access from the interior of the building. Do not expose roof access to public view.
10. Conceal roof drainage system within the interior of the building.
11. Incorporate lighting, address signs, and incidental equipment attachments (alarm klaxons, security cameras, etc.) where exposed into the design of the building elevations. Exposed conduit, piping, or related materials is not permitted.
12. The electrical service entrance section (S.E.S.) shall be screened from view.
13. The garage doors shall be installed per the color elevations presented, if options for garage doors are given to home-owners, no two adjacent units shall be constructed with the same window configuration in the door, nor shall any of the doors be value engineered to omit the windows.
14. The front doors shall be installed per the color elevations presented, if options for front doors are given to home-owners, no two adjacent units shall have the same front door.
15. Building A, at the south east corner of University Drive and Smith Road, shall have the masonry brick extended to the second floor on the north and west elevations as viewed from public streets.



16. Buildings J and M, at the development entrance on Smith Road, shall have masonry brick extended to the second floor on the west, south and north elevations of the two end units adjacent to the driveway entrance.



17. The materials and colors are approved as presented on October 29, 2018 elevations:

Roof – flat with parapet

Primary Building – Painted Stucco (4 color schemes listed on next page)

Secondary Building – Painted Stucco (4 color schemes listed on next page)

Building Accent – Masonry Veneer (3 masonry products listed on next page)

Windows – Milgard Low-E – Metal frame –Dark Bronze

Metal Canopies, Balcony Railings - Trim - Painted Metal – Sherwin Williams Sealskin SW7675 (dark black/grey)

MATERIAL SCHEDULE SCHEME #1

MATERIAL	
S1	PAINTED STUCCO MANUFACTURER: SHERWIN WILLIAMS COLOR: STUDIO TAUPE SW7549
S2	PAINTED STUCCO MANUFACTURER: SHERWIN WILLIAMS COLOR: RELAXED KHAKI SW6149
B1	BRICK VENEER MANUFACTURER: GENERAL SHALE COLOR: MONUMENT TUDOR MODULAR 6060030325
W1	WINDOW/DOOR (LOW-E) MANUFACTURER: MILGARD COLOR: DARK BRONZE
F2	FRONT DOOR MANUFACTURER: AMARR COLOR: SHERWIN WILLIAMS HIGH TEA / SW6159
G2	GARAGE DOOR MANUFACTURER: AMARR COLOR: SHERWIN WILLIAMS HIGH TEA / SW6159
G4	GUARDRAIL/FASCIA MANUFACTURER: CUSTOM METAL COLOR: SHERWIN WILLIAMS SEALSKIN / SW7675

MATERIAL SCHEDULE SCHEME #2

MATERIAL	
S1	PAINTED STUCCO MANUFACTURER: SHERWIN WILLIAMS COLOR: ACCESSIBLE BEIGE SW7036
S2	PAINTED STUCCO MANUFACTURER: SHERWIN WILLIAMS COLOR: DORIAN GRAY SW7017
B1	BRICK VENEER MANUFACTURER: GENERAL SHALE COLOR: MONUMENT TUDOR MODULAR 6060030325
W1	WINDOW/DOOR (LOW-E) MANUFACTURER: MILGARD COLOR: DARK BRONZE
F2	FRONT DOOR MANUFACTURER: AMARR COLOR: SHERWIN WILLIAMS RAINSTORM / SW6230
G2	GARAGE DOOR MANUFACTURER: AMARR COLOR: SHERWIN WILLIAMS RAINSTORM / SW6230
G4	GUARDRAIL/FASCIA MANUFACTURER: CUSTOM METAL COLOR: SHERWIN WILLIAMS SEALSKIN / SW7675

**MATERIAL SCHEDULE
SCHEME #3**

	MATERIAL
S1	PAINTED STUCCO MANUFACTURER: SHERWIN WILLIAMS COLOR: BEACH HOUSE SW7518
S2	PAINTED STUCCO MANUFACTURER: SHERWIN WILLIAMS COLOR: CANVAS TAN SW7531
S3	BRICK VENEER MANUFACTURER: GENERAL SHALE COLOR: SPRING CREEK TUDOR MODULAR 6060028667
M1	WINDOW/DOOR (LOW-E) MANUFACTURER: MILGARD COLOR: DARK BRONZE
M2	FRONT DOOR MANUFACTURER: AMARR COLOR: SHERWIN WILLIAMS VANDYKE BROWN / SW7041
M3	GARAGE DOOR MANUFACTURER: AMARR COLOR: SHERWIN WILLIAMS VANDYKE BROWN / SW7041
M4	GUARDRAIL/FASCIA MANUFACTURER: CUSTOM METAL COLOR: SHERWIN WILLIAMS SEALSKIN / SW7675

**MATERIAL SCHEDULE
SCHEME #4**

	MATERIAL
S1	PAINTED STUCCO MANUFACTURER: SHERWIN WILLIAMS COLOR: AESTHETIC WHITE SW7035
S2	PAINTED STUCCO MANUFACTURER: SHERWIN WILLIAMS COLOR: SANDBAR SW7547
S3	BRICK VENEER MANUFACTURER: GENERAL SHALE COLOR: SPRING CREEK TUDOR MODULAR 6060028667
M1	WINDOW/DOOR (LOW-E) MANUFACTURER: MILGARD COLOR: DARK BRONZE
M2	FRONT DOOR MANUFACTURER: AMARR COLOR: SHERWIN WILLIAMS RUGGED BROWN / SW6062
M3	GARAGE DOOR MANUFACTURER: AMARR COLOR: SHERWIN WILLIAMS RUGGED BROWN / SW6062
M4	GUARDRAIL/FASCIA MANUFACTURER: CUSTOM METAL COLOR: SHERWIN WILLIAMS SEALSKIN / SW7675

Provide primary building colors and materials with a light reflectance value of 75 percent or less. Additions or modifications may be submitted for review during building plan check process.

Lighting

18. Illuminate drive aisles from dusk to dawn by photocell-controlled fixtures not controlled by switch.

Landscape

19. **Arterial street trees shall be a minimum of 36" box specimens and a minimum of 1 ½" caliper trunk.**
20. The eastern units shall have a tree as a buffer to the property to the east. A choice of trees from the palette shall be provided to homeowners for planting in the rear yards. Smaller yards shall utilize the smaller patio trees or narrower canopy species such as Cathedral Oak and Willow Acacia. Alternatively, homeowners may choose citrus or stone fruit within their private yard.
21. Irrigation notes:
 - a. Provide dedicated landscape water meter.
 - b. Provide pipe distribution system of buried rigid (polyvinylchloride), not flexible (polyethylene). Use of schedule 40 PVC mainline and **class 315 PVC ½" feeder line is acceptable. Class 200 PVC feeder line may be used for sizes greater than ½". Provide details of water distribution system.**
 - c. Locate valve controller in a vandal resistant housing.
 - d. Hardwire power source to controller (a receptacle connection is not allowed).
 - e. Controller valve wire conduit may be exposed if the controller remains in the mechanical yard.
22. Include requirement to de-compact soil in planting areas on site and in public right of way and remove construction debris from planting areas prior to landscape installation.
23. **Top dress planting areas with a rock or decomposed granite application. Provide rock or decomposed granite of 2" uniform thickness. Provide pre-emergence weed control application and do not underlay rock or decomposed granite application with plastic.**

Building Address Numerals

24. Provide address sign(s) on the building elevation facing the street to which the property is identified.
 - a. Conform to the following for building address signs:

- 1) Provide street number only, not the street name
 - 2) Compose of **8"**, individual mount, metal reverse pan channel characters.
 - 3) Self-illuminated or dedicated light source.
 - 4) On multi-story buildings, locate no higher than the second level.
 - 5) Coordinate address signs with trees, vines, or other landscaping, to avoid any potential visual obstruction.
 - 6) Do not affix numbers or letters to elevation that might be mistaken for the address.
- b. **Utility meters shall utilize a minimum 1" number height in accordance with the applicable electrical code and utility company standards.**

CODE/ORDINANCE REQUIREMENTS:

THE BULLETED ITEMS REFER TO EXISTING CODE OR ORDINANCES THAT PLANNING STAFF OBSERVES ARE PERTINENT TO THIS CASE. THE BULLET ITEMS ARE INCLUDED TO ALERT THE DESIGN TEAM AND ASSIST IN OBTAINING A BUILDING PERMIT AND ARE NOT AN EXHAUSTIVE LIST.

SITE PLAN REVIEW: Verify all comments by all departments on each Preliminary Site Plan Review. If questions arise related to specific comments, they should be directed to the appropriate department, and any necessary modifications coordinated with all concerned parties, prior to application for building permit. Construction Documents submitted to the Building Safety Division will be reviewed by planning staff to ensure consistency with this Design Review approval prior to issuance of building permits.

DEADLINE: Development plan approval shall be void if the development is not commenced or if an application for a building permit has not been submitted, whichever is applicable, within twelve (12) months after the approval is granted or within the time stipulated by the decision-making body. The period of approval is extended upon the time review limitations set forth for building permit applications, pursuant to Tempe Building Safety Administrative Code, Section 8-104.15. An expiration of the building permit application will result in expiration of the development plan.

CC&R'S: The owner(s) shall provide a continuing care condition, covenant and restriction for the project and shall include:

- maintenance of all of the project's landscaping, required by Ordinance or located in any common area on site
- preservation of the natural plant forms with a maintenance plan that does not over-groom or over-prune arid plants
- maintenance of the common amenities and lighting on site
- use of garage shall be used for the primary purpose of parking and is not to be used primarily as storage or other uses
- trash and refuse containers shall be stored out of public view except on collection days
- any house mounted fixtures used to meet the minimum code required lighting of the drive aisles or pathways shall be maintained and remain on photocell control from dusk to dawn for community safety and compliance with the code.
- signage and enforcement of no parking in the fire lane/drive aisle/solid waste collection path to maintain safe circulation through the site.

The CC&R's shall be reviewed and placed in a form satisfactory to the Community Development Manager and City Attorney.

STANDARD DETAILS:

- Access to Tempe Supplement to the M.A.G. Uniform Standard Details and Specifications for Public Works Construction, at this link: <http://www.tempe.gov/city-hall/public-works/engineering/standards-details> or purchase book from the Public Works Engineering Division.
- Access to refuse enclosure details DS116 and DS118 and all other Development Services forms at this link: <http://www.tempe.gov/city-hall/community-development/building-safety/applications-forms>. The enclosure details are under Civil Engineering & Right of Way.

BASIS OF BUILDING HEIGHT: Measure height of buildings from top of curb at a point adjacent to the center of the front property line.

HISTORIC PRESERVATION: State and federal laws apply to the discovery of features or artifacts during site excavation (typically, the discovery of human or associated funerary remains). Contact the Historic Preservation Officer with general

questions. Where a discovery is made, contact the Arizona State Historical Museum for removal and repatriation of the items.

POLICE DEPARTMENT SECURITY REQUIREMENTS:

- Refer to Tempe City Code Section 26-70 Security Plans.
- Design building entrance(s) to maximize visual surveillance of vicinity. Limit height of walls or landscape materials, and design columns or corners to discourage ambush.
- **Maintain distances of 20'-0" or greater between a pedestrian path of travel and any hidden area to allow for increased reaction time and safety.**
- Follow the design guidelines listed under appendix A of the Zoning and Development Code. In particular, reference the CPTED principal listed under A-II Building Design Guidelines (C) as it relates to the location of pedestrian environments and places of concealment.
- Provide method of override access for Police Department (punch pad or similar) to controlled access areas including pool, clubhouse or other gated common areas.

TRAFFIC ENGINEERING:

- **Provide 8'-0" wide public sidewalk along arterial roadways, or as required by Traffic Engineering Design Criteria and Standard Details.**
- Construct driveways in public right of way in conformance with Standard Detail T-320.
- Correctly indicate clear vision triangles at both driveways on the site and landscape plans. Identify speed limits for adjacent streets at the site frontages. Begin **sight triangle in driveways at point 15'-0" in back of face of curb.** Consult Intersection Sight Distance memo, available from Traffic Engineering if needed www.tempe.gov/index.aspx?page=801. Do not locate site furnishings, screen walls or other visual obstructions **over 2'-0" tall (except canopy trees are allowed) within each clear vision triangle.**

FIRE: Clearly define the fire lanes. Ensure that there is at least a 20'-0" horizontal width, and a 14'-0" vertical clearance from the fire lane surface to the underside of tree canopies or overhead structures. Layout and details of fire lanes are subject to Fire Department approval.

CIVIL ENGINEERING:

- An Encroachment Permit or License Agreement must be obtained from the City for any projections into the right of way or crossing of a public utility easement, prior to submittal of construction documents for building permit.
- Maintain a minimum clear distance of twenty-four (24) feet between the sidewalk level and any overhead structure.
- Underground utilities except high-voltage transmission line unless project inserts a structure under the transmission line.
- Coordinate site layout with Utility provider(s) to provide adequate access easement(s).
- Clearly indicate property lines, the dimensional relation of the buildings to the property lines and the separation of the buildings from each other.
- Verify location of any easements, or property restrictions, to ensure no conflict exists with the site layout or foundation design.
- 100-year onsite retention required for this property, coordinate design with requirements of the Engineering Department.

SOLID WASTE SERVICES:

- A solid waste plan was accepted for this project, each unit will have individual recycle and refuse containers stored in the garage except on collection days.
- Refuse staging, collection and circulation must be on site; no backing onto or off streets, alleys or paths of circulation.

PARKING SPACES:

- Verify conformance of accessible vehicle parking to the Americans with Disabilities Act and the Code of Federal Regulations Implementing the Act. Refer to Building Safety ADA Accessible Parking Spaces Marking/Signage on

Private Development details.

- At parking areas, provide demarcated accessible aisle for disabled parking.
- Distribute bike parking areas nearest to main entrance(s). Provide parking loop/rack per standard detail T-578. **Provide 2'-0" by 6'-0" individual bicycle parking spaces.** One loop may be used to separate two bike parking spaces. Provide clearance between bike spaces and adjacent walkway to allow bike maneuvering in and out of space without interfering with pedestrians, landscape materials or vehicles nearby.

ZONING AND DEVELOPMENT CODE: Specific requirements of the Zoning and Development Code (ZDC) are not listed as a condition of approval, but will apply to any application. To avoid unnecessary review time and reduce the potential for multiple plan check submittals, become familiar with the ZDC. Access the ZDC through www.tempe.gov/zoning or purchase from Community Development.

LIGHTING:

- Design site security light in accordance with requirements of ZDC Part 4 Chapter 8 (Lighting) and ZDC Appendix E (Photometric Plan).
- Indicate the location of all exterior light fixtures on the site, landscape and photometric plans. Avoid conflicts between lights and trees or other site features in order to maintain illumination levels for exterior lighting.

LANDSCAPE:

- **Trees shall be planted a minimum of 16'-0" from any existing or proposed public utility lines.** The tree planting separation requirements may be reduced to no less than 8'-0" from utility lines upon the installation of a linear root barrier. Per Detail T-460, the root barrier shall be a continuous material, a minimum of 0.08" thick, installed to a minimum depth of 4'-0" below grade. The root barrier shall extend 6'-0" on either side of the tree parallel to the utility line for a minimum length of 12'-0". Final approval is subject to determination by the Public Works, Water Utilities Division.
- Prepare an existing plant inventory for the site and adjacent street frontages. The inventory may be prepared by the Landscape Architect or a plant salvage specialist. **Note original locations and species of native and "protected" trees and other plants on site. Move, preserve in place, or demolish native or "protected" trees and plants per State of Arizona Agricultural Department standards.** File Notice of Intent to Clear Land with the Agricultural Department. Notice of Intent to Clear Land form is available at www.azda.gov/ESD/nativeplants.htm. Follow the link to "applications to move a native plant" to "notice of intent to clear land".

SIGNS: Separate plan review process is required for signs in accordance with requirements of ZDC Part 4 Chapter 9 (Signs). Refer to www.tempe.gov/signs.

DUST CONTROL: Any operation capable of generating dust, include, but not limited to, land clearing, earth moving, excavating, construction, demolition and other similar operations, that disturbs 0.10 acres (4,356 square feet) or more shall require a dust control permit from the Maricopa County Air Quality Department (MCAQD). Contact MCAQD at <http://www.maricopa.gov/aq/>.

HISTORY & FACTS:

1930	Aerial photos indicate the area was used for agriculture. None of the properties are part of an existing Subdivision Plat.
1969	Aerial photos indicate the building at the south east corner and the mobile home park were established sometime in the mid-1960s with an existing irrigation canal to the south of the site.
August 17, 1972	The City annexed this area from Maricopa County by Ordinance 689.
September 5, 1972	The existing building on the south east corner of Smith and University was modified to have commercial and residential uses on site but did not go through planning process, being used as construction offices with contractor equipment yard.

February 22, 1973	Council adopted Zoning Ordinance 405.261 which rezoned portions of this site from AG to R-3 and C-1.
1993	City of Tempe Water Utilities built a water pump station at the south end of the site, where the canal had been undergrounded.
October 27, 2017	The 42-unit Mobile Home Park went up for sale after approximately 60 years of operation under various owners and managers. A Letter containing the " Notice of intent to Change Land Use, " notified residents about the pending termination of all rental agreements of mobile homes and park space
November 2, 2017	Additional information was hand-delivered to tenants related to the Pre-Notice in English and Spanish and the availability of a Relocation Fund.
November 30, 2017	The five lots comprised of the trailer park property were sold to Treehouse Tempe LLC.
January 23, 2018	Certified letters sent to each resident with a " 180-day notice " of termination of their tenancy, effective July 27, 2018 the AZ State Relocation Fund also sent information directly to residents.
January 29, 2018	Letter notification of a meeting with the Manufactured Housing Communities of Arizona to discuss the Relocation Fund, and to answer any questions.
February 1, 2018	Open House with Manufactured Housing Communities of Arizona to answer questions.
February 8, 2018	Tempe Mobile Home Park residents spoke to the Council.
February 17, 2018	City of Tempe Human Services staff attended the community meeting at the Tempe Mobile Home Park. The same day, a letter notification of a second meeting with the Manufactured Housing Communities of Arizona regarding a meeting with other Mobile Home Park Owners and Professional Movers, in order to provide options to the residents.
February 22, 2018	Human Services staff attended a meeting hosted by the Principal of Thew Elementary to hear from a variety of resources including Habitat for Humanity, Goodwill, Tempe Community Action Agency, and City Housing Staff. The same day, Tempe Mobile Home Park residents spoke to the Council.
March 2018	On March 7 th , 14 th , 21 st and 28 th meetings were held at Escalante Community Center to bring resources to the people to answer their questions related to their individual paperwork and circumstances. These meetings included staff from Manufactured Housing Communities of Arizona, State Housing Relocation, Community Legal Services, and the city Housing Division. These meetings provided residents access to resources to get their individual questions answered related to their paperwork, personal circumstances and unique moving situation.
July 30, 2018	All mobile homes were removed from the property after a seven-month relocation plan was implemented pursuant to state process.
August 29, 2018	A neighborhood meeting was held for this development.
September 2018	The commercial corner lot was purchased and added to the project site.
November 27, 2018	Development Review Commission is scheduled to hear a request for a Zoning Map Amendment,

Planned Area Development and Development Plan Review for a single-family residential development consisting of 80 two-story attached units for THE LEVEL, located at 915 South Smith Road on 6.585 acres.

December 20, 2018 City Council is scheduled for an introduction and first public hearing of the above request.

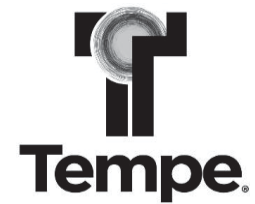
January 10, 2019 City Council is scheduled for a second public hearing of the above request.

ZONING AND DEVELOPMENT CODE REFERENCE:

Section 6-304, Zoning Map Amendment

Section 6-305, Planned Area Development (PAD) Overlay districts

Section 6-306, Development Plan Review

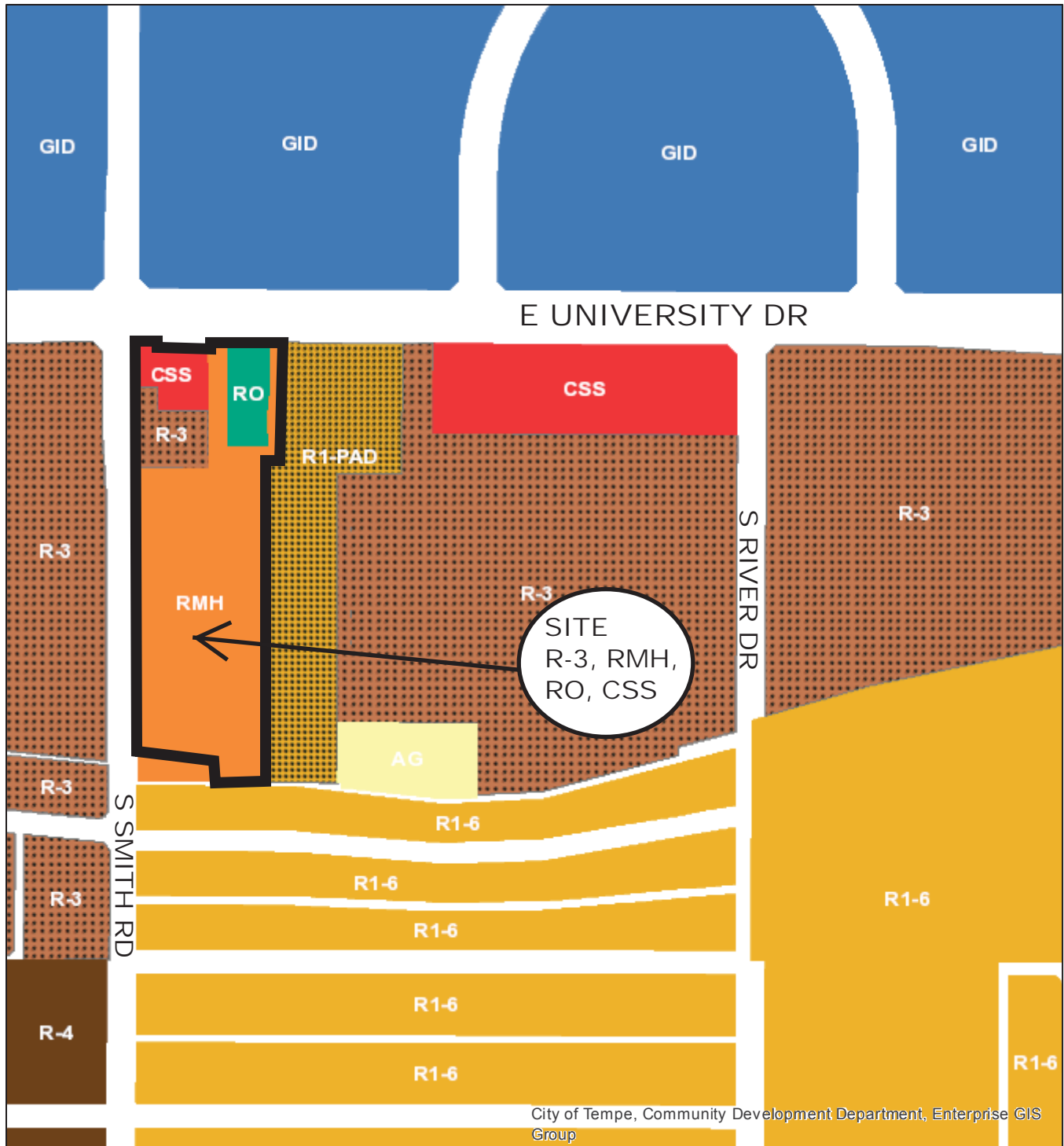











DEVELOPMENT PROJECT FILE
for
THE LEVEL
(PL180235)

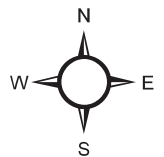
ATTACHMENTS:

- 1-14. Site Context (Location Map, Aerial and Aerial with Site Plan Overlay, Site Photos)
- 15-29. Applicant's Letter of Explanation
- 30-31. Planned Area Development Overlay
- 32-35. Site Design (Site Plan overall and enlarged, Site Fire and Refuse Circulation Plan, Landscape Plan)
- 36-58. Building Design (Floor Plans, Building Sections, Blackline/Color Elevations, Renderings, Material Samples,)
- 59. Neighborhood Meeting Summary and Public Input
- 60-67. Supplemental Information:
 - Traffic Impact Statement
 - Waiver of Rights and Remedies

The Level



- | | |
|--|---|
|  General Industrial District (GID) |  Single-Family Residential Planned Area Dev (R1-PAD) |
|  Commercial Shopping and Services (CSS) |  Multi-Family Residential Limited (R-3) |
|  Residential/Office (RO) |  Multi-Family Residential General (R-4) |
|  Agricultural (AG) |  Mobile Home Residence (RMH) |
|  Single-Family Residential (R1-6) | |





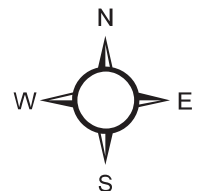
Tempe

PL 180235

The Level



Aerial Map





**TOMECAK
DESIGN**
4368 NORTH CIVIC CENTER PLAZA
SUITE 201
SCOTTSDALE, ARIZONA 85251
T 602.619.7751
F 480.718.6387
E info@tomecakdesign.com



EXPIRES: 3.31.2020

PROJECT:
THE LEVEL

915 SOUTH SMITH ROAD
TEMPE, ARIZONA 85281

REVISIONS:

JOB # 1802

DATE: 10.29.2018

CONTENTS: CONTEXTUAL
AERIAL MAP

SHEET No: **A600**

CONTEXTUAL AERIAL MAP

SCALE(S)

On-Site: Looking South from University Dr. at the 6-Unit Office Building Still On-Site (to the Right)
Off-Site: The Adjacent Rio Ventana Townhouses Abut the Site on the East (to the Left)



On-Site: Looking South from University Dr. at the Gated Entry to the Rio Ventana Townhouses Which Abut the Site on the East



East Side of Property and the Adjacent Rio Ventana Townhomes



Buildings on Adjacent Out-Parcel at SEC University and Smith
– Acquisition Attempted but Unsuccessful



Looking at the Northside of University Dr. from the Site both East and West of Smith Road



Looking at the Sonesta on University Apartments
West Side of Smith St. just north of the Smith and 10th St. Intersection



City of Tempe Pump Station Abutting Site on South Boundary



Looking at the NWC of the Intersection of Smith and 10th St.



Looking at SWC of Intersection of Smith and 10th St.



Looking East from the Intersection of Smith and 10th St. South of the Site



Looking East on 10th St. Towards Intersection of Smith and 10th St.



The Level
915 S. Smith Road
(SEC of University & Smith)

LETTER OF EXPLANATION



Case Nos. ZON 180019
DPR 180117
PAD 180016

Date of Plan: August 2018
Revised October 2018

EARL, CURLEY & LAGARDE, P.C.

ATTORNEYS AT LAW

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www.ecllaw.com

3101 North Central Avenue
Suite 1000
Phoenix, Arizona 85012

Development Review Commission

The Level

915 South Smith Road

Request for: Approval of Rezoning to R-4 PAD and Development Plan Review to develop 80 Single-Family Ownership Townhomes

Proposed By: Porchlight Homes

Site and Surrounding Area

The subject property (“Site”) is a deep, narrow and irregularly shaped infill site in northeast Tempe comprised of 5 parcels. The Site was originally developed with a single structure back in 1949, when much of this area was open fields being farmed. Then, for several decades, the site was used as a mobile home park.

The original Site was 5.25 net acres and did not include the hard corner at Smith and University. Following the neighborhood meeting, Porchlight Homes was able to reach an agreement with that owner and has incorporated the hard corner into the development proposal. The Site is now 5.46 net ac. (6.59 gross) in size, is all still zoned CSS, R-3, RO and RMH and just 6 units were added to the proposal. The density is modest; 12.14 du/ac. based on the gross site area (pre-right-of-way dedications and 14.70 du/ac. once the street right-of-way dedications are made.

The uses and improvements on the site include a small five-tenant office building, a small four-plex residential building and two modest industrial style buildings built decades ago. The balance of the site is now undeveloped. The current General Plan designates the Site as being appropriate for residential development of up to 25 units per acre. The proximity of the adjacent multi-family land uses and densities warrants the proposed density of approximately 14 units/net acre.



Two Older Buildings at Hard SEC University Drive and Smith Road that are now part of the development proposal.



*Sonesta on University
(Across Smith to the West)*



*City's Pumping Station Yard to the
South*



Rio Ventana to the East

The property on the west side of Smith is *Sonesta on University*, a large unit apartment development that parallels the full length of the Site. Units range in size from 720 sf. to 970 sf. with rents from \$800 to \$1100 per month. A single-family neighborhood built in the 1960's is this property's neighbor to the south, Rio Ventana. A small 12 unit per acre townhome development project, similar in concept to that proposed here, abuts the Site on the east. A small office complex and an equipment rental yard is across University Drive to the north.

The layout of this proposed new townhome development strives to create a compatible, infill neighborhood that has been designed to fit into the surrounding environment. The primary access to the subdivision is planned off Smith Road with secondary access off University Avenue. Most of the traffic from this development will likely be headed north to the traffic signal at University and Smith to access downtown Tempe to the west or the Loop 101 Freeway to the east. So, the

owners of these 80 townhomes should not have a negative impact on adjacent properties or neighborhoods. The adjacent property to the east is the Rio Ventana Townhome development zoned R1-PAD. Abutting the south side of the property is a City of Tempe pump station and then the R1-6 Rio Ventana residential subdivision as noted earlier.

Project Description

Overview

This 80-unit townhome development is located south and east of the southeast corner of Smith Road and University Drive. Given the Site's characteristics (250-ft. wide after right-of-way dedications on both University Drive and on Smith Road and being over 835-ft. deep), the context of the area and adjacent uses, a mid-density, residential community is the most appropriate re-use of the property. The density is permitted by the General Plan and the development complies with the Apache Character Area Plan. Due to the irregular shape, smaller buildings/lots are necessary to fit onto and best utilize the property.



The community will consist of twenty-four (24) individual buildings having two (2) or four (4) units each. Particular attention was given to creating view corridors into the development from both Smith Road and University Drive. The garages of each home are oriented to and accessed only from the interior of the site, which leaves the streetscape on the adjacent roads to pedestrians and moves most of the vehicular activity from street view. Upgraded paving is proposed at each driveway entry to the site consisting of integral colored pavers to create a striking and attractive entrance.

Building materials being utilized will include brick veneer, sand finish stucco, metal facias and metal screening on balconies as reflected on the rendering above. Colors will be earth tones. Four (4) different elevations for each unit are possible through a combination of colors, building articulation, front door selections and garage door selections. In this way, the design avoids creating a monotonous apartment like look. And with this approach, there can be over 400 unique appearance combinations.

The distance between the buildings will be 28-ft. The 28-ft. is comprised of the 20-ft wide private aisle for vehicles and a combination of a 4-ft. wide apron in front of each garage flanked by a 4-ft. by 4-ft. deep landscaped planter, which creates an open, attractive and comfortable feel to the community.

Housing Product

Porchlight Homes is proposing to offer four (4) different floor plans. On the site plan, two basic unit types are identified; Type A and Type B. Both Type A townhomes (the end cap units) and Type B townhomes will have two different floor plans for a total of 4 different floor plans. The floor plans all feature 3 bedrooms or 2 bedrooms with a bonus den/study room) and are approximately 1800 square feet in size. Each unit will have its own two-car garage and a small secured backyard.

On the ground floor level of each townhome there will be a large family room, rear patio/porch, powder room, kitchen and garage. The bedrooms, two bathrooms and a balcony will be on the second floor. Porchlight's townhomes are a well-received alternative in today's modern, urban environment to the more traditional single-family home on an individual lot and a garage dominated design.

In general terms, the design of these townhomes is a "Transitional Design" meaning contemporary lines were used and then softened through the use of traditional building materials and colors. The building faces are articulated with vertical and horizontal planes, materials, lines, flat planes, inset windows, offset planes, balconies and complimentary colors (*with a light reflectance value of 75 percent or less*) to create interest and shadows. This approach was not based on but is similar to the design elements in the development known as Gracie's Village referenced in the Apache Character Plan as an acceptable design approach. All in all, The Level will have a pleasing and calming residential feel.

The building exteriors are clad with sand finish stucco and brick veneer. Metal railings are used on the balconies and windows are Low-E w/ tempered glass. Roofs are flat and all rooftop drains are internally piped. Roof access will be provided from an interior staircase that will not be exposed to public view.

Parking

Every unit has 3-bedrooms or 2 bedrooms with a bonus den/study room. At 2.5 spaces required per unit, 200 parking spaces are required and 202 spaces are provided; 2 spaces are in each garage (160 spaces) and 58 spaces are provided elsewhere on-site.

With respect to guest parking, 15 spaces are required (0.2 sp./unit) and 15 are provided for an overall total of 218 parking spaces being required and provided on-site.

With respect to bicycle parking, 0.75 spaces are required per unit or 605 spaces. Guest bicycle parking is required at the rate of 0.2 per unit for another 16 required bicycle spaces and a total of 76 spaces. A total of 90 bicycle parking spaces are provided; 1 bicycle per unit in each garage and 10 guest bicycle spaces.

Landscaping and Amenities

Landscaping will be designed to be complementary to the surrounding area and proposed architecture. The landscape palette will feature diverse, park-like plant materials, including Date Palms, Chinese Elm and the Chaste Tree. The shrubs, accents, and groundcover will consist of low water use plantings placed and designed to create a colorful and comfortable neighborhood feel.

A central amenity area is planned, which is linked to all the townhomes via pedestrian access within the community. The amenity area will include a pool, restrooms, and lounging area. Residents can walk to the amenity area using the internal private driveway which was narrowed specifically to calm and slow traffic.

Grading and Drainage

The landscape areas and streets will be graded to convey storm water to four (4) underground storage tanks placed beneath asphalt surfaces either in or adjacent to parking areas. The underground storage tanks will be connected with to drywells to allow the system to percolate effectively after a storm event.

Zoning Amendment Request

Section 6-304 C. Zoning Map Amendments (including Overlay Districts) and Code Text Amendments requires in paragraph 3 that the City Council find that the zoning amendment is in the public interest and that the request is consistent and conforms with the General Plan. Our analysis of how this request conforms with the General Plan and why approval of this request is in the public's interest follows below.

The Site is designated for residential development of up to 25 units/ac. in the General Plan. The Site is just beyond the boundaries of all designated Land Use Hub's, designated Growth Area's or transit corridors in the General Plan. It is within the Apache Character Area Plan ("ACAP") boundaries and while many parts of the ACAP are discussed, the subject Site is not the subject of any direct requirements in that Plan.

The Site enjoys an outstanding central location on University Drive just south of the N.E. Industrial area which is discussed in the ACAP. The Site is also just west of access to the Price Road 101 Freeway. It is a City goal to develop infill residential properties, and where appropriate, with ownership housing, where possible. Although the General Plan suggests up to 25 du/ac. could be possible on this Site, we felt that a less intense development was more appropriate. What began as a multiple story rental development morphed into a 3-story ownership development and now finally into the 2-story townhouse development with home ownership.

There is a shortage of new, for-sale and affordable housing to meet the demands of the employment opportunities in the area. With three-bedroom units, this community will provide quality new housing in proximity to the Downtown and major employment venues including on the ASU campus. And in this context, specifically in support of the N.E. Industrial Area discussed in the ACAP. This design is the only practical way to develop such a narrow and deep site. This home ownership, stylishly designed redevelopment project is below both the proposed R-3 zoning density maximum and the General Plan density designations.

The General Plan states that; “*Tempe’s vision for itself in the year 2040 is one of livability: a city with a diverse, active and engaged community; a city that is visually attractive and accessible by multiple modes of transportation, with parks and cultural facilities providing the quality of life attributes that retain and attract residents and businesses; a city comprised of and defined by vibrant mixed-use hubs that not only provide for daily needs, but function as social gathering places for its residents and visitors; a city with homes of distinctive quality and varied density, revitalized neighborhoods that are walkable, pleasant and safe, and connected within a 20-minute walk, bike or transit ride.*”

More than most sites, we view this centrally located, affordable home ownership project as a unique opportunity to fulfill most of these objectives.

Land Use and Development

As noted earlier, the Site is not within any designated “Land Use Hub” boundary. However, the intent of a Hub though is to enable or support efforts that help implement the concept to have Tempe become a “20-minute city”. This Site is in fact within a 20-minute walk or bike ride to Downtown Tempe, Tempe Town Lake, Tempe Marina Heights, employment, urban parks and open space, healthy foods, physical activity, health care etc. This development also contributes to the housing diversity of this area in addition to being a revitalization effort on this underutilized infill site.



Land Use Element goals and strategies that this proposal support include:

LU2 Promote land use patterns that encourage long-term sustainability

STRATEGIES

- Develop sustainable land uses in development patterns that include open space, facilitate pedestrian travel and access to transit
- Locate future development on:
 - o Infill sites,
 - o Sites with current or anticipated infrastructure capacity for additional development, Sites adjacent or with access to existing street connectivity,
 - o Sites near transit with a high level of transit service, and Sites convenient to neighborhood commercial uses (*Note: Bus service is available on University next to the Site and the Smith-Martin LRT platform in directly south on Smith approximately 1800-ft.*)

LU3 Seek balance and compatibility of new land use development with established residential neighborhoods

STRATEGIES

- Focus on the transition of density to single family neighborhoods, balanced with efficient use of the land
- Create mixed-use development patterns that increase pedestrian travel and connection to transit
- Support a variety of uses such as food retail, community-serving retail, services and civic/community facilities within walking distance of nearby residences

LU6 Promote compact, efficient infill development

STRATEGIES

- Allow compact infill, flexibility in housing location, type and density, within the land use densities permitted by the General Plan, as appropriate

Economic Development

Economic Development goals and strategies that this proposal support include:

ED3 Promote a sustained improvement in the standard of living and quality of life for all residents

STRATEGIES

- Encourage educational, cultural and recreational opportunities that make for a well-balanced community and contribute to the quality of life
- Facilitate economic development of healthy grocers as anchor stores for larger mixed use or commercial complexes

ED6 Maintain and attract a highly trained workforce

While the economic development strategies generally focus on the business-related aspects of economic development, it's important to point out that these units, being 2,000 sf. in size and with the floor plans offering 3-bedrooms, is highly conducive to families with well-paid breadwinners.

Circulation

The Circulation Chapter includes the following statements which are supported by this development:

“Using pedestrian and bikeways to connect open space, neighborhoods, schools, cultural and mixed-use hub areas.”

“Ensure streets are comfortable and safe to walk or ride will provide residents the opportunity to live healthy lifestyles and make use of alternative modes an easy choice.” (Note: A 6-ft wide sidewalk will be installed along the 800-ft. length of this Site’s frontage on Smith and an 8-ft wide sidewalk along University frontage.)

Apache Character Area Plan (ACAP)

As the Apache Character Area Plan states, architectural character in the Apache area is as diverse as its population. The community has long been influenced by the impacts of local, regional or national transportation planning. While the subject Site is not immediately affected by the Loop 101 Price Freeway, University Drive is a major conduit to access both Downtown Tempe and the Price Freeway Loop 101. The Site also has a local bus stop with shelter on its University frontage.

From an architectural standpoint, The Level’s architectural character is most similar to the design elements of Gracie’s Village. From a landscape perspective, The Level uses the Chinese Elm, Chaste Tree and the shrub Agave Gemniflora which are all drawn from influences in the Apache area.

The Level incorporates a number of Principles from the ACAP. Most notably, the Site’s location and this project design support the City’s vision as a 20-minute City. It also has a prime location for vehicular access to the 101 while providing vehicular, bicycle and pedestrian access to the wide variety of businesses on University as one heads west towards and into the Downtown. This Site supports the Mobility Principle:

“4.1 Connecting people to their places of employment, education, recreation, healthcare, worship, etc. in a variety of multi-modal options (walk, bike, Orbit, regional bus, light rail, drive) defines “mobility”

This Site supports the Live/Work/Innovate Principles:

“10.2 Focus attention along the Apache Blvd. Light Rail Corridor, as well as the NE Industrial Area [emphasis added]

10.3 The vision for the NE Industrial Area is vertical mixed-use redevelopment with a light industrial theme; this unique area benefits from its strategic location at Loops 101 + 102, which is currently projected with a mix of land uses as identified in GP2040 which allows for residential

10.5 The NE Industrial Area has a well-established shade infrastructure and street patterns, has

many buildings approaching 50 years old, and is walking/biking distance to Tempe Marketplace, the LRT line, and ASU-Main Campus

PAD Overlay

The site's irregular shape is a significant constraint on any type of redevelopment. And it cannot be enlarged (due to existing developments to the east and south with public streets to the north and west) to address the narrowness and irregular shape. In order to develop this irregularly long and narrow site, minor relief from five (5) development standards are necessary:

1. To reduce the rear yard (south setback) by 3-ft./20%; from 15-ft. to 12-ft. This is due to the narrowness of the site.
2. To reduce the east setback by 2-ft./20%; from 10-ft. to 8-ft. This is due to the narrowness of the site.
3. To reduce the front yard setback on University from 20-ft. to 10-ft. to allow a 6-ft. tall masonry wall to be built in order to form the backyards of the six-units on the north end of the community. This is again due to the narrowness of the site as well as the presence of the public bus stop. The design of the 6-ft. wall is enhanced to warrant the reduction.
4. To reduce the street side yard setback on Smith from 10-ft. to 4-ft. to allow a 6-ft. tall masonry wall/6-ft. tall metal fence to be built in order to form the backyards of the units backing up to Smith. This is due to the narrowness of the site as well as the presence of the public bus stop. The design of the 6-ft. wall is enhanced to warrant the reduction. The setback to the units is still 10-ft. as required.
5. To reduce the minimum lot size to 1500 sf to include only the land under the unit, the front and the rear yards.

Very small and irregularly shaped infill sites like this one are the most difficult types of properties to redevelop. In some cases, there is market pressure to develop such challenging infill sites with a much higher apartment level density that would not be complimentary to the surrounding area. In this instance, a for sale townhome project at only 14 du/ac is proposed to be consistent with the area and the City's objectives to see more affordable ownership housing in the north part of the City. We believe this unique design will have a positive influence on both livability and property values of the area.

As noted, the proposed reduction of the setback on the east side is only 2-ft. and the proposed setback reduction on the south end is only 3-ft. At this south end location, the Site is bounded by a City of Tempe pumping station and the vestiges of a 10-ft. wide alley dedicated by the single-family subdivision to the south, which makes the effective setback 22-ft., well above the 15-ft. standard.

The Code allows rear yard setbacks to be measured from the centerline of any adjacent alley. In this case, the additional 5-ft. (one-half of the 10-ft alley dedication) plus the proposed 12-ft. equals 17-ft. - which complies with the Code. However, due to the age of the alley and the fact that it stops at the City property, we are requesting that the setback be formally reduced to 12-ft. The full

table of development standards, both required and provided, for the R-3 zoning district follow on the next page.

The reduction in the size of the lot is just as stated above. More land or larger lot sizes would take away from the open space and would reduce the already modest 14 du/ac. for a mid-density development.

Table 4-202B - Development Standards

	Code Required CSS Development Standards	Code Required RO Development Standards	Code Required R-3 Development Standards	Code Required RMH Development Standards	Code Required R-4 Development Standards	Proposed Development Standards (Deviations From R-4 are in Bold)
Density (DU/acre)	20	10	20	7	25	12.14 gross 14.70 net
Minimum Lot Area per Dwelling Unit (square feet)	N/A	N/A	2,180 sf	3500 sf Rental Space	1,740 sf	1,500 sf
Building Height [Exceptions, see Section 4-205(A)]						
Building Height Maximum (feet)	35 ft	30 ft	30 ft	30 ft,	40 ft	30 ft
Building Height Step-Back Required Adjacent to SF or MF District, [Section 4-404, Building Height Step-Back]	No	No	No	No	Yes	<i>Yes NOTE: Building height is limited to 30- ft which does not invoke any additional setback</i>
Maximum Lot Coverage (% of net site area)	50%	35%	50%	60%	60%	40%
Minimum Landscape Area	15%	30%	25%	N/A	25%	>25%

	Code Required CSS Development Standards	Code Required RO Development Standards	Code Required R-3 Development Standards	Code Required RMH Development Standards	Code Required R-4 Development Standards	Proposed Development Standards (Deviations From R-4 are in Bold)
(% of net site area)						
Setbacks (feet) (b): [Setback Exceptions, See Section 4-205(B)]						
Front						
Building	0 ft	15 ft.	20 ft	5 ft	20 ft	10- ft to the 6- ft. high masonry wall
Open Structures (e.g. porch, trellis, patio wall)	--	--	--	--	15 ft	15 ft.
Parking	20 ft	20 ft	20 ft	--	20 ft	N/A
Side (d)						
Building Walls	0 ft	10 ft	10 ft	5 ft	10 ft	8 ft.
Porch, Balcony, Patio Wall	--	--	--	--	5 ft (c)	5 ft./3 ft where an emergency exit is provided
Common Walls	0 ft	10 ft	0 ft	N/A	0 ft	0 ft.
Rear (d)						
Building Wall, Porch, Balcony, or	10 ft	10 ft	15 ft	5 ft	10 ft	12 ft.

	Code Required CSS Development Standards	Code Required RO Development Standards	Code Required R-3 Development Standards	Code Required RMH Development Standards	Code Required R-4 Development Standards	Proposed Development Standards (Deviations From R-4 are in Bold)
Patio Wall						
Common Walls	--	--			0 ft	0 ft
Street Side (a)	0 ft	10 ft	10 ft	20 ft	10 ft	10 ft. to Bldg. 4 ft. to 6' tall privacy masonry wall/6' tall metal fence
Parking	20 ft	20 ft	20 ft	20 ft	20 ft	20 ft.

NS = No Standard.

NA = Not Applicable.

(1) An *overlay district* may modify the above standards. See Part 5.

(a) *Street side yard setback for corner lots adjacent to key lots* shall be increased by ten (10) additional feet.

(b) See also, [Section 3-401](#) for *setbacks* applying to *accessory structures* and *buildings* .

(c) *Use Permit* standard does not apply.

(d) If adjacent to a dedicated public *alley*, setback shall be measured from the midpoint of the *alley*.

Compliance with City Design Guidelines

The following addresses how this proposal complies with the City's Development Code Criteria:

1. *Placement, form, and articulation of buildings and structures provide variety in the streetscape; different building materials and different heights of the various elements of the building elevation are utilized to articulate the units in a manner that results in the building elevations reading as having different yet contiguous elements for a pleasant streetscape appearance. Block lengths are also abbreviated to avoid long runs of a building mass.*
2. *Building design and orientation, together with landscape, combine to mitigate heat gain/retention while providing shade for energy conservation and human comfort; the main windows of living spaces are inset and covered by a roof extension. The roof will have an R-value of 20 and the building walls will be constructed to an R-Value of 13. All windows will be double insulated.*
3. *Materials are of a superior quality, providing detail appropriate with their location and function while complementing the surroundings; a brick base, stucco and metal are all used in the design of these buildings.*
4. *Buildings, structures, and landscape elements are appropriately scaled, relative to the site and surroundings; the building and landscape elements are appropriately scaled to this neighborhood, which has a wide variety of building styles and heights.*
5. *Large building masses are sufficiently articulated so as to relieve monotony and create a sense of movement, resulting in a well-defined base and top, featuring an enhanced pedestrian experience at and near street level; the building is designed to promote a casual, modern and inviting appearance with the open balconies and insets that create shade and shadows for visual interest.*
6. *Building facades provide architectural detail and interest overall with visibility at street level (in particular, special treatment of windows, entries and walkways with particular attention to proportionality, scale, materials, rhythm, etc.) while responding to varying climatic and contextual conditions; the balconies accomplish this objective. 2nd story balconies that face onto the internal private drive project 1-ft. The units that are along Smith and University have a 6.5-ft. projection over a large window. Together, these approaches provide "eyes on the street" to both engage and surveil.*
7. *Plans take into account pleasant and convenient access to multi-modal transportation options and support the potential for transit patronage; the City has plans for a bus stop in front of the property on University Drive. Given the project proximity to the downtown and ASU, owners could a bike or use the bus to access numerous dining venues, sports and educational opportunities.*
8. *Vehicular circulation is designed to minimize conflicts with pedestrian access and circulation, and with surrounding residential uses; only one primary entryway into the property is proposed. This is contrasted with developing the property with single-family homes with driveways fronting onto Smith which is a collector street designated for a future bike path or lane in the*

General Plan. Vehicular maneuvering is therefore internalized, where cars are moving at slow speeds consistent with the community environment of these townhomes.

9. *Plans appropriately integrate Crime Prevention Through Environmental Design principles such as territoriality, natural surveillance, access control, activity support, and maintenance: **garage doors and unit front doors are located on opposite sides of the internal private driveway provides “eyes on the street and units which face onto both Smith and University have 2nd story balconies which also provides “eyes” on the street. The development will comply with CEPTD principles.***

10. *Landscape accents and provides delineation from parking, buildings, driveways and pathways; **landscape accents the perimeter, the accessways from the building, the visitor parking and pathways.***

11. *Signs have design, scale, proportion, location and color compatible with the design, colors, orientation and materials of the building or site on which they are located; **N/A***

12. *Lighting is compatible with the proposed building(s) and adjoining buildings and uses and does not create negative effects. **Exterior lighting meets the City’s requirements. Lighting has been designed to be compatible with the development and adjacent uses. The lighting has been designed to cast light downward to illuminate doorways, focal points and garage driveways for safety.***

Summary

This high quality, new and affordable infill townhome development will provide great benefit to the area and the City of Tempe by providing ownership housing with units large enough for families. Opportunities to purchase new homes in Tempe are limited and Smith and University will allow those who work or study in the area to live within bicycling distance and for some cases even walking distance. Light-rail also provides convenient transportation to those who work or study in Tempe or downtown Phoenix. Approval of the proposed Porchlight development will create a compatible, vibrant, and transportation friendly neighborhood on this unique, infill site.

Very Truly Yours,

Stephen C. Earl

SCE/GVK

PLANNED AREA DEVELOPMENT OVERLAY FOR THE LEVEL TOWNHOMES

A PORTION OF NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 24, TOWNSHIP 1 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN,
MARICOPA COUNTY, ARIZONA.

OWNER AUTHORIZATION

TREEHOUSE GROUP IN PARTNERSHIP WITH PORCHLIGHT HOMES:

BY: _____ DATE _____
SIGNATURE

ITS: MANAGER

ACKNOWLEDGEMENT:

ON THIS ____ DAY OF _____, 2018 BEFORE ME, THE UNDERSIGNED, PERSONALLY APPEARED RYAN LARSEN WHO ACKNOWLEDGED HIMSELF TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE INSTRUMENT WITHIN, AND WHO EXECUTED THE FOREGOING INSTRUMENT OF THE PURPOSES HEREIN CONTAINED.

IN WITNESS WHEREOF, I HERETO SET MY HAND AND OFFICIAL SEAL

BY: _____ MY COMMISSION EXPIRES _____
NOTARY PUBLIC

LEGAL DESCRIPTION

THAT PORTION OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 24, TOWNSHIP 1 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A 3 INCH CITY OF TEMPE BRASS CAP FLUSH MARKING THE SOUTHWEST CORNER OF SAID NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 24, FROM WHICH
A 3 INCH CITY OF TEMPE BRASS CAP IN HANDHOLE MARKING THE NORTH QUARTER CORNER OF SAID SECTION 24 BEARS NORTH 00 DEGREES 00 MINUTES 58 SECONDS WEST 1,334.65 FEET;
THENCE NORTH 00 DEGREES 00 MINUTES 58 SECONDS WEST 430.15 FEET ALONG THE WEST LINE OF SAID NORTHWEST QUARTER OF NORTHEAST QUARTER TO THE POINT OF BEGINNING;
THENCE CONTINUING NORTH 00 DEGREES 00 MINUTES 58 SECONDS WEST 586.75 FEET ALONG SAID WEST LINE.
THENCE SOUTH 89 DEGREES 48 MINUTES 00 SECONDS EAST 73.75 FEET;
THENCE NORTH 00 DEGREES 01 MINUTES 30 SECONDS WEST 252.75 FEET TO THE SOUTH LINE; OF THE NORTH 65.00 FEET OF SAID NORTHWEST QUARTER OF THE NORTHEAST QUARTER;
THENCE SOUTH 89 DEGREES 48 MINUTES 00 SECONDS EAST 103.72 FEET ALONG SAID SOUTH LINE;
THENCE SOUTH 89 DEGREES 43 MINUTES 57 SECONDS WEST 25.00 FEET TO THE SOUTH LINE OF THE NORTH 40.00 FEET OF SAID NORTHWEST QUARTER OF THE NORTHEAST QUARTER;
THENCE SOUTH 89 DEGREES 48 MINUTES 00 SECONDS EAST 150.34 FEET ALONG SAID SOUTH LINE;
THENCE SOUTH 00 DEGREES 10 MINUTES 24 SECONDS WEST 57.79 FEET;
THENCE SOUTH 89 DEGREES 48 MINUTES 00 SECONDS EAST 1.00 FEET;
THENCE SOUTH 00 DEGREES 01 MINUTES 30 SECONDS EAST 37.51 FEET;
THENCE SOUTH 89 DEGREES 48 MINUTES 00 SECONDS WEST 2.00 FEET;
THENCE SOUTH 00 DEGREES 54 MINUTES 42 SECONDS WEST 165.15 FEET;
THENCE SOUTH 89 DEGREES 48 MINUTES 30 SECONDS WEST 25.31 FEET;
THENCE SOUTH 00 DEGREES 01 MINUTES 30 SECONDS EAST 664.81 FEET;
THENCE SOUTH 89 DEGREES 48 MINUTES 00 SECONDS WEST 109.70 FEET;
THENCE SOUTH 00 DEGREES 43 MINUTES 57 SECONDS WEST 40.00 FEET;
THENCE SOUTH 83 DEGREES 30 MINUTES 25 SECONDS WEST 189.41 FEET TO THE POINT OF BEGINNINGS.

APPROVAL

APPROVED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF TEMPE
ON THIS ____ DAY OF _____, 2018.

DS170403

OWNER/DEVELOPER

PORCHLIGHT HOMES
2915 EAST BASELINE ROAD, SUITE 18
TEMPE, ARIZONA 85281

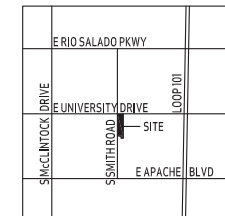
CONTACT: RYAN LARSEN
PHONE: 602.206.6211

PROJECT DATA

ZONING DISTRIC(S) AND OVERLAY(S) TABLE 4-202B	PAD PROVIDED
GENERAL PLAN LAND USE	RESIDENTIAL
GENERAL PLAN DENSITY	MEDIUM TO HIGH-DENSITY (UP TO 25 UNIT/ ACRE)
GROSS SITE AREA	286,841 SF (6.595 ACRES)
NET SITE AREA	237,589 SF (5.454 ACRES)
DWELLING QUANTITY	80
DENSITY	14.0
BUILDING HEIGHT	30'-0"
BUILDING LOT COVERAGE	38% (86,208 SF)
SITE LANDSCAPE COVERAGE	26.2% (59,984SF)
DEVELOPMENT SITE	
FRONT (NORTH -UNIVERSITY DRIVE)	10'-0"
SIDE (EAST)	8'-0"
REAR (SOUTH)	12'-0"
STREET SIDE (WEST -SMITH DRIVE)	10'-0"
BUILDING SETBACKS	
SIDE	0'-0"
REAR	0'-0"
FRONT	4'-0"
VEHICLE PARKING QUANTITY	(80) 3BD UNITS X 2.5/UNIT =200 80 X 0.2/UNIT GUEST PRKING =16 REQUIRED: 216 PROVIDED: 218
BICYCLE PARKING QUANTITY	80X0.75 =60.0 80X0.2 =16.0
USES	SINGLE-FAMILY ATTACHED (80) 1,843 S.F. 147,440 S.F. TOTAL

PL180235

SITE VICINITY MAP



CONDITIONS OF APPROVAL: PL180235

REC18131



T O M E C A D
D E S I G N
4368 NORTH CIRC CENTER PLAZA SUITE 200
SCOTTSDALE, AZ 85250
TEL: 602-485-7758
FAX: 480-716-6307

REC18131

PL180235

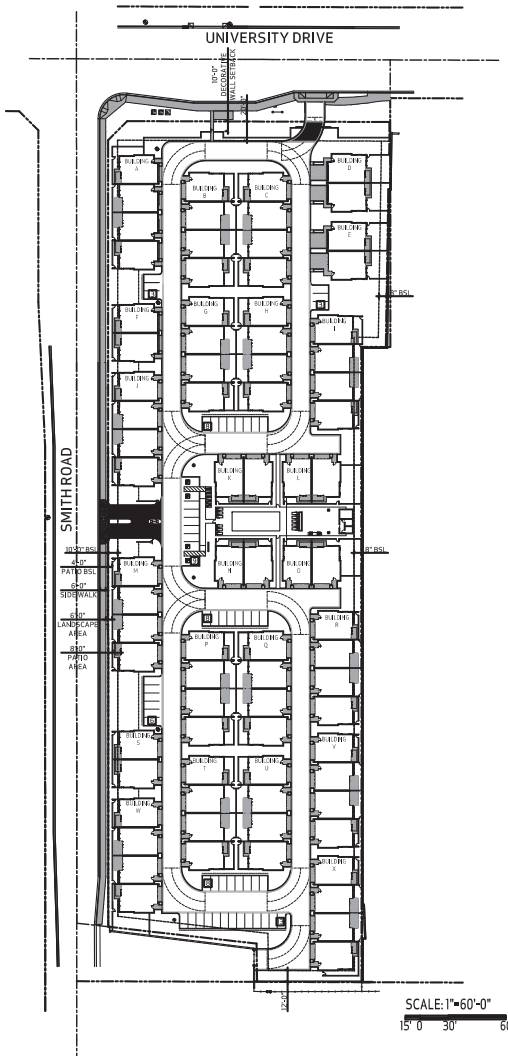
DS170403



PROJECT: THE LEVEL
915 SOUTH SMITH ROAD
TEMPE, ARIZONA 85281
DATE: 10.25.2018

SHEET: **PAD 1.0**

PLANNED AREA DEVELOPMENT OVERLAY FOR THE LEVEL TOWN HOMES SITE PLAN



THE PROPOSED SITE PLAN MODIFIES THE EXISTING ENTITLEMENTS FOR THIS SITE WITH THE PLANNED AREA DEVELOPMENT.

ZONING DISTRIC(S) AND OVERLAY(S) TABLE 4-202B	ZDC STANDARDS FOR EXISTING R-4 ZONING	ZDC STANDARDS FOR EXISTING CSS ZONING	ZDC STANDARDS FOR EXISTING RO ZONING	ZDC STANDARDS FOR EXISTING R-3 ZONING	ZDC STANDARDS FOR EXISTING RMH ZONING	PAD
GENERAL PLAN LAND USE	RESIDENTIAL (R-4)	COMMERCIAL	RES./OFFICE	RESIDENTIAL	RESIDENTIAL	RESIDENTIAL
GENERAL PLAN DENSITY		MEDIUM TO HIGH DENSITY (UP TO 25 UNITS/ ACRE)	MEDIUM TO HIGH DENSITY (UP TO 25 UNITS/ ACRE)	MEDIUM TO HIGH DENSITY (UP TO 25 UNITS/ ACRE)	MEDIUM TO HIGH DENSITY (UP TO 25 UNITS/ ACRE)	MEDIUM TO HIGH DENSITY (UP TO 25 UNITS/ ACRE)
GROSS SITE AREA	286,841SF (6.585 ACRES)	286,841SF (6.585 ACRES)	286,841SF (6.585 ACRES)	286,841SF (6.585 ACRES)	286,841SF (6.585 ACRES)	286,841SF (6.585 ACRES)
NET SITE AREA	237,589SF (5.454 ACRES)	237,589SF (5.454 ACRES)	237,589SF (5.454 ACRES)	237,589SF (5.454 ACRES)	237,589SF (5.454 ACRES)	237,589SF (5.454 ACRES)
DWELLING QUANTITY	80	109	54	109	38	80
DENSITY	25	20 UNITS	10 UNITS	20 UNITS	7 UNITS	14 UNITS
DWELLING QUANTITY/GROSS SITE AREA (ACRES)						
LOT AREA PER DWELLING UNIT	1,740 SF					1,500 SF
BUILDING HEIGHT	40'-0"	35'-0"	30'-0"	30'-0"	30'-0"	30'-0"
BUILDING LOT COVERAGE	60%	50%	35%	50%	60%	38%
SITE LANDSCAPE COVERAGE	25%	15%	30%	25%	N/A	26.2%
BUILDING SETBACKS						
REAR (SOUTH)	10'-0"	0'-0"	15'-0"	20'-0"	5'-0"	12'-0"
STREET SIDE (WEST SMITH DRIVE)	10'-0"	0'-0"	10'-0"	10'-0"/5'-0" PORCH	5'-0"	10'-0"
FRONT (NORTH UNIVERSITY DRIVE)	20'-0"	10'-0"	10'-0"	15'-0"	5'-0"	10'-0"
SIDE (EAST)	10'-0"	0'-0" 20'-0" PLCS	10'-0" 20'-0" PLCS	10'-0" 20'-0" PLCS	20'-0"	8'-0"
BUILDING SETBACKS BY LOT						
SIDE		0'-0"	15'-0"	10'-0"/0'-0"	5'-0"	0'-0"
REAR		10'-0"	10'-0"	15'-0"/0'-0"	5'-0"	0'-0"
FRONT		0'-0"	10'-0"	20'-0"	5'-0"	4'-0"
VEHICLE PARKING QUANTITY						
PARKING QUANTITY REQUIRED	80 X 2.5 = 200					80 X / 2.5 = 200
	80 X 0.2 = 16 G. PARKING					80 X 0.2 = 16 G. PARKING
PARKING QUANTITY PROVIDED	80 W/2 CAR GARAGE = 160					80 W/2 CAR GARAGE = 160
	58 GUEST SPACES					58 GUEST SPACES
TOTAL PARKING SPACES REQUIRED	216					216
TOTAL PARKING SPACES PROVIDED	218					218
BICYCLE PARKING QUANTITY						
	80X0.75=60					80X0.75=60
	80X0.2=16					80X0.2=16
TOTAL REQUIRED	76					76
TOTAL PROVIDED	84					84
USES						
	SINGLE FAMILY ATTACHED	COMMERCIAL/ RES.	RES./OFFICE	RESIDENTIAL	RESIDENTIAL	SINGLE FAMILY ATTACHED
	(80) 1,843 S.F.					(80) 1,843 S.F.
	147,440 S.F. TOTAL					147,440 S.F. TOTAL

DS170403

PL180235

REC18131

REC18131

PL180235

DS170403



T O M E C A D
DESIGN
4368 NORTH CIVIC CENTER PLAZA SUITE 200
SCOTTSDALE, AZ 85258
TEL: 480-349-7738
FAX: 480-716-8307



PROJECT: THE LEVEL
915 SOUTH SMITH ROAD
TEMPE, ARIZONA 85283

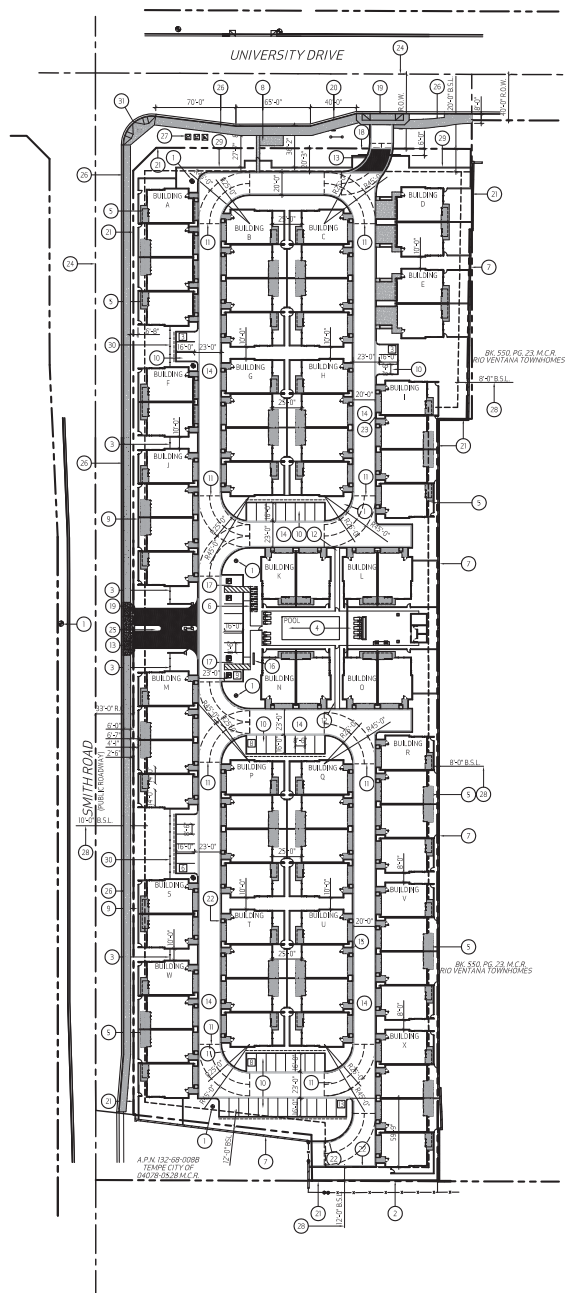
CONTRACT:

JOB #:

DATE: 10.25.2018

REVISION:

SHEET NO: **PAD 2.0**



GENERAL NOTES:

1. SLOPE ALL SIDEWALKS AWAY FROM BUILDING MINIMUM 1% AND NOT TO EXCEED 2% MAXIMUM
2. PROVIDE FIRE LANE STORAGE AT LOCATIONS REQUIRED BY THE FIRE MARSHALL AND FILED INSPECTOR.

SITE PLAN NOTES:

1. FINISH FLOORING
2. 8'-0" TALL CMU WALL, STUCCO AND PAINT
3. 2'-0" TALL METAL WOOD FINISH
4. COMMUNITY AREA WITH TOILETS, BBQ, RESTROOMS, AND LOUNGE AREA
5. FRONTSIDE DRIVE WITH CONCRETE PAD, TYPICAL
6. PROPOSED DRIVE BACK PER C.O.T. DETAIL T-578
7. SLOPE 1:12 ON 4'-0" HIGH CMU WALL, STUCCO AND PAINT, VERIFY FIELD CONDITIONS REPAIRS/REPLACE AS NEEDED
8. 10'-0" TALL CMU WALL WITH 2'-0" CMU VIEW WALL ABOVE
9. PROPOSED 3'-0" HIGH CMU WALL WITH 2'-0" CMU VIEW WALL ABOVE
10. GUEST PARKING
11. FIRE TRUCK TURNING RADIUS
12. PROPOSED 3'-0" CONCRETE SIDEWALK
13. INTEGRAL COLOR DECORATIVE PAVERS PER C.O.T. STANDARDS
14. ASPHALT DRIVE ISLE
15. RECESSED ELECTRICAL METER WITH PANEL IN GARAGE, TYPICAL
16. PANEL BOXES
17. ADA PARKING
18. EXIT ONLY SLIDING GATE WITH KNOB BOX FOR EMERGENCY ACCESS
19. NEW DRIVEWAY PER COT STANDARD DETAIL T-520
20. WATER METER
21. PROPERTY LINE
22. PROPOSED 1'-0" VERTICAL CURB, TYPICAL
23. LOCATION OF REMOVING THE BACKLAP ON OTHER DAYS STORED IN GARAGE, TYPICAL
24. CENTERLINE OF STREET
25. GATE KEY PAD AND DIRECTORY
26. NEW CURB GUTTER 10'-0" HIGH SIDEWALK ALONG SMITH ROAD AND 8'-0" ALONG UNIVERSITY DRIVE. SEE CIVIL FOR MORE INFO
27. EXISTING TRANSFORMERS TO REMAIN
28. BUILDING SETBACK LINE
29. 1'-0" HIGH DECORATIVE WALL
30. 3'-0" TALL MASSORY SCREEN WALL WITH 2'-0" VIEW FENCE ABOVE
31. EXISTING TRAFFIC SIGNAL

PROJECT TEAM

- OWNER:** TREEHOUSE GROUP PARTNERSHIP WITH PORC LIGHT HOMES
202 EAST UNIVERSITY DRIVE
TEMPE, ARIZONA 85281
CONTACT: TOM HAPLEY
PHONE: 480.960.5454
- CONTACT:** RYAN LARSEN
PHONE: 602.206.0271
- ARCHITECT:** TOMCEK DESIGN
4388 NORTH CIVIC CENTER PLAZA
SUITE 200
SCOTTSDALE, ARIZONA 85251
CONTACT: MARK TOMCEK
PHONE: 602.618.7753
- CIVIL ENGINEER:** JACOBS WALLACE, LLC
2285 WEST BETHANY HOME ROAD
PHOENIX, ARIZONA 85028
CONTACT: CHUCK JACOBS
PHONE: 602.737.5964
- LANDSCAPE ARCHITECT:** T.J. MCQUEEN
HERSCHEL CHILLA STREET
SCOTTSDALE, ARIZONA 85200
CONTACT: TIM MCQUEEN
PHONE: 602.266.6659
- ELECTRICAL ENGINEER:** RLM DESIGN, LLC
602 SOUTH BRIDGES BLDG E
CHANDLER, ARIZONA 85225
CONTACT: BOBBY HARRIS
PHONE: 602.741.0447

CODE REVIEW

- AUTHORITY:** CITY OF TEMPE, ARIZONA
CODE: 202 INTERNATIONAL RESIDENTIAL CODE
OCCUPANCY USE: SEPARATED
OCCUPANCY: R-3
CONSTRUCTION TYPE: V-B

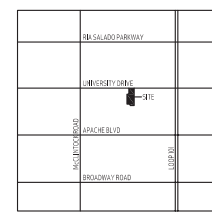
SCOPE OF WORK

REDEVELOPMENT OF AN EXISTING R-3 ZONED PROPERTY INFO 800 EIGHTY 7-1/2 STORY TOWNHOUSES WITH ATTACHED GARAGES, FAMILY ROOM, POWDER ROOM AND KITCHEN AT THE GROUND FLOOR, THREE BEDROOMS AND TWO BATHROOMS WILL OCCUPY THE SECOND FLOOR. THE FLOOR PLAN WILL INCLUDE AN REAR PORCH AT THE GROUND FLOOR AND BALCONY AT THE SECOND.

PROJECT DATA

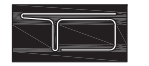
- PROJECT NAME:** THE LEVEL
TOWNHOME PROJECT
- ADDRESS:** 915 SOUTH SMITH ROAD
TEMPE, ARIZONA 85282
- PROJECT SITE AREA:** 250,677 SF (5.75 ACRES)
GROSS AREA: 228,770 SF (5.25 ACRES)
NET AREA: 132,468-DOSE, 132,468-ODIA, 132,468-DOB, 132,468-ODAF, AND 132,468-DOB
- ASSESSOR'S PARCEL:** 1094000000
- PROPOSED USE:** TOWNHOUSE
- BUILDING AREA:**
BUILDING TYPE A: (0 BUILDINGS) 4,658 S.F.
BUILDING TYPE B: (8 BUILDINGS) 2,334 S.F.
- GENERAL PLAN PROJECTED USE:** RESIDENTIAL
EXISTING ZONING: CS5/R-3/PRO/RAH (NO OVERLAY DISTRICT)
PROPOSED ZONING: R-4 (PAD)
- DENSITY:**
ALLOWABLE DENSITY: 20 DWELLING UNITS/ACRE
PROPOSED DENSITY: 12 DWELLING UNITS PER ACRE
TOTAL UNITS PROPOSED: (80) THREE BEDROOM UNITS
- TOTAL FOOTPRINT AREA:** 93,200 S.F.
LOT COVERAGE: 37.00%
MAXIMUM ALLOWABLE: 50.00%
ACTUAL SITE COVERAGE: 31.00%
- STORIES:** TWO
FIRE SPRINKLERS: NO
- LANDSCAPE STANDARDS:**
LANDSCAPE AREA REQUIRED: 57,092 S.F. (MIN. 25%)
LANDSCAPE AREA PROVIDED: 59,984 S.F.
- BUILDING SETBACKS:**
FRONT (NORTH): 20'-0" PROVIDED
STREET SIDE (WEST): 10'-0" PROVIDED
STREET SIDE DECORATIVE WALL: 4'-0" PROVIDED
SIDE (EAST): 10'-0" PROVIDED
REAR (SOUTH): 15'-0" PROVIDED
- BUILDING HEIGHT:**
ALLOWABLE BUILDING HEIGHT: 30'-0"
ACTUAL BUILDING HEIGHT: 30'-0"
- REFUSE:** PROVIDED: INDIVIDUAL UNIT PICK UP

VICINITY MAP

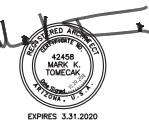


PARKING CALCULATIONS

PARKING REQUIRED:		
3 BEDROOM UNITS (0.25 PER UNIT) B04.02.5	202 SPACES	
GUEST PARKING (0.2 PER UNIT) B04.02	16 SPACES	
TOTAL PARKING REQUIRED:	218 SPACES	
PARKING PROVIDED:		
GARAGES (2-CAR PER UNIT)	160 SPACES	
GUEST PARKING (ON SITE)	58 SPACES	
TOTAL PARKING PROVIDED:	218 SPACES	
BICYCLE PARKING REQUIRED:		
3 BDRM UNITS (0.75 PER UNIT) B04.02.75	60.0 SPACES	
GUEST PARKING (0.2 PER UNIT) B04.02	16.0 SPACES	
TOTAL BICYCLE PARKING REQUIRED:	76.0 SPACES	
BICYCLE PARKING PROVIDED:		
GARAGES (1 BICYCLE PER UNIT)	80 SPACES	
GUEST BICYCLE PARKING	10 SPACES	
TOTAL BICYCLE PARKING PROVIDED:	90 SPACES	



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PROJECT: THE LEVEL
915 SOUTH SMITH ROAD
TEMPE, ARIZONA 85281

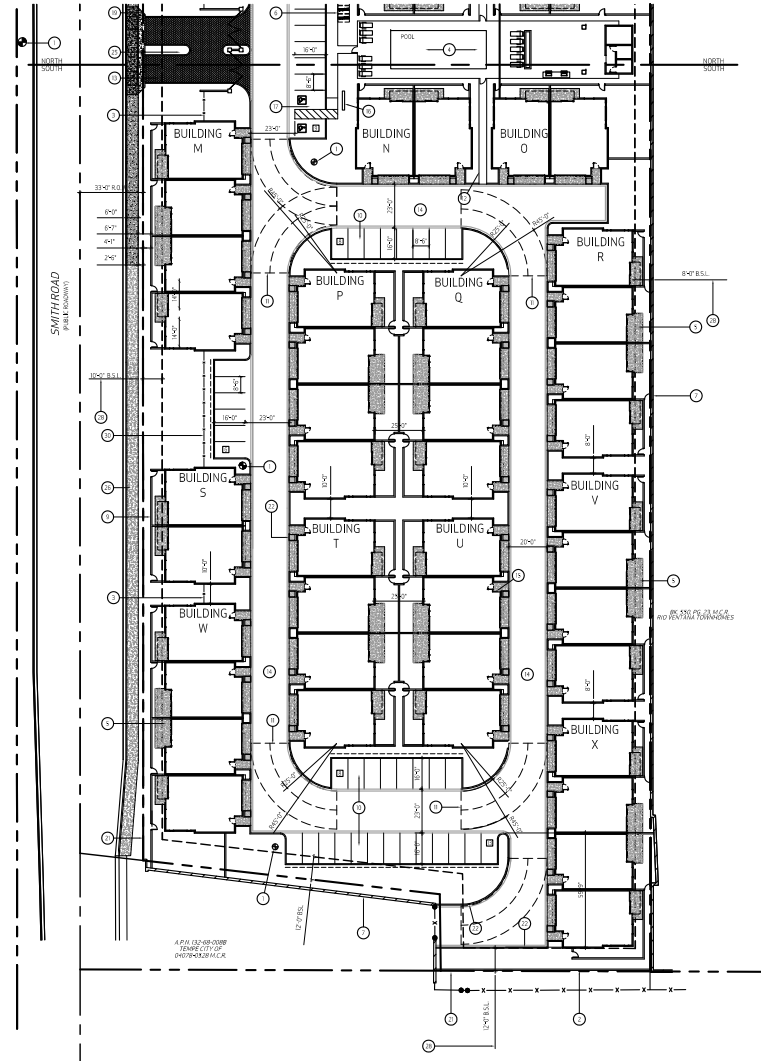
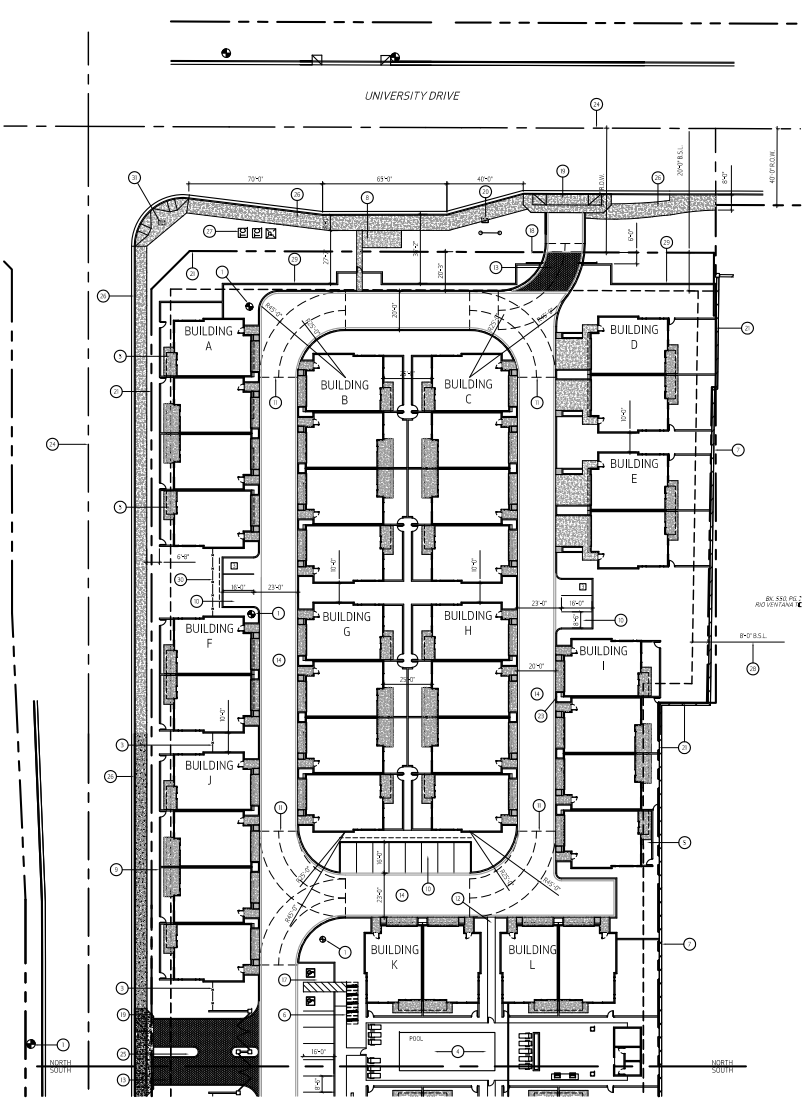
REVISED:

JOB #: 1802

DATE: 10.29.2018

CONTENTS: SITE PLAN

SHEET NO.: A100

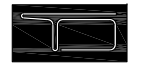


GENERAL NOTES:

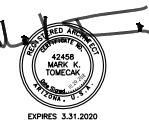
1. SLOPE ALL SIDEWALKS AWAY FROM BUILDING MINIMUM INCH AND NOT TO EXCEED 2% MAXIMUM.
2. PROVIDE FIRE LANE SIGNAGE AT LOCATIONS REQUIRED BY THE FIRE MARSHAL AND TILED INSPECTOR.

SITE PLAN NOTES:

1. FREE FIRE LANE.
2. 8'-0" TALL CMU WALL, STUCCO AND PAINT.
3. 6'-0" TALL METAL VENT FENCE.
4. COMMUNITY AREA WITH POOL, BQL, RESTROOMS, AND LOADING AREA.
5. PRIVATE PAVEMENT WITH CONCRETE PAD TYPICAL.
6. PROPOSED BENCHMARK FOR C.D.T. DETAIL T-520.
7. EXISTING 6'-0" HIGH CMU WALL, STUCCO AND PAINT, VERIFY FIELD CONDITION REPAIR/REPLACE AS NEEDED.
8. 8" X 8" CONC. CONCRETE PAD FOR BUS STOP.
9. PROPOSED 4'-0" HIGH CMU WALL WITH 2'-0" CMU VIEW WALL ABOVE.
10. GUEST PARKING.
11. FINE BLOCK TURNING CURB.
12. PROPOSED 3'-0" CONC. T.E. SIDEWALK.
13. INTEGRAL COLOR DECORATIVE PAVERS PER C.D.T. STANDARDS.
14. ASPHALT DRIVE W/ E.
15. INDOOR BELLICOLOR METER WITH PANEL IN GARAGE, TYPICAL.
16. MAILBOXES.
17. ADA PARKING.
18. EXIST ONLY SLIDING GATE WITH KNOW BOX FOR EMERGENCY ACCESS.
19. NEW DRIVEWAY PER COT STANDARD DETAIL T-520.
20. WATER METERS.
21. PROPERTY LINE.
22. PROPOSED VERTICAL CURB TYPICAL.
23. LOCATION OF BLDG. PICK UP/DAY ON OTHER DAYS STORED IN GARAGE TYPICAL.
24. CENTERLINE OF STREET.
25. GATE KEY PLAN AND DIRECTORY.
26. NEW CURB, SUTTER 6'-0" WIDE SIDEWALK ALONG SMITH ROAD AND 1'-0" ALONG UNIVERSITY DRIVE. SEE C.D.T. FOR MORE INFO.
27. EXISTING TRANSFORMERS TO REMAIN.
28. BUILDING SIGNAGE LINE.
29. 6'-0" HIGH DECORATIVE WALL.
30. 3'-0" TALL MASONRY SCREEN WALL WITH 3'-0" VIEW FENCE ABOVE.
31. EXISTING TRAFFIC SIGNAL.



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PROJECT: THE LEVEL
 515 SOUTH SMITH ROAD
 TEMPE, ARIZONA 85281

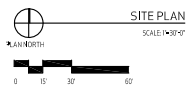
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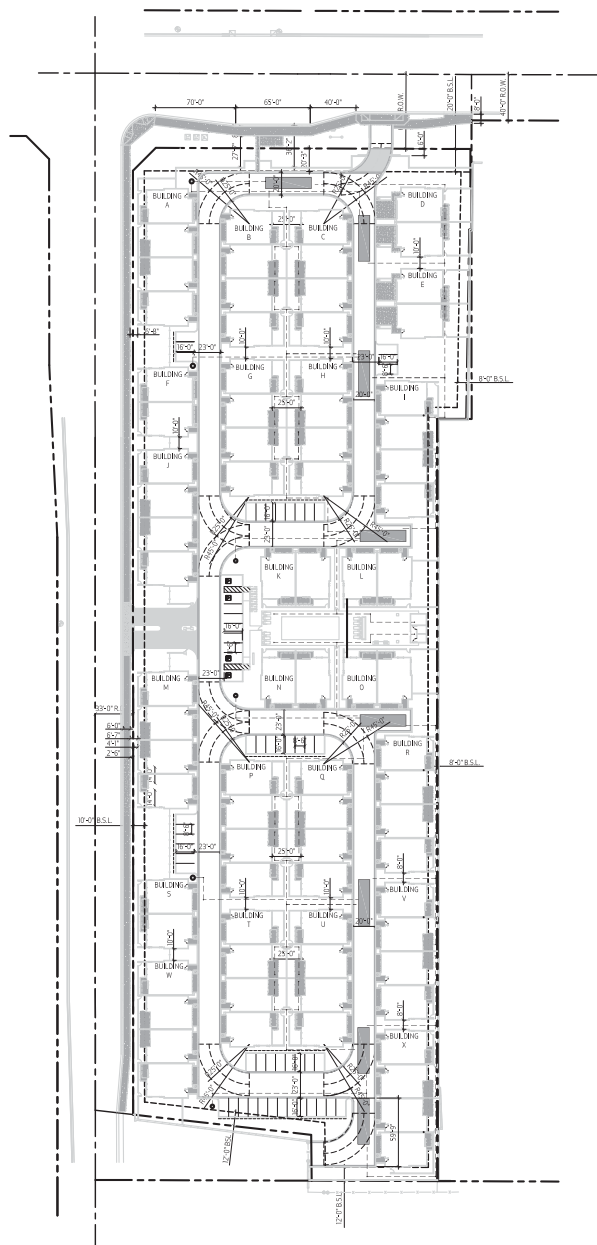
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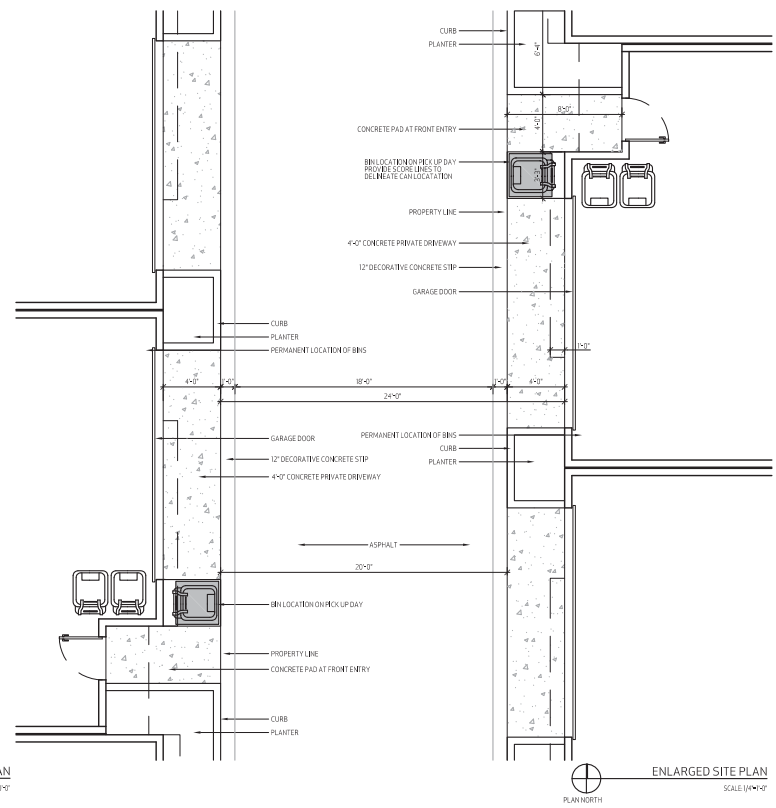
CONTENTS: ENLARGED SITE PLAN

SHEET NO.: A102





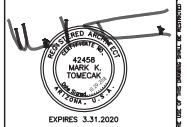
REFUSE & FIRE ACCESS PLAN
SCALE 1/4"=1'-0"



ENLARGED SITE PLAN
SCALE 1/4"=1'-0"



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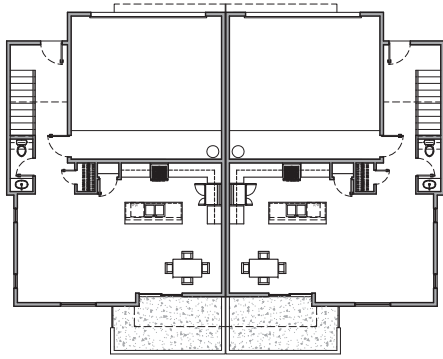


PROJECT:
THE LEVEL
915 SOUTH SMITH ROAD
TOWNE, ARIZONA 85281

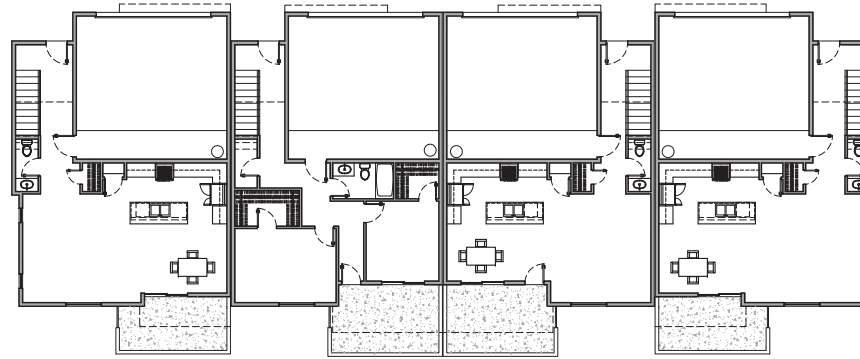
REVISED:

JOB #:
1802
DATE:
10.29.2018
CONTENTS:
REFUSE AND FIRE
ACCESS PLAN

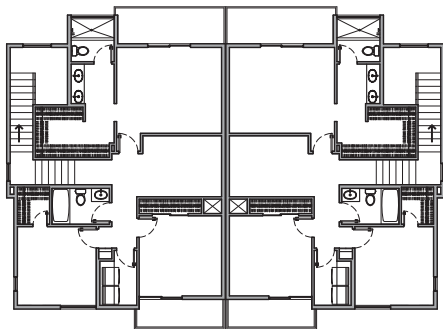
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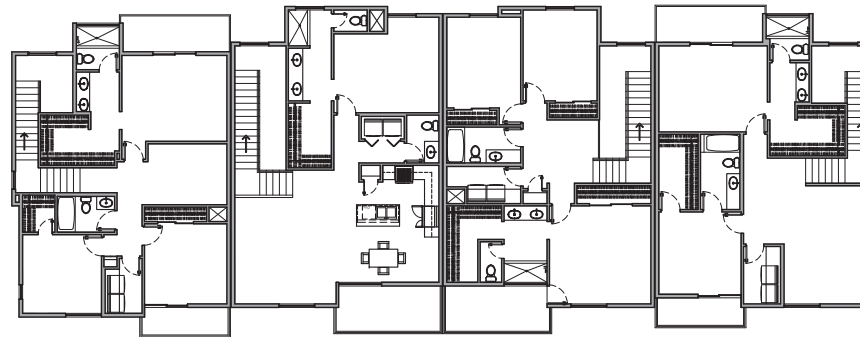
BUILDING TYPE 2
1ST LEVEL FLOOR PLAN
SCALE: 1/8"=1'-0"



BUILDING TYPE 1
1ST LEVEL FLOOR PLAN
SCALE: 1/8"=1'-0"



BUILDING TYPE 2
2ND LEVEL FLOOR PLAN
SCALE: 1/8"=1'-0"



BUILDING TYPE 1
2ND LEVEL FLOOR PLAN
SCALE: 1/8"=1'-0"



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PROJECT:
THE LEVEL
915 SOUTH SMITH ROAD
TEMPE, ARIZONA 85281

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JOB #:

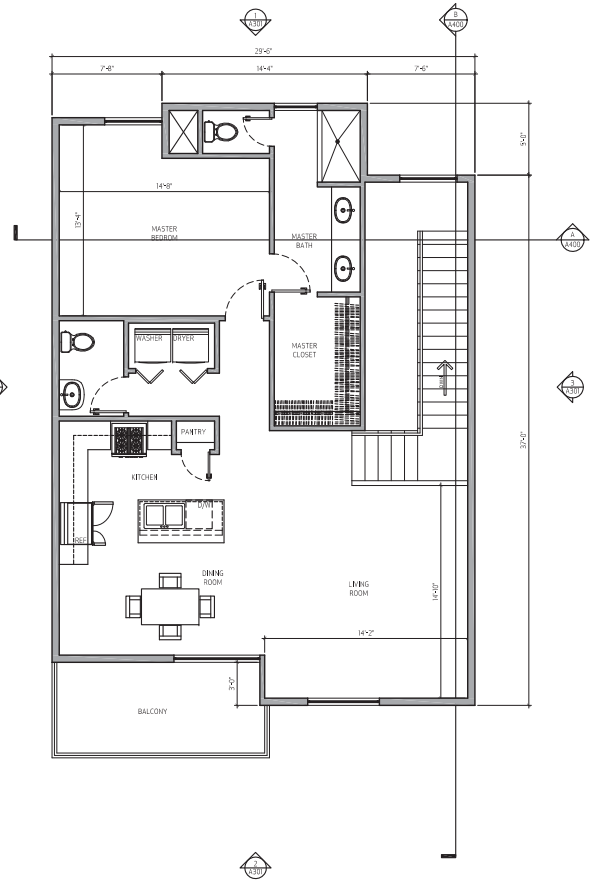
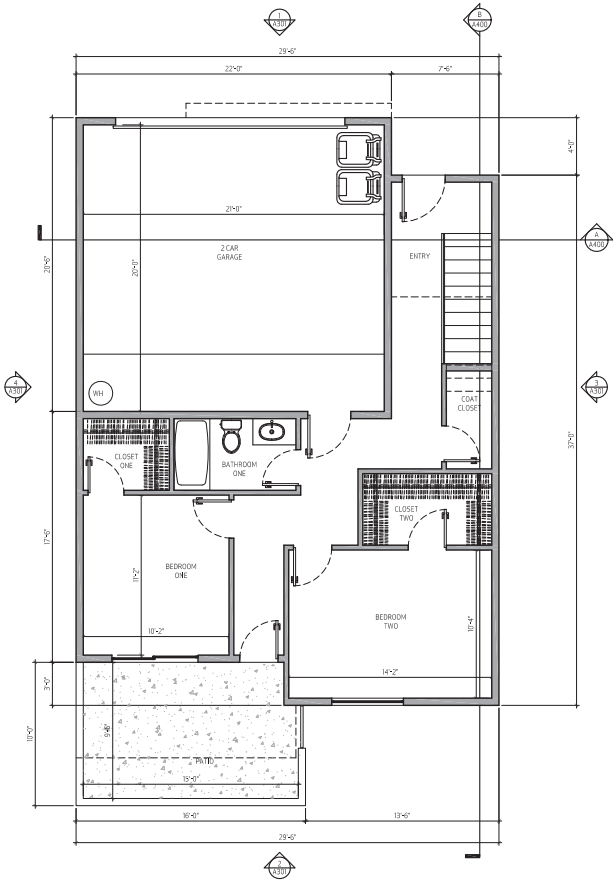
DATE: 10.29.2018

CONTENTS: BUILDING FLOOR PLANS

SHEET No. **A200**



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PROJECT:
THE LEVEL
 915 SOUTH SMITH ROAD
 TEMPE, ARIZONA 85281

REVISED:

JOB #:
 1802

DATE:
 10.29.2018

CONTENTS:
 FLOOR PLAN
 UNIT TYPE A

SHEET NO.:
A201



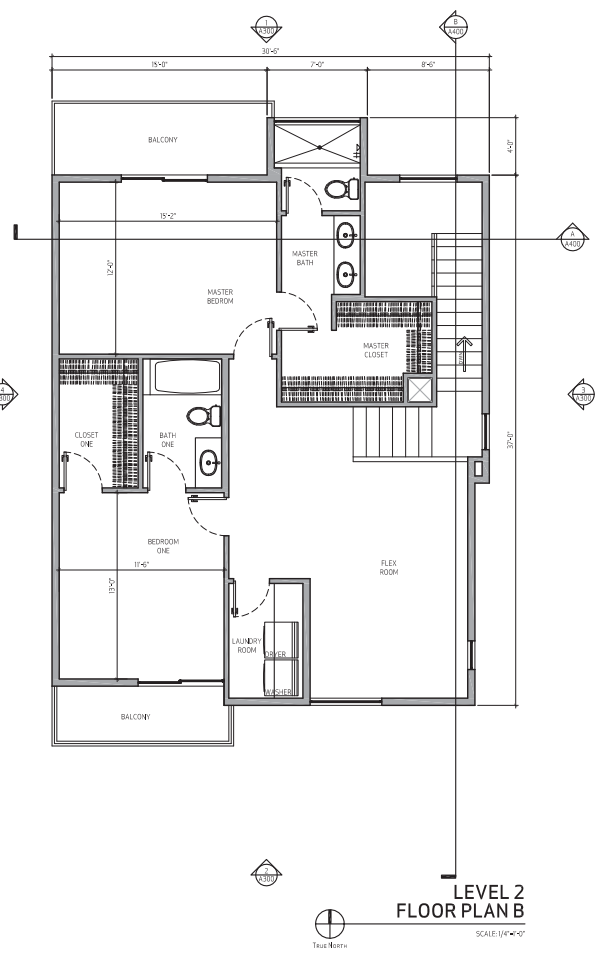
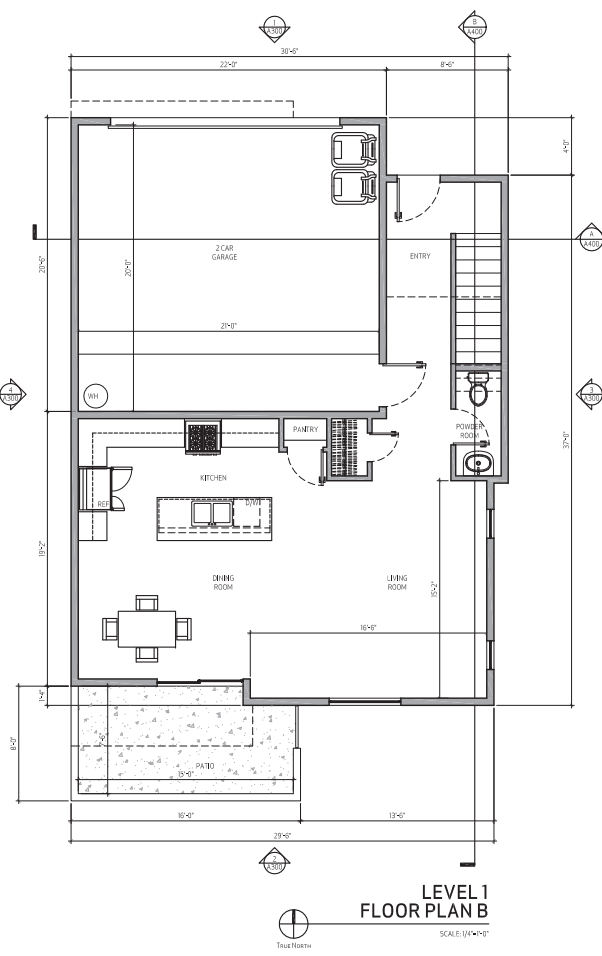
**TOMECAK
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PROJECT:
THE LEVEL
915 SOUTH SMITH ROAD
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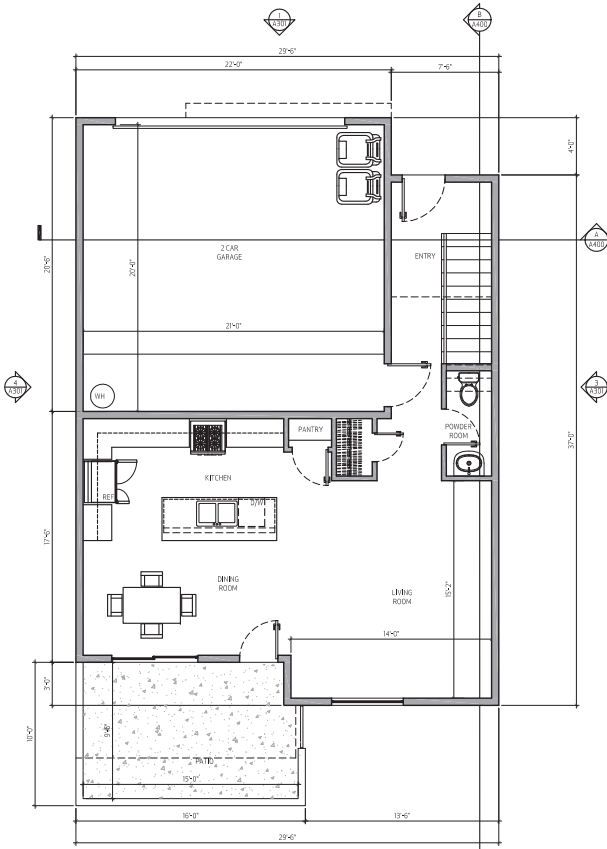
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JOB #:
1802
DATE:
10.29.2018
CONTENTS:
FLOOR PLAN
UNIT TYPE B
SHEET NO.:
A202

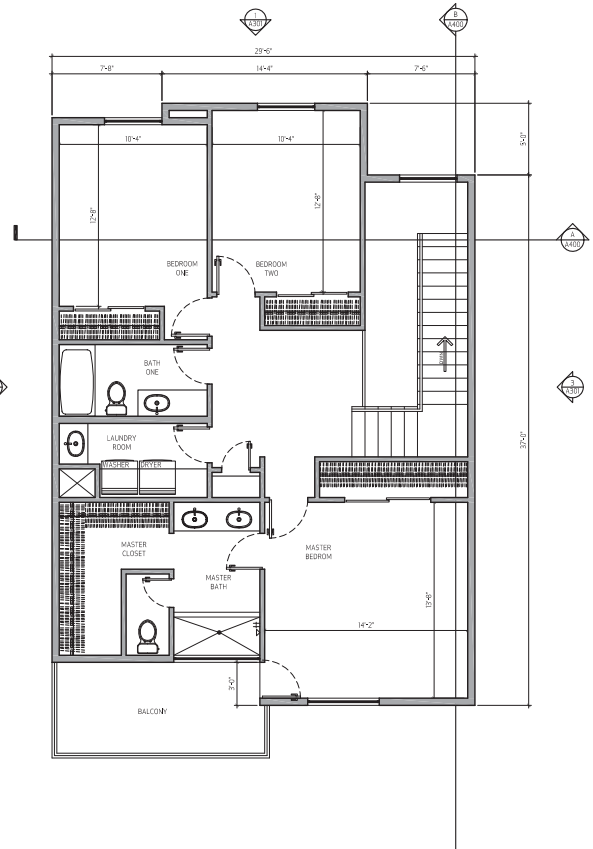




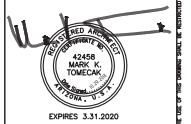
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LEVEL 1
FLOOR PLAN C
SCALE: 1/4" = 1'-0"



LEVEL 2
FLOOR PLAN C
SCALE: 1/4" = 1'-0"



PROJECT:
THE LEVEL
915 SOUTH SMITH ROAD
TEMPE, ARIZONA 85281

REVISED:

JOB #:
1802

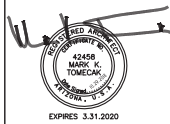
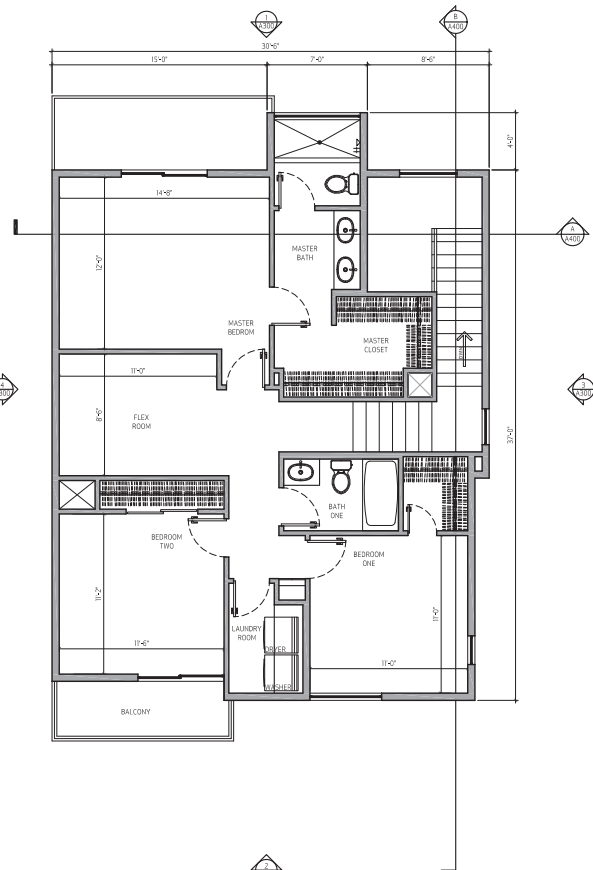
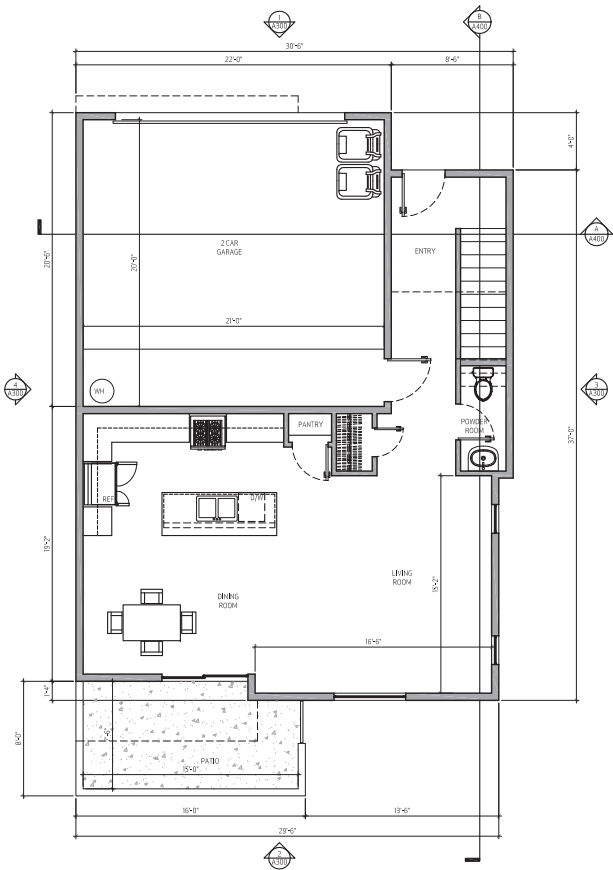
DATE:
10.29.2018

CONTENTS:
FLOORPLAN
UNIT TYPE C

SHEET No.:
A203



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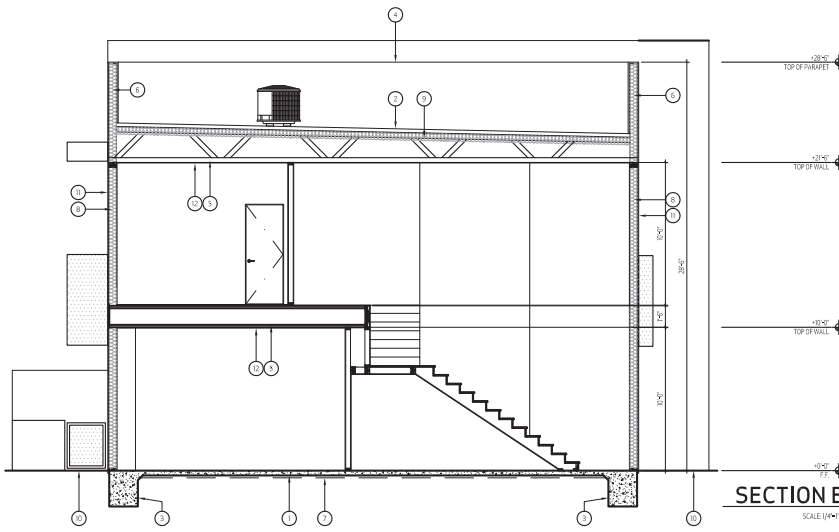
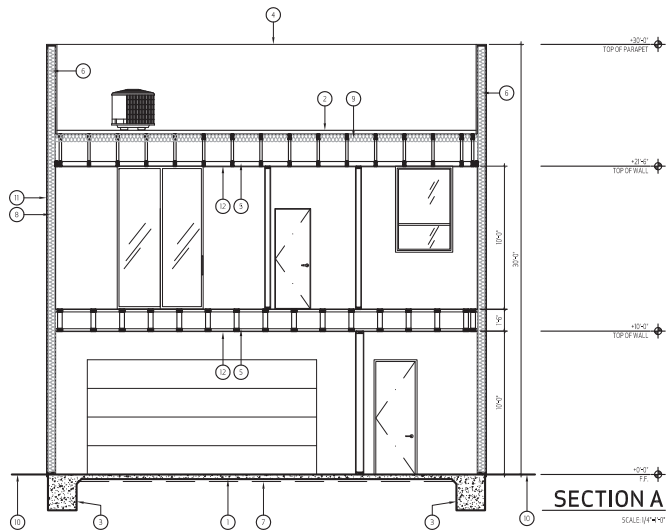
PROJECT:
THE LEVEL
915 SOUTH SMITH ROAD
TEMPE, ARIZONA 85281

REVISED:

JOB #:
1802
DATE:
10.29.2018

CONTENTS:
FLOOR PLAN
UNIT TYPED

SHEET No.:
A204



GENERAL NOTES:

- A. GRADES ARE REQUIRED TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDING.
- B. SEE GENERAL NOTES ON SHEETS FOR INFORMATION.
- C. ARCHITECT TO CONFORM ALL HEIGHTS OF NEW CONSTRUCTION TO THE FIELD/NO CORNER/NO.
- D. PATCH AND REPAIR EXTERIOR WALLS. PAINT ALL CORNER COLORS AND FINISHES UNIFORM.
- E. WEEP SCREDS SHALL BE GALVANIZED CORROSION RESISTANT WITH THE FOLLOWING CHARACTERISTICS:
 E.A. WITH A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3 (3/4) INCH.
 E.B. PLACE A MINIMUM OF 3/4" BELOW FOUNDATION PLATE LINE ON ALL EXTERIOR WALLS.
 E.C. PLACE A MINIMUM OF 4" ABOVE FINISH GRADE.
- F. PARAPET WALLS TO BE HELD AGAINST INSIDE OF ROOF DECK, TYPICAL.

SECTION NOTES:

- 1. 4" CONCRETE SLAB ON #4 B.C.
- 2. 1" FOAM ROOF INSULATION, TOP COAT AND #9 GRANULES WITH R-38 BATT INSULATION VIBES TO INSIDE OF DECK. ESP/200.
- 3. FOOTING, SEE STRUCTURAL.
- 4. LINE OF PARAPET DETAIL.
- 5. WOOD TRUSS, SEE STRUCTURAL.
- 6. PARAPET WALL.
- 7. CONCRETE VAPOR BARRIER.
- 8. 2X WOOD STUD FRAMING WITH R-19 BATT INSULATION FULL HEIGHT.
- 9. 5/8" INSULATION ISLAND INSIDE OF ROOF.
- 10. GRADE.
- 11. STUDS IN BAY OVER EXTERIOR GRADE PLYWOOD.
- 12. 1/2" EPS INSULATION.



TOMECAK DESIGN

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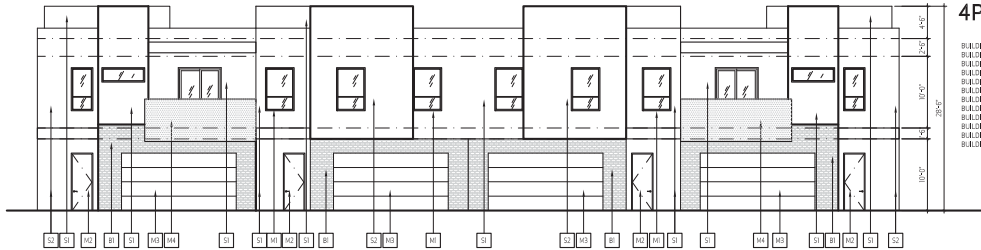
PROJECT:
THE LEVEL
 915 SOUTH SMITH ROAD
 TEMPE, ARIZONA 85281

REVISED:

JOB #: 1802
 DATE: 10.29.2018

CONTENTS: BUILDING SECTIONS
 TYPICAL

SHEET No. **A400**



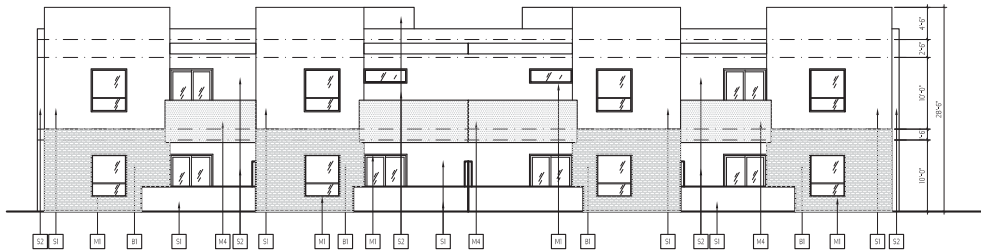
4PLEX SCHEME ENHANCED

BUILDING A
BUILDING B
BUILDING C
BUILDING D
BUILDING E
BUILDING F
BUILDING G
BUILDING H
BUILDING I
BUILDING J
BUILDING K
BUILDING L
BUILDING M
BUILDING N
BUILDING O
BUILDING P
BUILDING Q
BUILDING R
BUILDING S
BUILDING T
BUILDING U
BUILDING V
BUILDING W

1 FRONT ELEVATION

SCALE: 1/8"=1'-0"

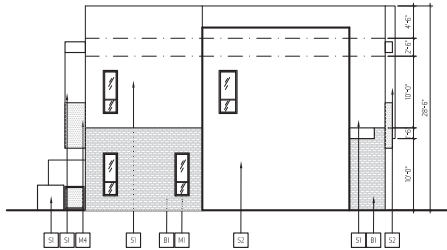
BUILDING A EAST ELEVATION - SCHEME #2
BUILDING B WEST ELEVATION - SCHEME #1
BUILDING C EAST ELEVATION - SCHEME #1
BUILDING D WEST ELEVATION - SCHEME #1
BUILDING E EAST ELEVATION - SCHEME #3
BUILDING F EAST ELEVATION - SCHEME #4
BUILDING G EAST ELEVATION - SCHEME #4
BUILDING H EAST ELEVATION - SCHEME #4
BUILDING I EAST ELEVATION - SCHEME #4
BUILDING J EAST ELEVATION - SCHEME #4
BUILDING K WEST ELEVATION - SCHEME #3
BUILDING L WEST ELEVATION - SCHEME #3
BUILDING M WEST ELEVATION - SCHEME #3
BUILDING N WEST ELEVATION - SCHEME #3
BUILDING O WEST ELEVATION - SCHEME #3
BUILDING P WEST ELEVATION - SCHEME #3
BUILDING Q WEST ELEVATION - SCHEME #3
BUILDING R WEST ELEVATION - SCHEME #3
BUILDING S WEST ELEVATION - SCHEME #3
BUILDING T WEST ELEVATION - SCHEME #3
BUILDING U WEST ELEVATION - SCHEME #3
BUILDING V WEST ELEVATION - SCHEME #3
BUILDING W EAST ELEVATION - SCHEME #2



2 REAR ELEVATION

SCALE: 1/8"=1'-0"

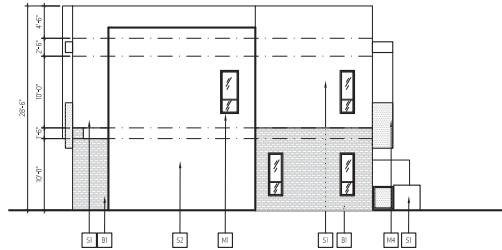
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BUILDING B EAST ELEVATION - SCHEME #1
BUILDING C WEST ELEVATION - SCHEME #1
BUILDING D EAST ELEVATION - SCHEME #3
BUILDING E WEST ELEVATION - SCHEME #4
BUILDING F WEST ELEVATION - SCHEME #4
BUILDING G WEST ELEVATION - SCHEME #4
BUILDING H WEST ELEVATION - SCHEME #4
BUILDING I WEST ELEVATION - SCHEME #4
BUILDING J WEST ELEVATION - SCHEME #4
BUILDING K WEST ELEVATION - SCHEME #3
BUILDING L WEST ELEVATION - SCHEME #3
BUILDING M WEST ELEVATION - SCHEME #3
BUILDING N WEST ELEVATION - SCHEME #3
BUILDING O WEST ELEVATION - SCHEME #3
BUILDING P WEST ELEVATION - SCHEME #3
BUILDING Q WEST ELEVATION - SCHEME #3
BUILDING R WEST ELEVATION - SCHEME #3
BUILDING S WEST ELEVATION - SCHEME #3
BUILDING T WEST ELEVATION - SCHEME #3
BUILDING U WEST ELEVATION - SCHEME #3
BUILDING V WEST ELEVATION - SCHEME #3
BUILDING W WEST ELEVATION - SCHEME #2



3 SIDE ELEVATION

SCALE: 1/8"=1'-0"

BUILDING A SOUTH ELEVATION - SCHEME #2
BUILDING B NORTH ELEVATION - SCHEME #1
BUILDING C SOUTH ELEVATION - SCHEME #1
BUILDING D NORTH ELEVATION - SCHEME #3
BUILDING E SOUTH ELEVATION - SCHEME #4
BUILDING F NORTH ELEVATION - SCHEME #4
BUILDING G SOUTH ELEVATION - SCHEME #4
BUILDING H NORTH ELEVATION - SCHEME #4
BUILDING I SOUTH ELEVATION - SCHEME #4
BUILDING J NORTH ELEVATION - SCHEME #4
BUILDING K SOUTH ELEVATION - SCHEME #3
BUILDING L NORTH ELEVATION - SCHEME #3
BUILDING M SOUTH ELEVATION - SCHEME #3
BUILDING N NORTH ELEVATION - SCHEME #3
BUILDING O SOUTH ELEVATION - SCHEME #3
BUILDING P NORTH ELEVATION - SCHEME #3
BUILDING Q SOUTH ELEVATION - SCHEME #3
BUILDING R NORTH ELEVATION - SCHEME #3
BUILDING S SOUTH ELEVATION - SCHEME #3
BUILDING T NORTH ELEVATION - SCHEME #3
BUILDING U SOUTH ELEVATION - SCHEME #3
BUILDING V NORTH ELEVATION - SCHEME #3
BUILDING W SOUTH ELEVATION - SCHEME #2



4 SIDE ELEVATION

SCALE: 1/8"=1'-0"

BUILDING A NORTH ELEVATION - SCHEME #2
BUILDING B SOUTH ELEVATION - SCHEME #1
BUILDING C NORTH ELEVATION - SCHEME #1
BUILDING D SOUTH ELEVATION - SCHEME #3
BUILDING E NORTH ELEVATION - SCHEME #4
BUILDING F SOUTH ELEVATION - SCHEME #4
BUILDING G NORTH ELEVATION - SCHEME #4
BUILDING H SOUTH ELEVATION - SCHEME #4
BUILDING I NORTH ELEVATION - SCHEME #4
BUILDING J SOUTH ELEVATION - SCHEME #4
BUILDING K NORTH ELEVATION - SCHEME #3
BUILDING L SOUTH ELEVATION - SCHEME #3
BUILDING M NORTH ELEVATION - SCHEME #3
BUILDING O SOUTH ELEVATION - SCHEME #3
BUILDING P NORTH ELEVATION - SCHEME #3
BUILDING Q SOUTH ELEVATION - SCHEME #3
BUILDING R NORTH ELEVATION - SCHEME #3
BUILDING S SOUTH ELEVATION - SCHEME #3
BUILDING T NORTH ELEVATION - SCHEME #3
BUILDING U SOUTH ELEVATION - SCHEME #3
BUILDING V NORTH ELEVATION - SCHEME #3
BUILDING W NORTH ELEVATION - SCHEME #2

GENERAL NOTES:

- A. ALL MATERIAL NOTE CALLOUTS ARE TYPICAL UNLESS NOTED OTHERWISE.
- B. FINISHES BY OTHERS - UNDER SEPARATE REVIEW AND PERMIT.
- C. BUILDING ADDRESS IS TO BE PROVIDED PER FIRE DEPARTMENT REQUIREMENTS AND SUBJECT TO ARCHITECT'S APPROVAL.
- D. ALL ROOF MOUNTED EQUIPMENT SHALL BE FULLY SCREENED BY SCREEN WALL.

MATERIAL SCHEDULE SCHEME #1

MATERIAL	MANUFACTURER	COLOR
PAINTED STUCCO	SHERWIN WILLIAMS	BEACH HOUSE SW7549
PAINTED STUCCO	SHERWIN WILLIAMS	RELAXED KHAKI SW8545
BRICK VENEER	GENERAL SHALE	MONUMENT TUDOR MODULAR 6000030325
WINDOOR/DOOR (LOWE)	MILGARD	DARK BRONZE
FRONT DOOR	AMARR	SHERWIN WILLIAMS HIGHTEA/SW8559
GARAGE DOOR	AMARR	SHERWIN WILLIAMS HIGHTEA/SW8559
GUARDSUL/FASCIA	CUSTOM METAL	SHERWIN WILLIAMS SEALSHIN/SW7875

MATERIAL SCHEDULE SCHEME #2

MATERIAL	MANUFACTURER	COLOR
PAINTED STUCCO	SHERWIN WILLIAMS	ACCESSIBLE BEIGE SW7536
PAINTED STUCCO	SHERWIN WILLIAMS	DURHAM GRAY SW7537
BRICK VENEER	GENERAL SHALE	MONUMENT TUDOR MODULAR 6000030325
WINDOOR/DOOR (LOWE)	MILGARD	DARK BRONZE
FRONT DOOR	AMARR	SHERWIN WILLIAMS HIGHTEA/SW8559
GARAGE DOOR	AMARR	SHERWIN WILLIAMS HIGHTEA/SW8559
GUARDSUL/FASCIA	CUSTOM METAL	SHERWIN WILLIAMS SEALSHIN/SW7875

MATERIAL SCHEDULE SCHEME #3

MATERIAL	MANUFACTURER	COLOR
PAINTED STUCCO	SHERWIN WILLIAMS	BEACH HOUSE SW7536
PAINTED STUCCO	SHERWIN WILLIAMS	CORUS TAU SW7531
BRICK VENEER	GENERAL SHALE	SPRING CREEK TUDOR MODULAR 6000028657
WINDOOR/DOOR (LOWE)	MILGARD	DARK BRONZE
FRONT DOOR	AMARR	SHERWIN WILLIAMS VAN DYKE BROWN/SW7041
GARAGE DOOR	AMARR	SHERWIN WILLIAMS VAN DYKE BROWN/SW7041
GUARDSUL/FASCIA	CUSTOM METAL	SHERWIN WILLIAMS SEALSHIN/SW7875

MATERIAL SCHEDULE SCHEME #4

MATERIAL	MANUFACTURER	COLOR
PAINTED STUCCO	SHERWIN WILLIAMS	JESTER'S WHITE SW7535
PAINTED STUCCO	SHERWIN WILLIAMS	SANDBUR SW7547
BRICK VENEER	GENERAL SHALE	SPRING CREEK TUDOR MODULAR 6000028657
WINDOOR/DOOR (LOWE)	MILGARD	DARK BRONZE
FRONT DOOR	AMARR	SHERWIN WILLIAMS RUGGED BROWN/SW8862
GARAGE DOOR	AMARR	SHERWIN WILLIAMS RUGGED BROWN/SW8862
GUARDSUL/FASCIA	CUSTOM METAL	SHERWIN WILLIAMS SEALSHIN/SW7875

- 1. ALL ROOFTOP DRAINING SHALL BE INTERNALLY TYPED.
- 2. ROOF ACCESS SHALL BE PROVIDED FROM THE ROOF OF BUILDING ROOF ACCESS WILL NOT BE EXPOSED TO PUBLIC VIEW.



TOMECACK DESIGN

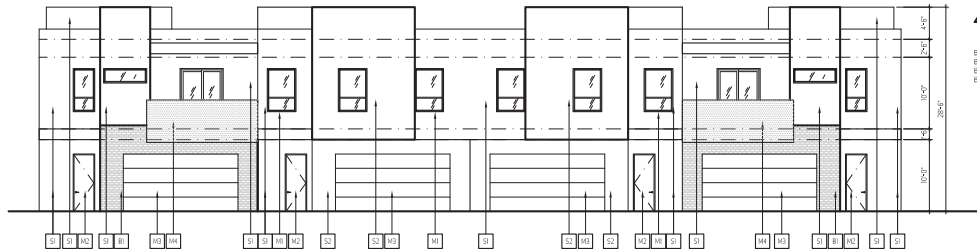
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E info@tomeckad.com



PROJECT: THE LEVEL
915 SOUTH SMITH ROAD
TAMPE, ARIZONA 85281

REVISED:
JOB #: 1802
DATE: 10.29.2018
CONTENTS: BUILDING ELEVATIONS

SHEET NO. A300

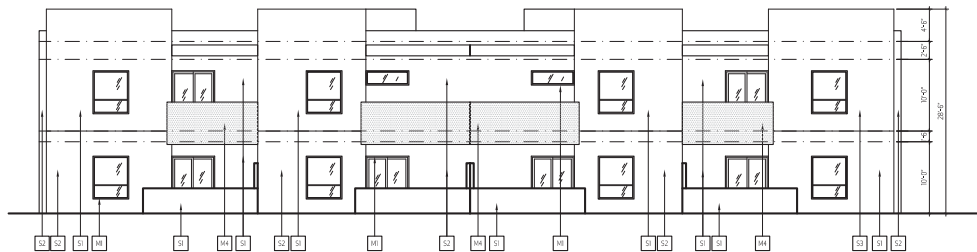


4PLEX SCHEME TYPICAL

BUILDING R
BUILDING V
BUILDING X

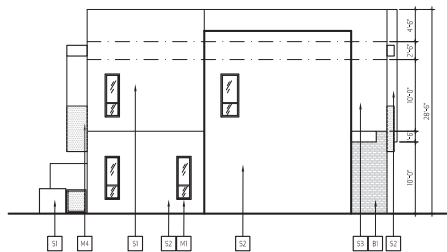
1 FRONT ELEVATION

BUILDING I WEST ELEVATION - SCHEME#4
BUILDING R WEST ELEVATION - SCHEME#4
BUILDING V WEST ELEVATION - SCHEME#3
BUILDING X WEST ELEVATION - SCHEME#2
SCALE 1/8"=1'-0"



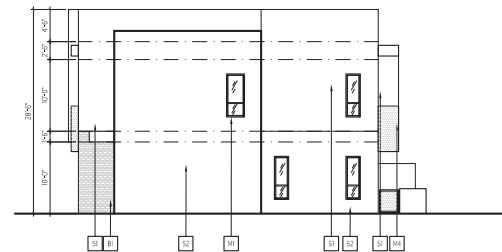
2 REAR ELEVATION

BUILDING I EAST ELEVATION - SCHEME#4
BUILDING R EAST ELEVATION - SCHEME#4
BUILDING V EAST ELEVATION - SCHEME#3
BUILDING X EAST ELEVATION - SCHEME#2
SCALE 1/8"=1'-0"



3 SIDE ELEVATION

BUILDING I SOUTH ELEVATION - SCHEME#4
BUILDING R SOUTH ELEVATION - SCHEME#4
BUILDING V SOUTH ELEVATION - SCHEME#3
BUILDING X SOUTH ELEVATION - SCHEME#2
SCALE 1/8"=1'-0"



4 SIDE ELEVATION

BUILDING I NORTH ELEVATION - SCHEME#4
BUILDING R NORTH ELEVATION - SCHEME#4
BUILDING V NORTH ELEVATION - SCHEME#3
BUILDING X NORTH ELEVATION - SCHEME#2
SCALE 1/8"=1'-0"

GENERAL NOTES:

- A. ALL MATERIAL NOTE CALLOUTS ARE TYPICAL UNLESS NOTED OTHERWISE.
- B. FINISHES BY OTHERS - UNDER SEPARATE REVIEW AND PERMIT.
- C. BUILDING ACCESS TO BE PROVIDED PER FIRE DEPARTMENT REQUIREMENTS AND SUBJECT TO ARCHITECT'S APPROVAL.
- D. ALL UNFINISHED EQUIPMENT SHALL BE FULLY SCREENED BY SCREEN WALL.

MATERIAL SCHEDULE SCHEME #1

MATERIAL	MANUFACTURER	COLOR
PAINTED STUCCO	SHERWIN WILLIAMS	REICH HOUSE SW7549
PAINTED STUCCO	SHERWIN WILLIAMS	RELAXED KHAKI SW6548
BRICK VENEER	GENERAL SHALE	MONUMENT TUDOR MODULAR 6000030325
WINDOW/DOOR (LOWE)	MILGARD	DARK BRONZE
FRONT DOOR	AMARR	SHERWIN WILLIAMS HIGH TEA / SW6559
GARAGE DOOR	AMARR	SHERWIN WILLIAMS HIGH TEA / SW6559
GUARDRAIL/FASCIA	CUSTOM METAL	SHERWIN WILLIAMS SEAL SHIN / SW7875

MATERIAL SCHEDULE SCHEME #2

MATERIAL	MANUFACTURER	COLOR
PAINTED STUCCO	SHERWIN WILLIAMS	ACCESSIBLE BEIGE SW7536
PAINTED STUCCO	SHERWIN WILLIAMS	DURHAM GRAY SW7037
BRICK VENEER	GENERAL SHALE	MONUMENT TUDOR MODULAR 6000030325
WINDOW/DOOR (LOWE)	MILGARD	DARK BRONZE
FRONT DOOR	AMARR	SHERWIN WILLIAMS HUNSTON / SW6230
GARAGE DOOR	AMARR	SHERWIN WILLIAMS HUNSTON / SW6230
GUARDRAIL/FASCIA	CUSTOM METAL	SHERWIN WILLIAMS SEAL SHIN / SW7875

MATERIAL SCHEDULE SCHEME #3

MATERIAL	MANUFACTURER	COLOR
PAINTED STUCCO	SHERWIN WILLIAMS	REICH HOUSE SW7536
PAINTED STUCCO	SHERWIN WILLIAMS	CORUS TAU SW7531
BRICK VENEER	GENERAL SHALE	SPRING CREEK TUDOR MODULAR 6000028657
WINDOW/DOOR (LOWE)	MILGARD	DARK BRONZE
FRONT DOOR	AMARR	SHERWIN WILLIAMS VAN DYKE BROWN / SW7041
GARAGE DOOR	AMARR	SHERWIN WILLIAMS VAN DYKE BROWN / SW7041
GUARDRAIL/FASCIA	CUSTOM METAL	SHERWIN WILLIAMS SEAL SHIN / SW7875

MATERIAL SCHEDULE SCHEME #4

MATERIAL	MANUFACTURER	COLOR
PAINTED STUCCO	SHERWIN WILLIAMS	JESTER'S WHITE SW7535
PAINTED STUCCO	SHERWIN WILLIAMS	SANDBAR SW7547
BRICK VENEER	GENERAL SHALE	SPRING CREEK TUDOR MODULAR 6000028657
WINDOW/DOOR (LOWE)	MILGARD	DARK BRONZE
FRONT DOOR	AMARR	SHERWIN WILLIAMS RUGGED BROWN / SW6062
GARAGE DOOR	AMARR	SHERWIN WILLIAMS RUGGED BROWN / SW6062
GUARDRAIL/FASCIA	CUSTOM METAL	SHERWIN WILLIAMS SEAL SHIN / SW7875

1. ALL ROOFTOP DRIVING SHALL BE INTERNALLY FINISHED.
2. ROOF ACCESS WILL BE PROVIDED FROM THE REAR OF BUILDING ROOF ACCESS WILL NOT BE EXPOSED TO PUBLIC VIEW.



TOMCEK DESIGN

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PROJECT:

THE LEVEL
915 SOUTH SMITH ROAD
TOMPE, ARIZONA 85281

REVISED:

JOB #: 1802

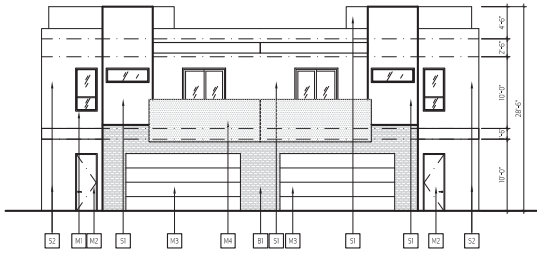
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CONTAINS: BUILDING ELEVATIONS

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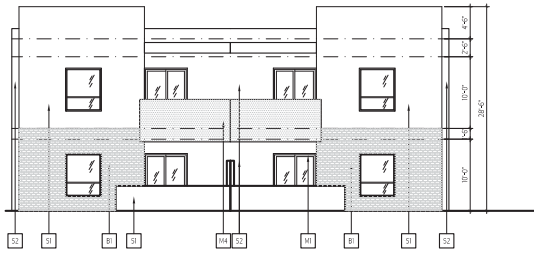
2PLEX SCHEME ENHANCED

BUILDING D
BUILDING E
BUILDING F
BUILDING G
BUILDING H
BUILDING I
BUILDING J
BUILDING K



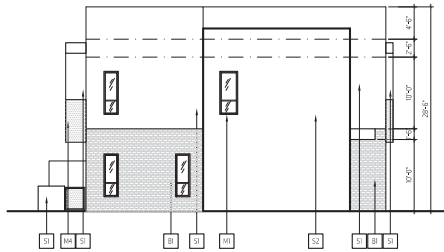
1 FRONT ELEVATION

SCALE 1/8"=1'-0"
BUILDING D WEST ELEVATION+SCHEME#2
BUILDING E WEST ELEVATION+SCHEME#2
BUILDING F EAST ELEVATION+SCHEME#1
BUILDING G NORTH ELEVATION+SCHEME#2
BUILDING H NORTH ELEVATION+SCHEME#1
BUILDING I SOUTH ELEVATION+SCHEME#2
BUILDING J SOUTH ELEVATION+SCHEME#1
BUILDING K EAST ELEVATION+SCHEME#1



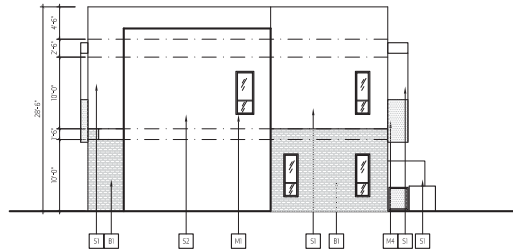
2 REAR ELEVATION

SCALE 1/8"=1'-0"
BUILDING E EAST ELEVATION+SCHEME#2
BUILDING F EAST ELEVATION+SCHEME#2
BUILDING G WEST ELEVATION+SCHEME#1
BUILDING H SOUTH ELEVATION+SCHEME#2
BUILDING I SOUTH ELEVATION+SCHEME#1
BUILDING J NORTH ELEVATION+SCHEME#2
BUILDING K NORTH ELEVATION+SCHEME#1
BUILDING L WEST ELEVATION+SCHEME#1



3 SIDE ELEVATION

SCALE 1/8"=1'-0"
BUILDING D NORTH ELEVATION+SCHEME#2
BUILDING E NORTH ELEVATION+SCHEME#2
BUILDING F SOUTH ELEVATION+SCHEME#1
BUILDING G EAST ELEVATION+SCHEME#2
BUILDING H EAST ELEVATION+SCHEME#1
BUILDING I WEST ELEVATION+SCHEME#2
BUILDING J WEST ELEVATION+SCHEME#1
BUILDING K SOUTH ELEVATION+SCHEME#1



4 SIDE ELEVATION

SCALE 1/8"=1'-0"
BUILDING D SOUTH ELEVATION+SCHEME#2
BUILDING E SOUTH ELEVATION+SCHEME#2
BUILDING F NORTH ELEVATION+SCHEME#1
BUILDING G WEST ELEVATION+SCHEME#2
BUILDING H WEST ELEVATION+SCHEME#1
BUILDING I EAST ELEVATION+SCHEME#2
BUILDING J EAST ELEVATION+SCHEME#1
BUILDING K NORTH ELEVATION+SCHEME#1

GENERAL NOTES:

- A. ALL MATERIAL NOTE CALLOUTS ARE TYPICAL UNLESS NOTED OTHERWISE.
- B. FINISHES BY OTHERS - UNDER SEPARATE REVIEW AND PERMIT.
- C. BUILDING ADDRESS IS TO BE PROVIDED PER FIRE DEPARTMENT REQUIREMENTS AND SUBJECT TO ARCHITECT'S APPROVAL.
- D. ALL ROOF MOUNTED EQUIPMENT SHALL BE FULLY SCREENED BY SCREEN WALL.

MATERIAL SCHEDULE SCHEME #1

MATERIAL	MANUFACTURER	COLOR
PAINTED STUCCO	SHERWIN WILLIAMS	BEACH HOUSE SW7516
PAINTED STUCCO	SHERWIN WILLIAMS	RELAXED KHAKI SW9549
BRICK VENEER	GENERAL SHALE MONUMENT FLOOR	MODULAR 6000030325
WINDON/DOOR (LOWE)	MILGARD	DARK BRONZE
FRONT DOOR	AMARR	SHERWIN WILLIAMS HIGH TEA/SW9519
GARAGE DOOR	AMARR	SHERWIN WILLIAMS HIGH TEA/SW9519
GUARDRAIL/FASCIA	CUSTOM METAL	SHERWIN WILLIAMS SEALSHIN/SW7675

MATERIAL SCHEDULE SCHEME #2

MATERIAL	MANUFACTURER	COLOR
PAINTED STUCCO	SHERWIN WILLIAMS	ACCESSIBLE BEIGE SW7636
PAINTED STUCCO	SHERWIN WILLIAMS	DURHAM GRAY SW7617
BRICK VENEER	GENERAL SHALE MONUMENT FLOOR	MODULAR 6000030325
WINDON/DOOR (LOWE)	MILGARD	DARK BRONZE
FRONT DOOR	AMARR	SHERWIN WILLIAMS HANSTON/SW9230
GARAGE DOOR	AMARR	SHERWIN WILLIAMS HANSTON/SW9230
GUARDRAIL/FASCIA	CUSTOM METAL	SHERWIN WILLIAMS SEALSHIN/SW7675

MATERIAL SCHEDULE SCHEME #3

MATERIAL	MANUFACTURER	COLOR
PAINTED STUCCO	SHERWIN WILLIAMS	BEACH HOUSE SW7516
PAINTED STUCCO	SHERWIN WILLIAMS	CANVAS T48 SW7531
BRICK VENEER	GENERAL SHALE SPRING CREEK TUDOR	MODULAR 6000028667
WINDON/DOOR (LOWE)	MILGARD	DARK BRONZE
FRONT DOOR	AMARR	SHERWIN WILLIAMS VAN DYKE BROWN/SW7041
GARAGE DOOR	AMARR	SHERWIN WILLIAMS VAN DYKE BROWN/SW7041
GUARDRAIL/FASCIA	CUSTOM METAL	SHERWIN WILLIAMS SEALSHIN/SW7675

1. ALL ROOF TOP DRIVING SHALL BE INTERNALLY TRAPPED.
2. ROOF ACCESS SHALL BE PROVIDED FROM THE REAR OF BUILDING. ROOF ACCESS WILL NOT BE EXPOSED TO PUBLIC VIEW.

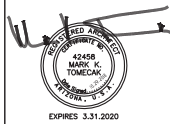
MATERIAL SCHEDULE SCHEME #4

MATERIAL	MANUFACTURER	COLOR
PAINTED STUCCO	SHERWIN WILLIAMS	JUST THE WHITE SW7535
PAINTED STUCCO	SHERWIN WILLIAMS	SANDBUR SW7547
BRICK VENEER	GENERAL SHALE SPRING CREEK TUDOR	MODULAR 6000028667
WINDON/DOOR (LOWE)	MILGARD	DARK BRONZE
FRONT DOOR	AMARR	SHERWIN WILLIAMS RUGGED BROWN/SW6062
GARAGE DOOR	AMARR	SHERWIN WILLIAMS RUGGED BROWN/SW6062
GUARDRAIL/FASCIA	CUSTOM METAL	SHERWIN WILLIAMS SEALSHIN/SW7675



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PROJECT:
THE LEVEL

915 SOUTH SMITH ROAD
TOLPE, ARIZONA 85281

REVISED:

JOB #: 1802

DATE: 10.29.2018

CONTENTS: BUILDING ELEVATIONS

SHEET No. **A302**



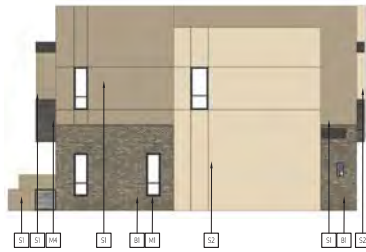
1 FRONT ELEVATION

BUILDING B WEST ELEVATION
 BUILDING C EAST ELEVATION
 BUILDING T WEST ELEVATION
 BUILDING U EAST ELEVATION
 SCALE 1/8"=1'-0"



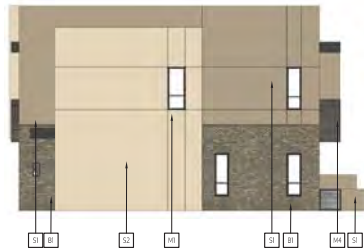
2 REAR ELEVATION

BUILDING B EAST ELEVATION
 BUILDING C WEST ELEVATION
 BUILDING T EAST ELEVATION
 BUILDING U WEST ELEVATION
 SCALE 1/8"=1'-0"



3 SIDE ELEVATION

BUILDING B NORTH ELEVATION
 BUILDING C SOUTH ELEVATION
 BUILDING T NORTH ELEVATION
 BUILDING U SOUTH ELEVATION
 SCALE 1/8"=1'-0"



4 SIDE ELEVATION

BUILDING B SOUTH ELEVATION
 BUILDING C NORTH ELEVATION
 BUILDING T SOUTH ELEVATION
 BUILDING U NORTH ELEVATION
 SCALE 1/8"=1'-0"

4PLEX SCHEME ENHANCED COLOR SCHEME

BUILDING B
 BUILDING C
 BUILDING T
 BUILDING U

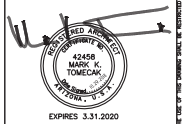
MATERIAL SCHEDULE SCHEME #1

ITEM	MATERIAL	MANUFACTURER	COLOR
01	PAINTED STUCCO	SHERWIN WILLIAMS	STUDIO TAUPE SW7549
02	PAINTED STUCCO	SHERWIN WILLIAMS	RELIANCE SW6149
03	BRICK VENEER	GENERAL SHALE	MONUMENT TUDOR MODULAR 606030325
04	WINDOW/DOOR LOPES	MANUFACTURER: HIGARD	COLOR: DARK BRONZE
05	FRONT DOOR	MANUFACTURER: AMARR	SHERWIN WILLIAMS HIGH TEA / SW6159
06	GARAGE DOOR	MANUFACTURER: AMARR	SHERWIN WILLIAMS HIGH TEA / SW6159
07	GUARDRAIL/FASIA	MANUFACTURER: CUSTOM METAL	SHERWIN WILLIAMS SEAL SHU / SW7875



TOMECAK DESIGN

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PROJECT:
THE LEVEL
 915 SOUTH SMITH ROAD
 TEMPE, ARIZONA 85281

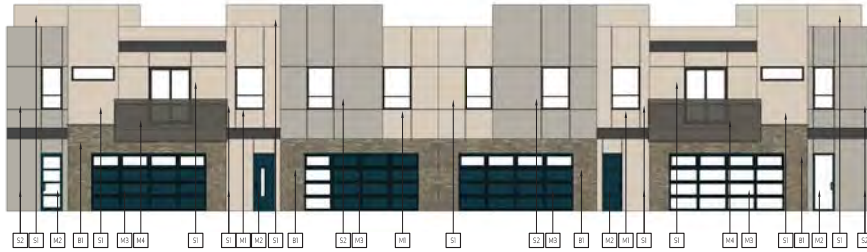
REVISED:

JOB #.: 1802

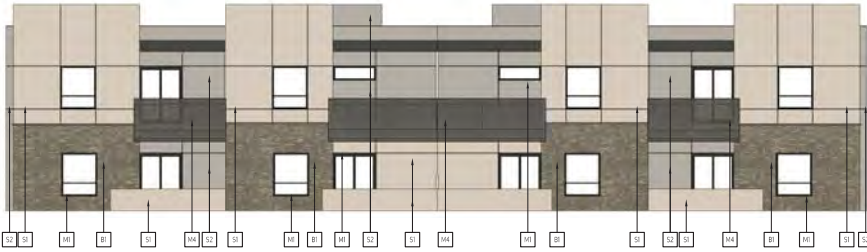
DATE: 10.29.2018

CONTENTS: BUILDING ELEVATIONS

SHEET No.: **A303**



1 FRONT ELEVATION
 BUILDING A EAST ELEVATION SCALE 1/8"=1'-0"
 BUILDING B WEST ELEVATION



2 REAR ELEVATION
 BUILDING A WEST ELEVATION SCALE 1/8"=1'-0"
 BUILDING B EAST ELEVATION



3 SIDE ELEVATION
 BUILDING A SOUTH ELEVATION SCALE 1/8"=1'-0"
 BUILDING B NORTH ELEVATION



4 SIDE ELEVATION
 BUILDING A NORTH ELEVATION SCALE 1/8"=1'-0"
 BUILDING B SOUTH ELEVATION

4PLEX SCHEME ENHANCED COLOR SCHEME

BUILDING A
 BUILDING B

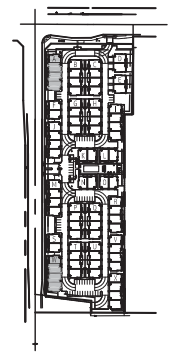
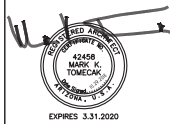
MATERIAL SCHEDULE SCHEME #2

MATERIAL	
01	PAINTED STUCCO MANUFACTURER: SHERWIN WILLIAMS COLOR: ACCESSIBLE BEIGE SW7036
02	PAINTED STUCCO MANUFACTURER: SHERWIN WILLIAMS COLOR: DORSET GRAY SW7017
03	BRICK VENEER MANUFACTURER: GENERAL SCALE COLOR: MONUMENT TUDOR MODULAR 606003025
04	WINDOW/DOOR GLAZING MANUFACTURER: HILGARD COLOR: DARK BRONZE
05	FRONT DOOR MANUFACTURER: AMARIS SHERWIN WILLIAMS RAINSTORM / SW6230
06	GARAGE DOOR MANUFACTURER: AMARIS SHERWIN WILLIAMS RAINSTORM / SW6230
07	GUARDRAIL/FASCIA MANUFACTURER: CUSTOM METAL SHERWIN WILLIAMS SEAL/SRV/SW7875



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PROJECT:
THE LEVEL
 915 SOUTH SMITH ROAD
 TEMPE, ARIZONA 85281

REVISED:

JOB #.: 1802

DATE: 10.29.2018

CONTENTS: BUILDING ELEVATIONS

SHEET No. **A304**



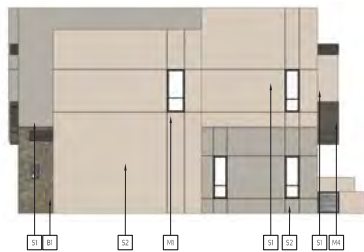
1 FRONT ELEVATION
BUILDING X WEST ELEVATION SCALE 1/8"=1'-0"



2 REAR ELEVATION
BUILDING X EAST ELEVATION SCALE 1/8"=1'-0"



3 SIDE ELEVATION
BUILDING X SOUTH ELEVATION SCALE 1/8"=1'-0"



4 SIDE ELEVATION
BUILDING X NORTH ELEVATION SCALE 1/8"=1'-0"

**4PLEX SCHEME TYPICAL
COLOR SCHEME**

BUILDING X

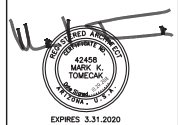
**MATERIAL SCHEDULE
SCHEME #2**

ITEM	MATERIAL
01	PAINTED STUCCO MANUFACTURER: SHERMILLIAMS COLOR: ACCESSIBLE BEIGE SW7036
02	PAINTED STUCCO MANUFACTURER: SHERMILLIAMS COLOR: DUSKY GRAY SW7037
03	BRICK VENEER MANUFACTURER: GENERAL SHALE MODULAR 606030325
04	WINDOW/DOOR GLAZING MANUFACTURER: MILGLAZ COLOR: DARK BRONZE
05	FRONT DOOR MANUFACTURER: AMARIS SHERMILLIAMS RAINSTORM / SW6230
06	GARAGE DOOR MANUFACTURER: AMARIS SHERMILLIAMS RAINSTORM / SW6230
07	GUARDRAIL/FASCIA MANUFACTURER: CUSTOM METAL SHERMILLIAMS COLOR: SEAL SHIN / SW7673



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PROJECT:
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REVISED:

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DATE: 10.29.2018

CONTAINS: BUILDING ELEVATIONS

SHEET No. **A305**



1 FRONT ELEVATION

BUILDING G WEST ELEVATION
 BUILDING H EAST ELEVATION
 BUILDING P WEST ELEVATION
 BUILDING Q EAST ELEVATION
 SCALE: 1/8"=1'-0"



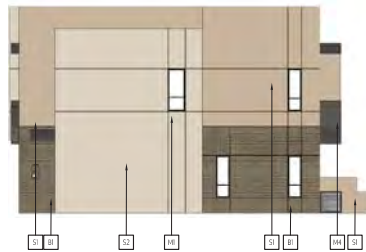
2 REAR ELEVATION

BUILDING G EAST ELEVATION
 BUILDING H WEST ELEVATION
 BUILDING P EAST ELEVATION
 BUILDING Q WEST ELEVATION
 SCALE: 1/8"=1'-0"



3 SIDE ELEVATION

BUILDING G NORTH ELEVATION
 BUILDING H SOUTH ELEVATION
 BUILDING P NORTH ELEVATION
 BUILDING Q SOUTH ELEVATION
 SCALE: 1/8"=1'-0"



4 SIDE ELEVATION

BUILDING G SOUTH ELEVATION
 BUILDING H NORTH ELEVATION
 BUILDING P SOUTH ELEVATION
 BUILDING Q NORTH ELEVATION
 SCALE: 1/8"=1'-0"

**4PLEX SCHEME ENHANCED
 COLOR SCHEME**

BUILDING G
 BUILDING H
 BUILDING P
 BUILDING Q

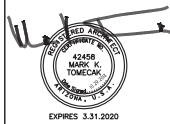
**MATERIAL SCHEDULE
 SCHEME #3**

MATERIAL	
01	PAINTED STUCCO MANUFACTURER: SHERWIN WILLIAMS COLOR: BEACH HOUSE SW7338
02	PAINTED STUCCO MANUFACTURER: SHERWIN WILLIAMS COLOR: CARVED TAN SW7331
03	BRICK VENEER MANUFACTURER: GENERAL SHALE COLOR: SPRING CREEK FLOOR MODULAR 606020667
04	WINDOW/DOOR GLAZING MANUFACTURER: HILGARD COLOR: DARK BRONZE
05	FRONT DOOR MANUFACTURER: AMARR COLOR: SHERWIN WILLIAMS VAN DYKE BROWN / SW7041
06	GARAGE DOOR MANUFACTURER: AMARR COLOR: SHERWIN WILLIAMS VAN DYKE BROWN / SW7041
07	GLAZERIAL PANELS MANUFACTURER: CUSTOM METAL COLOR: SHERWIN WILLIAMS SEALCHAM / SW7675



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PROJECT:
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 TEMPE, ARIZONA 85281

REVISED:

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DATE: 10.29.2018

CONTENTS: BUILDING ELEVATIONS

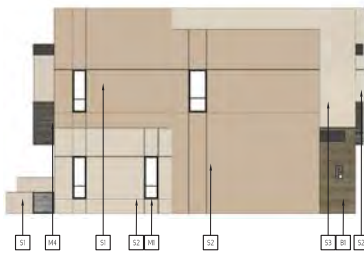
SHEET No. **A306**



1 FRONT ELEVATION
BUILDING Y WEST ELEVATION SCALE 1/8"=1'-0"



2 REAR ELEVATION
BUILDING Y EAST ELEVATION SCALE 1/8"=1'-0"



3 SIDE ELEVATION
BUILDING Y SOUTH ELEVATION SCALE 1/8"=1'-0"



4 SIDE ELEVATION
BUILDING Y NORTH ELEVATION SCALE 1/8"=1'-0"

4PLEX SCHEME TYPICAL COLOR SCHEME

BUILDING Y

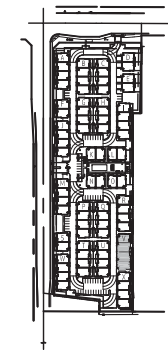
MATERIAL SCHEDULE SCHEME #3

MATERIAL	
11 PAINTED STUCCO MANUFACTURER: SHERWIN WILLIAMS COLOR: BEACH HOUSE SW736	
12 PAINTED STUCCO MANUFACTURER: SHERWIN WILLIAMS COLOR: CHINA STAIR SW7531	
13 BRICK VENEER MANUFACTURER: GENERAL SHALE COLOR: SPRING CREEK FLUOR MODULAR 600028667	
14 WINDOW/DOOR LIDGAL MANUFACTURER: M&L GARD COLOR: DARK BRONZE	
15 FRONT DOOR MANUFACTURER: AMARR COLOR: SHERWIN WILLIAMS VAN DYKE BROWN / SW7041	
16 GARAGE DOOR MANUFACTURER: AMARR COLOR: SHERWIN WILLIAMS VAN DYKE BROWN / SW7041	
17 GUARDRAIL/FASCIA MANUFACTURER: CUSTOM METAL COLOR: SHERWIN WILLIAMS SEALSHIM / SW7675	



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REVISED:

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CONTAINS: BUILDING ELEVATIONS

SHEET No. **A307**



1 FRONT ELEVATION

BUILDING 1 EAST ELEVATION
BUILDING 4 EAST ELEVATION
SCALE: 1/8"=1'-0"



2 REAR ELEVATION

BUILDING 1 WEST ELEVATION
BUILDING 4 WEST ELEVATION
SCALE: 1/8"=1'-0"



3 SIDE ELEVATION

BUILDING 1 SOUTH ELEVATION
BUILDING 4 SOUTH ELEVATION
SCALE: 1/8"=1'-0"



4 SIDE ELEVATION

BUILDING 1 NORTH ELEVATION
BUILDING 4 NORTH ELEVATION
SCALE: 1/8"=1'-0"

**4PLEX SCHEME ENHANCED
COLOR SCHEME**

BUILDING 1
BUILDING 4

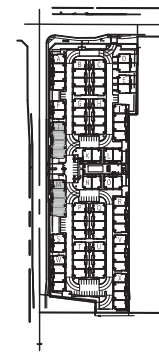
**MATERIAL SCHEDULE
SCHEME #4**

MATERIAL	MANUFACTURER	COLOR
PAINTED STUCCO	SHERWIN WILLIAMS	AESTHETIC WHITE SW705
PAINTED STUCCO	SHERWIN WILLIAMS	SANDBAR SW7347
BRICK VENEER	GENERAL SHALE	SPRING CREEK TUDOR MODULAR 600028667
WINDOW/DOOR (LOWE)	WELGARD	DARK BRONZE
FRONT DOOR	AMARR	SHERWIN WILLIAMS RUGGED BROWN/SW6062
GARAGE DOOR	AMARR	SHERWIN WILLIAMS RUGGED BROWN/SW6062
GUARDRAIL/FASCIA	CUSTOM METAL	SHERWIN WILLIAMS SCALDIN/SW7675



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PROJECT:
THE LEVEL

915 SOUTH SMITH ROAD
TEMPE, ARIZONA 85281

REVISED:

JOB #: 1802

DATE: 10.29.2018

CONTENTS: BUILDING ELEVATIONS

SHEET No. **A308**



1 FRONT ELEVATION

BUILDING WEST ELEVATION SCALE: 1/8"=1'-0"
 BUILDING WEST ELEVATION



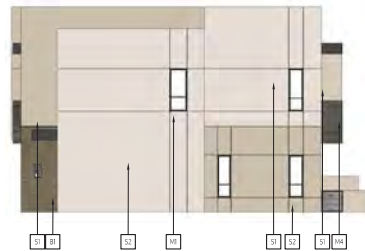
2 REAR ELEVATION

BUILDING EAST ELEVATION SCALE: 1/8"=1'-0"
 BUILDING EAST ELEVATION



3 SIDE ELEVATION

BUILDING SOUTH ELEVATION SCALE: 1/8"=1'-0"
 BUILDING SOUTH ELEVATION



4 SIDE ELEVATION

BUILDING NORTH ELEVATION SCALE: 1/8"=1'-0"
 BUILDING NORTH ELEVATION

4PLEX SCHEME TYPICAL COLOR SCHEME

BUILDING
 BUILDING

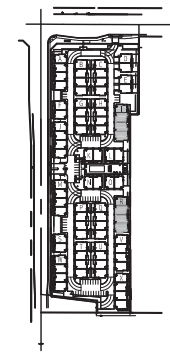
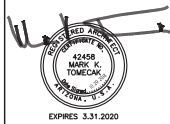
MATERIAL SCHEDULE SCHEME #4

ITEM	MATERIAL	MANUFACTURER	COLOR
01	PAINTED STUCCO	SHERMILLIANS	AESTHETIC WHITE / SW7028
02	PAINTED STUCCO	SHERMILLIANS	SAIGOR / SW7547
03	BRICK VENEER	GENERAL SHALE	SPRING CREEK TUDOR / MODULAR 680602867
04	WINDOW/DOOR DIVIDE	WELGARD	DARK BRONZE
05	FRONT DOOR	AMARR	SHERMILLIANS / RUGGED BROWN / SW6062
06	GARAGE DOOR	AMARR	SHERMILLIANS / RUGGED BROWN / SW6062
07	GUARDRAIL FASER	CUSTOM METAL	SHERMILLIANS / SCALSHR / SW7675



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DATE: 10.29.2018

CONTAINS: BUILDING ELEVATIONS

SHEET No. **A309**

**2PLEX SCHEME ENHANCED
COLOR SCHEME**

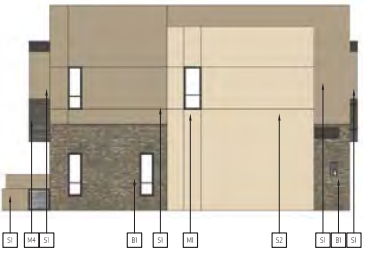
BUILDING F
BUILDING L
BUILDING O
BUILDING S



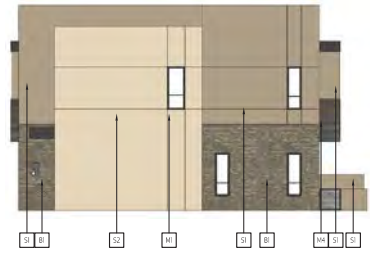
1 FRONT ELEVATION
BUILDING F EAST ELEVATION SCALE 1/8"=1'-0"
BUILDING L NORTH ELEVATION
BUILDING O SOUTH ELEVATION
BUILDING S EAST ELEVATION



2 REAR ELEVATION
BUILDING F WEST ELEVATION SCALE 1/8"=1'-0"
BUILDING L SOUTH ELEVATION
BUILDING O NORTH ELEVATION
BUILDING S WEST ELEVATION



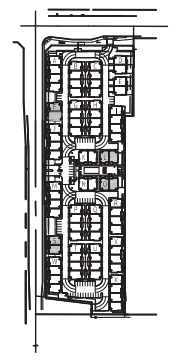
3 SIDE ELEVATION
BUILDING F SOUTH ELEVATION SCALE 1/8"=1'-0"
BUILDING L EAST ELEVATION
BUILDING O WEST ELEVATION
BUILDING S SOUTH ELEVATION



4 SIDE ELEVATION
BUILDING F NORTH ELEVATION SCALE 1/8"=1'-0"
BUILDING L WEST ELEVATION
BUILDING O EAST ELEVATION
BUILDING S NORTH ELEVATION

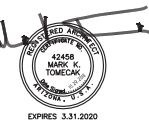
**MATERIAL SCHEDULE
SCHEME #1**

MATERIAL	
PAINTED STUCCO MANUFACTURER: SHERWINWILLIAMS COLOR: STUDIO TALPE SW7549	01
PAINTED STUCCO MANUFACTURER: SHERWINWILLIAMS COLOR: RELAXED KHAKI SW9549	02
BRICK VENEER MANUFACTURER: GENERAL SHALE MODULAR 600030325	03
WINDOOR DOOR LONA MANUFACTURER: MALCAO COLOR: DARK BRONZE	04
FRONT DOOR MANUFACTURER: AMARR SHERWINWILLIAMS HEAT TEA/SV6159	05
GARAGE DOOR MANUFACTURER: AMARR SHERWINWILLIAMS HEAT TEA/SV6159	06
GUARDRAIL/RASCEL MANUFACTURER: CUSTOM METAL SHERWINWILLIAMS SEAL SH/1 SW7575	07



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PROJECT:
THE LEVEL
915 SOUTH SMITH ROAD
TEMPE, ARIZONA 85281

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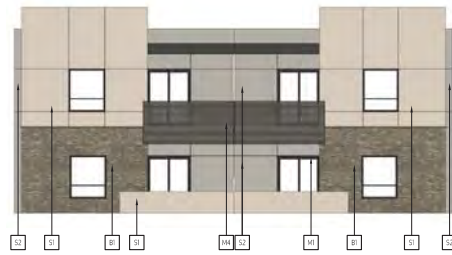
JOB #:
1802
DATE:
10.29.2018
CONTENTS: BUILDING ELEVATIONS

SHEET NO. **A310**



1 FRONT ELEVATION

BUILDING D WEST ELEVATION SCALE 1/8"=1'-0"
 BUILDING E WEST ELEVATION
 BUILDING K NORTH ELEVATION
 BUILDING N SOUTH ELEVATION



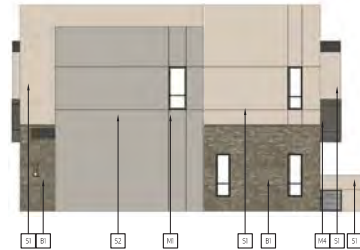
2 REAR ELEVATION

BUILDING D EAST ELEVATION SCALE 1/8"=1'-0"
 BUILDING E EAST ELEVATION
 BUILDING K SOUTH ELEVATION
 BUILDING N NORTH ELEVATION



3 SIDE ELEVATION

BUILDING D NORTH ELEVATION SCALE 1/8"=1'-0"
 BUILDING E NORTH ELEVATION
 BUILDING K EAST ELEVATION
 BUILDING N WEST ELEVATION



4 SIDE ELEVATION

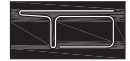
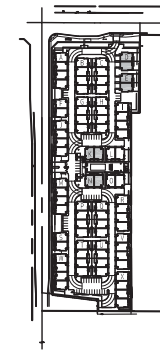
BUILDING D SOUTH ELEVATION SCALE 1/8"=1'-0"
 BUILDING E SOUTH ELEVATION
 BUILDING K WEST ELEVATION
 BUILDING N EAST ELEVATION

2PLEX SCHEME ENHANCED COLOR SCHEME

BUILDING D
 BUILDING E
 BUILDING K
 BUILDING N

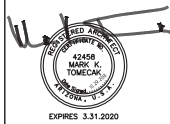
MATERIAL SCHEDULE SCHEME #2

MATERIAL	
01	PAINTED STUCCO MANUFACTURER: SHERWIN WILLIAMS COLOR: ACCESSIBLE BEIGE SW7036
02	PAINTED STUCCO MANUFACTURER: SHERWIN WILLIAMS COLOR: DORSET GRAY SW7077
03	BRICK VENEER MANUFACTURER: GENERAL SHALE MONUMENT TUDOR MODULAR 866030125
04	WINDOW/DOOR (LOWE) MANUFACTURER: HILGARD COLOR: DARK BRONZE
05	FRONT DOOR MANUFACTURER: AMARR SHERWIN WILLIAMS FINISH/TORN / SW6230
06	GARAGE DOOR MANUFACTURER: AMARR SHERWIN WILLIAMS FINISH/TORN / SW6230
07	GUARDRAIL/FASCIA MANUFACTURER: CUSTOM METAL SHERWIN WILLIAMS SEALSKIN / SW7675



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EXPIRES 3.31.2020

PROJECT:
THE LEVEL
 915 SOUTH SMITH ROAD
 TEMPE, ARIZONA 85281

REVISED:

JOB #:

DATE: 10.29.2018

CONTENTS: BUILDING ELEVATIONS

SHEET No. **A311**



2 VIEW LOOKING EAST
FROM UNIVERSITY DRIVE
SCALE: 1/8"=1'-0"



1 VIEW LOOKING SOUTH
FROM UNIVERSITY DRIVE
SCALE: 1/8"=1'-0"



4 VIEW LOOKING EAST
FROM SMITH ROAD
SCALE: 1/8"=1'-0"



3 INTERIOR VIEW LOOKING NORTH
SCALE: 1/8"=1'-0"



5 INTERIOR VIEW OF COMMUNITY POOL
SCALE: 1/8"=1'-0"



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REVISED:

JOB #.: 1802

DATE: 10.29.2018

CONTENTS: RENDERINGS

SHEET No. **A500**

The Level

Scheme One

Primary Stucco: SW7549 Studio Taupe

Secondary Stucco : SW6149 Relaxed Khaki



Guardrail & Fascia: SW7675
Sealskin

Garage & Front Door:
SW6159 High Tea



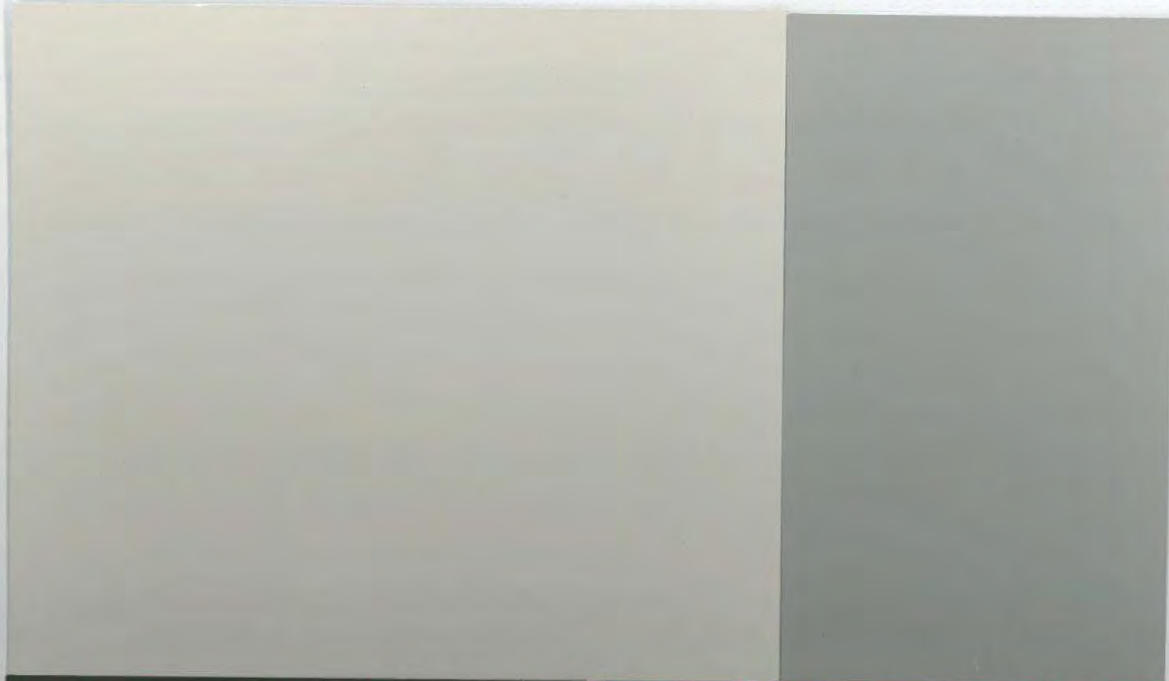
Stone: Brick Veneer-Monument Tudor

The Level

Scheme Two

Primary Stucco : SW7036 Accessible Beige

Secondary Stucco : SW7017 Dorian Gray



Guardrail & Fascia: SW7675
Sealskin

Garage & Front Door: SW6230
Rainstorm



ATTACHMENT 55

Stone: Brick Veneer-Monument Tudor

The Level

Scheme Three

Primary Stucco : SW7518 Beach House

Secondary Stucco : SW7531 Canvas Tan



Guardrail & Fascia: SW7675
Sealskin

Garage & Front Door: SW7041
Van Dyke Brown



Stone: Brick Veneer-Spring Creek Tudor

The Level

Scheme Four

Primary Stucco : SW7035 Aesthetic White

Secondary Stucco : SW7547 Sandbar



Guardrail & Fascia: SW7675
Sealskin

Garage & Front Door:
SW6062 Rugged Brown



Stone: Brick Veneer-Spring Creek Tudor

Summary of Public Involvement Report- November 2, 2018

Invitations for the August 29th Neighborhood Meeting held on August 29, 2018 at 6:00 PM at Hilton Garden Inn 2102 E. Rio Salado Parkway, Tempe AZ 85281 (480-968-2180) were mailed 16 days in advance. A total of 272 letters were mailed to the property owners within 600-ft. and Registered Neighborhood Homeowners Assoc. within ¼ mile as shown on Notification Map to advise them of the proposed land use entitlement applications and invite them to the neighborhood. Eight (8) registered or homeowner associations were notified and 264 property owners were notified. The Neighborhood Meeting was also posted on August 13th.

Only eight (8) people attended the Neighborhood Meeting. In advance of the Neighborhood Meeting, a Questa Vida resident, Richard Ramsey, sent an email expressing his strong support for the proposed development on August 20, 2018. Linda Pearson, a resident of the Rio Ventana Condominium development also expressed her support for the project by telephone on August 16th. The attorney for the Rio Ventana Homeowners Association, Mr. Greg Stein, requested project details and information on August 28th which was provided to him the next morning. Mr. Stein attended the Neighborhood Meeting.

Subsequent to the Aug. 29 Neighborhood Meeting, we received an email from J. Namio requesting information about the development proposal. This person indicated that they could not attend the Neighborhood Meeting. A copy of the site plan sent to her along with an offer to meet with her this person and whoever else she wanted to invite. That offer was declined. This person did not indicate a position on the proposal.

The only issue and concern that was raised at the Neighborhood Meeting was directly associated with the property at the immediate hard corner of Smith and University. That property owner, Mr. Homs, was concerned with the potential for increased stacking at the traffic signal at peak hours. This could potentially block his driveway access, which is 165-ft. south of the crosswalk. Mr. Homs asked for more information on the engineering plans for the widening of Smith next to The Level and any City plans for widening Smith next to his property. Since then, Mr. Homs and the Applicant reached a purchase agreement and this small corner parcel has been incorporated into this development. This acquisition will allow the half-street improvements for Smith to be carried all the way to University which will simultaneously improve the function of this signalized intersection.

Questions that were asked about the development included construction, phasing and purchase pricing, density and building height for these townhomes. No additional concerns beyond the street design were expressed.

Mr. Stein asked what type of trees were going to be planted along the east property line. The provided answer was that currently Chaste Trees are proposed but we will work with Rio Ventana to select a tree that works for everyone if the Chaste Tree isn't suitable.

One question was asked about the landscape setback on Smith but it was for information rather than a concern.

All in attendance at the Neighborhood Meeting were supportive of the proposal.



SOUTHWEST TRAFFIC
ENGINEERING, LLC

2 August 2018

Srini Goundla
City of Tempe
31 East Fifth Avenue
Tempe, Arizona 85281

**SUBJECT: THE LEVEL
SMITH ROAD/UNIVERSITY DRIVE
TRAFFIC IMPACT STATEMENT**

Dear Mr. Goundla,

Please find enclosed a brief traffic impact statement (TIS) regarding the Level project located on the southeast corner of Smith Road/University Drive in Tempe, Arizona. The vicinity of the project is shown in **Figure 1**. The project will consist of a new 74 unit townhome development as shown in **Figure 2**. The site will be served by two proposed access points.

The purpose of this traffic impact statement is to estimate the traffic generation associated with the Level project and outline the possible impacts of the site on the immediate area.

Existing Conditions

University Drive is an arterial roadway with an east/west alignment. Two lanes are provided in each direction, separated by a two-way center left turn lane. The posted speed limit is 40 miles per hour (mph). East of the project site, University Drive provides access the Arizona State Route Loop 101.

Smith Road is a local roadway that provides one lane in each direction, along the western edge of the project site. There is a posted speed limit of 25 mph on the roadway. Smith Road provides access to existing commercial buildings and residential developments between Rio Salado Parkway and Apache Boulevard.

The intersection of Smith Road/University Drive is a four-leg, signalized intersection. The eastbound and westbound approaches to the intersection provide a dedicated left turn lane, a through lane, and a shared through/right turn lane. Northbound traffic utilizes a dedicated left turn lane, a through lane, and an exclusive right turn lane. Vehicles traveling southbound at the intersection are provided a dedicated left turn lane and a shared through/right turn lane.

The southeast corner of Smith Road/University Drive is currently occupied by a mobile home residential development.

Access

Two new access points are proposed with the project.

Smith Access will be located approximately 500 feet south of University Drive, along the east side of Smith Road. Residents traveling northbound along Smith Road will make use of a shared through/right turn lane to access the proposed Level site. Southbound vehicles will be provided a shared left turn/through lane.

University Access, an exit only driveway, will be provided on the south side of University Drive, approximately 200 feet east of the intersection of Smith Road/University Drive. Vehicles exiting the Level site northbound will be provided an exclusive right turn lane.

Trip Generation

Trip generation for the project was developed utilizing nationally agreed upon data contained in the Institute of Transportation Engineers (ITE) publication Trip Generation, 10th Edition, 2017. Trip generation was estimated for the construction of 74 two-story townhomes based on ITE Land Use Code 220, Multifamily Housing (Low-Rise). The result is the expected weekday trip generation for the new project as shown in **Table 1**. The complete trip generation calculations can be found attached to this TIS.

Table 1 – Weekday Project Site Generated Trips

Time Period	Multifamily Housing (Low-Rise) (LUC 220)
Average Daily, Inbound (vtpd)	271
Average Daily, Outbound (vtpd)	271
Total Daily	542
AM Peak Hour, Inbound (vtph)	8
AM Peak Hour, Outbound (vtph)	27
Total AM Peak	35
PM Peak Hour, Inbound (vtph)	26
PM Peak Hour, Outbound (vtph)	16
Total PM Peak	42

vtpd - vehicle trips per day, vtph - vehicle trips per hour

Conclusion

As shown in **Table 1**, the proposed development is expected to generate 35 trips in the AM peak hour and 42 trips in the PM peak hour. This relatively low number of trips is not expected to have a significant impact to the adjacent roadway network.

Thank you again for your time and review of this TIS. If you have any questions regarding the TIS, please feel free to contact me at 602.266.7983.

Respectfully Submitted,



Shane Gutknecht, PE
Southwest Traffic Engineering, LLC
Traffic Engineer



Expires 6-30-21

cc: Mr. Ryan Larsen, Porchlight Homes (by email)

Attachments:

- Figure 1 – Vicinity Map
- Figure 2 – Site Plan
- Trip Generation Calculations

Figure 1 – Vicinity Map



WHEN RECORDED RETURN TO:
City of Tempe
Community Development Department
31 E. 5th Street
Tempe, AZ. 85281

**WAIVER OF RIGHTS AND REMEDIES
UNDER A.R.S. §12-1134**

This Waiver of Rights and Remedies under A.R.S. § 12-1134 (Waiver) is made in favor of the City of Tempe (City) by Homs Enterprises (Owner).

Owner acknowledges that A.R.S. § 12-1134 provides that in some cases a city must pay just compensation to a land owner if the city approves a land use law that reduces the fair market value of the owner's property (Private Property Rights Protection Act).

Owner further acknowledges that the Private Property Rights Protection Act authorizes a private property owner to enter an agreement waiving any claim for diminution in value of the property in connection with any action requested by the property owner.

Owner has submitted Application No. PL180235 – **THE LEVEL**, to the City requesting that the City approve the following:

- GENERAL PLAN AMENDMENT
- ZONING MAP AMENDMENT
- PAD OVERLAY
- HISTORIC PRESERVATION DESIGNATION/OVERLAY
- USE PERMIT
- VARIANCE
- DEVELOPMENT PLAN REVIEW
- SUBDIVISION PLAT/CONDOMINIUM PLAT
- OTHER _____

(Identify Action Requested)

for development of the following real property (Property):

Insert Property Address: 2001 E University Drive, Tempe AZ 85281

Parcel No. 132-68-007A & 132-68-004C

By signing below, Owner voluntarily waives any right to claim compensation for diminution in Property value under A.R.S. §12-1134 that may now or in the future exist as a result of the City's approval of the above-referenced Application, including any conditions, stipulations and/or modifications imposed as a condition of approval.

This Waiver shall run with the land and shall be binding upon all present and future owners having any interest in the Property.

This Waiver shall be recorded with the Maricopa County Recorder's Office.

Owner warrants and represents that Owner is the fee title owner of the Property, and that no other person has an ownership interest in the Property.

Dated this ____ day of _____, 20__.

OWNER: Ali Homs, Homs Enterprises, LLC

By Its Duly
 Authorized Signatory: _____
(Printed Name)

(Signed Name)

Its: _____
(Title, if applicable)

State of _____)
) ss.
 County of _____)

This instrument was acknowledged before me this ____ day of _____,
 20__ by _____.

Notary Public
 My Commission Expires:

(Signature of Notary)

WHEN RECORDED RETURN TO:
City of Tempe
Community Development Department
31 E. 5th Street
Tempe, AZ. 85281

**WAIVER OF RIGHTS AND REMEDIES
UNDER A.R.S. §12-1134**

This Waiver of Rights and Remedies under A.R.S. § 12-1134 (Waiver) is made in favor of the City of Tempe (City) by Treehouse Tempe LLC (Owner).

Owner acknowledges that A.R.S. § 12-1134 provides that in some cases a city must pay just compensation to a land owner if the city approves a land use law that reduces the fair market value of the owner's property (Private Property Rights Protection Act).

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- VARIANCE
- DEVELOPMENT PLAN REVIEW
- SUBDIVISION PLAT/CONDOMINIUM PLAT
- OTHER _____

(Identify Action Requested))

for development of the following real property (Property):

Insert Property Address: 915 S Smith Road, Tempe AZ 85281

Parcel No. 132-68-004E, 132-68-004F, 132-68-001A, 132-68-008C, 132-68-005E

By signing below, Owner voluntarily waives any right to claim compensation for diminution in Property value under A.R.S. §12-1134 that may now or in the future exist as a result of the City's approval of the above-referenced Application, including any conditions, stipulations and/or modifications imposed as a condition of approval.

This Waiver shall run with the land and shall be binding upon all present and future owners having any interest in the Property.

This Waiver shall be recorded with the Maricopa County Recorder's Office.

Owner warrants and represents that Owner is the fee title owner of the Property, and that no other person has an ownership interest in the Property.

Dated this _____ day of _____, 20____.

OWNER: Tom Stapley, Treehouse Tempe LLC

By Its Duly
 Authorized Signatory: _____
 (Printed Name)

 (Signed Name)

Its: _____
 (Title, if applicable)

State of _____)
) ss.
 County of _____)

This instrument was acknowledged before me this _____ day of _____,
 20__ by _____.

Notary Public
 My Commission Expires:

 (Signature of Notary)