

**CITY OF TEMPE
DEVELOPMENT REVIEW COMMISSION**

Meeting Date: 03/26/2019
Agenda Item: 03

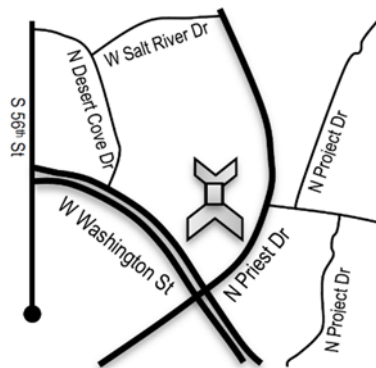
ACTION: Request two Use Permits to allow a massage establishment and a fitness facility in the GID (General Industrial District) for FAMILY FITNESS FORUM, located at 1500 NORTH PRIEST DRIVE. The applicant is Family Fitness Forum.

FISCAL IMPACT: N/A

RECOMMENDATION: Staff – Approve, subject to conditions

BACKGROUND INFORMATION: FAMILY FITNESS FORUM (PL190031) is requesting two Use Permits to allow a massage establishment and a fitness facility in the Papago Buttes Corporate Plaza on the northwest corner of North Priest Road and West Washington Street. The center is also located within the Papago Park Center Tract B1 PAD. The request includes the following:

- ZUP190011 Use Permit to allow a fitness facility in the GID (General Industrial District).
- ZUP190012 Use Permit to allow a massage establishment in the GID (General Industrial District).



Property Owner	Metro Commercial Properties
Applicant	Daniel Galaz, Family Fitness Forum
Zoning District	GID
Site Area	549,635 s.f.
Building Area	280,000 s.f.
Suite Area	2,500 s.f.
Vehicle Parking	No Change in Demand/1261 spaces provided (28 spaces required)
Bicycle Parking	No Change in Demand/113 spaces provided (3 space required)
Hours of Operation	24 Hours, Daily

ATTACHMENTS: Development Project File

STAFF CONTACT(S): Blake Schimke, Planning Technician (480) 350-8245

Department Director: Chad Weaver, Community Development Director

Legal review by: N/A

Prepared by: Blake Schimke, Planning Technician

Reviewed by: Steve Abrahamson, Principal Planner

COMMENTS

Family Fitness Forum is an established Fitness Facility within the Papago Buttes Corporate Plaza. The Massage services, which consist of but are not limited to chair and table massages, will be offered to the members of the fitness club by appointment only.

PUBLIC INPUT

To date, staff has not received any public comment

POLICE INPUT

N/A

USE PERMIT

The proposed use requires a Use Permit to operate a massage establishment and fitness facility within the General Industrial zoning district.

Section 6-308 E Approval criteria for Use Permit (*in italics*):

1. *Any significant increase in vehicular or pedestrian traffic*; The fitness center is open to the public but is located in a corporate building providing a more private experience with no increase of vehicular or pedestrian traffic. In addition, the service is only offered to customers of the fitness facility and the service will be offered one client at a time.
2. *Nuisance arising from the emission of odor, dust, gas, noise, vibration, smoke, heat or glare at a level exceeding that of ambient conditions*; The use will be indoors and will not create any nuisances greater than that of ambient conditions.
3. *Contribution to the deterioration of the neighborhood or to the downgrading of property values, which is in conflict with the goals, objectives or policies for rehabilitation, redevelopment or conservation as set forth in the city's adopted plans or General Plan*; the use is permitted with a use permit in the GID, General Industrial District zoning district. The projected land use for the site is commercial, which with a use permit, this use would also be allowed.
4. *Compatibility with existing surrounding structures and uses*; The center and surrounding centers are GID.
5. *Adequate control of disruptive behavior both inside and outside the premises which may create a nuisance to the surrounding area or general public*; This proposed use is not expected to create any disruptive behaviors.

REASONS FOR APPROVAL:

Based on the information provided by the applicant, the public input received, and the above analysis staff supports approval of the requested Use Permit. This request meets the required criteria and will conform to the conditions.

SHOULD AN AFFIRMATIVE ACTION BE TAKEN ON THIS REQUEST, THE FOLLOWING NUMBERED CONDITIONS OF APPROVAL SHALL APPLY, BUT MAY BE AMENDED BY THE DECISION-MAKING BODY.

CONDITION(S) OF APPROVAL:

1. The Use Permit is valid only after a Building Permit has been obtained, the required inspections have been completed and a Final Inspection has been passed. As part of the Building Permit process, on-site storm water retention may be required to be verified or accomplished on this Site.
2. The Use Permit is valid for the plans as submitted within this application. Any additions or modifications may be submitted for review during the building plan check process.
3. All required Federal, State, County, and Municipal permits, licenses, and clearances shall be obtained or the Use Permit is void.

4. If there are any complaints arising from the Use Permit that are verified by a consensus of the complaining party and the City Attorney's office, the Use Permit will be reviewed by City staff to determine the need for a public hearing to re-evaluate the appropriateness of the Use Permit, which may result in termination of the Use Permit.
5. Any intensification or expansion of use shall require a new Use Permit.

CODE/ORDINANCE REQUIREMENTS:

THE BULLETED ITEMS REFER TO EXISTING CODE OR ORDINANCES THAT PLANNING STAFF OBSERVES ARE PERTINENT TO THIS CASE. THE BULLET ITEMS ARE INCLUDED TO ALERT THE DESIGN TEAM AND ASSIST IN OBTAINING A BUILDING PERMIT AND ARE NOT AN EXHAUSTIVE LIST.

- The Use Permit is valid for Family Fitness Forum and may be transferable to successors in interest through an administrative review with the Community Development Director, or designee.
- Specific requirements of the **Zoning and Development Code (ZDC)** are not listed as a condition of approval, but will apply to any application. To avoid unnecessary review time and reduce the potential for multiple plan check submittals, become familiar with the ZDC. Access the ZDC through <http://www.tempe.gov/zoning> or purchase from Development Services.
- All business signs shall receive a Sign Permit. Contact sign staff at 480-350-8435.
- All required permits and clearances shall be obtained from the Audit and Licensing Division of the City of Tempe prior to the Use Permit becoming effective.

ZONING AND DEVELOPMENT CODE REFERENCE:

Section 3-302 Permitted Uses in Office/Industrial Districts

Section 4-204 Development Standards for Office/Industrial Districts

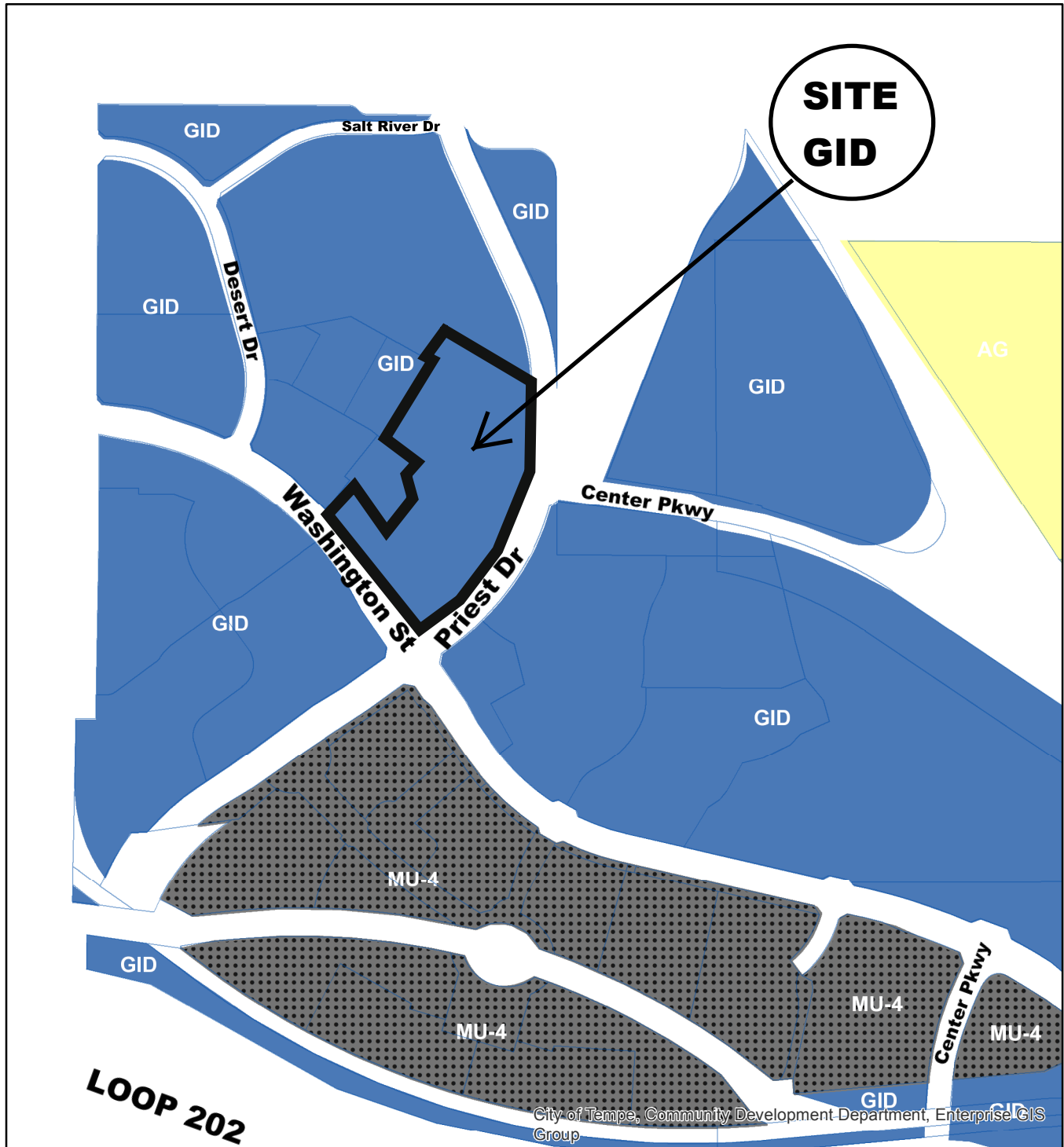
Section 6-308 Use Permit






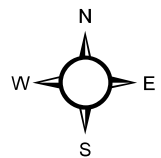
DEVELOPMENT PROJECT FILE
for
FAMILY FITNESS FORUM
PL190031

ATTACHMENTS:

1. Location Map
2. Aerial
3. Letter of Explanation
4. Site Plan
5. Floor Plan
6. Building Elevations



-  General Industrial District (GID)
-  Mixed Use High (MU-4)
-  Agricultural (AG)





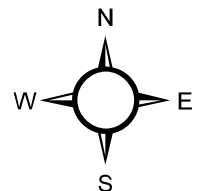
Tempe

PL 190031

Family Fitness Forum



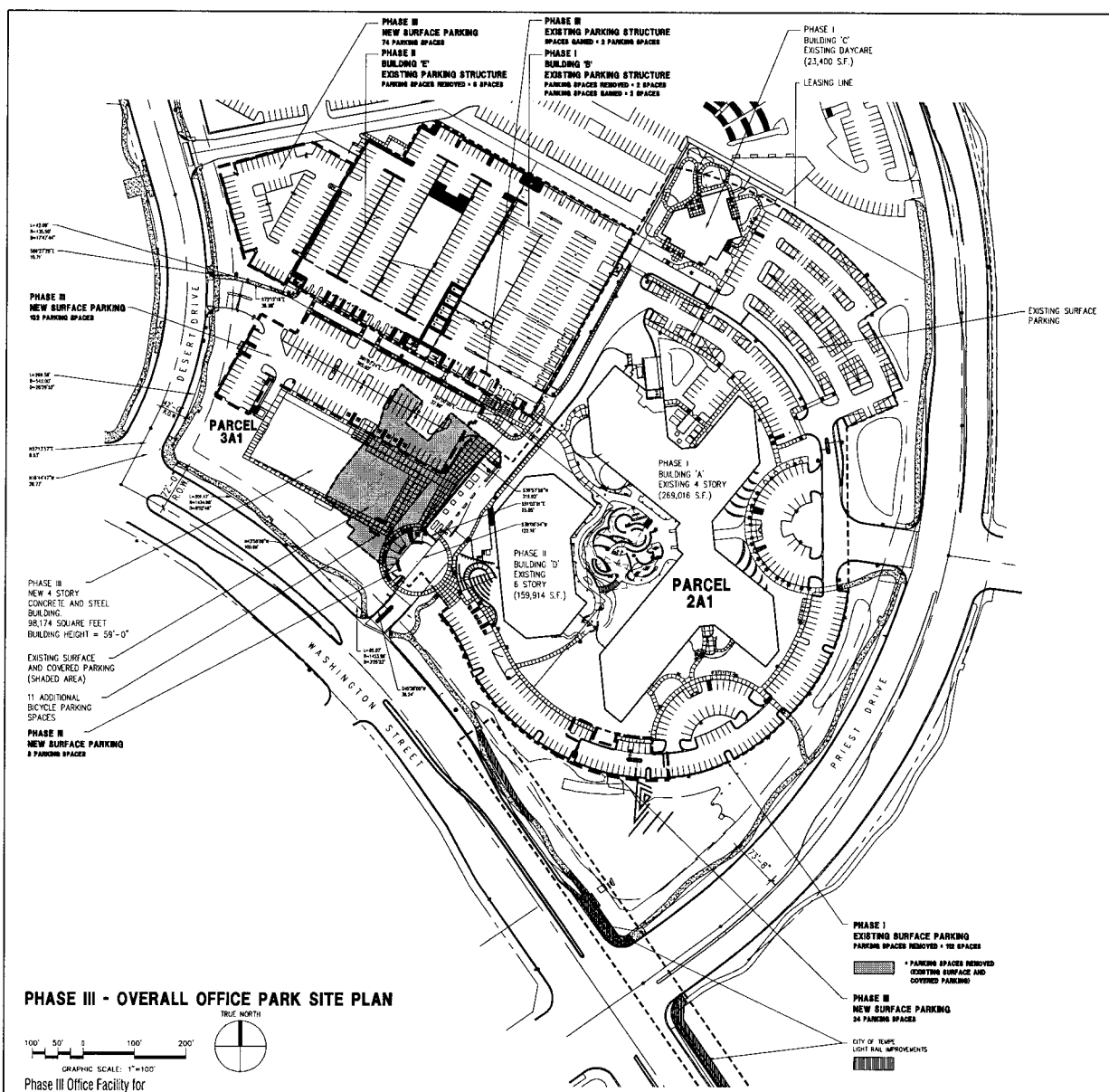
Aerial Map



To Whom It May Concern:

Family Fitness Forum is a fitness center located in Papago Buttes Corporate Plaza. The fitness center is opened 24/7 and cost \$25 month-to-month. It not only provides the tenants a way to exercise but also the surrounding businesses. The fitness center is operated by the owner (Daniel Galaz) and has no other employees. The fitness center would also like to offer chair and table massages by licensed massage therapist. This will be a charge on its own and not included in the fitness center membership fee. Patrons can enjoy a relaxing moment throughout the day by scheduling during what time fits their schedule. Besides, massage has many benefits and would be an asset to the community.

Fortunately, there will be no potential impacts to adjacent properties or nuisances arising. The Fitness center has already been around and remodeled since 1994. Therefore, the development plan will conform to the all the standards and zoning and development code criteria in section 6-308E. During this time it has only enlighten and enhanced the property/area by giving an option to receive a massage.



PROJECT DATA:
ZONING: PAPAGO PARK CENTER P.A.D. TRACT B-1 (LIGHT INDUSTRIAL, 1-1)

BUILDING CONSTRUCTION TYPE:

EXISTING OFFICE/GARAGE (PHASE I)	TYPE I F.A. (SPRINKLERED)	897	27
EXISTING OFFICE/GARAGE (PHASE II)	TYPE I F.A. (SPRINKLERED)	78	8
NEW OFFICE/RETAIL (PHASE II)	TYPE II F.A. (SPRINKLERED)	1508	51
EXISTING DAYCARE (PHASE I)	TYPE V-N (SPRINKLERED)		
EXISTING CANOPES	TYPE R ONE HOUR		

OCCUPANCY:

B	PHASE I (OFFICE WITH AUXILIARY FOOD SERVICE (A-3))		
E-3	PHASE I (DAYCARE)		
B	PHASE II (OFFICE)		
B	PHASE III (NEW OFFICE)		
A 21	EXISTING COURTYARD TERRACES		

SITE AREAS:

PHASE I	1753,152 S.F.	117.39 ACRES
PHASE I AND II	1976,506 S.F.	122.46 ACRES
PHASE I, II, AND III	1976,506 S.F.	122.46 ACRES

BUILDING AREAS CONSTRUCTION:

	NET AND GROSS	BUGS/FIRST FLOOR	COVERAGE
PHASE I	1292,416 S.F./82,565 S.F.		111.0%
PHASE I & II	1452,330 S.F./111,204 S.F.		111.4%
PHASE I, II, & III	1550,504 S.F./133,081 S.F.		113.7%

PARKING AREAS:

PHASE I & PHASE II		RE: BA-970178
CITY REQUIRED	AUTO	BICYCLE
OFFICE = 259,016 S.F. (1/300 @ 1/10000)	897	27
DAYCARE = 23,400 S.F. (1/300 @ 1/3000)	78	8
OFFICE = 159,914 S.F. (1/300 @ 1/10000)	533	16
TOTAL (PHASE I & PHASE II)	1508	51

PHASE III

CITY REQUIRED	AUTO	RE: BA-970178
OFFICE = 94,368 (1/300 @ 1/10000)	315	9
RETAIL = 3,906 S.F. (1/300 @ 1/10000)	13	2 (MIN.)
TOTAL (PHASE III)	328	11

PHASE I, PHASE II & PHASE III

TOTAL	1836	62
TOTAL PROVIDED	AUTO	RE: BA-970178
PHASE I & PHASE II (EXISTING)	2713	104
PHASE I & PHASE II (REMOVED)	-120	0
PHASE I & PHASE II (TOTAL)	2093	104
PHASE III	240	11
TOTAL	2333	125

LANDSCAPE AREAS:

	CITY REQUIRED	PROVIDED
PHASE I & II	197,836 S.F.	1,362,862 S.F. (135%)
PHASE I, II, & III	197,836 S.F.	1,425,730 S.F. (145%)

PHASE III - OVERALL OFFICE PARK SITE PLAN

TRUE NORTH

GRAPHIC SCALE: 1"=100'

0 50' 100' 200'

Phase III Office Facility for
METRO COMMERCIAL PROPERTIES
 Papago Buttes Corporate Plaza Phase III
 1250 WASHINGTON STREET, TEMPE, ARIZONA 85072

DS051056 SPD-2005.90 REC05057

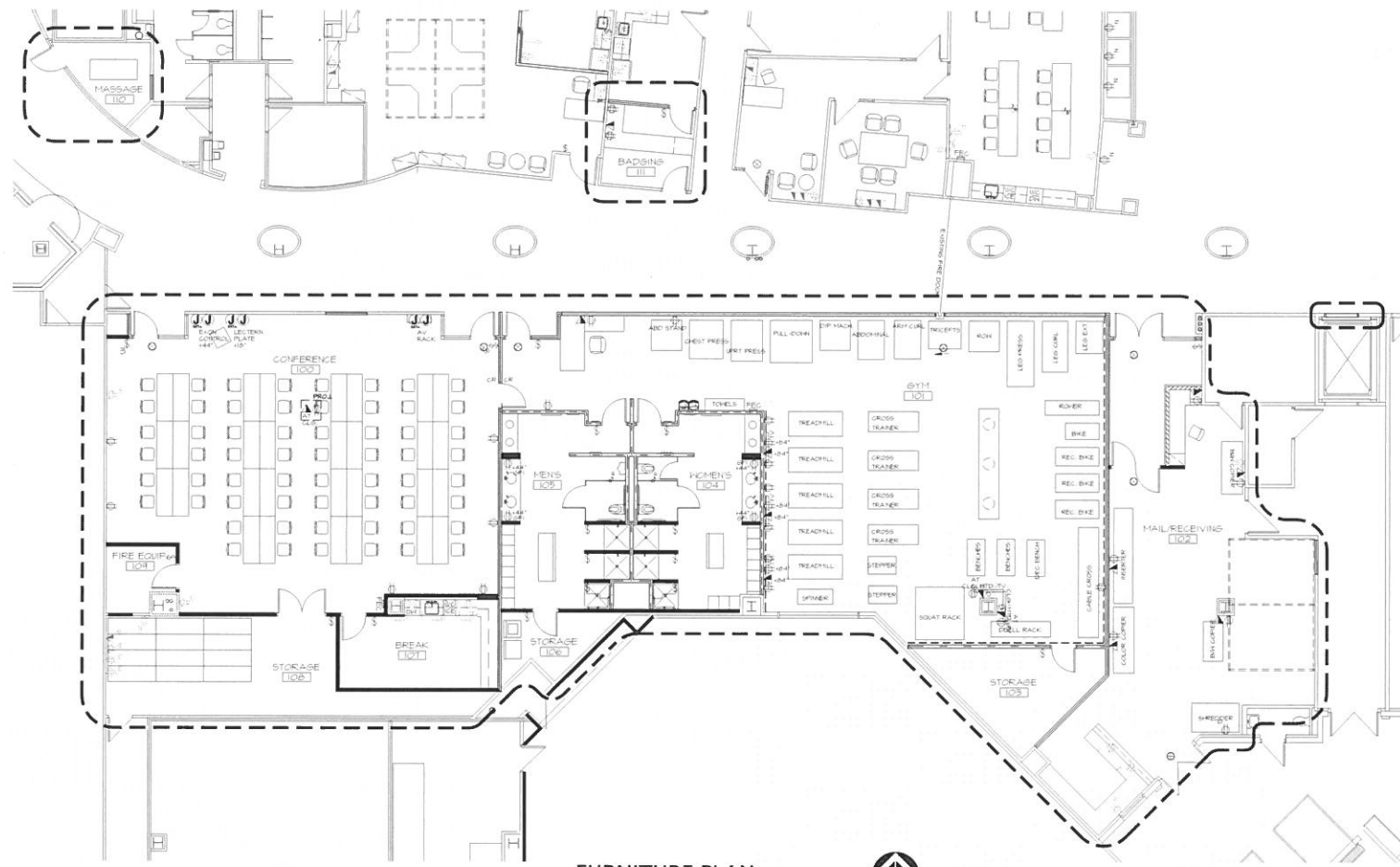
SHEET 4 OF 5

SMITHGROUP
 architecture engineering interiors planning

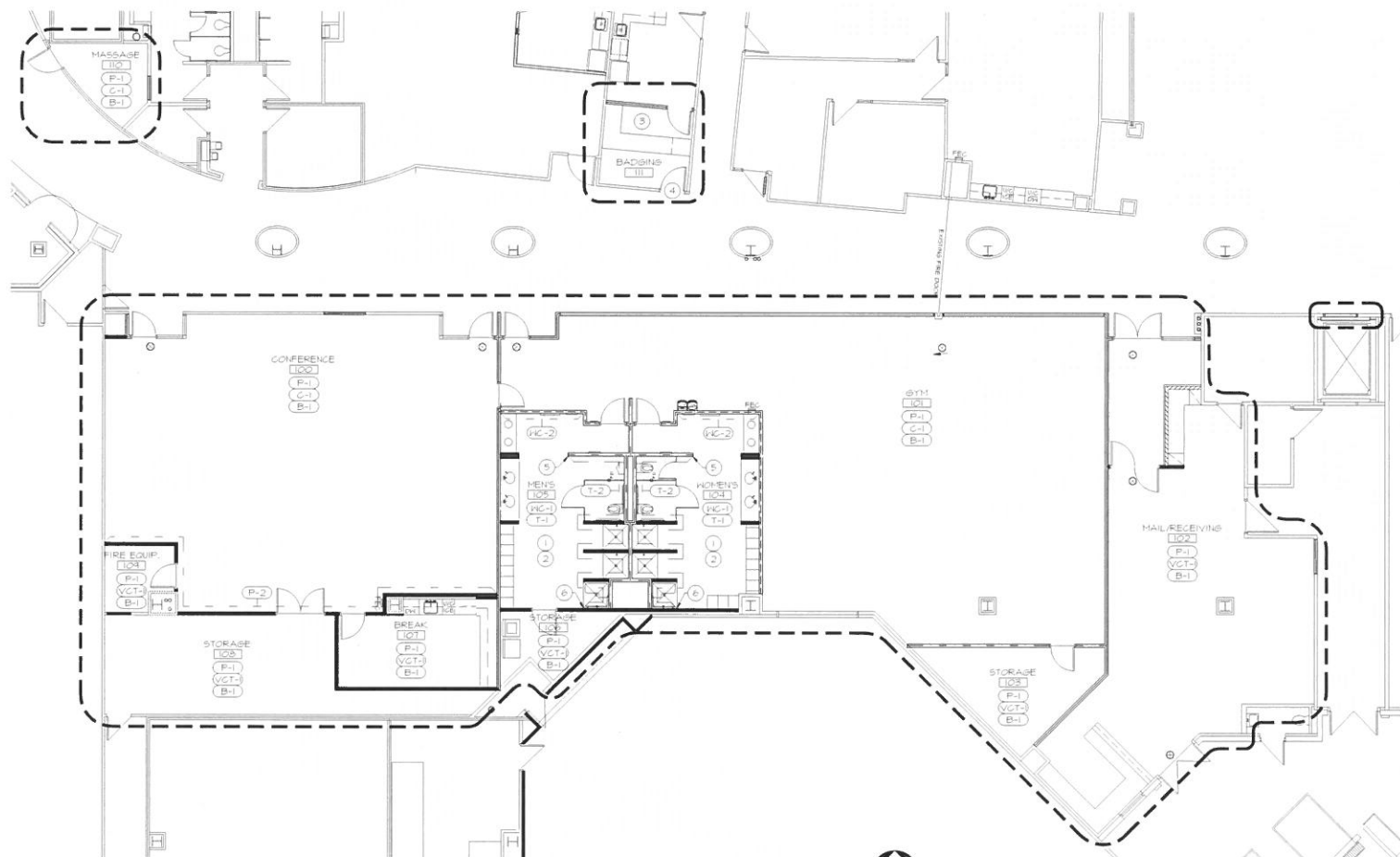
SMITHGROUP, INC.
 455 NORTH THIRD STREET
 SUITE 250
 PHOENIX, ARIZONA 85004
 T 602.265.2200
 F 602.265.2244
 www.smithgroup.com

ISSUED FOR DATE
PAD REVISION 2/16/2005
NO. 16

SPD 2005.90



FURNITURE PLAN
SCALE: 1/8"=1'-0"
NORTH



FINISH PLAN
SCALE: 1/8"=1'-0"
NORTH

GENERAL NOTES

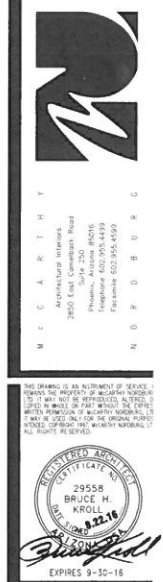
- *ALL INTERIOR FLOOR FINISHES TO COMPLY WITH CLASS I REQUIREMENTS IN ACCORDANCE WITH 2002 IBC SECTION 804 "INTERIOR FLOOR FINISH".
- *INTERIOR WALL AND CEILING FINISH TO COMPLY WITH TABLE 805.4 (B) OCCUPANCY - SPRINKLED (R) (UNSM) EXIT STAIRS AND EXIT PASSAGEWAYS - CLASS B. CORRIDORS AND ENCLOSED ROOMS - CLASS C. CLASS B: FLAME SPREAD INDEX: 20 TO 75, SMOKE DEVELOPED INDEX: 0-450. CLASS C: FLAME SPREAD INDEX: 70-200, SMOKE DEVELOPED INDEX: 0-450.
- GENERAL CONTRACTOR TO TEST CONCRETE SLAB FOR MOISTURE CONTENT PRIOR TO FLOOR FINISH MATERIAL INSTALLATION. PROVIDE TYPICAL CONCRETE SEALER TO TREAT MOISTURE LEVEL IN ORDER TO MEET MANUFACTURER'S MOISTURE LEVEL FOR SPECIFIED FINISH MATERIAL. CONSTRUCTION BUDGET TO INCLUDE COST ESTIMATE FOR SEALER AND INSTALLATION.
- CONTRACTOR SHALL LEVEL EXISTING FLOORINGS AS REQUIRED TO INSTALL NEW FLOORING MATERIALS THIS PREVENTING NOTICEABLE LIPS OR DEPRESSIONS WHICH MAY CAUSE UNUSUAL WEAR TO NEW MATERIALS. ALL FLOORING TRANSITIONS TO OCCUR BENEATH CENTER-LINE OF DOOR.
- PROVIDE RUBBER TRANSITION STRIPS AT ALL VCT/CARPET & CARPET/RUBBER FLOORING TRANSITIONS. COLOR TO MATCH RUBBER BASE. REFER TO DETAIL 1014.0.
- PROVIDE RUBBER REDUCER STRIP AT ALL TILE/VCT & TILE/RUBBER FLOORING TRANSITIONS. COLOR TO MATCH RUBBER BASE. REFER TO DETAIL 1014.0.
- PROVIDE 1/4" METAL TRANSITION STRIP AT ALL TILE/CARPET AND TILE CONCRETE TRANSITIONS. REFER TO DETAIL 1014.0.
- PROVIDE CARPET SEAMING DIAGRAM FOR ARCHITECT'S REVIEW AND APPROVAL.
- TILE AND GROUT TO BE SEALED AT ALL AREAS.
- ALL CARPET SHALL BE INSTALLED PER MANUFACTURER INSTALLATION SPECIFICATIONS/INSTRUCTION REGARDING ADHESIVES AND SEAM SEALERS. NO SUBSTITUTIONS SHALL BE ALLOWED.
- PROVIDE (1) COAT PRIMER AND (2) COATS OF PAINT. PAINT QUALITY IS HIGHEST QUALITY PREMIUM FIRST LINE ARCHITECTURAL SERIES. PROVIDE EGGSHELL SATIN FINISH TYPICAL UNO. PROVIDE FLAT FINISH AT ALL GYPSUM BOARD SOFFITS/CEILING.
- RECOMMENDED PAINT SPECIFICATIONS:
SHERWIN WILLIAMS: PRIMER: PRIBOND PRIME PLUS PAINT: PROMAR 200 2 VOC EG-SHELL
BENJAMIN MOORE: PRIMER: ULTRA SPEC 500 INT LATEX PRIMER (554)
PAINT: ULTRA SPEC 500 INT EGGSHELL FINISH (558)
DUN EDWARDS: PRIMER: VINYLASTIC PREMIUM (VNFROO)
PAINT: SUPREMA INTERIOR EGGSHELL PAINT, ULTRA LOW VOC (SPH30)
NOTE: ALL PAINT AND PRIMER SUBMITTALS TO INCLUDE COPIES OF MANUFACTURER PRODUCT DATA SHEETS.
- PROVIDE (P-1) FINISH THROUGHOUT UNO.
- PROVIDE (P-2) FINISH THROUGHOUT UNO.
- PROVIDE (P-3) THROUGHOUT UNO.
- FOR RUBBER BASE INSTALLATIONS, PROVIDE CONTINUOUS ROLL PRODUCT. PROVIDE STRAIGHT BASE AT ALL CARPET LOCATIONS AND COVE BASE AT ALL HARD SURFACE FLOORING LOCATIONS. PROVIDE PER CORNER TRIM PIECES.
- ALL COVER PLATES, SWITCH PLATES, DEVICE PLATES, ETC. TO BE WHITE WITH WHITE OUTLET/SWITCHES UNO.
- ELECTRICAL COVER PLATES, SURFACE HARDWARE, ETC. AND SHALL BE INSTALLED AFTER PAINTING AND/OR APPLICATION OF WALL COVERINGS.
- ALL LINEAR DIFFUSERS TO BE PAINTED TO MATCH CEILING/SOFFIT FINISH.
- VERIFY CONDITION BY HCN PRIOR TO WORK FOR APPROVAL. ALL HOOD BACKINGS AND BLOCKING AT MILLHOOK TO BE FIRE TREATED.
- SCRIBE ALL MILLHOOK WHERE APPLICABLE.
- MELAMINE MILLHOOK INTERIOR TO BE WHITE UNO.
- ALL CABINET DOORS TO BE FLUSH OVERLAY DESIGN UNO.
- CABINET DOORS TO HAVE CONCEALED EUROPEAN SELF-CLOSING HINGES UNO.
- ALL DRAWERS TO HAVE MEDIUM-DUTY GRANT SLIDES (SEE SPECIFICATIONS).
- ALL MILLHOOK DESIGNATED AS "PAINT GRADE" SHALL BE PAINTED THROUGHOUT, INCLUDING INTERIORS AND SHELVES UNO. PAINT ALL SUCH ACCORDING TO SPECIFIED FINISHES.
- ALL WOOD SHELVING, CABINETS (INTERIOR AND EXTERIOR), ELECTRICAL AND TELEPHONE FREE-PRIMED METAL SHELVING STANDARDS AND BRACKETS SHALL BE SHOP PAINTED IN SATIN ENAMEL, ACCORDING TO SPECIFICATIONS TO MATCH ADJACENT FINISHES UNO.
- GENERAL CONTRACTOR SHALL VERIFY THAT ALL FIELD CONDITIONS FOR MATERIAL AND FINISH RELATIONSHIPS ARE HARMONIOUS TO THIS PLAN. SHOULD CONFLICTS ARISE, ARCHITECT SHALL BE CONTACTED FOR CLARIFICATIONS.
- NO PAINT OR INTERIOR FINISHING SHALL BE DONE UNDER CONDITIONS WHICH JEOPARDIZE THE QUALITY OR APPEARANCE OF SUCH WORK. ALL WORKMANSHIP FINISH IS ADDED TO BE LESS THAN FIRST QUALITY BY MCCARTHY NORDBERG WILL BE REJECTED.
- GENERAL CONTRACTOR SHALL SUBMIT SAMPLES OF EACH FINISH TO ARCHITECT ACCORDING TO THE SPECIFICATION FOR APPROVAL. FINISH SAMPLES SHALL BE APPLIED TO THE SAME MATERIAL AS IT OCCURS IN THE FIELD. THE GENERAL CONTRACTOR SHALL SUBMIT, ALONG WITH THE FINISH SAMPLES, EVIDENCE OF COMPLIANCE WITH FIRE AND BUILDING CODES AND REGULATIONS WITH RESPECT TO FLAME SPREAD, SMOKE AND SO FORTH.
- GENERAL CONTRACTOR SHALL PROVIDE ARCHITECT WITH MINIMUM OF (2) 8"X10" BRUSH-SWIPS OF EACH COLOR, FINISH AND PAINT/PRIMER SPECIFICATION FOR APPROVAL. AT LEAST 2 WEEKS PRIOR TO SITE APPLICATION, WALL TEST SHALL BE REQUIRED ONE WEEK PRIOR TO FINAL APPROVAL. ARCHITECT RESERVES THE RIGHT TO ADJUST ANY COLOR OR FINISH ONCE THE WALL TEST HAS BEEN MADE.
- FABRICATE CABINETWORK ITEMS IN ACCORDANCE WITH RECOMMENDATIONS OR QUALITY STANDARDS OF ARCHITECTURAL WOODWORK INSTITUTE (AWI). ALL MILLHOOK CONSTRUCTION AND FINISH TO CONFORM TO THE AWI, "PREMIUM GRADE" QUALITY. STANDARDS UNLESS NOTED OTHERWISE.
- WOOD SAMPLES TO BE SUBMITTED WITH PROPER SPECIFIED SPECIES, STAIN AND FINISH.
- PROVIDE (2) SETS OF SHOP DRAWINGS FOR ALL MILLHOOK AND CUSTOM DETAILS TO MCCARTHY NORDBERG FOR APPROVAL PRIOR TO FABRICATION. DRAWINGS TO INDICATE MATERIALS, WOOD SPECIES, COMPONENT PROFILES, FASTENERS, JOINTING DETAILS, FINISHES AND ACCESSORIES TO LARGE SCALE.
- WARRANTY FOR ALL MILLHOOK AND CUSTOM DETAILS TO BE SUBMITTED AND SHALL PROVIDE FOR MAKING GOOD OR REPLACING AT NO COST TO OWNER. ITEMS SPECIFIED HEREIN WHICH EXHIBIT DEFECTS IN MATERIAL AND WORKMANSHIP WITHIN A MINIMUM PERIOD OF ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION.
- GENERAL CONTRACTOR, UPON COMPLETION, SHALL REMOVE ALL PAINT FROM WHERE IT HAS SPILLED, SPLASHED, OR SPLATTERED ON EXPOSED ADJACENT SURFACES.
- GENERAL CONTRACTOR SHALL EXAMINE ALL FINISH SURFACES AFTER COMPLETION OF WORK, INCLUDING TELEPHONE/DATA INSTALLATION, CARPET FURNITURE INSTALLATION AND MOVE-IN AND PROCEED WITH TOUCHUPS AS REQUIRED.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALLOWING FOR DELIVERY LEAD TIMES FOR ALL FABRICS, CUSTOM FINISHES, LIGHTING, ETC., WITHIN THE CONSTRUCTION SCHEDULE. ALL DELIVERY TIMES MUST BE CONFIRMED, AND ANY EXCESSIVE LENGTHS MUST BE COMMUNICATED TO ARCHITECT IMMEDIATELY TO ALLOW FOR RE-SPECIFICATION IF NEEDED.

KEY NOTES

- REFER TO ENLARGED FINISH PLAN 10410.0 FOR FLOOR TILE PATTERN.
- PROVIDE SPLITTER DILEX EHC COVE-SHAPED TRIM IN STAINLESS STEEL AT ALL FLOOR TO BASE TRANSITIONS THIS ROOM. REFER TO DETAIL 1014.0.
- EXISTING FLOORINGS AND BASE TO REMAIN THIS ROOM. TOUCH UP PAINT AS REQUIRED DUE TO NEW DOOR LOCATIONS.
- PATCH AND REPAIR EXISTING CORRIDOR FINISHES AT NEW DOOR LOCATION.
- PROVIDE (T-3) BILLNOSE EDGE THIS CORNER. STOP BILLNOSE TILE 1" SHORT OF EDGE OF DRYWALL ON TILED HALL SIDE.
- PROVIDE (T-3) BILLNOSE EDGE THIS EDGE OF SHOWER.
- EXTEND (T-1) INTO SHOWER STALLS. PROVIDE LIP AT ENTRY AT NON-ADA STALLS. CUT AND SLOPE AS REQUIRED FOR DRAIN.

FINISH LEGEND

WALL FINISHES:	FLOOR FINISHES:	BASE MATERIAL:
(P-1) PAINT (FIELD) MANF: SHERWIN WILLIAMS COLOR: SW 7015 GRAY SCREEN	(WC-3) WALLCOVERING MANF: TRIKES STYLE: MORE WOODS COLOR: BLACK LOGST 5WS-82 *INSTALL ALL WALLCOVERING PER MFR INSTRUCTIONS. PROVIDE MFR RECOMMENDED ADHESIVE.	(T-3) PORCELAIN TILE (BILLNOSE) MANF: RABNO USA STYLE: BOARDWALK COLOR: GR A34C SIZE: 8"X8" GROUT: GPF #122 LITEN
(P-2) PAINT (ACCENT) MANF: SHERWIN WILLIAMS COLOR: SW 7015 NETWORK GRAY	(F-1) CARPET TILE MANF: KINETEX STYLE: IBERA STRIPE (S20) COLOR: T84 SHADOW STRIPE CONTACT: DAWN IVES 480.255.1407	(T-4) PORCELAIN TILE (ACCENT WALL/FLOOR) MANF: RABNO USA STYLE: BOARDWALK COLOR: GR SIZE: 17"X17" (MOSAIC) GROUT: GPF #122 LITEN (WALLS) GPF #09 NATURAL GRAY (FLOOR)
(P-3) PAINT (TOILET PARTITIONS & SS. DOORS) MANF: MDC STYLE: LIOVAPEARL COLOR: LP22H FINISH: PEARL COAT PROTECTOR (GLOSS AT TOILET PARTITIONS, SATIN AT DOORS/FRAHES) CONTACT: DAWN IVES 480.255.1407	(VCT-1) VINYL COMPOSITION TILE SIZE: 12" X 12" MANF: ARHSTRONG STYLE: STANDARD E-EGLOON COLOR: 51404 STERLING	(B-1) RUBBER BASE (CONTINUOUS ROLL) MANF: JOHNSONITE COLOR: 40 BLACK
(P-4) PAINT (BR. CEILING) MANF: MDC STYLE: CERAMIC COLOR: (SPRINK) CONTACT: DAWN IVES 480.255.1407	(WC-2) WALLCOVERING MANF: KOROSEAL STYLE: BANTU COLOR: SILVER LVB-BTH-8	(M-1) ELASTIC LAMINATE (DEEPER BASE) MANF: FORMICA STYLE: NATURAL STRAIN 64TT-16
(P-5) PAINT (GYM CEILING) MANF: SHERWIN WILLIAMS COLOR: SW 1064 RICH ORE	(WC-1) WALLCOVERING MANF: KOROSEAL STYLE: BANTU COLOR: SILVER LVB-BTH-8	(M-2) ELASTIC LAMINATE (COUNTERTOP) MANF: FORMICA STYLE: PALOMA POLAR 6648-58
	(WC-2) WALLCOVERING MANF: KOROSEAL STYLE: TREASURE COLOR: VALLT T524-14	(M-3) SOLID SURFACE MANF: AVONITE STYLE: NORDIC FINISH (SATIN)
	(T-2) PORCELAIN TILE (WALLS) MANF: RABNO USA STYLE: BOARDWALK COLOR: GR A34C SIZE: 20"X20" GROUT: GPF #122 LITEN	

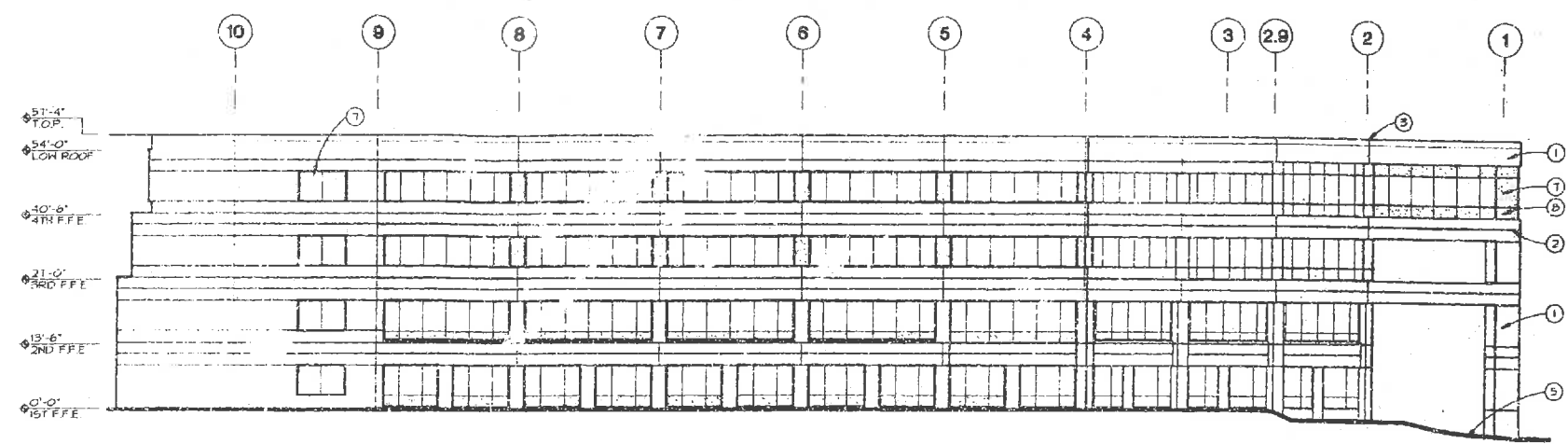


PAPAGO BUTTES I
1500 N. Priest Dr.
Tempe, Arizona
CONFERENCE & FITNESS CENTER

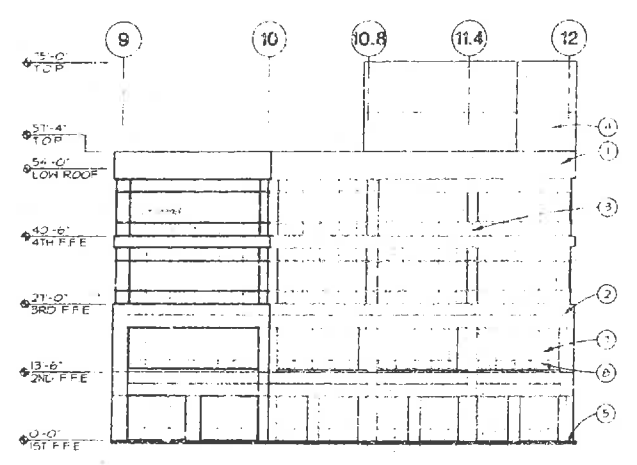
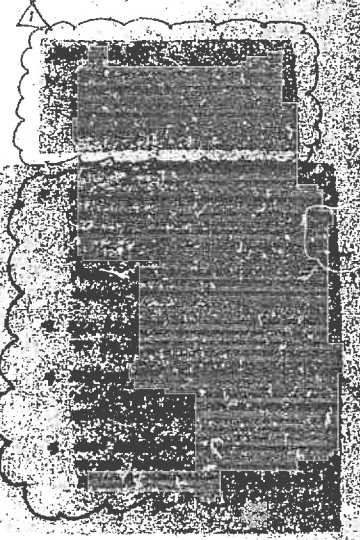
REVISIONS

CT	DRAWN
BC	CHECKED
8.22.16	DATE
1/8"=1'-0"	SCALE
1154.14	JOB NO.
FURNITURE/FINISH PLAN	
IA4.0	
PAPAGO BUTTES CONF. & FITNESS CENTER	

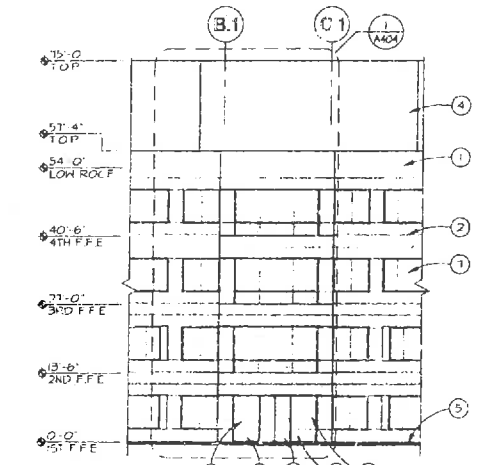
- 1. INTEGRAL COLORED PRECAST CONCRETE PANEL
- 2. REVEAL - SEE DETAIL 17.2.0
- 3. PANEL JOINT - SEE DETAIL 17.2.0
- 4. MECHANICAL CURTAIN WALL SYSTEM'S FINISH SYSTEM PAINTED TO MATCH PRECAST PANEL
- 5. FINISHED GRADE
- 6. EXPANSION JOINT
- 7. 1" INSULATED REFLECTIVE VISION GLASS
- 8. SPANDREL GLASS
- 9. TEMP. GLASS
- 10. TEMP. GLASS DOORS
- 11. ALUM. STORE FRONT DOOR
- 12. 1" WELL NON-REFLECTIVE GLASS
- 13. 12" HIGH ADDRESS NUMBERS, TO BE SUBMITTED SEPARATELY WITH GRAPHIC PACKAGE FOR SIGNAGE APPROVAL



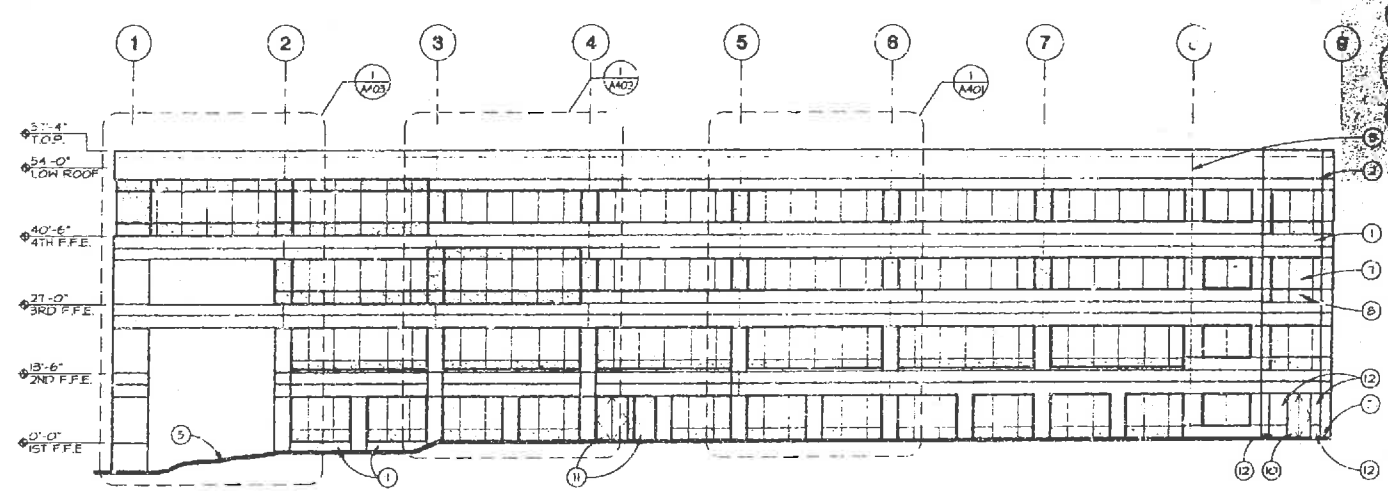
ELEVATION
SCALE: 1/16" = 1'-0"



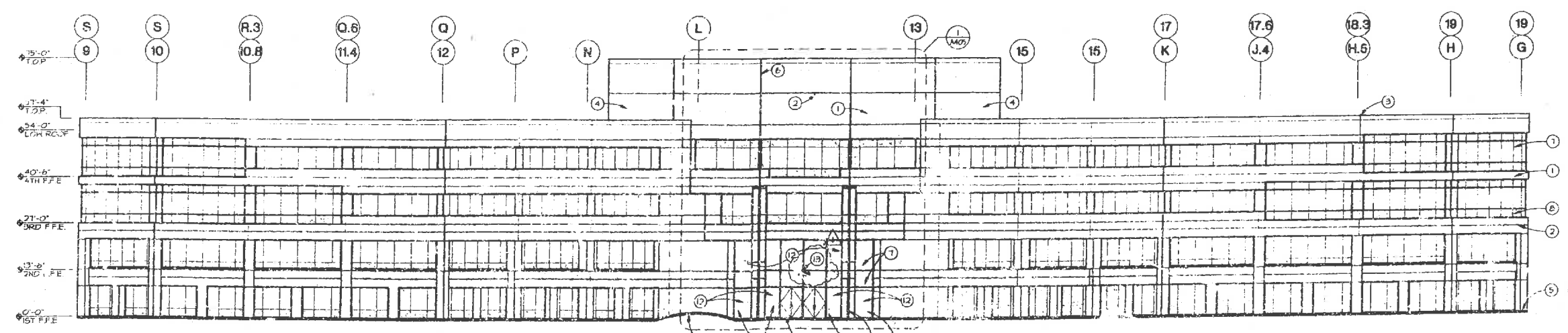
ELEVATION
SCALE: 1/16" = 1'-0"



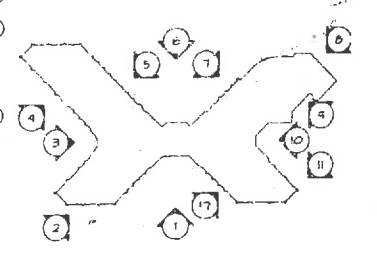
ELEVATION
SCALE: 1/16" = 1'-0"



ELEVATION
SCALE: 1/16" = 1'-0"



ELEVATION
SCALE: 1/16" = 1'-0"

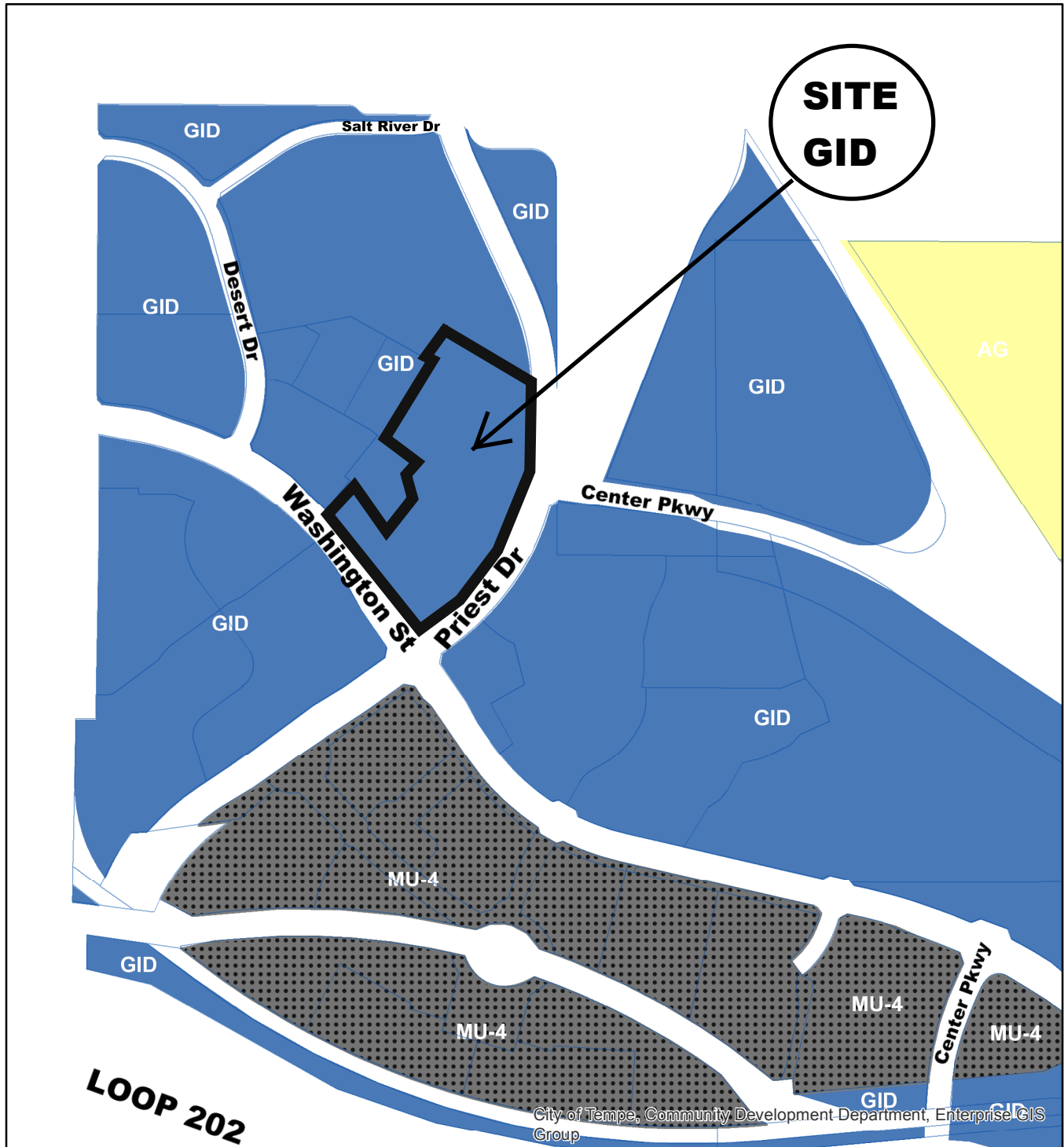







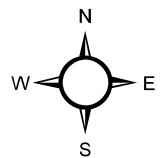
DEVELOPMENT PROJECT FILE
for
FAMILY FITNESS FORUM
PL190031

ATTACHMENTS:

1. Location Map
2. Aerial
3. Letter of Explanation
4. Site Plan
5. Floor Plan
6. Building Elevations



-  General Industrial District (GID)
-  Mixed Use High (MU-4)
-  Agricultural (AG)





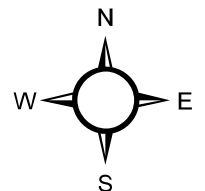
Tempe

PL 190031

Family Fitness Forum



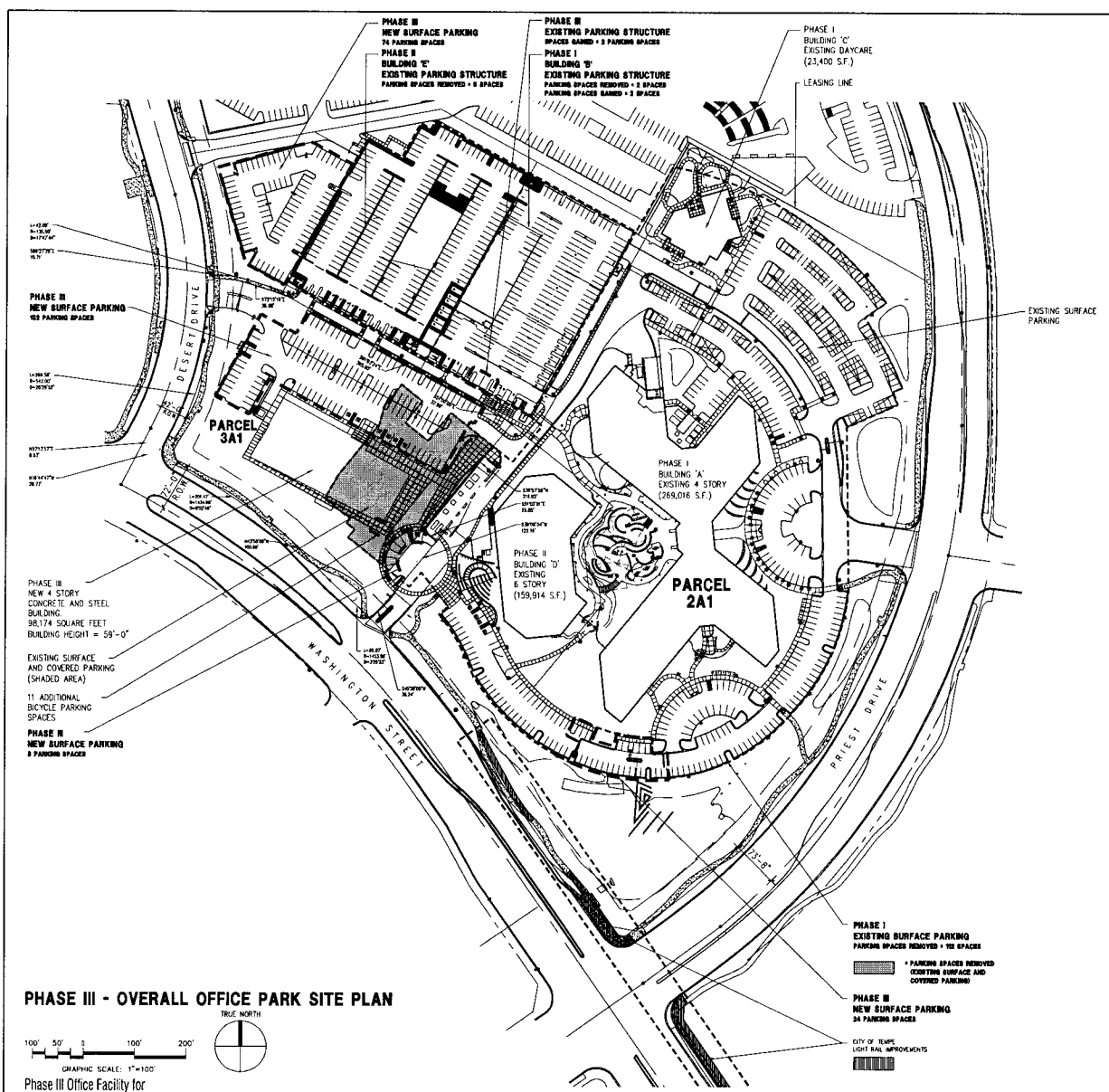
Aerial Map



To Whom It May Concern:

Family Fitness Forum is a fitness center located in Papago Buttes Corporate Plaza. The fitness center is opened 24/7 and cost \$25 month-to-month. It not only provides the tenants a way to exercise but also the surrounding businesses. The fitness center is operated by the owner (Daniel Galaz) and has no other employees. The fitness center would also like to offer chair and table massages by licensed massage therapist. This will be a charge on its own and not included in the fitness center membership fee. Patrons can enjoy a relaxing moment throughout the day by scheduling during what time fits their schedule. Besides, massage has many benefits and would be an asset to the community.

Fortunately, there will be no potential impacts to adjacent properties or nuisances arising. The Fitness center has already been around and remodeled since 1994. Therefore, the development plan will conform to the all the standards and zoning and development code criteria in section 6-308E. During this time it has only enlighten and enhanced the property/area by giving an option to receive a massage.



PROJECT DATA:
ZONING: PAPAGO PARK CENTER P.A.D. TRACT B-1 (LIGHT INDUSTRIAL, 1-1)

BUILDING CONSTRUCTION TYPE:

EXISTING OFFICE/GARAGE (PHASE I)	TYPE I F.A. (SPRINKLERED)
EXISTING OFFICE/GARAGE (PHASE II)	TYPE I F.A. (SPRINKLERED)
NEW OFFICE/RETAIL (PHASE III)	TYPE II F.A. (SPRINKLERED)
EXISTING DAYCARE (PHASE I)	TYPE V-N (SPRINKLERED)
EXISTING CANOPES	TYPE R ONE HOUR

OCCUPANCY:

B	PHASE I (OFFICE WITH AUXILIARY FOOD SERVICE (A-3))
E-3	PHASE I (DAYCARE)
B	PHASE II (OFFICE)
B	PHASE III (NEW OFFICE)
A 21	EXISTING COURTYARD TERRACES

SITE AREAS:

PHASE I	1,753,152 S.F.	117.39 ACRES
PHASE I AND II	1,976,506 S.F.	122.46 ACRES
PHASE I, II, AND III	1,976,506 S.F.	122.46 ACRES

BUILDING AREAS CONSTRUCTION:

NET AND GROSS	BLDG./FIRST FLOOR	COVERAGE
PHASE I	1,292,416 S.F./82,565 S.F.	111.0%
PHASE I & II	1,452,330 S.F./111,204 S.F.	111.4%
PHASE I, II, & III	1,550,504 S.F./133,081 S.F.	113.7%

PARKING AREAS:

PHASE I & PHASE II	CITY REQUIRED	AUTO	RECYCLE
OFFICE = 259,016 S.F. (1/300 @ 1/10000)		897	27
DAYCARE = 23,400 S.F. (1/300 @ 1/3000)		78	8
OFFICE = 159,914 S.F. (1/300 @ 1/10000)		533	16
TOTAL (PHASE I & PHASE II)		1508	51

PHASE III

PHASE III	CITY REQUIRED	AUTO	RECYCLE
OFFICE = 94,368 (1/300 @ 1/10000)		315	9
RETAIL = 3,205 S.F. (1/300 @ 1/10000)		13	2 (MIN.)
TOTAL (PHASE III)		328	11

PHASE I, PHASE II & PHASE III

TOTAL		1836	62
-------	--	------	----

TOTAL PROVIDED:

TOTAL PROVIDED	AUTO	RECYCLE
PHASE I & PHASE II (EXISTING)	2213	104
PHASE I & PHASE II (REMOVED)	-120	0
PHASE I & PHASE II (TOTAL)	2093	104
PHASE III	240	11
TOTAL	2333	115

LANDSCAPE AREAS:

PHASE I & II	PHASE I, II, & III	
CITY REQUIRED	PROVIDED	
PHASE I & II	1,972,836 S.F.	1,362,862 S.F. (135%)
PHASE I, II, & III	1,972,836 S.F.	1,425,730 S.F. (44%)

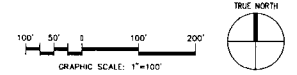
SHEET 4 OF 5

SMITHGROUP
 architecture engineering interiors planning

SMITHGROUP, INC.
 455 NORTH THIRD STREET
 SUITE 250
 PHOENIX, ARIZONA 85004
 T 602.265.2200
 F 602.265.2244
 www.smithgroup.com

ISSUED FOR: _____ DATE: _____
 PAD REVISION NO. 16 2/16/2008

PHASE III - OVERALL OFFICE PARK SITE PLAN

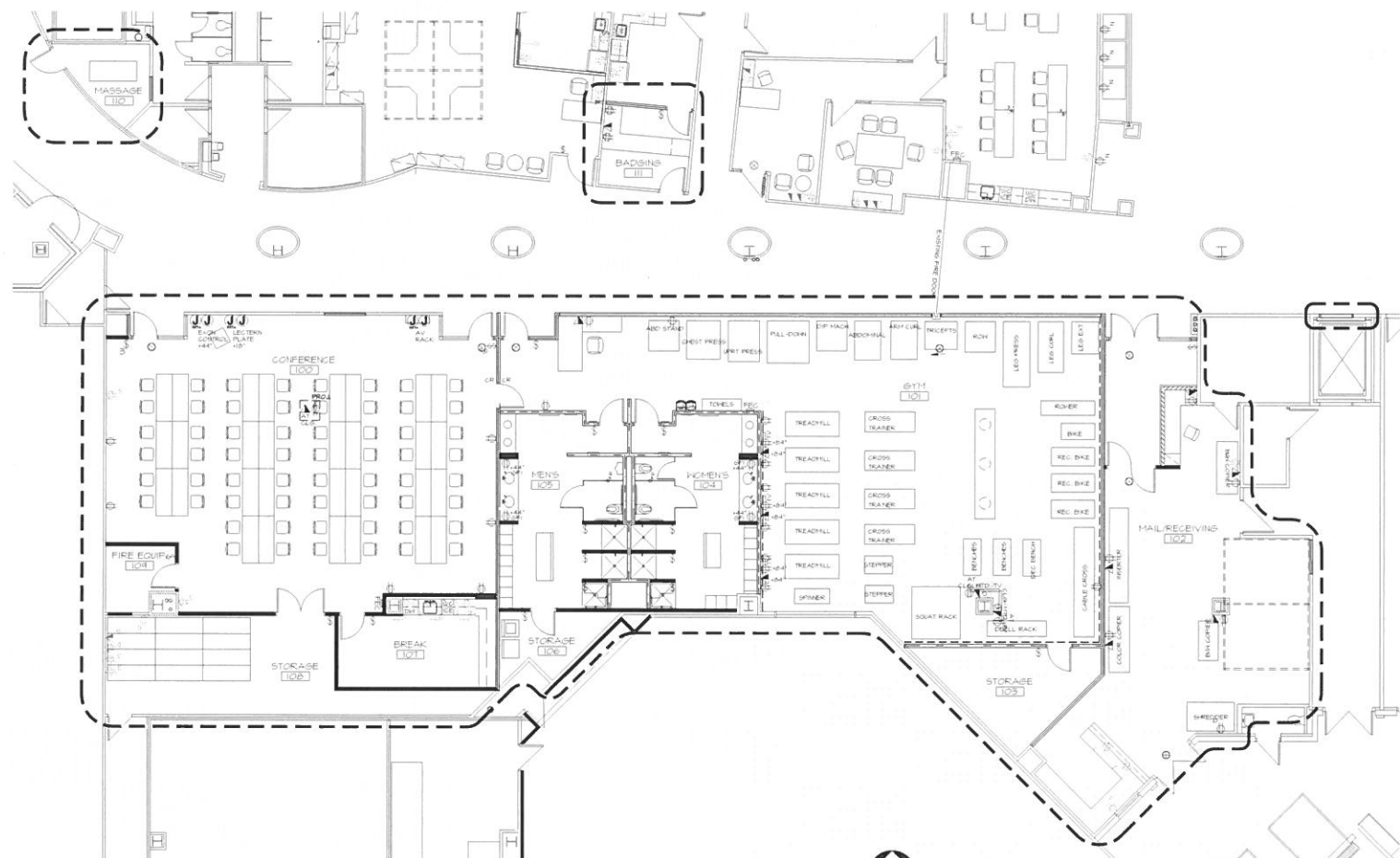


Phase III Office Facility for
METRO COMMERCIAL PROPERTIES

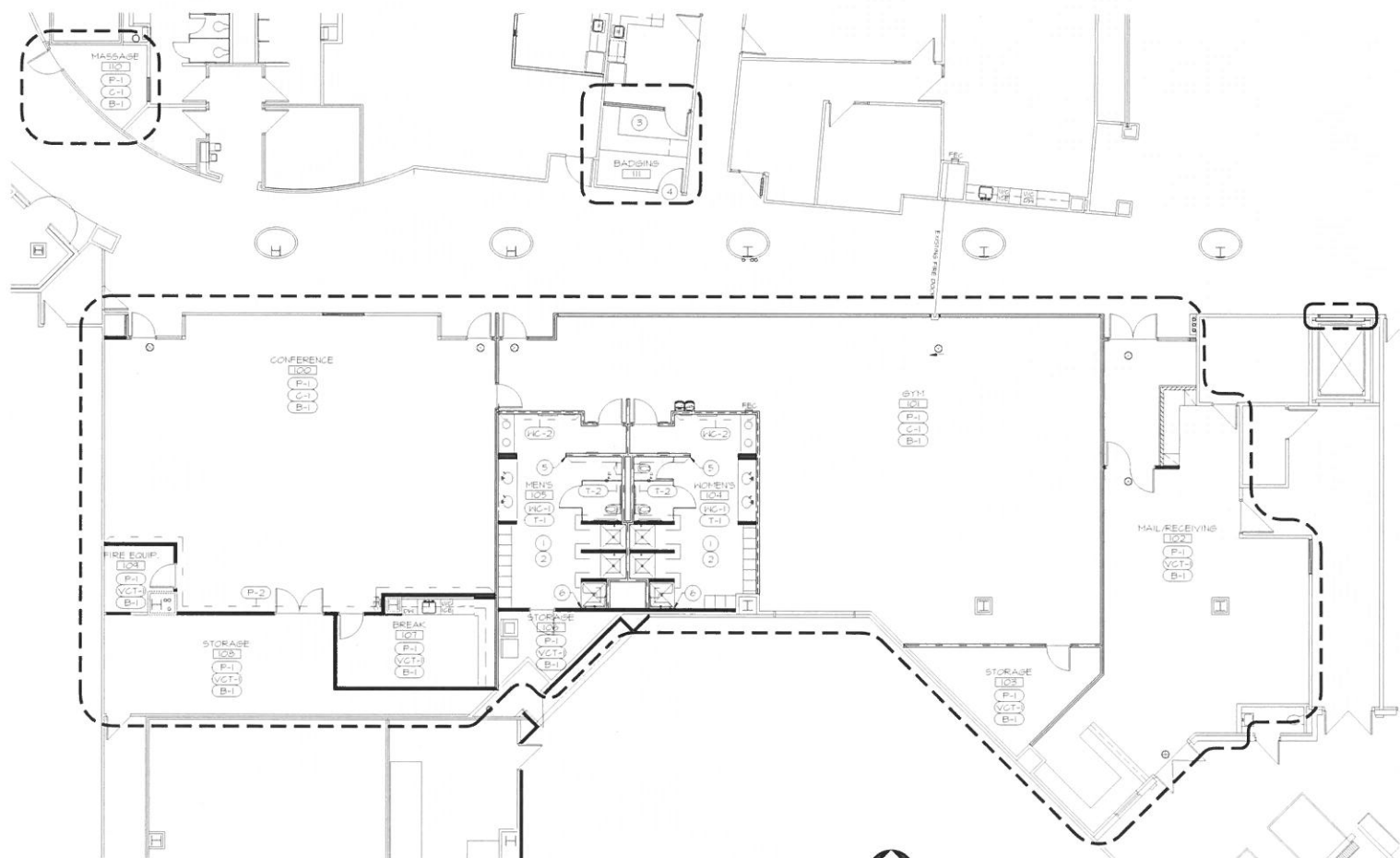
Papago Buttes Corporate Plaza Phase III
 1250 WASHINGTON STREET, TEMPE, ARIZONA 85072

DS051056 SPD-2005.90 REC05057

3/20/08 2:08 pm



FURNITURE PLAN
SCALE: 1/8"=1'-0"
NORTH



FINISH PLAN
SCALE: 1/8"=1'-0"
NORTH

GENERAL NOTES

- *ALL INTERIOR FLOOR FINISHES TO COMPLY WITH CLASS I REQUIREMENTS IN ACCORDANCE WITH 2002 IBC SECTION 804 "INTERIOR FLOOR FINISH".
- *INTERIOR WALL AND CEILING FINISH TO COMPLY WITH TABLE 805.4 (B) OCCUPANCY - SPRINKLERED (B) (GROUPS) EXIT STAIRS AND EXIT PASSAGEWAYS - CLASS B. CORRIDORS AND ENCLOSED ROOMS - CLASS C. CLASS B: FLAME SPREAD INDEX: 20 TO 75, SMOKE DEVELOPED INDEX: 0-45. CLASS C: FLAME SPREAD INDEX: 70-200, SMOKE DEVELOPED INDEX: 0-45.
- GENERAL CONTRACTOR TO TEST CONCRETE SLAB FOR MOISTURE CONTENT PRIOR TO FLOOR FINISH MATERIAL INSTALLATION. PROVIDE TYPICAL CONCRETE SEALER TO TREAT MOISTURE LEVEL IN ORDER TO MEET MANUFACTURER'S MOISTURE LEVEL FOR SPECIFIED FINISH MATERIAL. CONSTRUCTION BUDGET TO INCLUDE COST ESTIMATE FOR SEALER AND INSTALLATION.
- CONTRACTOR SHALL LEVEL EXISTING FLOORINGS AS REQUIRED TO INSTALL NEW FLOORING MATERIALS THIS PREVENTING NOTICEABLE LIPS OR DEPRESSIONS WHICH MAY CAUSE UNUSUAL WEAR TO NEW MATERIALS. ALL FLOORING TRANSITIONS TO OCCUR BENEATH CENTER-LINE OF DOOR.
- PROVIDE RUBBER TRANSITION STRIPS AT ALL VCT/CARPET & CARPET/RUBBER FLOORING TRANSITIONS. COLOR TO MATCH RUBBER BASE. REFER TO DETAIL 171A.03.
- PROVIDE RUBBER REDUCER STRIP AT ALL TILE/VCT & TILE/RUBBER FLOORING TRANSITIONS. COLOR TO MATCH RUBBER BASE. REFER TO DETAIL 171A.03.
- PROVIDE METAL TRANSITION STRIP AT ALL TILE/CARPET AND TILE CONCRETE TRANSITIONS. REFER TO DETAIL 171A.03.
- PROVIDE CARPET SEAMING DIAGRAM FOR ARCHITECT'S REVIEW AND APPROVAL.
- TILE AND GROUT TO BE SEALED AT ALL AREAS.
- ALL CARPET SHALL BE INSTALLED PER MANUFACTURER INSTALLATION SPECIFICATIONS/INSTRUCTION REGARDING ADHESIVES AND SEAM SEALERS. NO SUBSTITUTIONS SHALL BE ALLOWED.
- PROVIDE (1) COAT PRIMER AND (2) COATS OF PAINT. PAINT QUALITY IS HIGHEST QUALITY PREMIUM FIRST LINE ARCHITECTURAL SERIES. PROVIDE EGGSHELL SATIN FINISH TYPICAL UNO. PROVIDE FLAT FINISH AT ALL GYPSUM BOARD SOFFITS/CEILING.
- RECOMMENDED PAINT SPECIFICATIONS:
SHERWIN WILLIAMS: PRIMER: PRIBOND PRIME PLUS PAINT: PROHAR 200 2 VOC EG-SHELL
BENJAMIN MOORE: PRIMER: ULTRA SPEC 500 INT LATEX PRIMER (554)
PAINT: ULTRA SPEC 500 INT EGGSHELL FINISH (558)
DUN EDWARDS: PRIMER: VINYLASTIC PREMIUM (VNFROO)
PAINT: SUPREMA INTERIOR EGGSHELL PAINT, ULTRA LOW VOC (SPH30)
NOTE: ALL PAINT AND PRIMER SUBMITTALS TO INCLUDE COPIES OF MANUFACTURER PRODUCT DATA SHEETS.
- PROVIDE (P-1) FINISH THROUGHOUT UNO.
- PROVIDE (P-2) FINISH THROUGHOUT UNO.
- PROVIDE (P-3) THROUGHOUT UNO.
- FOR RUBBER BASE INSTALLATIONS, PROVIDE CONTINUOUS ROLL PRODUCT. PROVIDE STRAIGHT BASE AT ALL CARPET LOCATIONS AND COVE BASE AT ALL HARD SURFACE FLOORING LOCATIONS. PROVIDE PER CORNER TRIM PIECES.
- ALL COVER PLATES, SWITCH PLATES, DEVICE PLATES, ETC. TO BE WHITE WITH WHITE OUTLET/SWITCHES UNO.
- ELECTRICAL COVER PLATES, SURFACE HARDWARE, ETC. AND SHALL BE INSTALLED AFTER PAINTING AND/OR APPLICATION OF WALL COVERINGS.
- ALL LINEAR DIFFUSERS TO BE PAINTED TO MATCH CEILING/SOFFIT FINISH.
- VERIFY CONDITION BY HCN PRIOR TO WORK FOR APPROVAL. ALL HOOD BACKINGS AND BLOCKING AT MILLHOOK TO BE FIRE TREATED.
- SCRIBE ALL MILLHOOK WHERE APPLICABLE.
- MELAMINE MILLHOOK INTERIOR TO BE WHITE UNO.
- ALL CABINET DOORS TO BE FLUSH OVERLAY DESIGN UNO.
- CABINET DOORS TO HAVE CONCEALED EUROPEAN SELF-CLOSING HINGES UNO.
- ALL DRAWERS TO HAVE MEDIUM-DUTY GRANT SLIDES (SEE SPECIFICATIONS).
- ALL MILLHOOK DESIGNATED AS "PAINT GRADE" SHALL BE PAINTED THROUGHOUT, INCLUDING INTERIORS AND SHELVES UNO. PAINT ALL SUCH ACCORDING TO SPECIFIED FINISHES.
- ALL WOOD SHELVING, CABINETS (INTERIOR AND EXTERIOR), ELECTRICAL AND TELEPHONE FREE-PRIMED METAL SHELVING STANDARDS AND BRACKETS SHALL BE SHOP PAINTED IN SATIN ENAMEL ACCORDING TO SPECIFICATIONS TO MATCH ADJACENT FINISHES UNO.
- GENERAL CONTRACTOR SHALL VERIFY THAT ALL FIELD CONDITIONS FOR MATERIAL AND FINISH RELATIONSHIPS ARE HARMONIOUS TO THIS PLAN. SHOULD CONFLICTS ARISE, ARCHITECT SHALL BE CONTACTED FOR CLARIFICATIONS.
- NO PAINT OR INTERIOR FINISHING SHALL BE DONE UNDER CONDITIONS WHICH JEOPARDIZE THE QUALITY OR APPEARANCE OF SUCH WORK. ALL WORKMANSHIP FINISH IS ADDED TO BE LESS THAN FIRST QUALITY BY MCCARTHY NORDBERG WILL BE REJECTED.
- GENERAL CONTRACTOR SHALL SUBMIT SAMPLES OF EACH FINISH TO ARCHITECT ACCORDING TO THE SPECIFICATION FOR APPROVAL. FINISH SAMPLES SHALL BE APPLIED TO THE SAME MATERIAL AS IT OCCURS IN THE FIELD. THE GENERAL CONTRACTOR SHALL SUBMIT, ALONG WITH THE FINISH SAMPLES, EVIDENCE OF COMPLIANCE WITH FIRE AND BUILDING CODES AND REGULATIONS WITH RESPECT TO FLAME SPREAD, SMOKE AND SO FORTH.
- GENERAL CONTRACTOR SHALL PROVIDE ARCHITECT WITH MINIMUM OF (2) 8"x10" BRUSH-SUGS OF EACH COLOR, FINISH AND PAINT/PRIMER SPECIFICATION FOR APPROVAL. AT LEAST 2 WEEKS PRIOR TO SITE APPLICATION, WALL TEST SHALL BE REQUIRED ONE WEEK PRIOR TO FINAL APPROVAL. ARCHITECT RESERVES THE RIGHT TO ADJUST ANY COLOR OR FINISH ONCE THE WALL TEST HAS BEEN MADE.
- FABRICATE CABINETWORK ITEMS IN ACCORDANCE WITH RECOMMENDATIONS OR QUALITY STANDARDS OF ARCHITECTURAL WOODWORK INSTITUTE (AWI). ALL MILLHOOK CONSTRUCTION AND FINISH TO CONFORM TO THE AWI, "PREMIUM GRADE" QUALITY. STANDARDS UNLESS NOTED OTHERWISE.
- WOOD SAMPLES TO BE SUBMITTED WITH PROPER SPECIFIED SPECIES, STAIN AND FINISH.
- PROVIDE (C-1) SETS OF SHOP DRAWINGS FOR ALL MILLHOOK AND CUSTOM DETAILS TO MCCARTHY NORDBERG FOR APPROVAL PRIOR TO FABRICATION. DRAWINGS TO INDICATE MATERIALS, WOOD SPECIES, COMPONENT PROFILES, FASTENERS, JOINTING DETAILS, FINISHES AND ACCESSORIES TO LARGE SCALE.
- WARRANTY FOR ALL MILLHOOK AND CUSTOM DETAILS TO BE SUBMITTED AND SHALL PROVIDE FOR MAKING GOOD OR REPLACING AT NO COST TO OWNER. ITEMS SPECIFIED HEREIN WHICH EXHIBIT DEFECTS IN MATERIAL AND WORKMANSHIP WITHIN A MINIMUM PERIOD OF ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION.
- GENERAL CONTRACTOR, UPON COMPLETION, SHALL REMOVE ALL PAINT FROM WHERE IT HAS SPILLED, SPLASHED, OR SPLATTERED ON EXPOSED ADJACENT SURFACES.
- GENERAL CONTRACTOR SHALL EXAMINE ALL FINISH SURFACES AFTER COMPLETION OF WORK, INCLUDING TELEPHONE/DATA INSTALLATION, CARPET FURNITURE INSTALLATION AND MOVE-IN AND PROCEED WITH TOUCHUPS AS REQUIRED.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALLOWING FOR DELIVERY LEAD TIMES FOR ALL FABRICS, CUSTOM FINISHES, LIGHTING, ETC., WITHIN THE CONSTRUCTION SCHEDULE. ALL DELIVERY TIMES MUST BE CONFIRMED, AND ANY EXCESSIVE LENGTHS MUST BE COMMUNICATED TO ARCHITECT IMMEDIATELY TO ALLOW FOR RE-SPECIFICATION IF NEEDED.

KEY NOTES

- REFER TO ENLARGED FINISH PLAN 141A10 FOR FLOOR TILE PATTERN.
- PROVIDE SPLITTER DILEX EHC COVE-SHAPED TRIM IN STAINLESS STEEL AT ALL FLOOR TO BASE TRANSITIONS THIS ROOM. REFER TO DETAIL 141A10.
- EXISTING FLOORINGS AND BASE TO REMAIN THIS ROOM. TOUCH UP PAINT AS REQUIRED DUE TO NEW DOOR LOCATIONS.
- PATCH AND REPAIR EXISTING CORRIDOR FINISHES AT NEW DOOR LOCATION.
- PROVIDE (T-3) BILLNOSE EDGE THIS CORNER. STOP BILLNOSE TILE 1" SHORT OF EDGE OF DRYWALL ON TILED HALL SIDE.
- PROVIDE (T-3) BILLNOSE EDGE THIS EDGE OF SHOWER.
- EXTEND (T-1) INTO SHOWER STALLS. PROVIDE LIP AT ENTRY AT NON-ADA STALLS. CUT AND SLOPE AS REQUIRED FOR DRAIN.

FINISH LEGEND

WALL FINISHES:	FLOOR FINISHES:	BASE MATERIAL:
(P-1) PAINT (FIELD) MANF: SHERWIN WILLIAMS COLOR: SW 7015 GRAY SCREEN	(VC-3) WALLCOVERING MANF: TRIKES STYLE: MORE WOODS COLOR: BLACK LOGCUT 5W5-52 *INSTALL ALL WALLCOVERING PER MFR INSTRUCTIONS. PROVIDE MFR RECOMMENDED ADHESIVE.	(T-3) PORCELAIN TILE (BILLNOSE) MANF: RABNO USA STYLE: BOARDWALK COLOR: GR AJ4C SIZE: 3"x3" GROUT: GPF #122 LITEN
(P-2) PAINT (ACCENT) MANF: SHERWIN WILLIAMS COLOR: SW 7015 NETWORK GRAY	(C-1) CARPET TILE MANF: KINETEX STYLE: IBERA STRIPE (520) COLOR: T84 SHADOW STRIPE CONTACT: DAWN IVES 480.255.1407	(T-4) PORCELAIN TILE (ACCENT WALL/FLOOR) MANF: RABNO USA STYLE: BOARDWALK COLOR: GR SIZE: 17"x4" (MOSAIC) GROUT: GPF #122 LITEN (WALLS) GPF #09 NATURAL GRAY (FLOOR)
(P-3) PAINT (TOILET PARTITIONS & SS. DOORS) MANF: MDC STYLE: LIOVAPEARL COLOR: LP22H FINISH: PEARL COAT PROTECTOR (GLOSS AT TOILET PARTITIONS, SATIN AT DOORS/FRAHES) CONTACT: DAWN IVES 480.255.1407	(VCT-1) VINYL COMPOSITION TILE SIZE: 12" X 12" MANF: ARHSTRONG STYLE: STANDARD E-BLON COLOR: 51404 STERLING	(B-1) RUBBER BASE (CONTINUOUS ROLL) MANF: JOHNSONITE COLOR: 40 BLACK
(P-4) PAINT (BR. CEILING) MANF: MDC STYLE: CERAMIC COLOR: (SPRINK) CONTACT: DAWN IVES 480.255.1407	(T-2) PORCELAIN TILE (WALLS) MANF: RABNO USA STYLE: BOARDWALK COLOR: GR AJ4C SIZE: 20"x20" GROUT: GPF #122 LITEN	MISCELLANEOUS:
(P-5) PAINT (GYM CEILING) MANF: SHERWIN WILLIAMS COLOR: SW 1064 RICH ORE	(T-1) PORCELAIN TILE (FLOOR/BASE) MANF: ARIZONA TILE STYLE: BASALTINA COLOR: MID-GRAY SIZE: 12"x24" GROUT: GPF #09 NATURAL GRAY CONTACT: JACOB SEGAL 480.245.4943	(PL-1) ELASTIC LAMINATE (DEEPER BASE) MANF: FORMICA STYLE: NATURAL STRAIN 6471-16
(VC-1) WALLCOVERING MANF: KOROSEAL STYLE: BANTU COLOR: SILVER LVB-BTH-8	(T-2) PORCELAIN TILE (WALLS) MANF: RABNO USA STYLE: BOARDWALK COLOR: GR AJ4C SIZE: 20"x20" GROUT: GPF #122 LITEN	(PL-2) ELASTIC LAMINATE (COUNTERTOP) MANF: FORMICA STYLE: PALOMA POLAR 6648-58
(VC-2) WALLCOVERING MANF: KOROSEAL STYLE: TREASURE COLOR: VALLT T524-14	(SS-1) SOLID SURFACE MANF: AVONITE STYLE: NORDIC FINISH (SATIN)	

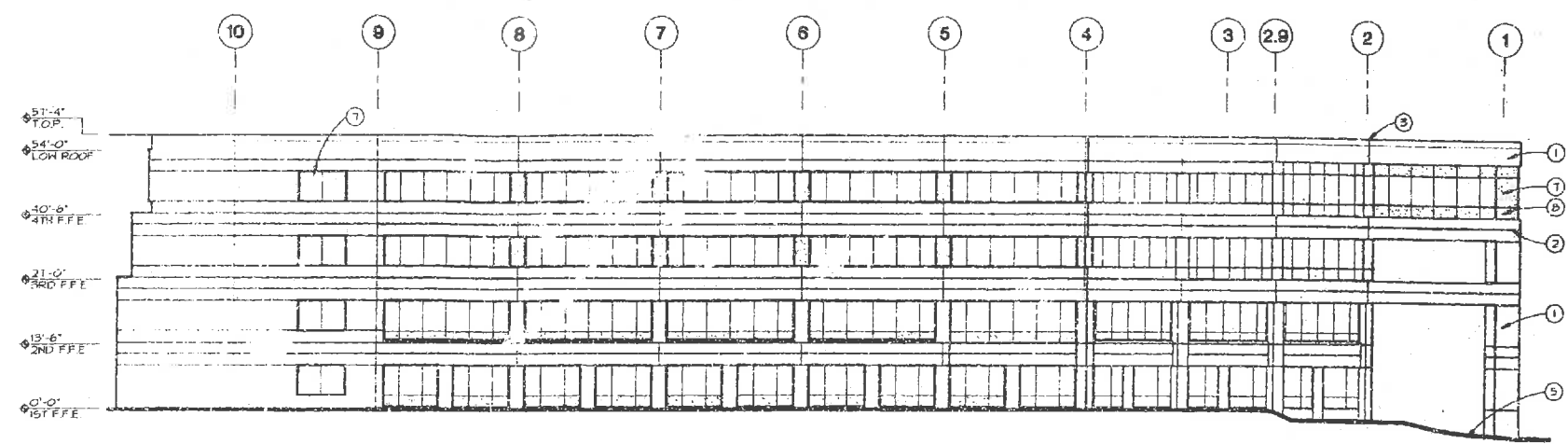


PAPAGO BUTTES I
1500 N. Priest Dr.
Tempe, Arizona
CONFERENCE & FITNESS CENTER

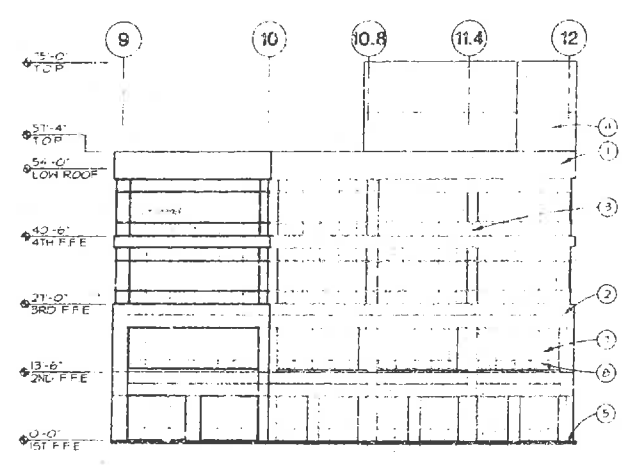
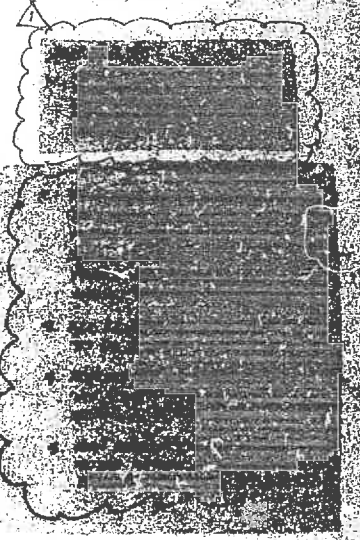
REVISIONS

CT	DRAWN
BC	CHECKED
8.22.16	SCALE
1/8"=1'-0"	DATE
1/54.14	JOB NO.
FURNITURE/FINISH PLAN	
IA4.0	
PAPAGO BUTTES CONF. & FITNESS CENTER	

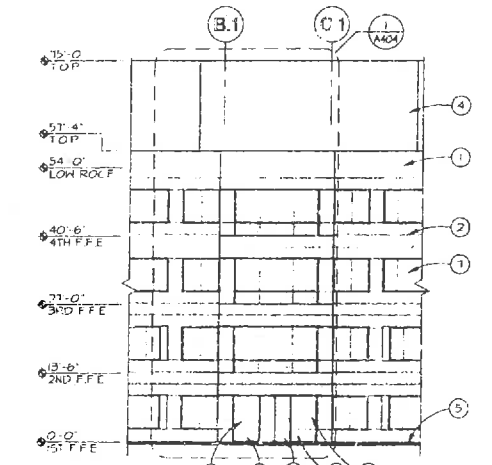
- 1. INTEGRAL COLORED PRECAST CONCRETE PANEL
- 2. REVEAL - SEE DETAIL 17.2.0
- 3. PANEL JOINT - SEE DETAIL 17.2.0
- 4. MECHANICAL CURTAIN WALL SYSTEM'S FINISH SYSTEM PAINTED TO MATCH PRECAST PANEL
- 5. FINISHED GRADE
- 6. EXPANSION JOINT
- 7. 1" INSULATED REFLECTIVE VISION GLASS
- 8. SPANDREL GLASS
- 9. TEMP. GLASS
- 10. TEMP. GLASS DOORS
- 11. ALUM. STORE FRONT DOOR
- 12. 1" WELL NON-REFLECTIVE GLASS
- 13. 12" HIGH ADDRESS NUMBERS, TO BE SUBMITTED SEPARATELY WITH GRAPHIC PACKAGE FOR SIGNAGE APPROVAL



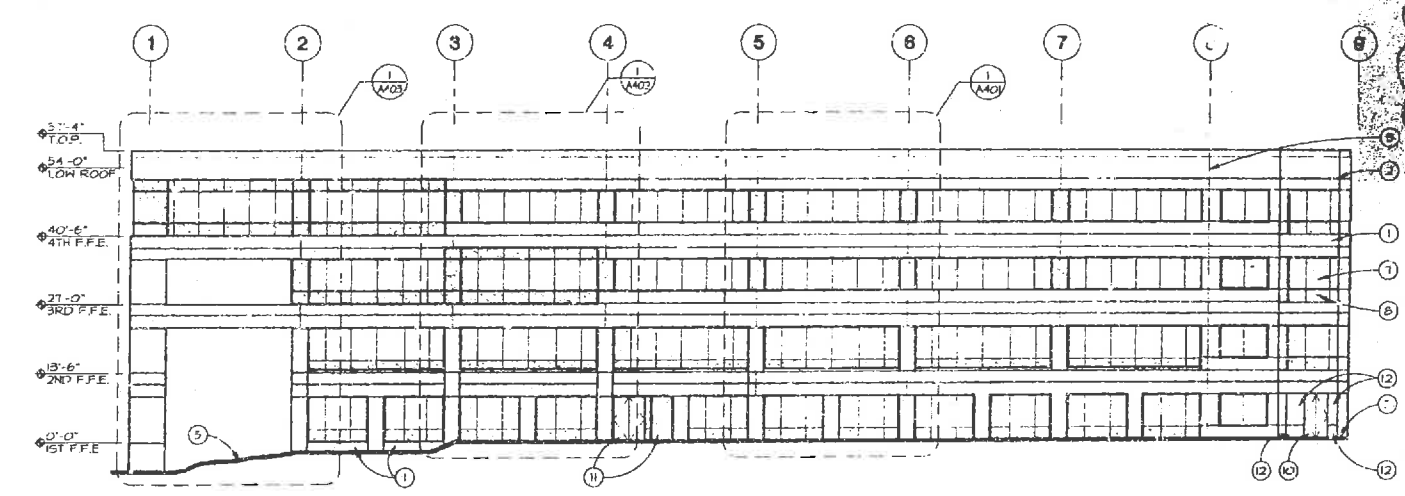
ELEVATION
SCALE: 1/16" = 1'-0"



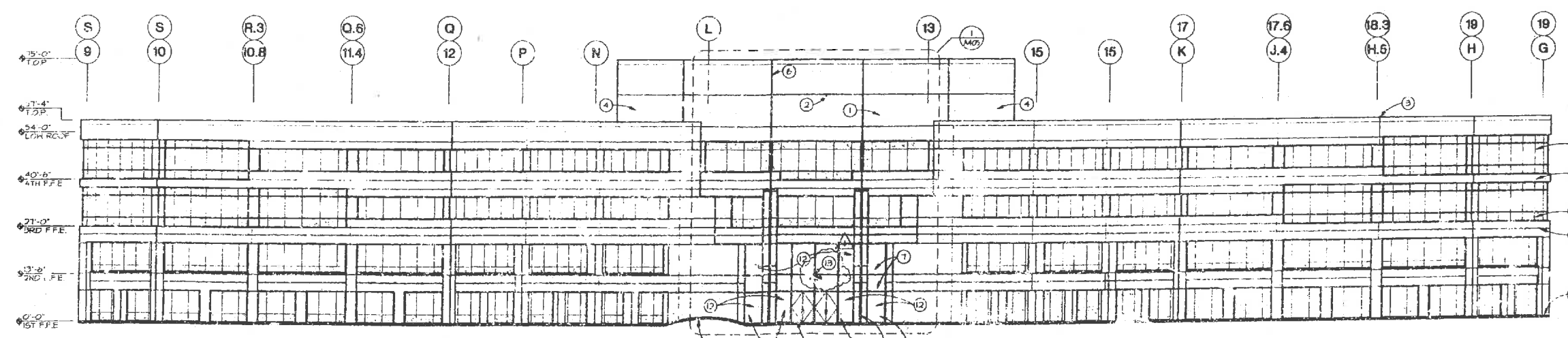
ELEVATION
SCALE: 1/16" = 1'-0"



ELEVATION
SCALE: 1/16" = 1'-0"



ELEVATION
SCALE: 1/16" = 1'-0"



ELEVATION
SCALE: 1/16" = 1'-0"

