

**CITY OF TEMPE
DEVELOPMENT REVIEW COMMISSION**

**Meeting Date: 05/14/2019
Agenda Item: 3**

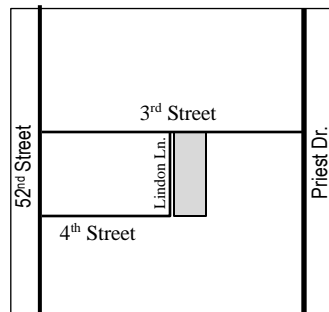
ACTION: Request a Development Plan Review for a 12,479 square-foot building addition for BD B1 RENOVATION & ADDITION, located at 1625 West 3rd Street. The applicant is Will Studio, PLC.

FISCAL IMPACT: There is no fiscal impact on City funds.

RECOMMENDATION: Approve, subject to conditions

BACKGROUND INFORMATION: BD B1 Renovation & Addition (PL180295) is proposing a 12,479 square-foot building addition to an existing industrial building. The new building addition and enclosures will be finished to match exiting. The request includes the following:

DPR180149 Development Plan Review including a site plan, building elevations and landscape plan.



Property Owner	IMPRA, Inc.
Applicant	Jeff Will, Will Studio, PLC
Zoning District	GID (General Industrial)
Net site area	2.19 acres (95,500 SF)
Total Building Area	47,345 SF
Lot Coverage	49% (No Standard)
Building Height	26'-0" top-of-parapet (35'-0" maximum allowed)
Building Setbacks	73'-10" front, 30'-7" street side (west), 62'-4" side (east), 120'-3" rear (25, 25, 0', 0' minimums)
Landscape Area	31% (10% minimum required)
Vehicle Parking	114 spaces (96 minimum required; 120 maximum surface spaces allowed)
Bicycle Parking	7 spaces (5 minimum required)

ATTACHMENTS: Development Project File

STAFF CONTACT(S): Obenia Kingsby II, Planner II (480) 858-2394

Department Director: Chad Weaver, Community Development Director
Legal review by: N/A
Prepared by: Obenia Kingsby II, Planner II
Reviewed by: Suparna Dasgupta, Principal Planner

COMMENTS

This site is located on the southeast corner of 3rd Street and Lindon Lane, approximately 1000 feet west of Priest Drive, is zoned GID and surrounded by other industrial sites.

This request includes the following:

1. Development Plan Review including a site plan, building elevations and landscape plan for a 12,479 square-foot building addition.

The applicant is requesting the Development Review Commission take action on the item listed above.

SITE PLAN REVIEW

This project went through the Site Plan Review process a total of three times, two preliminaries (07/11/18 and 09/05/18) and one formal (10/24/18). There was a fourth review completed by staff that was not routed through the site plan review process and comments were only provided from the Planning Division. The majority of comments for this project were requests such as providing more detailed plans, correcting errors, presenting the project data/plans more clearly, and design recommendations. The applicant was amenable to staff's site and building design recommendations.

PUBLIC INPUT

A neighborhood meeting is not required for this project. Staff did not receive any public comments upon completion of this report.

PROJECT ANALYSIS

DEVELOPMENT PLAN REVIEW

Site Plan

The site is approximately 2.19 acres in size and rectangularly shaped. This building addition will not affect ingress/egress or on-site circulation. The applicant is proposing to modify the parking lot layout and relocate the refuse enclosure. There will also be a new back-up generator within an enclosure added to the site.

Building Elevations

The building addition will be 26'-0" in height to top-of-parapet and with mechanical screening the top-of-top height is 29'-0". The applicant is proposing a loading dock on the west elevation of addition and is using the back-up generator enclosure to assist in screening it from street view. The addition will be design and finished to match the existing building.

Landscape Plan

This project will provide landscape coverage of 31%. The applicant is providing a good variation of trees, shrubs and ground cover that are appropriate for the site. The landscaping proposed will provide shade to pedestrian areas and provide visual interest along the street frontages.

Section 6-306 D Approval criteria for Development Plan Review (*in italics*):

1. *Placement, form, and articulation of buildings and structures provide variety in the streetscape*; the buildings are designed with variation in materials, colors, fenestration and wall planes. The site design will provide a variety along the streetscapes.
2. *Building design and orientation, together with landscape, combine to mitigate heat gain/retention while providing shade for energy conservation and human comfort*; landscaping, building canopies and awnings provide shade to the majority of pedestrian areas and will assist in mitigating heat gain/retention and energy conservation.

3. *Materials are of a superior quality, providing detail appropriate with their location and function while complementing the surroundings; the proposed materials are appropriate for their location.*
4. *Buildings, structures, and landscape elements are appropriately scaled, relative to the site and surroundings; landscape and building elements are appropriately scaled to site.*
5. *Large building masses are sufficiently articulated so as to relieve monotony and create a sense of movement, resulting in a well-defined base and top, featuring an enhanced pedestrian experience at and near street level; there is a relief in monotony by changes in the horizontal and vertical planes and integration of various materials.*
6. *Building facades provide architectural detail and interest overall with visibility at street level (in particular, special treatment of windows, entries and walkways with particular attention to proportionality, scale, materials, rhythm, etc.) while responding to varying climatic and contextual conditions; architectural details are appropriate to the scale and context of the site and surroundings.*
7. *Plans take into account pleasant and convenient access to multi-modal transportation options and support the potential for transit patronage; project provides pedestrian access to the public right-of-way and is located within a quarter-mile of bus stops.*
8. *Vehicular circulation is designed to minimize conflicts with pedestrian access and circulation, and with surrounding residential uses; pedestrian and vehicular paths on-site are minimal and only occurs at safe locations.*
9. *Plans appropriately integrate Crime Prevention Through Environmental Design principles such as territoriality, natural surveillance, access control, activity support, and maintenance; plans have been reviewed by the Police Department, and comments provided to applicant. The height of proposed landscaping adjacent to the public sidewalks will comply with CPTED principles.*
10. *Landscape accents and provides delineation from parking, buildings, driveways and pathways; landscape islands and hardscape have been implemented appropriately to provide delineation from parking, buildings and driveways.*
11. *Signs have design, scale, proportion, location and color compatible with the design, colors, orientation and materials of the building or site on which they are located; signs are subject to a separate plan review.*
12. *Lighting is compatible with the proposed building(s) and adjoining buildings and uses, and does not create negative effects. Lighting must comply with current code requirements to meet minimum illumination levels and be non-intrusive to adjacent properties.*

REASONS FOR APPROVAL:

1. The project will meet the development standards required under the Zoning and Development Code.
2. The proposed project meets the approval criteria for a Development Plan Review.

Based on the information provided and the above analysis, staff recommends approval of the requested Development Plan Review. This request meets the required criteria and will conform to the conditions.

DEVELOPMENT PLAN REVIEW CONDITIONS OF APPROVAL: (Non-standard conditions are identified in bold)

EACH NUMBERED ITEM IS A CONDITION OF APPROVAL. THE DECISION-MAKING BODY MAY MODIFY, DELETE OR ADD TO THESE CONDITIONS.

General

1. Except as modified by conditions, development shall be in substantial conformance with the site plan and landscape plan date stamped 04/22/19 and building elevations date stamped 04/29/19. Minor modifications may be reviewed through the plan check process of construction documents; major modifications will require submittal of a Development Plan Review.

Site Plan

2. Provide service yard and mechanical (cooling tower/generator) yard walls that are at least 8'-0" tall as measured from adjacent grade and are at least the height of the equipment being enclosed, whichever is greater. Verify height of equipment and mounting base to ensure that wall height is adequate to fully screen the equipment.
3. Provide gates of steel vertical picket, steel mesh, steel panel or similar construction. Where a gate has a screen function and is completely opaque, provide vision portals for visual surveillance. Provide gates of height that match that of the adjacent enclosure walls. Review gate hardware with Building Safety and Fire staff and design gate to resolve lock and emergency ingress/egress features that may be required.
4. Provide upgraded paving at each driveway consisting of integral colored unit paving. Extend this paving in the driveway from the right-of-way line to 20'-0" on site and from curb to curb at the drive edges. From sidewalk to right-of-way line, extend concrete paving to match sidewalk.
5. Utility equipment boxes for this development shall be finished in a neutral color (subject to utility provider approval) that compliments the coloring of the buildings.
6. Place exterior, freestanding reduced pressure and double check backflow assemblies in pre-manufactured, pre-finished, lockable cages (one assembly per cage). If backflow prevention or similar device is for a 3" or greater water line, delete cage and provide a masonry or concrete screen wall following the requirements of Standard Detail T-214.

Floor Plans

7. Provide visual surveillance by means of fire-rated glazing assemblies from stair towers into adjacent circulation spaces.

Building Elevations

8. The materials and colors are approved as presented:

Primary Building – E.I.F.S., painted Dunn Edwards “Faded Gray” (DEW382)
Accent Banding – E.I.F.S., painted Dunn Edwards “Storm Cloud” (DE6362)
Building Base – Split-face CMU, painted Dunn Edwards “Storm Cloud” (DE6362)
Mechanical Screen – Metal, painted Dunn Edwards “Faded Gray” (DEW382)
Roll-up Door – painted Dunn Edwards “Storm Cloud” (DE6362)
Dark Bronze Anodized Frames with Bronze Glass

Provide primary building colors and materials with a light reflectance value of 75 percent or less.

9. **Refuse enclosure must be constructed of split-face CMU and painted Dunn Edwards “Storm Cloud” (DE6362).**
10. Provide secure roof access from the interior of the building. Do not expose roof access to public view.
11. Conceal roof drainage system within the interior of the building.
12. Incorporate lighting, address signs, and incidental equipment attachments (alarm klaxons, security cameras, etc.) where

exposed into the design of the building elevations. Exposed conduit, piping, or related materials is not permitted.

13. Locate the electrical service entrance section (S.E.S.) inside the building or inside a secure yard that is concealed from public view.

Lighting

14. Illuminate building entrances and underside of open stair landings from dusk to dawn to assist with visual surveillance at these locations.

Landscape

15. Irrigation notes:
 - a. Provide dedicated landscape water meter.
 - b. Provide pipe distribution system of buried rigid (polyvinylchloride), not flexible (polyethylene). Use of schedule 40 PVC mainline and class 315 PVC 1/2" feeder line is acceptable. Class 200 PVC feeder line may be used for sizes greater than 1/2". Provide details of water distribution system.
 - c. Locate valve controller in a vandal resistant housing.
 - d. Hardwire power source to controller (a receptacle connection is not allowed).
 - e. Controller valve wire conduit may be exposed if the controller remains in the mechanical yard.
 - f. Repair existing irrigation system (on site or in the adjacent public right of ways) where damaged by work of this project. Provide temporary irrigation to existing landscape on-site and in frontages for period of time that irrigation system is out of repair. Design irrigation so existing plants on-site and in frontages is irrigated as part of the reconfigured system at the conclusion of this construction.
16. Include requirement to de-compact soil in planting areas on site and in public right of way and remove construction debris from planting areas prior to landscape installation.
17. Top dress planting areas with a rock or decomposed granite application. Provide rock or decomposed granite of 2" uniform thickness. Provide pre-emergence weed control application and do not underlay rock or decomposed granite application with plastic.

Building Address Numerals

18. Provide address sign(s) on the building elevation facing the street to which the property is identified.
 - a. Conform to the following for building address signs:
 - 1) Provide street number only, not the street name
 - 2) Compose of 12" high, individual mount, metal reverse pan channel characters.
 - 3) Self-illuminated or dedicated light source.
 - 4) On multi-story buildings, locate no higher than the second level.
 - 5) Coordinate address signs with trees, vines, or other landscaping, to avoid any potential visual obstruction.
 - 6) Do not affix numbers or letters to elevation that might be mistaken for the address.
 - b. Utility meters shall utilize a minimum 1" number height in accordance with the applicable electrical code and utility company standards.

CODE/ORDINANCE REQUIREMENTS:

THE BULLETED ITEMS REFER TO EXISTING CODE OR ORDINANCES THAT PLANNING STAFF OBSERVES ARE PERTINENT TO THIS CASE. THE BULLET ITEMS ARE INCLUDED TO ALERT THE DESIGN TEAM AND ASSIST IN OBTAINING A BUILDING PERMIT AND ARE NOT AN EXHAUSTIVE LIST.

SITE PLAN REVIEW: Verify all comments by all departments on each Preliminary Site Plan Review. If questions arise related to specific comments, they should be directed to the appropriate department, and any necessary modifications coordinated with all concerned parties, prior to application for building permit. Construction Documents submitted to the Building Safety Division will be reviewed by planning staff to ensure consistency with this Design Review approval prior to

issuance of building permits.

DEADLINE: Development plan approval shall be void if the development is not commenced or if an application for a building permit has not been submitted, whichever is applicable, within twelve (12) months after the approval is granted or within the time stipulated by the decision-making body. The period of approval is extended upon the time review limitations set forth for building permit applications, pursuant to Tempe Building Safety Administrative Code, Section 8-104.15. An expiration of the building permit application will result in expiration of the development plan.

STANDARD DETAILS:

- Access to Tempe Supplement to the M.A.G. Uniform Standard Details and Specifications for Public Works Construction, at this link: <http://www.tempe.gov/city-hall/public-works/engineering/standards-details> or purchase book from the Public Works Engineering Division.
- Access to refuse enclosure details DS116 and DS118 and all other Development Services forms at this link: <http://www.tempe.gov/city-hall/community-development/building-safety/applications-forms>. The enclosure details are under Civil Engineering & Right of Way.

BASIS OF BUILDING HEIGHT: Measure height of buildings from top of curb at a point adjacent to the center of the front property line.

WATER CONSERVATION: Under an agreement between the City of Tempe and the State of Arizona, Water Conservation Reports are required for landscape and domestic water use for the non-residential components of this project. Have the landscape architect and mechanical engineer prepare reports and submit them with the construction drawings during the building plan check process. Report example is contained in Office Procedure Directive # 59. Refer to this link: <http://www.tempe.gov/home/showdocument?id=5327>. Contact the Public Works Department, Water Conservation Division with questions regarding the purpose or content of the water conservation reports.

HISTORIC PRESERVATION: State and federal laws apply to the discovery of features or artifacts during site excavation (typically, the discovery of human or associated funerary remains). Contact the Historic Preservation Officer with general questions. Where a discovery is made, contact the Arizona State Historical Museum for removal and repatriation of the items.

POLICE DEPARTMENT SECURITY REQUIREMENTS:

- Design building entrance(s) to maximize visual surveillance of vicinity. Limit height of walls or landscape materials, and design columns or corners to discourage ambush.
- Maintain distances of 20'-0" or greater between a pedestrian path of travel and any hidden area to allow for increased reaction time and safety.
- Follow the design guidelines listed under appendix A of the Zoning and Development Code. In particular, reference the CPTED principal listed under A-II Building Design Guidelines (C) as it relates to the location of pedestrian environments and places of concealment.
- Provide a security vision panel at service and exit doors (except to rarely accessed equipment rooms) with a 3" wide high strength plastic or laminated glass window, located between 43" and 66" from the bottom edge of the door.

TRAFFIC ENGINEERING:

- Provide 8'-0" wide public sidewalk along arterial roadways, or as required by Traffic Engineering Design Criteria and Standard Details.
- Construct driveways in public right of way in conformance with Standard Detail T-320. Alternatively, the installation of driveways with return type curbs as indicated, similar to Standard Detail T-319, requires permission of Public Works, Traffic Engineering.

- Correctly indicate clear vision triangles at both driveways on the site and landscape plans. Identify speed limits for adjacent streets at the site frontages. Begin sight triangle in driveways at point 15'-0" in back of face of curb. Consult Intersection Sight Distance memo, available from Traffic Engineering if needed www.tempe.gov/index.aspx?page=801. Do not locate site furnishings, screen walls or other visual obstructions over 2'-0" tall (except canopy trees are allowed) within each clear vision triangle.

FIRE:

- Clearly define the fire lanes. Ensure that there is at least a 20'-0" horizontal width, and a 14'-0" vertical clearance from the fire lane surface to the underside of tree canopies or overhead structures. Layout and details of fire lanes are subject to Fire Department approval.
- Provide a fire command room(s) on the ground floor of the building(s). Verify size and location with Fire Department.

CIVIL ENGINEERING:

- Underground utilities except high-voltage transmission line unless project inserts a structure under the transmission line.
- Coordinate site layout with Utility provider(s) to provide adequate access easement(s).
- Clearly indicate property lines, the dimensional relation of the buildings to the property lines and the separation of the buildings from each other.
- Verify location of any easements, or property restrictions, to ensure no conflict exists with the site layout or foundation design.
- 100-year onsite retention required for this property, coordinate design with requirements of the Engineering Department.

SOLID WASTE SERVICES:

- Enclosure indicated on site plan is exclusively for refuse. Construct walls, pad and bollards in conformance with standard detail DS-116.
- Contact Public Works Sanitation Division to verify that vehicle maneuvering and access to the enclosure is adequate. Refuse staging, collection and circulation must be on site; no backing onto or off of streets, alleys or paths of circulation.
- Develop strategy for recycling collection and pick-up from site with Sanitation. Roll-outs may be allowed for recycled materials. Coordinate storage area for recycling containers with overall site and landscape layout.
- Gates for refuse enclosure(s) are not required, unless visible from the street. If gates are provided, the property manager must arrange for gates to be open from 6:00am to 4:30pm on collection days.

PARKING SPACES:

- Verify conformance of accessible vehicle parking to the Americans with Disabilities Act and the Code of Federal Regulations Implementing the Act. Refer to Building Safety ADA Accessible Parking Spaces Marking/Signage on Private Development details.
- At parking areas, provide demarcated accessible aisle for disabled parking.
- Distribute bike parking areas nearest to main entrance(s). Provide parking loop/rack per standard detail T-578. Provide 2'-0" by 6'-0" individual bicycle parking spaces. One loop may be used to separate two bike parking spaces. Provide clearance between bike spaces and adjacent walkway to allow bike maneuvering in and out of space without interfering with pedestrians, landscape materials or vehicles nearby.

ZONING AND DEVELOPMENT CODE:

- Specific requirements of the **Zoning and Development Code** (ZDC) are not listed as a condition of approval, but will apply to any application. To avoid unnecessary review time and reduce the potential for multiple plan check submittals, become familiar with the ZDC. Access the ZDC through www.tempe.gov/zoning or purchase from Community Development.

LIGHTING:

- Design site security light in accordance with requirements of ZDC Part 4 Chapter 8 (Lighting) and ZDC Appendix E (Photometric Plan).
- Indicate the location of all exterior light fixtures on the site, landscape and photometric plans. Avoid conflicts between lights and trees or other site features in order to maintain illumination levels for exterior lighting.

LANDSCAPE:

- Trees shall be planted a minimum of 16'-0" from any existing or proposed public utility lines. The tree planting separation requirements may be reduced to no less than 8'-0" from utility lines upon the installation of a linear root barrier. Per Detail T-460, the root barrier shall be a continuous material, a minimum of 0.08" thick, installed to a minimum depth of 4'-0" below grade. The root barrier shall extend 6'-0" on either side of the tree parallel to the utility line for a minimum length of 12'-0". Final approval is subject to determination by the Public Works, Water Utilities Division.
- Prepare an existing plant inventory for the site and adjacent street frontages. The inventory may be prepared by the Landscape Architect or a plant salvage specialist. Note original locations and species of native and "protected" trees and other plants on site. Move, preserve in place, or demolish native or "protected" trees and plants per State of Arizona Agricultural Department standards. File Notice of Intent to Clear Land with the Agricultural Department. Notice of Intent to Clear Land form is available at <https://agriculture.az.gov/plantsproduce/native-plants>. Follow the link to "applications to move a native plant" to "notice of intent to clear land".

SIGNS: Separate plan review process is required for signs in accordance with requirements of ZDC Part 4 Chapter 9 (Signs). Refer to www.tempe.gov/signs.

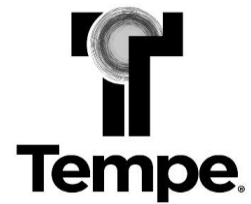
DUST CONTROL: Any operation capable of generating dust, include, but not limited to, land clearing, earth moving, excavating, construction, demolition and other similar operations, that disturbs 0.10 acres (4,356 square feet) or more shall require a dust control permit from the Maricopa County Air Quality Department (MCAQD). Contact MCAQD at <http://www.maricopa.gov/aq/>.

HISTORY & FACTS:

October 21, 1987 The Design Review Board approved the request for a site plan, landscape plan and building elevations for IMPRA, Inc.

ZONING AND DEVELOPMENT CODE REFERENCE:

Section 6-306, Development Plan Review



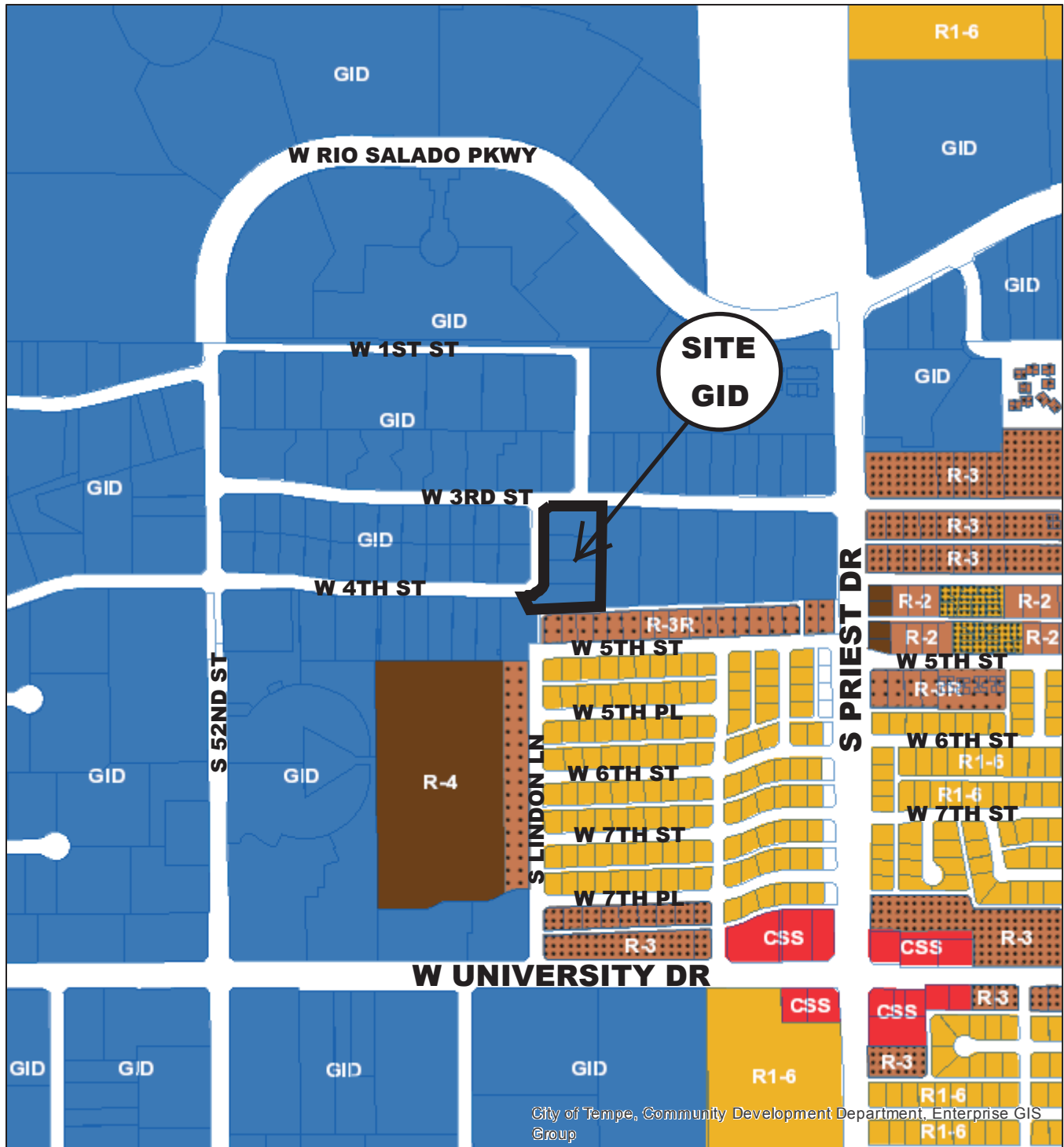
DEVELOPMENT PROJECT FILE
for
BD B1 Renovation & Addition
(PL180295)

ATTACHMENTS:









- 1-3. Site Context (Location Map, Aerial and Aerial with Site Plan Overlay)
- 4-5. Applicant's Letter of Explanation
- 6-7. Site Design (Site Plan and Landscape Plan)
- 8-16. Building Design (Blackline/Color Elevations, Street Elevations, Sections, Renderings, Material Samples and Floor Plans)

BD B1 RENOVATION & ADDITION

PL 180295



City of Tempe, Community Development Department, Enterprise GIS Group

- | | |
|-----------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------|
|  General Industrial District (GID) |  Multi-Family Residential (R-2) |
|  Commercial Shopping and Services (CSS) |  Multi-Family Residential Restricted (R-3R) |
|  Single-Family Residential (R1-6) |  Multi-Family Residential Limited (R-3) |
|  Single-Family Residential Planned Area Dev (R1-PAD) |  Multi-Family Residential General (R-4) |

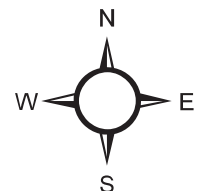


BD B1 RENOVATION & ADDITION

PL 180295



Aerial Map



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1 CONTEXT AERIAL PLAN

SCALE: 1" = 30' 0"

LEGEND:

- F.H. FIRE HYDRANT
- N.S. NEW SIDEWALK
- E.G. EMERGENCY GENERATOR
- N.R. NEW DOUBLE REFUSE



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willarchitects.com



BD B1: RENOVATION / ADDITION
1625 WEST 3RD STREET
TEMPE, ARIZONA 85281

PROJECT NUMBER	18022
SHEET SCALE	-
DWG #	-
DRAWN/CHECKED	AB / JW
DATE	04.22.19
REVISIONS	
COMMENTS	

CONTEXT AERIAL PLAN

SP1.2



April 22nd, 2019

Letter of Explanation for Development Plan Review

Regarding: BD B1 Renovation/Addition (Previously Bard B1)

Project Summary:

BD B1 renovation/addition is located at 1625 West 3rd Street is expanding their existing 34,866 S.F. two story building to add an additional 12,479 S.F. two story building on the south side of the existing facility. This addition will meet required setback standards in accordance with city requirements.

The existing site plan will remain or have minor modifications to include the parking lot which keep in accordance with use requirements. New parking landscape islands and refuse enclosure to meet city code requirements.

The existing landscaping will remain or have minor modifications to include street side hardscape, driveway modifications or other items required by city/county/state requirements.

Existing building is being renovated to include new offices, conference rooms, restrooms, kitchen and clean room pilot manufacturing space.

The existing exterior building will remain 'As-Is' unless where aesthetics touch up's are required due to construction damage. The exterior expansion/remodel should match existing; this includes paint color of masonry, paint bandings, etc.

Detailed Description:

Placement, form and articulation of the existing building, built in 1988, was done very well, and is quite in congress with the surrounding buildings in the park, however, the placement of the building was done very nicely, by not crowding the front parking or getting right up to the setback line and has a very pleasing landscape pallet with lots of large trees that were popular in the 80's and 90's. The addition is located in the only location that it can be and still be connected to the existing structure and meeting all the required zoning requirements for the GID zoning.

Since we are dealing with an addition to an existing structure, we are fortunate that the addition location will not affect the north side of the building, with its generous covered entry and second floor balcony. Both will be shaded most of the day which will provide energy conservation and human comfort like, so few industrial buildings do in this context.

The existing building uses materials that are all excellent quality with CMU plain with a painted cement coating on top and textured CMU on the bottom of the structure which the addition will mimic. The horizontal banding is a strong statement that repeats on the addition. All the elements of the design for both the existing building and the addition are compatible with and care through the surrounding industrial/business neighborhood.

The existing structure and the addition are very compatibly scaled with the existing mature landscaping. The surrounding mature trees are actually taller than the building parapet giving the feeling that the site is bound as one, with its self and surroundings.

The most interesting part of the exiting building is that the office section has several unique features which serve to break-up the mass such as curved walls, angled walls, changes in materials, providing a very interesting contributing to the environs and streetscape.

The front of the building is graced with a generous covered entry which shades and welcomes the arrival of staff and visitors on the solar neutral side of the building. The solar hotspot, on the other hand is void of windows which is the manufacturing and warehouse which is also adopted by the new addition.

The location of the building is a block from Priest Road, accessible by sidewalk, to the major Priest Corridor transit network which can take pedestrians, though other connections, to almost anywhere in the metro area.

Vehicular circulation is well planned in the existing building site layout with separate access afforded to staff and visitor and separate truck access to the new truck dock on the addition. The site and building, with the addition, create a unique crime prevention opportunity because though the use of the original building location and including the addition, the entire 360-degree site is visible from a street. This is unique for the park which tends to have major areas in back with no visibility from the surrounding streets. The building also has security guards and advance security systems and cameras.

The existing building and the addition have very clear landscape accents with a variety of seasonal and non-seasonal existing landscape material to provide delineation through all the walking and driving elements on the site.

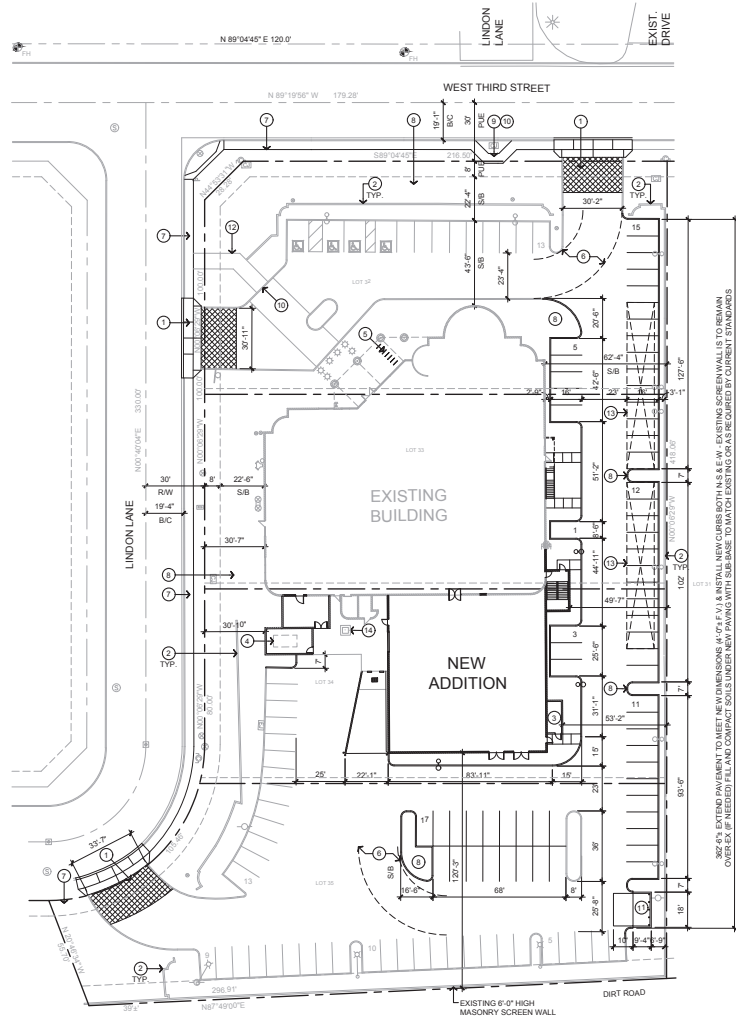
The existing building with the addition only has a simple sign on the street-side of the building that says "BD" with the associated logo.

Lighting for the project utilizes the original lighting design concept and even though it was designed thirty years ago, it has been maintained and upgraded to flush subtle yet distinctive and safe site travel weather pedestrian or vehicular.

Thank you,

Jeffrey Will,
Architect
Will Studio

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3/26/24'S EXTEND PAVEMENT TO MEET NEW DIMENSIONS 4'-0" F.F. V.I. & INSTALL NEW CURBS BOTH N.S. & E.W. EXISTING SCREEN WALLS TO REMAIN OVEREX IF NEEDED FILL AND COMPACT SOILS UNDER NEW PAVING WITH SUB BASE TO MATCH EXISTING OR AS REQUIRED BY CURRENT STANDARDS



1 SITE PLAN

SCALE: 1" = 30'-0"

BUILDING CODES:

- 2012 INTERNATIONAL BUILDING CODE (IBC)
- 2011 NATIONAL ELECTRICAL CODE (NEC)
- 2012 INTERNATIONAL MECHANICAL CODE (IMC)
- 2012 INTERNATIONAL PLUMBING CODE (IPC)
- 2012 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
- ASHRAE 90.1-2007 IS ADOPTED BY REFERENCE
- 2012 INTERNATIONAL FIRE CODE (IFC)
- 2010 A.D.A. STANDARDS FOR ACCESSIBLE DESIGN
- ALL CITY OF TEMPE AMENDMENTS

LEGAL DESCRIPTION:

LOTS 32, 33, 34, 35 SOUTHWEST BUILDERS INDUSTRIAL PARK, ACCORDING TO BOOK 180 OF MAPS, PAGE 49, RECORDS OF MARICOPA COUNTY, ARIZONA

PROJECT DATA:

SETBACKS:

NORTH:	73'-10"
EAST:	62'-4"
SOUTH:	120'-3"
WEST (EXIST):	30'-7"
WEST (NEW):	30'-10"

OCCUPANCY: B / F1 / S1

CONSTRUCTION TYPE: IIB WITH A.F.E.S.

NET SITE AREA: 95,500 S.F.

BUILDING AREA:

1ST FLOOR (EXISTING)	17,000 S.F.
2ND FLOOR (EXISTING)	17,836 S.F.
EXISTING TOTAL:	34,836 S.F.
1ST FLOOR (EXPANSION)	8,040 S.F.
2ND FLOOR (EXPANSION)	4,439 S.F.
EXPANSION TOTAL:	12,479 S.F.
TOTAL:	47,345 S.F.

LOT COVERAGE: 49%

LANDSCAPE SQUARE FOOTAGE: 29,732 S.F. (31% OF NET SITE AREA)

HEIGHT:

TOP OF PARAPET: +26'-0"

TOP OF SCREEN: +29'-0"

PARKING REQUIRED:

VEHICLES @ 1,300 = 18,126 / 300 =	60.42 SPACES
BICYCLE @ 1,800 = 18,126 / 8,000 =	2.26 SPACES
MANUFACTURING: VEHICLES @ 1,100 = 22,739 / 1,000 =	22.7 SPACES
BICYCLE @ 1,100,000 = 22,739 / 10,000 =	2.2 SPACES
WAREHOUSE: VEHICLES @ 1,500 = 6,480 / 500 =	12.96 SPACES
BICYCLE @ 1,100,000 = 6,480 / 10,000 =	0.65 SPACES
TOTAL CARS:	96.08 SPACES
TOTAL BICYCLES:	5.06 SPACES

PARKING PROVIDED:

VEHICLES: 114 SPACES

BICYCLES: 7 SPACES

TOTAL BUILDING OCCUPANT LOAD			
TOTAL OCCUPIED BUILDING AREA = 47,345 S.F.			
OCCUPANCY	GROSS FLOOR AREA	ALLOWANCE	OCCUPANTS
B	18,126 S.F.	150	120.84
F1	22,739 S.F.	200	113.7
S1	6,480 S.F.	500	12.96
			TOTAL = 248

BUILDING IS FULLY SPRINKLERED PER IBC

KEYNOTES:

1. 30' DRIVEWAY WIDTH DECORATIVE INTEGRAL COLORED PAVERS - STARTING AT PROPERTY LINE
2. EXISTING +4'-0" SPLIT FACED MASONRY SCREEN WALL - PAINTED
3. RELOCATED COMPRESSED AIR TANKS (2) ENCLOSURE (C.M.U.)
4. EMERGENCY GENERATOR ENCLOSURE (C.M.U.)
5. NEW CONCRETE SLAB FOR 7-BIKES PARKING RACKS PER C.O.T. DETAIL T-578
6. FIRE AND REFUSE TURNING RADIUS 25' INSIDE AND 45' OUTSIDE
7. NEW 6" WIDE CONCRETE SIDEWALK PER C.O.T. C-1 DETAIL T-312
8. SEE LANDSCAPING PLAN - (1) TREE PER 30' OF FRONTAGE
9. NEW 6" SIDEWALK CURVES AROUND EXISTING UTILITY PLATE AND MAIL BOX
10. REMOVE EXISTING CURB, FLUSH SIDEWALK WITH EXISTING CONCRETE DRIVE
11. NEW DOUBLE REFUSE LOCATION C.O.T. DS 116 FOR RECYCLING AND TRASH
12. NEW CONCRETE SIDEWALK PER A.D.A.
13. EXISTING PARKING CANOPY TO REMAIN
14. EXISTING TRANSFORMER TO REMAIN

GENERAL NOTES:

1. TRAFFIC CALMING DEVICES SHALL BE PROHIBITED UNLESS APPROVED BY THE FIRE CODE OFFICIAL (I.F.C. 303.4.1)
2. TYPICAL OF 5 ALONG THIS ROW OF PARKING - SALVAGE EXISTING LIGHT FIXTURES AND REMOVE BASE FOUNDATIONS
3. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING DIMENSIONS PRIOR TO START OF DEMOLITION (FACE OF BUILDING TO FACE OF SCREEN WALL)
4. PROVIDE AN ADD - ALTERNATE TO RESURFACE AND STRIPE THE ENTIRE SITE PAVEMENT SURFACES

VICINITY MAP:



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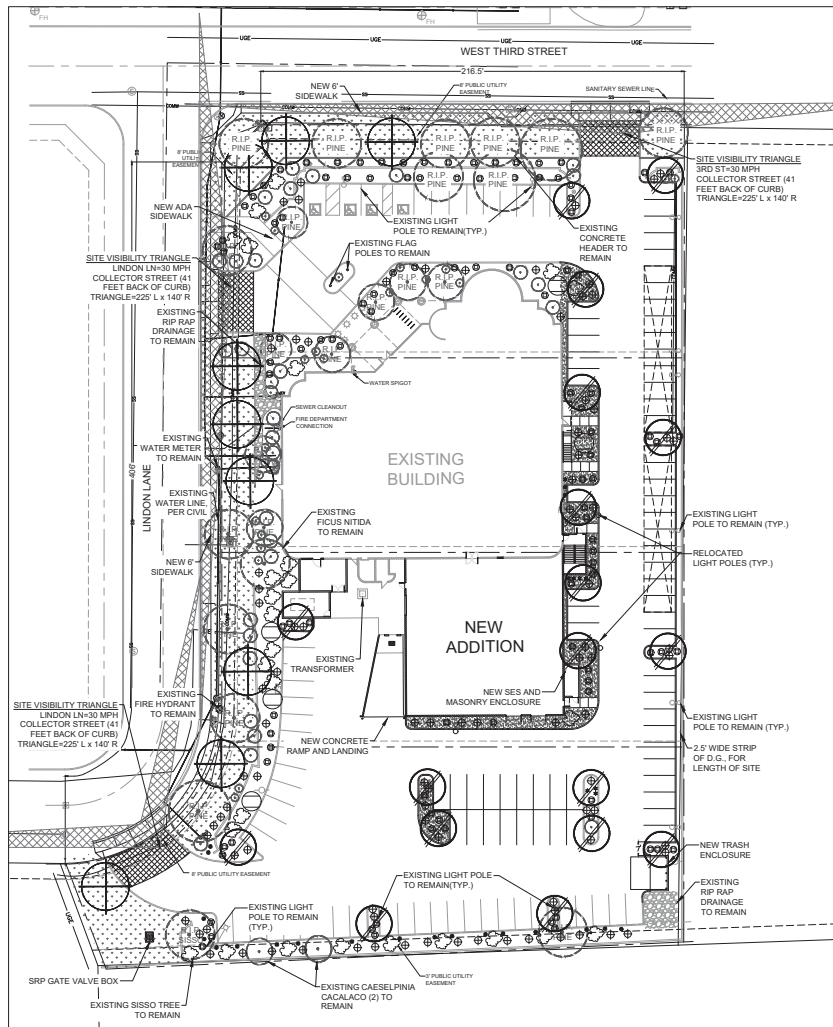


EXPIRES 12-31-2025

BD B1: RENOVATION / ADDITION
1625 WEST 3RD STREET
TEMPE, ARIZONA 85281

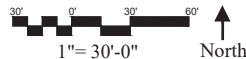
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SHEET SCALE	-
DATE	-
DRAWN/CHECKED	AB / JW
DATE	04.22.19
REVISIONS	
COMMENTS	

SHEET TITLE	SITE PLAN
SHEET NUMBER	SP1.1



GENERAL NOTES:
 1. NO NEW TREES SHALL BE PLANTED WITHIN 16' OF UNDERGROUND UTILITIES AND WITHIN 20' OF LIGHT POLES.
 2. DO NOT REMOVE EXISTING MATURE TREES.

SITE CALCULATIONS:
 Building Square Footage: 47,345 s.f.
 Net Site Area: 95,500 s.f.
 Landscape Square Footage: 29,723 s.f. (28% of Net Site Area)
 Turf Square Footage: 14,351 s.f. (48% of Landscape Area, 15% of Net Site Area)
REQUIRED TREES:
 Minimum # of Trees along Lindon Ave: 14 (15 total; 7 new, 8 existing)
 Minimum # of Trees along 3rd Street: 7 (8 total; 2 new, 6 existing)



LANDSCAPE LEGEND			
SYMBOL	NAME	SIZE	QTY.
TREES	(R.I.P.)	EXISTING TREE TO REMAIN (SPECIES NOTED ON PLAN)	VARIABLES
	(Circle with diagonal line)	Ulmus parviflora EVERGREEN ELM	36" BOX 1.5" MIN. CAL. 18
	(Circle with cross)	Pistacia chinensis 'Red Push' RED PUSH PISTACHE	36" BOX 1.5" MIN. CAL. 9
SHRUBS	(Circle with horizontal line)	Caesalpinia mexicana MEXICAN BIRD OF PARADISE	5 GAL 5
	(Circle with vertical line)	Leucophyllum laevigatum CHIHUAHUAN SAGE	5 GAL 27
ACCENTS	(Star symbol)	Agave parryi PARRY'S AGAVE	5 GAL 18
	(Star symbol)	Blue Elf BLUE ELF ALOE	5 GAL 16
GROUND COVER	(Circle with cross)	Teucrium chamedrys PROSTRATE GERMANDER	5 GAL 84
	(Circle with cross)	Lantana montevidensis PURPLE TRAILING LANTANA	5 GAL 110
MATERIALS	(Dotted pattern)	EXISTING TURF TO REMAIN	
	(Cross-hatched pattern)	New 2" Depth DG in New Parking Lot Landscape Areas, match existing 1" Refresh Layer DG in existing Landscape Areas (no hatch shown)	

- LANDSCAPE NOTES:**
- LANDSCAPE AREAS ARE DEFINED AS ALL NON PAVED AREAS DISTURBED BY CONSTRUCTION. SLIGHT VARIATIONS MAY EXIST BETWEEN ACTUAL SITE CONDITIONS AND DRAWINGS. CONTRACTOR SHALL ADJUST PLANTING LAYOUT AS REQUIRED TO MAINTAIN PLANT QUANTITIES AND DESIGN INTENT. FOR AREAS OVER 50 S.F. CONTACT LANDSCAPE ARCHITECT FOR REVISION TO PLANT LAYOUT.
 - THE CONTRACTOR SHALL NOT SUBSTITUTE ANY PLANT (IN SPECIES, VARIETY, OR PATENT) FOR ANY PLANT THAT IS SPECIFIED IN THE LEGEND. IF AVAILABILITY IS A PROBLEM, THE CONTRACTOR SHALL CONTACT THE OWNER AND THE LANDSCAPE ARCHITECT TO DISCUSS ACCEPTABLE OPTIONS.
 - COORDINATE ALL NECESSARY EXCAVATION AREAS WITH OWNER'S REPRESENTATIVE.
 - LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ALL LANDSCAPE SLEEVING. COORDINATE INSTALLATION WITH GENERAL CONTRACTOR. VERIFY ANY EXISTING SLEEVES INSTALLED BY OTHER CONTRACTORS.
 - ALL PIPE UNDER PAVEMENT SHALL BE SLEEVED.
 - IRRIGATION AND ELECTRICAL SLEEVES TO BE SCHEDULE 40 PVC. ALL SLEEVES TO EXTEND 6" BEYOND CONCRETE STRUCTURES. ALLOW AT LEAST 4" - 6" FROM END OF SLEEVES TO FIRST FITTING ON IRRIGATION LINES. ALL SLEEVES TO BE 24" BELOW GRADE AND/OR AS PER PROJECT DETAILS.
 - COMMON SLEEVES MAY BE USED FOR LATERAL LINES AND MAINLINES. CONTRACTOR IS RESPONSIBLE FOR ADEQUATE SIZE SLEEVE SO ALL PIPES MOVE FREELY WITHIN THE SLEEVE. CONTRACTOR TO 'AS BUILT' ALL SLEEVE SIZES AND LOCATIONS.
 - MARK BACK OF EXISTING AND NEW CURBS AT SLEEVE LOCATIONS BY NOTCHING NEW CONCRETE WITH 1/2" NOTCH OR PLACING RE-BAR VERTICAL SO TOP OF BAR IS 6" BELOW FINISH GRADE.
 - FINISHED GRADE(S) NOTED ON THE LANDSCAPE DETAILS TO BE FIELD VERIFIED/APPROVED AND MODIFIED AS PER ARCHITECTURAL CIVIL DRAWINGS.
 - GRANULAR TOP DRESSING SHALL EXTEND UNDER SHRUBS AND BE RAKED UNIFORMLY ALONG CURBS, SIDEWALKS AND WALLS AT A CONSISTENT DEPTH AS SPECIFIED BY DETAILS.
 - LANDSCAPE CONTRACTOR TO CONTACT THE OWNER'S REPRESENTATIVE BEFORE EACH APPLICATION OF PRE EMERGENT FOR VERIFICATION. MINIMUM 2 APPLICATIONS ARE REQUIRED, ONE JUST BEFORE SPREADING D.G. (AFTER SUB-GRADE HAS BEEN APPROVED) AND ONE AFTER D.G. HAS BEEN FINE RAKED AND LEVELED. APPLICATIONS SHALL BE THOROUGHLY WATERED IN. THE FIRST APPLICATION SHALL BE WATERED IN PRIOR TO SPREADING D.G. SURFLAN OR EQUAL SHALL BE USED. CHEMICALS SHALL BE APPLIED IN STRICT CONFORMANCE TO THE MANUFACTURER'S INSTRUCTIONS, INCLUDING WATERING IN AND AVOIDING STAINING OF ADJACENT HARDSCAPES.
 - IF ADJACENT HARDSCAPE INCLUDING ALL PAVING, SIDEWALKS, BUILDINGS, CURBS, WALLS, FENCES, OR OTHER SITE MATERIALS ARE STAINED BY PRE-EMERGENT APPLICATION OR BY WHEEL MARKS OF ANY KIND, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE TO REMOVE ALL RESIDUE AND DISCOLORATION PRIOR TO THE FINAL WALK THROUGH.
 - RETENTION BASINS SHALL BE CONSTRUCTED SOLELY FROM THE APPROVED CIVIL PLANS. ANY ALTERATION OF THE APPROVED DESIGN (ADDITIONAL FILL, BOULDERS, ETC.) SHALL REQUIRE ADDITIONAL FINAL PLANS, STAFF REVIEW AND APPROVAL.
 - REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS NOT SHOWN ON DRAWINGS.
 - THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER CARE AND HANDLING OF TREES AND PLANTS FOR DELIVERY AND PLACEMENT IN PLANTING PIT. TREES THAT ARE DROPPED FROM TRUCKS OR DROPPED INTO PITS SHALL BE REJECTED FOR REPLACEMENT BY THE LANDSCAPE CONTRACTOR. IF ROOTBALLS FALL APART DURING THE PLANTING OPERATION THE PLANT SHALL NOT BE PLANTED. NEW PLANT MATERIALS SHALL BE PROVIDED TO REPLACE THOSE THAT ROOTBALLS FALL APART.
 - PLANT CONTAINERS SHALL BE CUT TO REMOVE ROOTBALLS THAT ARE TIGHT IN THE CONTAINER. THE CONTRACTOR SHALL NOT REMOVE THE PLANT FROM THE CONTAINER BY THE TRUNK.
 - THE LANDSCAPE CONTRACTOR SHALL WARRANT THE TREES AND SHRUBS FOR ONE YEAR FROM THE DATE OF PROJECT FINAL ACCEPTANCE.
 - NO NEW TREES SHALL BE PLANTED WITHIN 16' OF WATER AND SEWER LINES, 8' WITH USE OF ROOT BARRIER.



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 Landscape Architecture

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ARIZONA SOCIETY OF LANDSCAPE ARCHITECTS
 JANET L. WAIBEL
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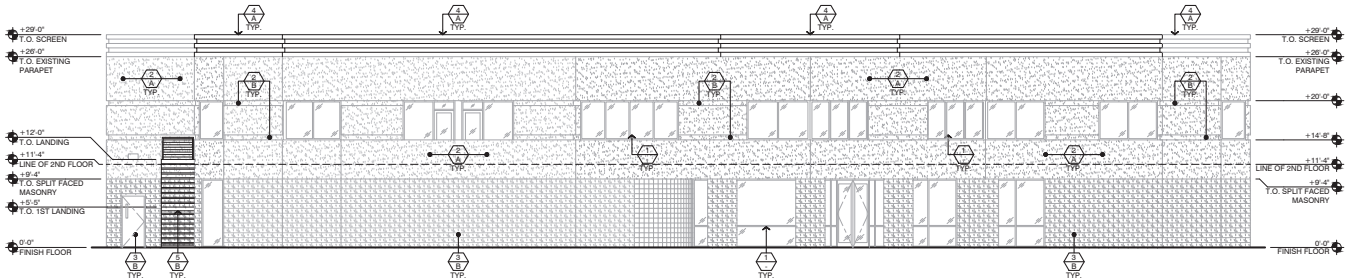
BD B1: RENOVATION / ADDITION
 1625 WEST 3RD STREET
 TEMPE, ARIZONA 85281

PROJECT NUMBER: 18022
 SHEET SCALE: 1"=30'
 DRAWING: 1
 DRAWING CODE: RM
 DATE: 04.22.19
 REVISIONS: DATE

SHEET TITLE: **LANDSCAPE PLAN**

SHEET NUMBER: **1 of 2**

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1 NORTH ELEVATION

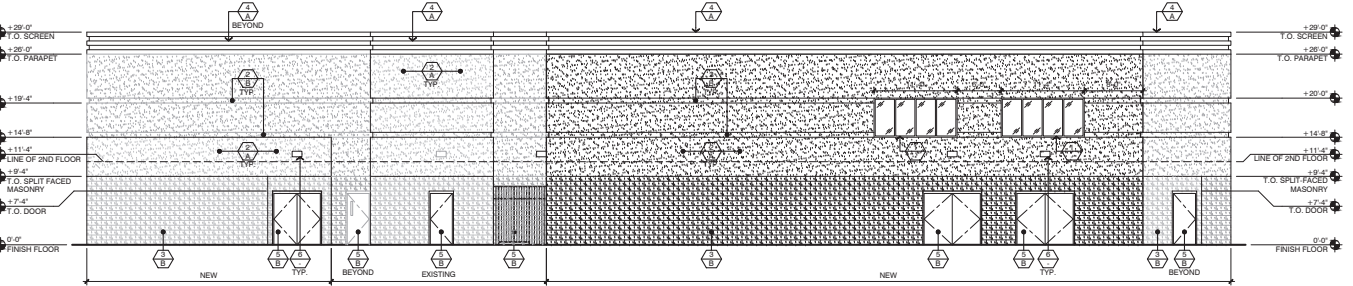
SCALE: 1/8" = 1'-0"

KEYNOTES:

1. DARK BRONZE ANODIZED FRAMES WITH BRONZE GLASS
2. E.I.F.S. FINISH TO MATCH EXISTING
3. BXBX16 SPLIT-FACED MASONRY
4. METAL MECHANICAL SCREEN
5. METAL RAILINGS, STAIRS, DOORS AND OVERHEAD ROLL-UP DOOR TO PAINTED - SEE COLOR SCHEDULE
6. WALL MOUNTED LIGHT FIXTURE MOUNTED +12'-0" ABOVE FINISH GRADE CENTERED ON DOOR OPENING

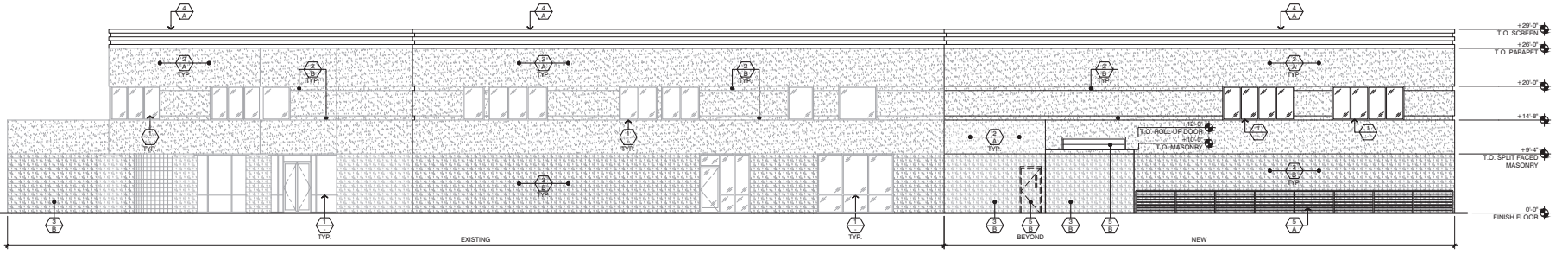
COLOR SCHEDULE:

- | | | |
|---|--------------|----------------------|
| A | DUNN EDWARDS | 'DE302 STORM CLOUD' |
| B | DUNN EDWARDS | 'DEW 382 FADED GRAY' |



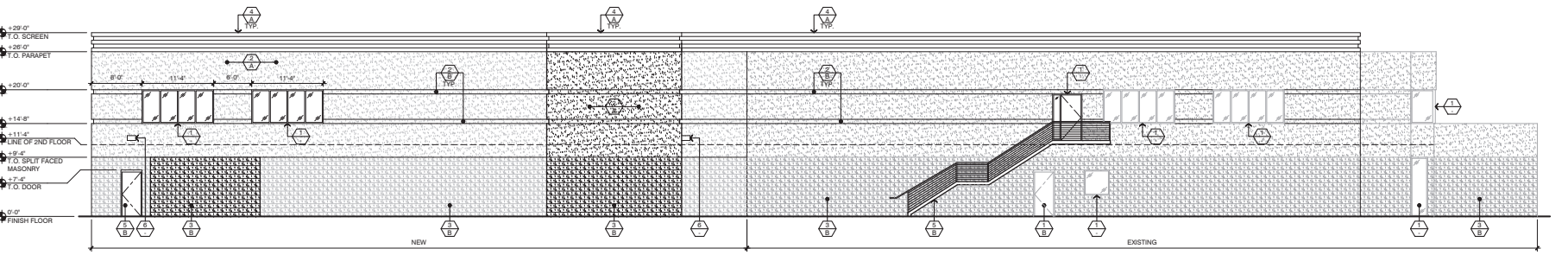
2 SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



3 WEST ELEVATION

SCALE: 1/8" = 1'-0"



4 EAST ELEVATION

SCALE: 1/8" = 1'-0"



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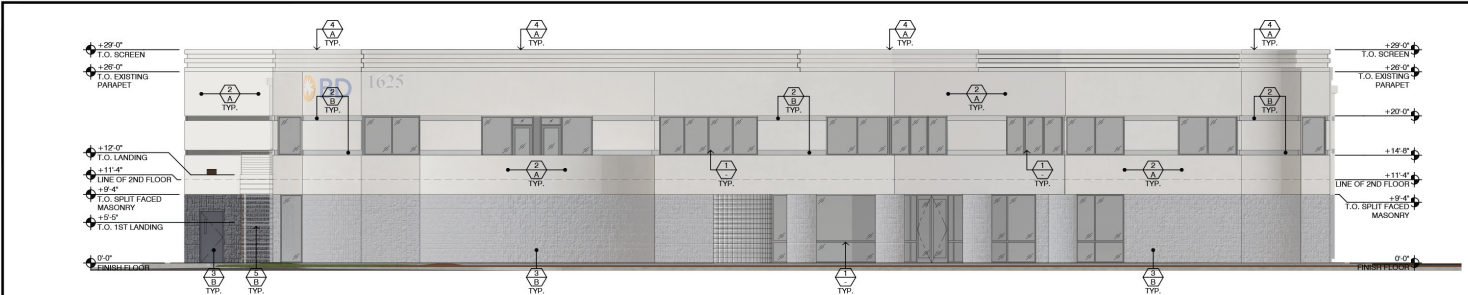
BD B1: RENOVATION / ADDITION
1625 WEST 3RD STREET
TEMPE, ARIZONA 85281

PROJECT NUMBER	18022
SHEET SCALE	-
DATE	-
DRAWN/CHECKED	AB / JW
DATE	04.22.19
REVISIONS	-
COMMENTS	DATE
SHEET TITLE	-
SHEET NUMBER	-

EXTERIOR ELEVATIONS

A2.1A

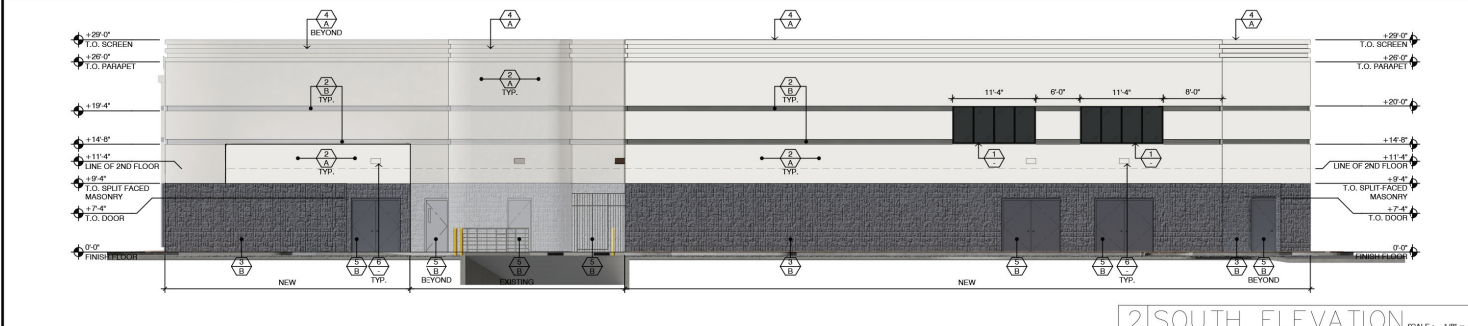
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1 NORTH ELEVATION SCALE: 1/8" = 1'-0"

KEYNOTES:

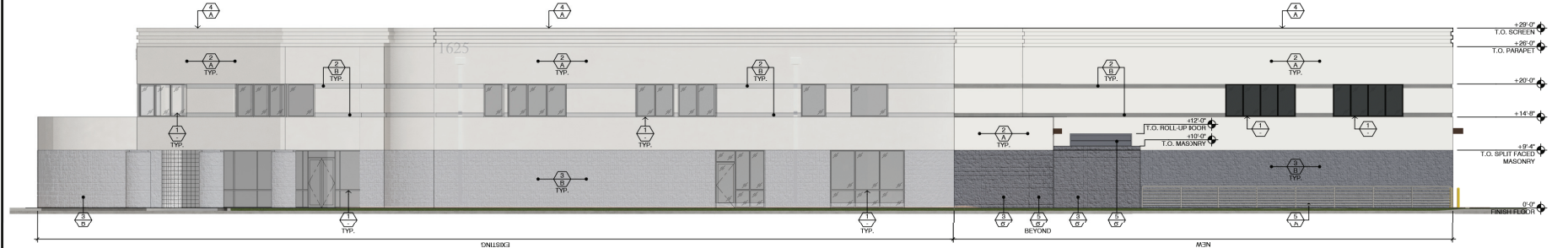
1. DARK BRONZE ANODIZED FRAMES WITH BRONZE GLASS
2. E.I.F.S. FINISH TO MATCH EXISTING
3. 8X8X16 SPLIT-FACED MASONRY
4. METAL MECHANICAL SCREEN
5. METAL RAILINGS, STAIRS, DOORS AND OVER-HEAD ROLL-UP DOOR TO PAINTED-SEE COLOR SCHEDULE
6. WALL MOUNTED LIGHT FIXTURE MOUNTED +12'-0" ABOVE FINISH GRADE CENTERED ON DOOR OPENING



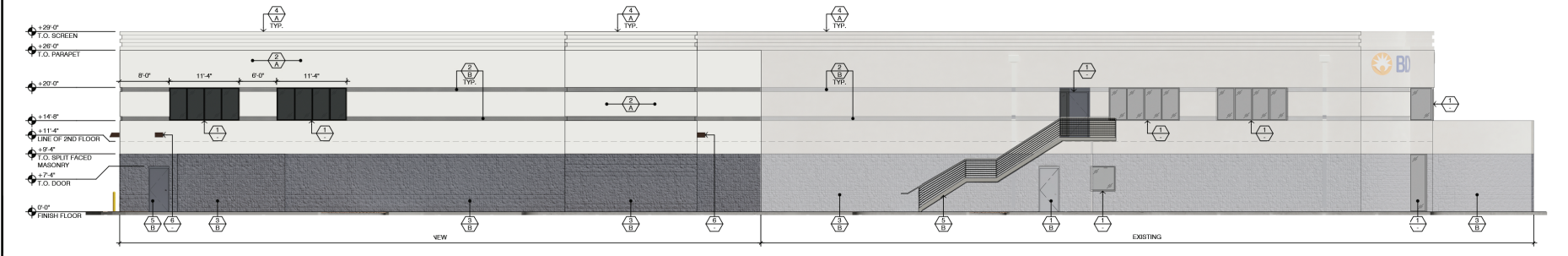
2 SOUTH ELEVATION SCALE: 1/8" = 1'-0"

COLOR SCHEDULE:

- A DUNN EDWARDS DEW 382 FADED GRAY
 B DUNN EDWARDS DE382 STORM CLOUD



3 WEST ELEVATION SCALE: 1/8" = 1'-0"



4 EAST ELEVATION SCALE: 1/8" = 1'-0"

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EXPIRES: 12-31-2019

BD BUILDING 1: RENOVATION / ADDITION
1625 WEST 3RD STREET
TEMPE, ARIZONA 85281

PROJECT NUMBER: 18022
 SHEET SCALE: -
 DWG #: -
 DRAWN/CHECKED: AB / JW
 DATE: 04.02.19
 REVISIONS: -
 COMMENTS: -

SHEET TITLE: COLORED EXTERIOR ELEVATIONS
 SHEET NUMBER: A2.1B

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1 NORTH ELEVATION SCALE: 1/8" = 1'-0"



3 WEST ELEVATION SCALE: 1/8" = 1'-0"

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EXPIRES: 12-31-2019

BD BUILDING 1: RENOVATION / ADDITION
1625 WEST 3RD STREET
TEMPE, ARIZONA 85281

PROJECT NUMBER	18022
SHEET SCALE	-
DWG #	-
DRAWN/CHECKED	AB / JW
DATE	04.02.19
COMMENTS	REVISIONS DATE

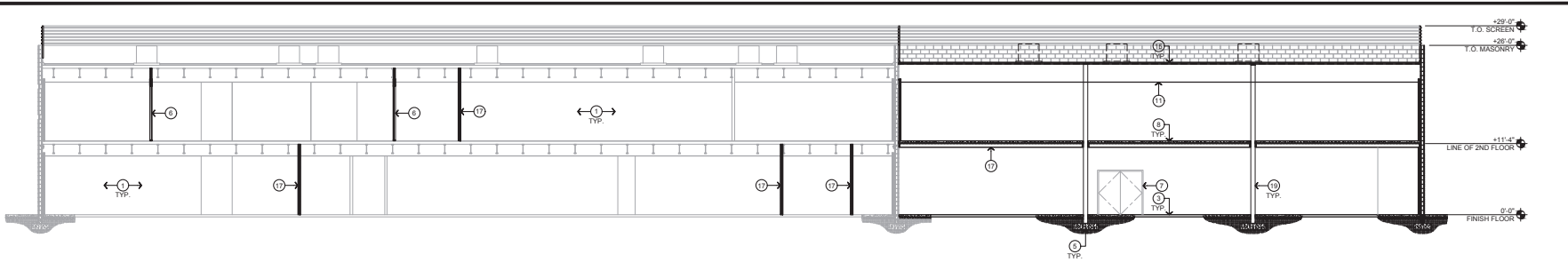
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2-D COLORED
EXTERIOR
ELEVATIONS

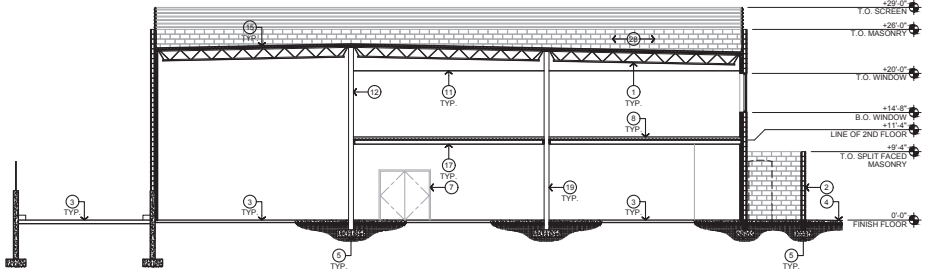
SHEET NUMBER

A2.1C

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4 FULL BUILDING SECTION SCALE: 3/32" = 1'-0"



7 BUILDING SECTION THRU ADDITION SCALE: 3/32" = 1'-0"

KEYNOTES:

1. EXISTING TO REMAIN
2. 8 X 8 X 16" MASONRY - SEE STRUCTURAL DRAWINGS
3. CONCRETE SLAB OVER A.B.C. BASE
4. SLOPE ALL CONCRETE WALKS / STOOPS AWAY FROM BUILDING AT 1/8" PER FOOT MINIMUM. 2% MAXIMUM
5. CONCRETE FOOTING - SEE STRUCTURAL
6. ALUMINUM STOREFRONT WINDOW SYSTEM - SEE WINDOW WALL ELEVATIONS
7. HOLLOW METAL DOOR (BEYOND) - SEE FLOOR PLAN AND DOOR SCHEDULE
8. SEALED CONCRETE SLAB ON METAL DECK OVER PREFABRICATED METAL JOISTS
9. NOT USED
10. NOT USED
11. SUSPENDED ACOUSTICAL CEILING TILE - SEE DETAIL 15/A1.3
12. 5/8" GYPSUM BOARD OVER METAL STUD FRAMING - SEE A1.1 WALL LEGEND
13. NOT USED
14. NOT USED
15. ROOFING SYSTEM TO MATCH EXISTING
16. NOT USED
17. I-BEAM - SEE STRUCTURAL DRAWINGS
18. METAL STUD FRAMING - SEE STRUCTURAL DRAWINGS
19. TUBE STEEL COLUMN - SEE STRUCTURAL DRAWINGS
20. POLYURETHANE FOAM ROOF WITH ELASTOMERIC TOP COAT OVER EXTERIOR GRADE PLYWOOD DECK SHEATHING OVER METAL DECKING - PER ICBO #ER-3182 - SEE STRUCTURAL DRAWINGS
21. EXTEND ELASTOMERIC TOP COAT UP ON REAR SIDE OF PARAPET WALL TO UNDERSIDE OF FLASHING - TERMINATION HOLD OR TO STUCCO FINISH ABOVE
22. 4" CONTINUOUS FIBER CANT STRIP
23. GALVANIZED ONE PIECE SHEET METAL SCREEN - PAINTED
24. ROOF DRAIN AND OVERFLOW CAPS TO SEPARATE DRAIN LINES, DAYLIGHT ON WALK - WHERE OCCURS - SEE FLOOR PLAN
25. ROOF CROCKET - 4 PLY BUILT UP ROOFING OVER EXTERIOR GRADE PLYWOOD SHEATHING OVER 2X FRAMING SLOPE 1/4" PER FOOT MINIMUM
26. NOT USED
27. SERVICE ENTRANCE SECTION (S.E.S.) BEYOND - SEE ELECTRICAL DRAWINGS
28. BUILDING BEYOND



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EXPIRES 12-31-2019

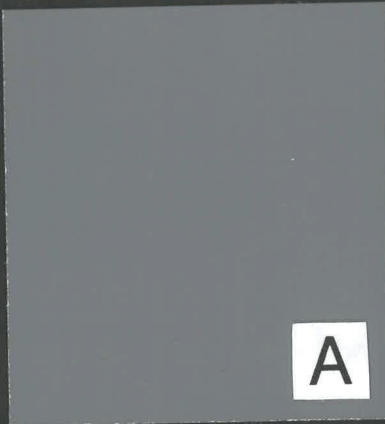
BD BUILDING 1: RENOVATION / ADDITION
1625 WEST 3RD STREET
TEMPE, ARIZONA 85281

PROJECT NUMBER	18022
SHEET SCALE	-
DATE	04.02.19
DESIGNED BY	AB / JW
CHECKED BY	AB / JW
DATE	04.02.19
REVISIONS	
COMMENTS	

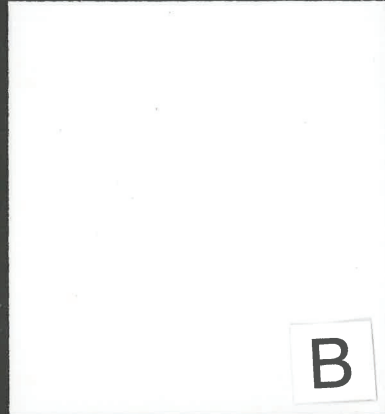
SHEET TITLE	BUILDING SECTION
SHEET NUMBER	A3.1







A



B



3



1

KEYNOTES:

1. DARK BRONZE ANODIZED FRAMES WITH BRONZE GLASS
2. E.I.F.S. FINISH TO MATCH EXISTING
3. 8X8X16 SPLIT-FACED MASONRY

COLOR SCHEDULE:

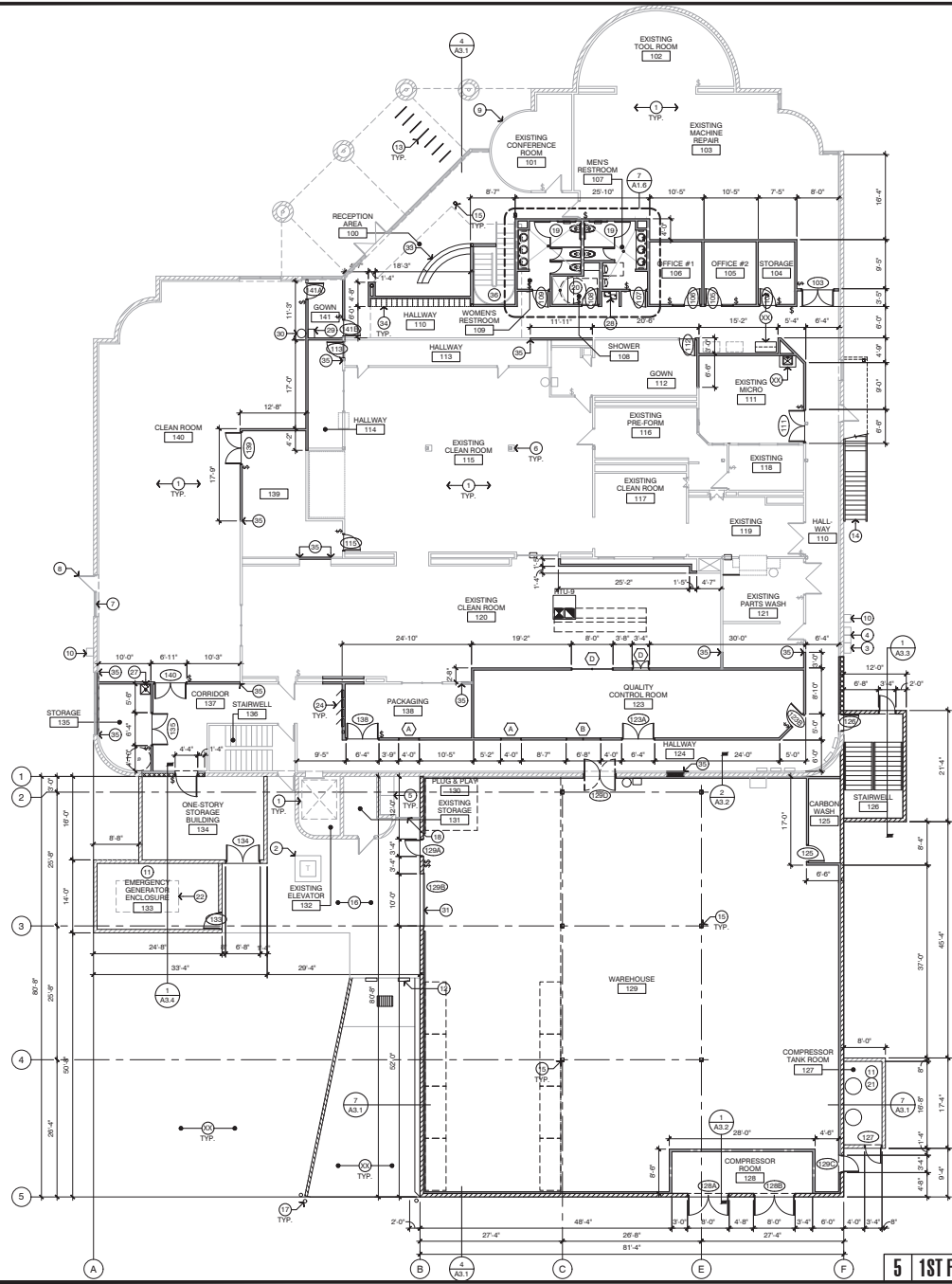
A	DUNN EDWARDS	'DE6362 STORM CLOUD'
B	DUNN EDWARDS	'DEW 382 FADED GRAY'



EXTERIOR MATERIALS AND COLOR BOARD

PROJECT: BD B1: RENOVATION / ADDITION
 ADDRESS: 1625 WEST 3RD STREET
 TEMPE, ARIZONA 85281
 JOB #: 18022

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5 1ST FLOOR PLAN

SCALE: 3/32" = 1'-0"

LEGEND:

- EXISTING FURRING OVER MASONRY WALL TO REMAIN
- EXISTING FRAMED WALL TO REMAIN
-
-
-
-
-
-
- EXISTING STOREFRONT WINDOW SYSTEM TO REMAIN
- STOREFRONT WINDOWS SYSTEM - TYPE TO MATCH EXISTING - SEE DETAIL
- HERCULITE® GLASS WALLS WITH SLIDING DOORS
- EXISTING DOOR(S) TO REMAIN
-
-

KEYNOTES:

1. EXISTING AREA TO REMAIN AS-IS
2. EXISTING TRANSFORMER TO REMAIN
3. EXISTING ELECTRICAL PANEL TO REMAIN
4. EXISTING FIBER OPTICS PANEL TO REMAIN
5. EXISTING S.E.S. TO REMAIN - SEE ELECTRICAL DRAWINGS
6. EXISTING STRUCTURAL STEEL COLUMNS - WITH 5/8" GYPSUM BOARD WRAP
7. EXISTING STOREFRONT TO REMAIN - APPLY 3M BLACK-OUT FILM
8. EXISTING STOREFRONT DOOR TO REMAIN - APPLY 3M BLACK-OUT FILM
9. EXISTING GLASS BLOCK WALL TO REMAIN
10. EXISTING ROOF DOWNSPOUT TO REMAIN
11. MASONRY SCREEN WALL ENCLOSURE
12. LOADING RAMP WITH STEEL GUARD RAILING - SEE CIVIL DRAWINGS
- (7) BICYCLE RACKS
14. STEEL STAIRCASE
15. STRUCTURAL STEEL COLUMNS - SEE STRUCTURAL DRAWINGS
16. 4" CONCRETE SLAB - SEE STRUCTURAL DRAWINGS
17. 4" DIAMETER PIPE BOLLARD - PAINTED SAFETY YELLOW
18. METAL GATE FOR EXISTING S.E.S. ENCLOSURE
19. A.D.A. COMPLIANT RESTROOM
20. A.D.A. COMPLIANT SHOWER ROOM
21. COMPRESSED AIR EQUIPMENT - SEE MECHANICAL AND ELECTRICAL DRAWINGS
22. EMERGENCY GENERATOR - SEE ELECTRICAL DRAWINGS
23. FLOOR MOUNTED ELECTRICAL STATION - SEE ELECTRICAL DRAWINGS
24. ELECTRICAL PANELS - SEE ELECTRICAL DRAWINGS
25. 4'-0" x 4'-0" x 3/4" PLYWOOD TELEPHONE MOUNTING BOARD - SEE ELECTRICAL DRAWINGS
26. SURFACE MOUNTED 2A/10BC FIRE EXTINGUISHER
27. FLOOR MOUNTED MOP SINK WITH FIBERGLASS REINFORCED PANEL TO +4'-0" A.F.F. AT BACK AND ADJACENT WALLS - SEE PLUMBING DRAWINGS
28. HI-LOW A.D.A. COMPLIANT DRINKING FOUNTAIN
29. STAINLESS STEEL HAND SINK - SEE PLUMBING DRAWINGS
30. WALL MOUNTED EMERGENCY EYE WASH STATION
31. 10' X 10' OVERHEAD ROLL-UP DOOR - SEE ELECTRICAL DRAWINGS
32. FLOORING TRANSITION STRIP
33. PLAM RECEPTION DESK
- (72) LOCKERS
35. ALIGN FINISH FACE OF WALLS
36. ENCLOSED STAIRCASE

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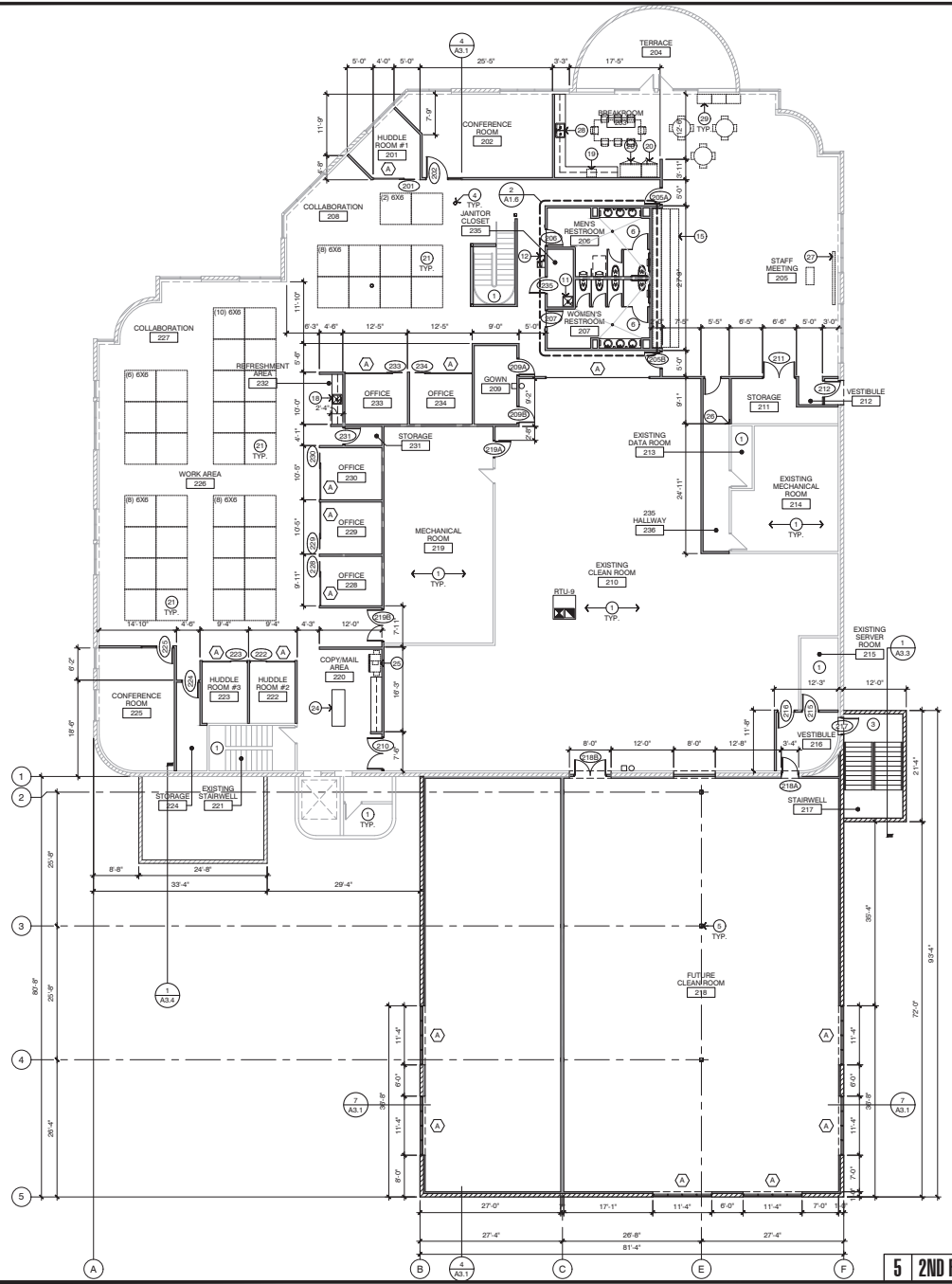
BD B1: RENOVATION / ADDITION
1625 WEST 3RD STREET
TEMPE, ARIZONA 85281

PROJECT NUMBER	18022
SHEET SCALE	-
DATE	-
DRAWN/CHECKED	AB / JW
DATE	04.22.19
REVISIONS	-
COMMENTS	-
SHEET TITLE	-
SHEET NUMBER	-

FLOOR PLAN

A1.1

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5 2ND FLOOR PLAN

SCALE: 3/32" = 1'-0"

LEGEND:

- EXISTING FURRING OVER MASONRY WALL TO REMAIN
- EXISTING FRAMED WALL TO REMAIN
- 5/8" GYPSUM BOARD ON 3 5/8" METAL STUD OVER EXISTING MASONRY WALL
- 5/8" GYPSUM BOARD ON 3 5/8" METAL STUD OVER 6" MASONRY WALL
- 5/8" GYPSUM BOARD ON 3 5/8" METAL STUD OVER 6" MASONRY IN FILL
- 5/8" GYPSUM BOARD ON 3 5/8" METAL STUDS TO 6" ABOVE CEILING
- 5/8" WATER RESISTANT GYPSUM BOARD ON 6" METAL STUDS TO 6" ABOVE CEILING
- 5/8" WATER RESISTANT GYPSUM BOARD ON 6" METAL STUDS TO 6" ABOVE CEILING
- EXISTING STOREFRONT WINDOW SYSTEM TO REMAIN
- STOREFRONT WINDOWS SYSTEM - TYPE TO MATCH EXISTING - SEE DETAIL
- 'HERCULITE' GLASS WALLS WITH SLIDING DOORS
- EXISTING DOOR(S) TO REMAIN
- 3'-0" X 7'-0" X 1 3/4" SOLID CORE WOOD DOOR - IN METAL FRAME AND HARDWARE - SEE DETAILS
- (3) 3'-0" X 7'-0" X 1 3/4" DOOR - IN METAL FRAME AND HARDWARE - SEE DOOR SCHEDULE FOR TYPE AND DETAILS

KEYNOTES:

1. EXISTING AREA TO REMAIN AS-IS
2. EXISTING STRUCTURAL STEEL COLUMNS
3. STEEL STAIRCASE
4. STRUCTURAL STEEL COLLUMNS - SEE STRUCTURAL DRAWINGS
5. 4" CONCRETE SLAB - SEE STRUCTURAL DRAWINGS
6. A.D.A. COMPLIANT RESTROOM
7. A.D.A. COMPLIANT SHOWER ROOM
8. ELECTRICAL PANELS - SEE ELECTRICAL DRAWINGS
9. 4'-0" X 4'-0" X 3/4" PLYWOOD TELEPHONE MOUNTING BOARD - SEE ELECTRICAL DRAWINGS
10. SURFACE MOUNTED 2A108C FIRE EXTINGUISHER
11. FLOOR MOUNTED TOP SINK WITH FIBERGLASS REINFORCED PANEL TO 4'-0" A.F.F. AT BACK AND ADJACENT WALLS - SEE PLUMBING DRAWINGS
12. HI-LOW A.D.A. COMPLIANT DRINKING FOUNTAIN
13. STAINLESS STEEL HAND SINK - SEE PLUMBING DRAWINGS
14. WALL MOUNTED EMERGENCY EYE WASH STATION
15. RETRACTABLE SEATING - (3) LEVELS
16. 'HERCULITE' GLASS WALLS AND SLIDING DOORS
17. FLOORING TRANSITION STRIP
18. PLAM COFFEE COUNTER WITH STAINLESS STEEL SINGLE COMPARTMENT SINK WITH BASE AND WALL CABINET
19. MICROWAVE (N.I.C.)
20. REFRIGERATOR WITH FREEZER (N.I.C.)
21. 6" X 6" SYSTEMS FURNITURE - N.I.C.
22. NOT USED
23. PLAM BASE AND WALL CABINET
24. PLAM WORK COUNTER
25. COPIER (N.I.C.)
26. ALIGN FINISH FACE OF WALLS
27. LARGE MONITOR (N.I.C.)
28. DUAL COMPARTMENT STAINLESS STEEL SINK - SEE PLUMBING DRAWINGS
29. (3) VENDING MACHINES (N.I.C.) - SEE ELECTRICAL DRAWINGS

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SHEET NUMBER A1.3