

**CITY OF TEMPE  
DEVELOPMENT REVIEW COMMISSION**

**Meeting Date: 10/22/2019  
Agenda Item: 03**

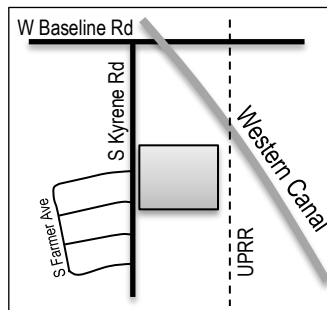
**ACTION:** Request a Development Plan Review for a new 8,448 Square-foot addition for **CHAPMAN KYRENE BODYSHOP**, located at 5301 South Kyrene Road. The applicant is Barry R. Barcus Architect, Inc.

**FISCAL IMPACT:** There is no fiscal impact on City funds.

**RECOMMENDATION:** Approve, subject to conditions

**BACKGROUND INFORMATION:** CHAPMAN KYRENE BODYSHOP PL190146 is a proposed 8,448 s.f. addition on the east side of the existing building to house paint preparation rooms, paint booths and a mix room. The request includes the following:

DPR190088 Development Plan Review including site plan, building elevations, and landscape plan



Property Owner	Chapman Kyrene LLC
Applicant	Barry R. Barcus, Barry R. Barcus Architect, Inc.
Zoning District	GID
Gross / Net site area	7.04 acres
Total Building Area	36,549 s.f.
New Addition	8,448 s.f.
Lot Coverage	11.91% (No Standard)
Building Height	25'-5" (35'-0" maximum allowed)
Building Setbacks	119'-2" north side, 254'-1" south side, 292'-3" rear (0' side, 0' rear min.)
Landscape area	10% (10% minimum required)
Vehicle Parking	110 spaces (106 min. required)
Bicycle Parking	4 spaces (4 min. required)

**ATTACHMENTS:** Development Project File

**STAFF CONTACT(S):** Blake Schimke, Planning Technician (480) 350-8245

Department Director: Chad Weaver, Community Development Director

Legal review by: N/A

Prepared by: Blake Schimke, Planning Technician

Reviewed by: Suparna Dasgupta, Principal Planner

**COMMENTS:**

This site is located on South Kyrene Road and approximately 750 feet south of West Baseline Road; it is adjacent to Single-Family Residential to the west as well as the Union Pacific Rail Road and Western Canal along the East.

Existing uses on the site include: Auto body repair and office.

This request includes the following:

1. Development Plan Review which includes: a landscape plan, a site plan and building elevations for a new 8,448 s.f. addition and site repaint.

The applicant is requesting the Development Review Commission take action on the item listed above

**SITE PLAN REVIEW**

This project went through the Site Plan Review Process one time (7/3/2019). The majority of the comments were requests to provide more detailing on the plans. Staff requested that the columns on the front elevation be painted to match the new proposed accent color as well as provide more landscaping along the street frontage to meet code. The applicant was amenable to all the comments made and designed the project to meet staff recommendation.

**PUBLIC INPUT**

- Neighborhood meeting required/not required

**PROJECT ANALYSIS****DEVELOPMENT PLAN REVIEW****Site Plan**

The site is 7.04 acres in size. The proposed addition will be located on the northeast side of the existing building and located within a current inventory lot area. The proposed addition will not affect other buildings or circulation of the site for solid waste and fire vehicles.

**Building Elevations**

The addition is proposed at a maximum height of 25'-5". All facades are shown to match the design and existing materials of the adjacent building. The north side of the addition will also include a metal canopy painted to match the existing CMU block. Primary materials used for this project is painted CMU (smooth and split-face ribbon accents). As an accent, the doors, columns, and roof will be painted to provide contrast and uniformity to the site along all façades.

**Landscape Plan**

The applicant is proposing minor modifications to the landscape for this project. Primarily replacing dead/missing landscaping as well as adding trees along the frontage to meet the 1 per 30 f.t. code requirement. The landscape coverage will be 10% on-site.

Section 6-306 D Approval criteria for Development Plan Review (*in italics*):

1. *Placement, form, and articulation of buildings and structures provide variety in the streetscape*; the proposed addition is being constructed of materials to match the existing building on-site. The landscape plan is also being updated to add required street trees along the frontage.
2. *Building design and orientation, together with landscape, combine to mitigate heat gain/retention while providing shade for energy conservation and human comfort*; the addition is being proposed on the northeast side of the existing building on an area used for vehicle storage. It will reduce the amount of asphalt and provide a lighter color to help mitigate any heat retention.

3. *Materials are of a superior quality, providing detail appropriate with their location and function while complementing the surroundings; the materials used are to match what is existing on-site, which will compliment the surround industrial uses as well as improve the facia along the street frontage.*
4. *Buildings, structures, and landscape elements are appropriately scaled, relative to the site and surroundings; the building is keeping within the development standards and designed to match what is existing. Added landscape is in context with the area and with what is existing.*
5. *Large building masses are sufficiently articulated so as to relieve monotony and create a sense of movement, resulting in a well-defined base and top, featuring an enhanced pedestrian experience at and near street level; the addition is in the rear and not visible from the street. Massing is mitigated through added accents and materials.*
6. *Building facades provide architectural detail and interest overall with visibility at street level (in particular, special treatment of windows, entries and walkways with particular attention to proportionality, scale, materials, rhythm, etc.) while responding to varying climatic and contextual conditions; architectural details are appropriate to the scale and context of the site and surroundings.*
7. *Plans take into account pleasant and convenient access to multi-modal transportation options and support the potential for transit patronage; the site is adjacent to four city bus stop locations for travel in all directions.*
8. *Vehicular circulation is designed to minimize conflicts with pedestrian access and circulation, and with surrounding residential uses; the addition is proposed within the site's vehicle storage area where members of the public do not have access. There are no anticipated conflicts with pedestrian access or circulation.*
9. *Plans appropriately integrate Crime Prevention Through Environmental Design principles such as territoriality, natural surveillance, access control, activity support, and maintenance; plans have been reviewed by the Tempe Police Department and comments were provided to the applicant. The proposed building design and landscaping comply with CPTED principles.*
10. *Landscape accents and provides delineation from parking, buildings, driveways and pathways; landscape islands and hardscape have been implemented appropriately to provide delineation from parking, buildings and driveways.*
11. *Signs have design, scale, proportion, location and color compatible with the design, colors, orientation and materials of the building or site on which they are located; signs are subject to a separate plan review and are not apart of this application.*
12. *Lighting is compatible with the proposed building(s) and adjoining buildings and uses and does not create negative effects. Lighting must comply with current code requirements to meet minimum illumination levels and be non-intrusive to adjacent properties.*

**REASONS FOR APPROVAL:**

1. The project will meet the development standards required under the Zoning and Development Code.
2. The proposed project meets the approval criteria for a Development Plan Review.

Based on the information provided and the above analysis, staff recommends approval of the requested Development Plan Review. This request meets the required criteria and will conform to the conditions.

**DEVELOPMENT PLAN REVIEW CONDITIONS OF APPROVAL: (Non-standard conditions are identified in bold)**

EACH NUMBERED ITEM IS A CONDITION OF APPROVAL. THE DECISION-MAKING BODY MAY MODIFY, DELETE OR ADD TO THESE CONDITIONS.

## **General**

1. Except as modified by conditions, development shall be in substantial conformance with the site plan and building elevations dated 09/13/2019 and landscape plan dated 07/22/2019. Minor modifications may be reviewed through the plan check process of construction documents; major modifications will require submittal of a Development Plan Review.

## **Site Plan**

2. Provide service yard and mechanical (cooling tower/generator) yard walls that are at least 8'-0" tall as measured from adjacent grade or are at least the height of the equipment being enclosed, whichever is greater. Verify height of equipment and mounting base to ensure that wall height is adequate to fully screen the equipment.
3. Provide gates of steel vertical picket, steel mesh, steel panel or similar construction. Where a gate has a screen function and is completely opaque, provide vision portals for visual surveillance. Provide gates of height that match that of the adjacent enclosure walls. Review gate hardware with Building Safety and Fire staff and design gate to resolve lock and emergency ingress/egress features that may be required.
4. Utility equipment boxes for this development shall be finished in a neutral color (subject to utility provider approval) that complements the coloring of the buildings.
5. Place exterior, freestanding reduced pressure and double check backflow assemblies in pre-manufactured, pre-finished, lockable cages (one assembly per cage). If backflow prevention or similar device is for a 3" or greater water line, delete cage and provide a masonry or concrete screen wall following the requirements of Standard Detail T-214.

## **Building Elevations**

6. The materials and colors are approved as presented:

Building Addition – Smooth-faced CMU – Painted to match existing building – Dunn Edwards – Exclusive Ivory DE6191

Building Accent – EIFS – Integral colored & Painted to match existing building – Dunn Edwards – Exclusive Ivory DE6191

Building Accent – Split-faced CMU – Painted to match existing building – Dunn Edwards – Exclusive Ivory DE6191

Roof, Column, & Door accent – Dunn Edwards – Maple View DE6152

Metal awning – Painted to match existing building – Dunn Edwards – Exclusive Ivory DE6191

Provide primary building colors and materials with a light reflectance value of 75 percent or less.

7. If provided, roof access shall be from the interior of the building. Do not expose roof access to public view.
8. Conceal roof drainage system within the interior of the building.
9. Incorporate lighting, address signs, and incidental equipment attachments (alarm klaxons, security cameras, etc.) where exposed into the design of the building elevations. Exposed conduit, piping, or related materials is not permitted.
10. Locate the electrical service entrance section (S.E.S.) inside the building or inside a secure yard that is concealed from public view.

## **Lighting**

11. This project shall follow requirements of ZDC Part 4, Chapter 8, Lighting.
12. Illuminate building entrances and underside of open stair landings from dusk to dawn to assist with visual surveillance at these locations.

## **Landscape**

13. Arterial street trees shall be a minimum of 36" box specimens and a minimum of 1 ½" caliper trunk.
14. Irrigation notes:
  - a. Provide dedicated landscape water meter.
  - b. Provide pipe distribution system of buried rigid (polyvinylchloride), not flexible (polyethylene). Use of schedule 40 PVC mainline and class 315 PVC ½" feeder line is acceptable. Class 200 PVC feeder line may be used for sizes greater than ½". Provide details of water distribution system.
  - c. Locate valve controller in a vandal resistant housing.
  - d. Hardwire power source to controller (a receptacle connection is not allowed).
  - e. Controller valve wire conduit may be exposed if the controller remains in the mechanical yard.
  - f. Repair existing irrigation system (on site or in the adjacent public rights-of-way) where damaged by work of this project. Provide temporary irrigation to existing landscape on-site or in these frontages for period of time that irrigation system is out of repair. Design irrigation so existing plants are irrigated as part of the reconfigured system at the conclusion of this construction.
15. Include requirement to de-compact soil in planting areas on site and in public right of way and remove construction debris from planting areas prior to landscape installation.
16. Top dress planting areas with a rock or decomposed granite application. Provide rock or decomposed granite of 2" uniform thickness. Provide pre-emergence weed control application and do not underlay rock or decomposed granite application with plastic.

**Building Address**

17. Provide address sign(s) on the building elevation facing the street to which the property is identified.
  - a. Conform to the following for building address signs:
    - 1) Provide street number only, not the street name
    - 2) Compose of 12" high, individual mount, metal reverse pan channel characters.
    - 3) Self-illuminated or dedicated light source.
    - 4) On multi-story buildings, locate no higher than the second level.
    - 5) Coordinate address signs with trees, vines, or other landscaping, to avoid any potential visual obstruction.
    - 6) Do not affix numbers or letters to elevation that might be mistaken for the address.
  - b. Utility meters shall utilize a minimum 1" number height in accordance with the applicable electrical code and utility company standards.

**CODE/ORDINANCE REQUIREMENTS:**

THE BULLETED ITEMS REFER TO EXISTING CODE OR ORDINANCES THAT PLANNING STAFF OBSERVES ARE PERTINENT TO THIS CASE. THE BULLET ITEMS ARE INCLUDED TO ALERT THE DESIGN TEAM AND ASSIST IN OBTAINING A BUILDING PERMIT AND ARE NOT AN EXHAUSTIVE LIST.

**SITE PLAN REVIEW:** Verify all comments by all departments on each Preliminary Site Plan Review. If questions arise related to specific comments, they should be directed to the appropriate department, and any necessary modifications coordinated with all concerned parties, prior to application for building permit. Construction Documents submitted to the Building Safety Division will be reviewed by planning staff to ensure consistency with this Design Review approval prior to issuance of building permits.

**DEADLINE:** Development plan approval shall be void if the development is not commenced or if an application for a building permit has not been submitted, whichever is applicable, within twelve (12) months after the approval is granted or within the time stipulated by the decision-making body. The period of approval is extended upon the time review limitations set forth for building permit applications, pursuant to Tempe Building Safety Administrative Code, Section 8-104.15. An expiration of the building permit application will result in expiration of the development plan.

**STANDARD DETAILS:**

- Access to Tempe Supplement to the M.A.G. Uniform Standard Details and Specifications for Public Works Construction, at this link: <http://www.tempe.gov/city-hall/public-works/engineering/standards-details> or purchase book from the Public Works Engineering Division.
- Access to refuse enclosure details DS116 and DS118 and all other Development Services forms at this link: <http://www.tempe.gov/city-hall/community-development/building-safety/applications-forms>. The enclosure details are under Civil Engineering & Right of Way.

**BASIS OF BUILDING HEIGHT:** Measure height of buildings from top of curb at a point adjacent to the center of the front property line.

**WATER CONSERVATION:** Under an agreement between the City of Tempe and the State of Arizona, Water Conservation Reports are required for landscape and domestic water use for the non-residential components of this project. Have the landscape architect and mechanical engineer prepare reports and submit them with the construction drawings during the building plan check process. Report example is contained in Office Procedure Directive # 59. Refer to this link: <http://www.tempe.gov/home/showdocument?id=5327> . Contact the Public Works Department, Water Conservation Division with questions regarding the purpose or content of the water conservation reports.

**HISTORIC PRESERVATION:** State and federal laws apply to the discovery of features or artifacts during site excavation (typically, the discovery of human or associated funerary remains). Contact the Historic Preservation Officer with general questions. Where a discovery is made, contact the Arizona State Historical Museum for removal and repatriation of the items.

**POLICE DEPARTMENT SECURITY REQUIREMENTS:**

- Refer to Tempe City Code Section 26-70 Security Plans.
- Design building entrance(s) to maximize visual surveillance of vicinity. Limit height of walls or landscape materials, and design columns or corners to discourage ambush.
- Maintain distances of 20'-0" or greater between a pedestrian path of travel and any hidden area to allow for increased reaction time and safety.
- Follow the design guidelines listed under appendix A of the Zoning and Development Code. In particular, reference the CPTED principal listed under A-II Building Design Guidelines (C) as it relates to the location of pedestrian environments and places of concealment.
- Provide a security vision panel at service and exit doors (except to rarely accessed equipment rooms) with a 3" wide high strength plastic or laminated glass window, located between 43" and 66" from the bottom edge of the door.

**TRAFFIC ENGINEERING:**

- Provide 8'-0" wide public sidewalk along arterial roadways, or as required by Traffic Engineering Design Criteria and Standard Details.
- Construct driveways in public right of way in conformance with Standard Detail T-320. Alternatively, the installation of driveways with return type curbs as indicated, similar to Standard Detail T-319, requires permission of Public Works, Traffic Engineering.
- Correctly indicate clear vision triangles at both driveways on the site and landscape plans. Identify speed limits for adjacent streets at the site frontages. Begin sight triangle in driveways at point 15'-0" in back of face of curb. Consult Intersection Sight Distance memo, available from Traffic Engineering if needed [www.tempe.gov/index.aspx?page=801](http://www.tempe.gov/index.aspx?page=801). Do not locate site furnishings, screen walls or other visual obstructions over 2'-0" tall (except canopy trees are allowed) within each clear vision triangle.

**FIRE:**

- Clearly define the fire lanes. Ensure that there is at least a 20'-0" horizontal width, and a 14'-0" vertical clearance from the fire lane surface to the underside of tree canopies or overhead structures. Layout and details of fire lanes are subject to Fire Department approval.
- Provide a fire command room(s) on the ground floor of the building(s). Verify size and location with Fire Department.

#### CIVIL ENGINEERING:

- An Encroachment Permit or License Agreement must be obtained from the City for any projections into the right of way or crossing of a public utility easement, prior to submittal of construction documents for building permit.
- Maintain a minimum clear distance of twenty-four (24) feet between the sidewalk level and any overhead structure.
- Coordinate site layout with Utility provider(s) to provide adequate access easement(s).
- Clearly indicate property lines, the dimensional relation of the buildings to the property lines and the separation of the buildings from each other.
- Verify location of any easements, or property restrictions, to ensure no conflict exists with the site layout or foundation design.
- 100-year onsite retention required for this property, coordinate design with requirements of the Engineering Department.

#### SOLID WASTE SERVICES:

- Enclosure indicated on site plan is exclusively for refuse. Construct walls, pad and bollards in conformance with standard detail DS-116.
- Contact the Solid Waste Division to verify that vehicle maneuvering and access to the enclosure is adequate. Refuse staging and collection must be on site; no backing onto or off of streets, alleys or paths of circulation.
- Develop strategy for recycling collection and pick-up from site. Roll-outs may be allowed for recycled materials. Coordinate storage area for recycling containers with overall site and landscape layout.
- Gates for refuse enclosure(s) are not required, unless visible from the street. If gates are provided, the property manager must arrange for gates to be open from 6:00am to 4:30pm on collection days.

#### PARKING SPACES:

- Verify conformance of accessible vehicle parking to the Americans with Disabilities Act and the Code of Federal Regulations Implementing the Act. Refer to Building Safety ADA Accessible Parking Spaces Marking/Signage on Private Development details.
- At parking areas, provide demarcated accessible aisle for disabled parking.
- Distribute bike parking areas nearest to main entrance(s). Provide parking loop/rack per standard detail T-578. Provide 2'-0" by 6'-0" individual bicycle parking spaces. One loop may be used to separate two bike parking spaces. Provide clearance between bike spaces and adjacent walkway to allow bike maneuvering in and out of space without interfering with pedestrians, landscape materials or vehicles nearby.

#### ZONING AND DEVELOPMENT CODE:

- Specific requirements of the **Zoning and Development Code (ZDC)** are not listed as a condition of approval, but will apply to any application. To avoid unnecessary review time and reduce the potential for multiple plan check submittals, become familiar with the ZDC. Access the ZDC through [www.tempe.gov/zoning](http://www.tempe.gov/zoning) or purchase from Community Development.

#### LIGHTING:

- Design site security light in accordance with requirements of ZDC Part 4 Chapter 8 (Lighting) and ZDC Appendix E (Photometric Plan).
- Indicate the location of all exterior light fixtures on the site, landscape and photometric plans. Avoid conflicts between lights and trees or other site features in order to maintain illumination levels for exterior lighting.

#### LANDSCAPE:

- Trees shall be planted a minimum of 16'-0" from any existing or proposed public utility lines. The tree planting separation requirements may be reduced to no less than 8'-0" from utility lines upon the installation of a linear root barrier. Per Detail T-460, the root barrier shall be a continuous material, a minimum of 0.08" thick, installed to a minimum depth of 4'-0" below grade. The root barrier shall extend 6'-0" on either side of the tree parallel to the utility line for a minimum length of 12'-0". Final approval is subject to determination by the Public Works, Water Utilities

Division.

- Prepare an existing plant inventory for the site and adjacent street frontages. The inventory may be prepared by the Landscape Architect or a plant salvage specialist. Note original locations and species of native and “protected” trees and other plants on site. Move, preserve in place, or demolish native or “protected” trees and plants per State of Arizona Agricultural Department standards. File Notice of Intent to Clear Land with the Agricultural Department. Notice of Intent to Clear Land form is available at <https://agriculture.az.gov/plantsproduce/native-plants>. Follow the link to “applications to move a native plant” to “notice of intent to clear land”.

SIGNS: Separate plan review process is required for signs in accordance with requirements of ZDC Part 4 Chapter 9 (Signs). Refer to [www.tempe.gov/signs](http://www.tempe.gov/signs).

DUST CONTROL: Any operation capable of generating dust, include, but not limited to, land clearing, earth moving, excavating, construction, demolition and other similar operations, that disturbs 0.10 acres (4,356 square feet) or more shall require a dust control permit from the Maricopa County Air Quality Department (MCAQD). Contact MCAQD at <http://www.maricopa.gov/aq/>.

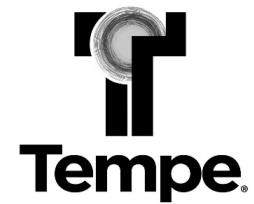
#### **HISTORY & FACTS:**

August 18, 1994	The Design Review Board approved the building elevation, site plan, and landscape plan or CHAPMAN STORGAE LOT (PHASE I) AND BODY SHOP (PHASE II)
August 24, 1994	The Board of Adjustment approved 3 variances for CHAPMAN NEW STORGAE LOT (PHASE I) AND BODY SHOP (PHASE II). <ol style="list-style-type: none"><li>Variance to waive the required landscape islands at the ends of parking aisles and at every 15 parking spaces at certain locations in the rear vehicle storage compound.</li><li>Variance to substitute chain link fence in place of required masonry wall at certain perimeter locations.</li><li>Variance to waive requirements for landscaping future phase of development during the first phase of construction.</li></ol> (Variances b and c shall be valid for two years or development of Phase II or whichever occurs first)
November 17, 1994	The Design Review Board approved the building elevations, site plan, and landscape plan for CHAPMAN COLLISION REPAIR FACILITY.
January 4, 1995	The Hearing Officer approved a Variance to waive the required 6'-0" high masonry screening wall to screen two (2) overhead doors.
July 6, 2000	The Design Review Board approved the building addition for ADDITION TO CHAPMAN COLLISION CENTER.
November 15, 2017	The Community Development Department administratively approved a Development Plan Review for a repaint of the CHAPMAN COLLISION CENTER.

#### **ZONING AND DEVELOPMENT CODE REFERENCE:**

Section 6-306, Development Plan Review





# DEVELOPMENT PROJECT FILE

for

CHAPMAN KYRENE BODYSHOP

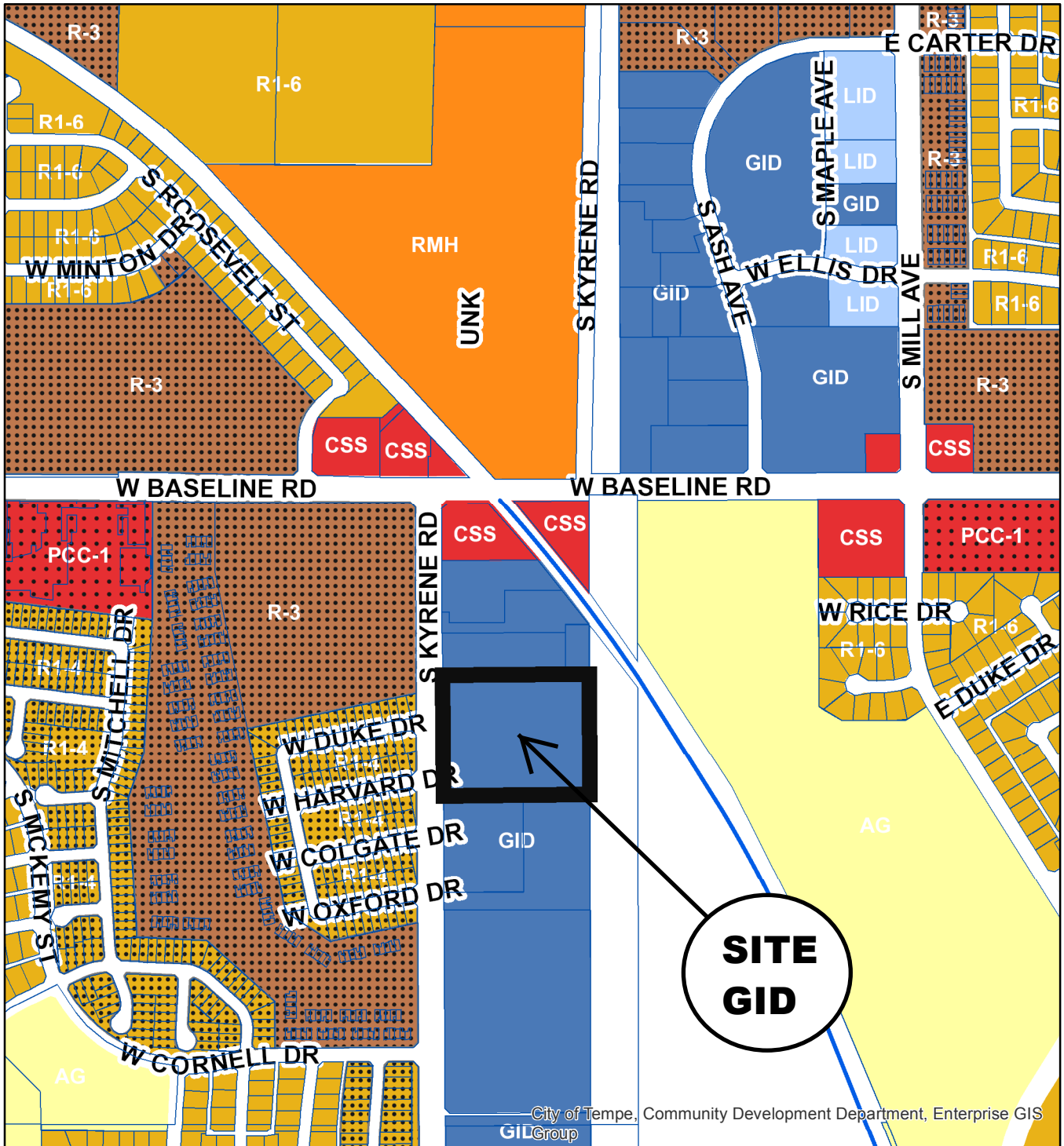
PL190146

## ATTACHMENTS:










1. Site Context (Location Map, Aerial and Aerial with Site Plan Overlay, Site Photos)
2. Applicant's Letter of Explanation
3. Site Design (Site Plan, Landscape Plan, Grading Plan)
4. Building Design (Blackline/Color Elevations, Renderings, Material Samples, Floor Plans)

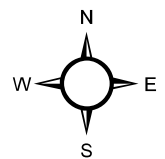
# Chapman Kyrene Bodyshop

PL 190146



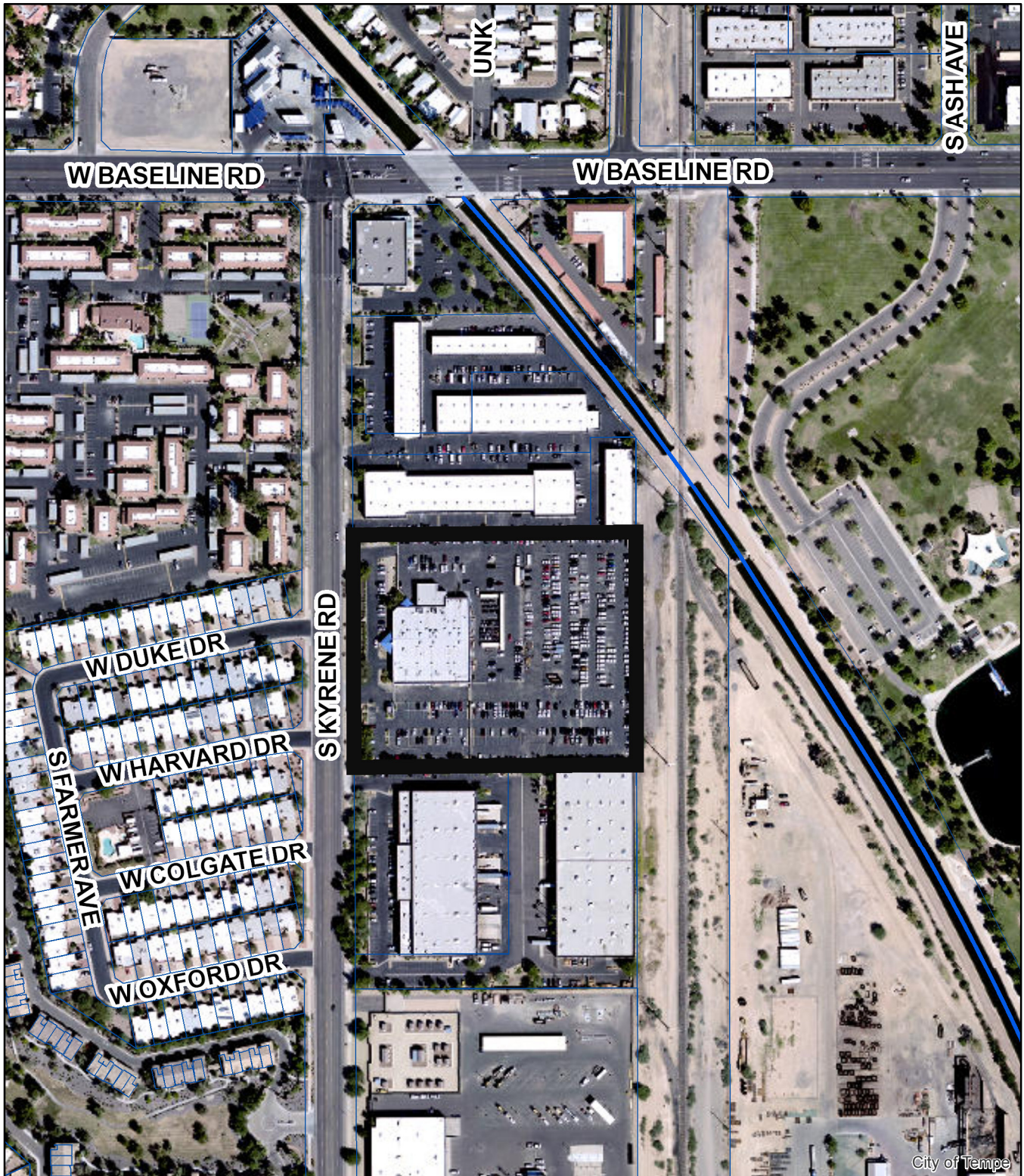
City of Tempe, Community Development Department, Enterprise GIS  
GILGroup

- |  |  |
|--|--|
|  Light Industrial District (LID)                |  Single-Family Residential (R1-6)       |
|  General Industrial District (GID)              |  Single-Family Residential (R1-4)       |
|  Commercial Shopping and Services (CSS)         |  Multi-Family Residential Limited (R-3) |
|  Planned Commercial Center Neighborhood (PCC-1) |  Mobile Home Residence (RMH)            |
|  Agricultural (AG)                              |  |

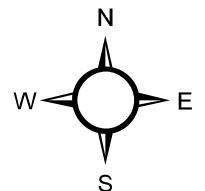


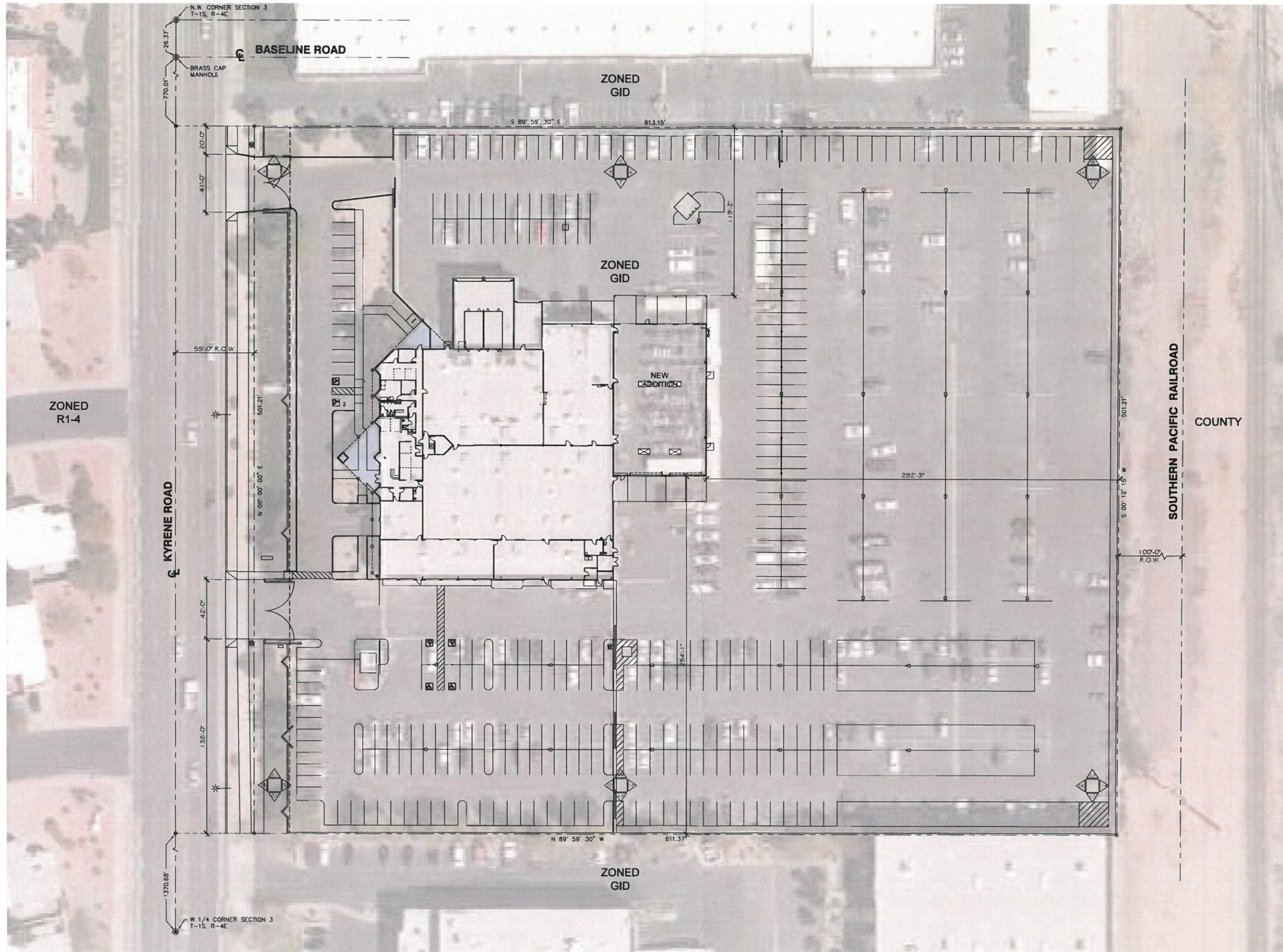
# Chapman Kyrene Bodyshop

PL190146



Aerial Map





**BARRY R. BARCUS ARCHITECT, INC.**  
 5333 NORTH 7TH STREET, SUITE B-320  
 PHOENIX, AZ. 85014  
 PHONE: (602) 264-4341 FAX: 264-2542

REMODEL & ADDITION FOR:  
**CHAPMAN BODY SHOP**  
 5301 SOUTH KYRENE ROAD  
 TEMPE, ARIZONA 85283



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JOB NO.	1828	
DRAWN BY	JWG	
DATE	6-25-19	
REVISIONS		
No.	Description	Date



CONTEXT AERIAL SITE PLAN  
 SCALE: 1" = 30'-0"

1ST MAJOR DEV. PLAN REVIEW (6-25-19)

**Context Photos for:**  
**Chapman Automotive**  
**TEMPE BODY SHOP**

**5301 S. Kyrene Rd.**  
**Tempe, AZ 85283**

**June 11, 2019**



**Photo 1: NW drive looking North**



**Photo 2: NW drive looking East**



**Photo 3: NW drive looking South**



**Photo 4: NW drive looking West**



**Photo 5: Middle north looking North**



**Photo 6: Middle north looking East**



**Photo 7: Middle north looking South**



**Photo 8: Middle north looking West**



**Photo 9: NE corner looking North**



**Photo 10: NE corner looking East**



**Photo 11: NE corner looking South**



**Photo 12: NE corner looking West**





**Photo 13: SE corner looking North**



**Photo 14: SE corner looking East**



**Photo 15: SE corner looking South**



**Photo 16: SE corner looking West**



**Photo 17: Middle south looking North**



**Photo 18: Middle south looking East**



**Photo 19: Middle south looking South**



**Photo 20: Middle south looking West**



**Photo 21: SW Corner looking North**



**Photo 22: SW Corner looking East**



**Photo 23: SW Corner looking South**



**Photo 24: SW Corner looking West**



BARRY R. BARCUS ARCHITECT, INC.

## Chapman Collision Center

5301 S. Kyrene road  
Tempe, AZ 85283

### Letter of Explanation:

We propose to provide an addition to an existing automotive body shop located on Kyrene Road south of Baseline Road.

The approximately 8,400 s.f. addition will be at the back of the building in the current inventory parking lot area. We are proposing the same building materials as the existing building. A new covered canopy will be added to the North side of the new addition.

The existing building on the North, East and South elevations will all be repainted to match the recently repainted West street elevation. The new addition will be painted to match the repainted west street elevation as well.

The addition will house; two paint prep stations; three paint booths and a paint mix room. All of these function will occur within a fully enclosed building. All ductwork related to the paint equipment will be fully screened from view with parapet walls.

The existing refuse enclosure at the north side of the lot is completely behind a 6'-0" high "compound" wall that completely surrounds this entire area. The owner currently uses a private waste collection service.

New landscape trees will be placed at a minimum of 1 per 30 l.f. along Kyrene Road, see Landscaping plan.

Barry R. Barcus, Architect

N.W. CORNER SECTION 3  
T-1S, R-4E

BASELINE ROAD

BRASS CAP  
MANHOLE

ZONED  
GID

S 89° 59' 30" E  
613.15'

**FIRE DEPARTMENT NOTES**

- FIRE DEPARTMENT CONNECTIONS (FDC) FOR BUILDING FIRE SPRINKLER SYSTEMS SHALL BE WITHIN 100 FEET OF A SUPPORTING FIRE HYDRANT AND SHALL HAVE CLEAR ACCESS TO THE CONNECTION FROM FIRE APPARATUS ACCESS ROAD.
- FIRE APPARATUS ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED PATH FOR THE ENTIRE WIDTH OF THE APPARATUS ACCESS ROAD AND TURN-A-ROUND. THERE SHALL BE A CLEAR HEIGHT OF 14 FEET, BE AN ALL-WEATHER SURFACE THAT CAN SUPPORT 20,000 LBS.
- FIRE APPARATUS SHOULD EXTEND TO WITHIN 150 FEET OF ALL PORTIONS OF A FACILITY AND ALL PORTIONS OF THE EXTERIOR WALLS OF THE FIRST STORY OF THE BUILDING.
- TRAFFIC CALMING DEVICES SHALL BE PROHIBITED UNLESS APPROVED BY THE FIRE CODE OFFICIAL.
- ANY GATE WHICH OBSCURES A FIRE APPARATUS ACCESS ROAD SHALL BE PROPERLY EQUIPPED SO THAT THE GATE CAN BE OPENED BY THE TEMPE FIRE MEDICAL RESCUE PERSONNEL.

**PROJECT NARRATIVE**

THIS PROJECT WILL CONSIST OF THE ADDITION TO AN EXISTING BODY SHOP FOR NEW PAINT BOOTH EQUIPMENT. THE BUILDING WILL MATCH THE EXISTING BUILDING MATERIALS. A COVERED CANOPY WILL BE ADDED TO THE NORTH SIDE OF THE NEW ADDITION. SECONDARY SCREENING WILL BE USED ON THE ROOF AT THE INTAKE AND EXHAUST DUCTS. THE NEW CONSTRUCTION AND THE EXISTING BUILDING ON THE NORTH, EAST AND SOUTH ELEVATIONS WILL ALL BE PAINTED. THE EXISTING STANDING SEAM METAL ROOF WILL BE REPAINTED.

**PARKING CALCULATIONS**

NET FLOOR AREA	2,491 S.F.
OFFICE AREA	26,568 S.F.
SERVICE AREA	29,069 S.F.
WAREHOUSE	4,144 S.F.
TOTAL FOR 151 TO,000	4,144/500 = 8 SPACES
100 SPACES REQUIRED	
1/2 CUSTOMER REGULAR SPACES PROVIDED	
82 EMPLOYEE REGULAR SPACES PROVIDED	
6 ACCESSIBLE SPACES PROVIDED	
5 ACCESSIBLE SPACES REQUIRED	
110 TOTAL SPACES PROVIDED	
LOANERS:	
BI-CYCLE:	4 SPACES REQUIRED, 4 SPACES PROVIDED

**KEYNOTES**

- EXISTING REFUSE AREA TO REMAIN
- EXISTING FIRE HYDRANT
- NEW CONC. APRON, SEE SPECS
- RELOCATED GAS METER, SEE FLEMING PLANS
- NEW 4" BI-CYCLE RACK, SEE SPEC
- NEW ACCESSIBLE PARKING SYMBOL
- NEW ACCESSIBLE PARKING SIGN
- NEW CURB RAMP
- NEW 6" CONC. CHAB
- NEW CONC. SIDEWALK
- 4" WIDE WHITE PAINTED STRIPING WITH STRIPES AT 24" O.C. AS SHOWN
- 6" PIPE BOLARDS, SEE DTL. V
- 4" WIDE WHITE PAINTED PARKING STRIPES
- EXISTING GUARD FK USE TO REMAIN
- EXISTING WROUGHT IRON FENCE TO REMAIN
- EXISTING ROLLING GATE TO REMAIN
- EXISTING SWINGING GATES TO REMAIN
- EXISTING CONC. SIDEWALK TO REMAIN
- EXISTING 6 FT. HIGH WALL TO REMAIN
- EXISTING F.D.C. TO REMAIN
- EXISTING CONC. TRANSFORMER TO REMAIN
- 5'-0" SQUARE CONC. LANDING, SLOPE 2% MAX. AWAY FROM BUILDING, SEE SPEC.
- NEW ACCESSIBLE PARKING SIGN BOTH SIDES
- EXISTING S.E.S. TO REMAIN
- EXISTING BACKFLOW PREVENTION DEVICE
- EXISTING KNOCK BOX ON GATE
- EXISTING MONUMENT SIGN TO REMAIN
- REMOVE EXISTING PARKING STRIPING
- REMOVE EXISTING LIGHT POLE AND CONC. PEDISTAL
- REMOVE EXISTING GAS METERS FOR RELOCATION
- REMOVE PORTION OF EXISTING CURB FOR NEW SIDEWALK
- REMOVE PORTION OF EXISTING SIDEWALK FOR NEW RAMP
- REMOVE EXISTING PAVING AS REQUIRED FOR NEW WORK
- REMOVE EXISTING CONC. LANDINGS
- REMOVE EXISTING PIPE BOLARDS

**PROJECT DATA**

**OWNER:**  
CHAPMAN KYRENE, LLC  
7455 W. ORCHARD LANE  
CHANDLER, AZ 85226  
PH: (480) 970-0740  
CONTACT: DAVID R. BOWEN  
JORDAN@CHAPMANKYRENE.COM

**ARCHITECT:**  
BARRY R. BARCUS ARCHITECT, INC.  
5333 N. 7TH STREET, B-320  
PHOENIX, AZ 85014  
PH: (602) 264-4341  
BARRY@BRBARCUS.COM  
CONTACT: BARRY R. BARCUS

**PROJECT ADDRESS:**  
5301 S. KYRENE RD.  
TEMPE, ARIZONA 85283

**ZONING (DEV. STDS TABLE 4-204):**  
INDUSTRIAL

**ASSESSOR'S PARCEL NUMBER (APN):**  
301-03-018P

**SITE AREA:**  
NET = 306,871 S.F. = 7.04 ACRES

**BUILDING AREA:**  
EXISTING BUILDING: 28,101 S.F.  
NEW ADDITION: 2,491 S.F.  
EXISTING COVERED: 5,919 S.F.

**EXISTING PROJECTED LAND USE (GENERAL PLAN 2040):**  
INDUSTRIAL

PROPOSED USE	BUILDING %	BUILDING AREA
B OCCUPANCY	6.2%	2,491 S.F.
S-1 OCCUPANCY	91.5%	29,213 S.F.
S-2 OCCUPANCY	11.5%	4,143 S.F.
		35,807 S.F.

**ALLOWABLE LOT COVERAGE (TABLE 4-204):**  
N.S. (N/A STANDARD)

**CONSTRUCTION TYPE:**  
B-B A.T.E.S.

**ACTUAL LOT COVERAGE:**  
NET = 35,287/306,871 S.F. = 11.48%

**OCCUPANCY:**  
B, S-1, S-2 (N/A IN SEPARATED USES)

**REQUIRED LANDSCAPING:**  
306,871 x 10% = 30,687 S.F.

**LANDSCAPE PROVIDED:** 30,700 S.F.

**ALLOWABLE BUILDING HT (TABLE 4-204):** 30'-0"

**EXISTING BUILDING 26'-7"**  
**NEW ADDITION 25'-5"**

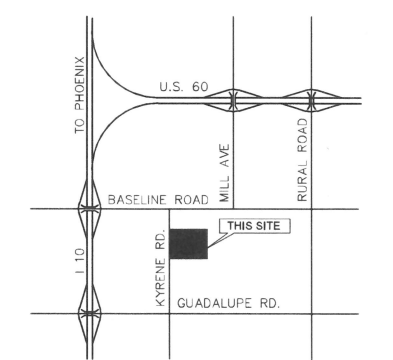
**VARIANCES OBTAINED:**

**RSM40200:**  
WAIVE REQUIRED LANDSCAPE ISLAND AT ENDS OF PARKING AREAS AND EVERY 15' PARKING SPACES AT CERTAIN LOCATIONS IN THE REAR VEHICLE STORAGE OFF-ROAD.

**RSM40320:**  
WAIVE THE REQUIRED 6' HIGH MASONRY SCREENING WALL REQUIRED TO SCREEN TWO (2) OVERHEAD DOORS FACING KYRENE ROAD.

**LEGAL DESCRIPTION**

THAT PART OF THE NORTHWEST QUARTER OF SECTION 3, TOWNSHIP 1 SOUTH, RANGE 4 EAST, OF THE GILA AND SAUL RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA



**VICINITY MAP**  
SCALE: N.T.S.

'SITE PLAN'

ZONED  
R1-4

Q KYRENE ROAD

SOUTHERN PACIFIC RAILROAD

COUNTY

W 1/4 CORNER SECTION 3  
T-1S, R-4E

ZONED  
GID

**SITE PLAN**

SCALE: 1" = 30'-0"

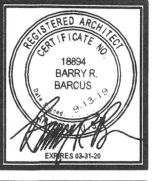


**LEGEND**

- FIRE DEPARTMENT DRIVE ISLES SHALL BE NOT LESS THAN 20'-0" MINIMUM WIDTH WITH AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 14', EXCEPT FOR APPROVED SECURITY GATES SHALL HAVE A WIDTH NOT LESS THAN 20', DOTTED LINES INDICATE 25'-0" MINIMUM INSIDE TURNING RADIUS AND A 45'-0" OUTSIDE TURNING RADIUS
- ADA COMPLIANT ACCESSIBLE ROUTE, PROVIDE DIRECTIONAL SIGNAGE PER IBC SECTION 1110, ALL ACCESSIBLE ROUTES SHALL COMPLY WITH ICDANS
- ALL 17.1 SECTIONS: 403.3.4.4.200.3. RUNNING SLOPES SHALL NOT EXCEED 1:20 AND CROSS SLOPES SHALL NOT EXCEED 1:48. ALL ACCESSIBLE RAMPS SHALL COMPLY WITH SECTION 405. RAMPES SHALL HAVE A RUNNING SLOPE NOT GREATER THAN 1:12 AND A CROSS SLOPE SHALL NOT EXCEED 1:48



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5333 NORTH 7TH STREET, SUITE B-320  
PHOENIX, AZ 85014  
PHONE: (602) 264-4341 FAX: 264-2542



**REMODEL & ADDITION FOR:**  
**CHAPMAN BODY SHOP**  
5301 SOUTH KYRENE ROAD  
TEMPE, ARIZONA 85283

**CHAPMAN**  
AUTOCENTIVE

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JOB NO. 1828

DRAWN BY: JWJ

DATE: 9-13-19

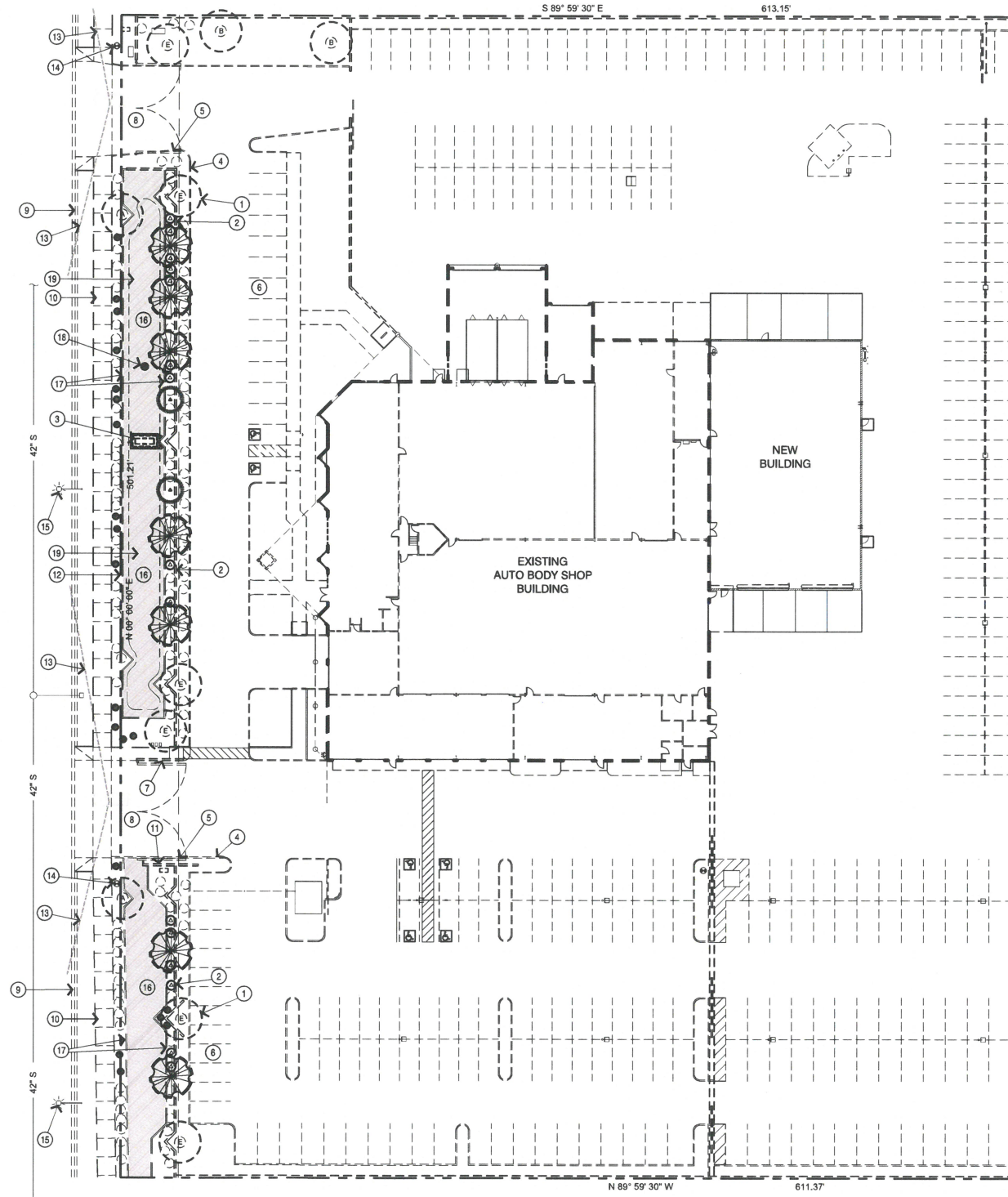
REVISIONS		
No.	Description	Date

SHEET NO.  
**AS1.00**

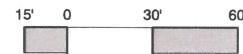
2nd MAJOR DEV. PLAN REVIEW (9-13-19)

J:\1828 - Kyrene Bodyshop Address - Tempe\04-Cad\Doc\Sheets\1828 - SITE PLAN.dwg, AS 1.00, 09/13/19 9:59:02 AM

KYRENE ROAD



1"=30'



EXISTING PLANT LEGEND

- (E) Ulmus Parvifolia (Evergreen Elm)
- (A) Acacia Farnesiana (Sweet Acacia)
- (B) Brachychiton Populneus (Bottle Tree)
- Existing Shrubs

Total Street Frontage Landscape 415 L.F.  
 Trees Required (1) per 25 L.F. (17)  
 Trees Provided (1) per 25 L.F. Existing (8) New (9)

### PLANT LIST

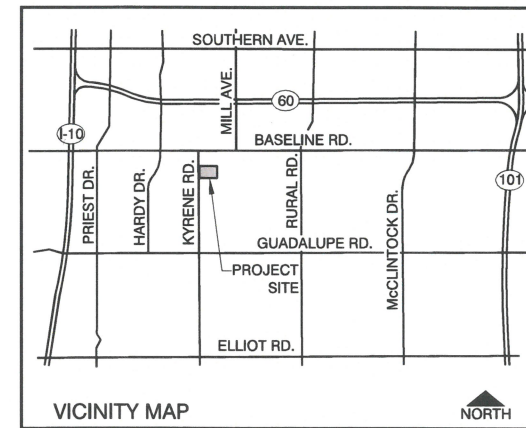
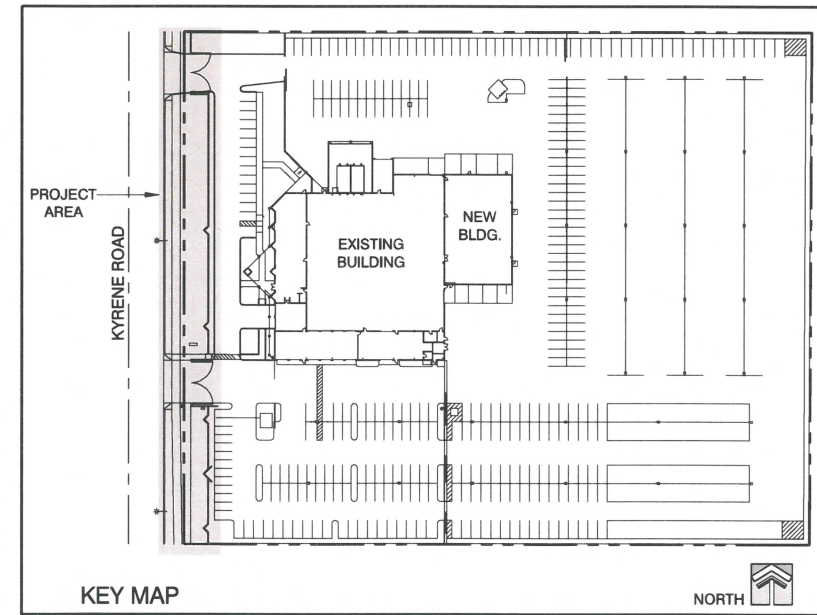
SYMBOL	BOTANICAL NAME COMMON NAME	SIZE QUAN.	REMARKS
(E)	ULMUS PARVIFOLIA EVERGREEN ELM	24" BOX 7	10' Ht., 4' Sp., 1 1/2" Cal.
(A)	SOPHORA SECUNDFLORA TEXAS MOUNTAIN LAUREL	24" BOX 2	7' Ht., 4' Sp., 1 1/2" Cal.
(B)	MYRTUS COMMUNIS 'COMPACTA' COMPACT MYRTLE	5 GAL. 15	
(S)	LANTANA MONTEVIDENSIS 'NEW GOLD' 'NEW GOLD' LANTANA	5 GAL. 20	

DECOMPOSED GRANITE - 1/2" SCREENED, 2" DEPTH IN ALL AREAS OF NEW PLANTING. (Match existing adjacent type and color)

NOTE:  
 ALL TREES TO BE PLANTED A MINIMUM OF 5' AWAY FROM ALL UTILITY LINES.  
 (As measured from the outside of the pipe to the exterior of the tree trunk)

LANDSCAPE KEY NOTES

1. EXISTING TREE TO REMAIN
2. EXISTING MASONRY SCREEN WALL
3. EXISTING SIGN
4. EXISTING CONCRETE CURB
5. EXISTING METAL GATES
6. EXISTING ASPHALT PARKING
7. EXISTING MASONRY WALL
8. EXISTING CONCRETE ENTRY DRIVE
9. EXISTING CONCRETE CURB AND GUTTER
10. EXISTING CONCRETE SIDEWALK
11. EXISTING BACKFLOW PREVENTER
12. RIGHT-OF-WAY LINE
13. SIGHT VISIBILITY LINE
14. EXISTING FIRE HYDRANT
15. EXISTING STREET LIGHT
16. EXISTING GRASS AREA TO REMAIN
17. EXISTING BRICK HEADER
18. EXISTING DRY WELL
19. EXISTING RETENTION BASIN



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PRELIMINARY  
 NOT FOR  
 CONSTRUCTION

REMODEL & ADDITION FOR:  
**CHAPMAN BODY SHOP**  
 5301 SOUTH KYRENE ROAD  
 TEMPE, ARIZONA 85283



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JOB NO. 1826

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DATE: JULY.22.2019

REVISIONS:

No.	Description	Date



Expires 8/3/2020



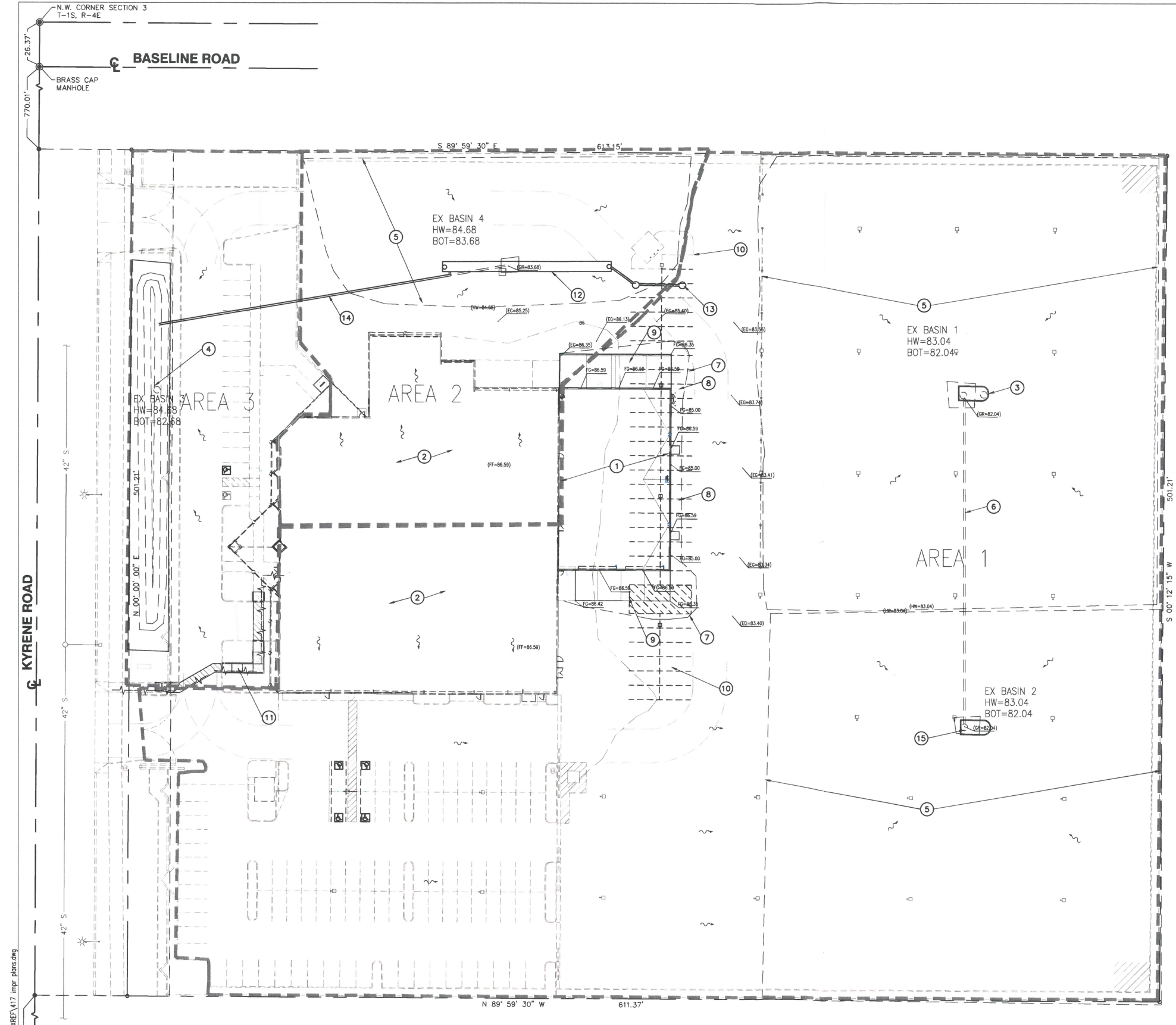
500 E. Mary Lane Gilbert, Arizona 85295  
 480-224-4278 pat@mlandscape.com

**Preliminary  
 Landscape Plan**

SHEET NO.:

**L1**

of 1



- (X) **KEYED NOTES**
1. NEW BUILDING EXPANSION
  2. EXISTING BUILDING
  3. EXISTING TWO CHAMBER DRYWELL. CONTRACTOR TO CLEAN AND SERVICE DRYWELL. INSTALL CURB ISLAND AROUND DRYWELL.
  4. EXISTING ONE CHAMBER DRYWELL. CONTRACTOR TO CLEAN AND SERVICE DRYWELL.
  5. EXISTING RETENTION BASIN IN PAVEMENT
  6. EXISTING PIPE
  7. SAWCUT LINE
  8. NEW MATCHIN PAVEMENT
  9. NEW CONCRETE APRON
  10. STRIPING TO BE OBLITERATED
  11. NEW SIDEWALK ACCESS TO BUILDING
  12. NEW UG RETENTION
  13. NEW 2 CHAMBER DRYWELL
  14. REPLACE EXISTING EQUALIZER PIPE WITH 12" HDPE PIPE. PIPE SHALL FLOW FROM FRONT BASIN TO UG RETENTION
  15. CONTRACTOR TO VERIFY EXISTING DRYWELL, IF A SINGLE CHAMBER DRYWELL, CONTRACTOR CLEAN AND SERVICE AND RETROFIT TO A DOUBLE CHAMBER AND INSTALL CURB AROUND DRYWELL.

**NARRATIVE:**  
 PROJECT IS THE ONSITE EXPANSION OF AN EXISTING AUTO SERVICE BUSINESS.  
 DRAINAGE REPORT TO BE SUBMITTED WITH CONSTRUCTION DOCUMENTS.  
 SITE HAS THREE EXISTING DRAINAGE AREAS. AREA 1 IS THE EAST AND SOUTH SIDE OF THE SITE AND IS RETAINED IN TWO 1' DEEP SURFACE BASINS IN THE EAST PARKING AREAS  
 AREA 1 IS DISPOSED BY AN EXISTING TWO CHAMBER DRYWELL.  
 AREA 2 IS THE NORTHEAST SIDE OF THE SITE. THIS AREA IS RETAINED WITH ONE SURFACE BASIN IN THE PAVED AREA  
 AREA 3 IS THE FRONT AREA NORTH OF THE SOUTH DRIVE.  
 AREA 1 WILL REMAIN UNCHANGED BY THIS PROJECT.  
 AREA 2 WILL BE HAVE INCREASED VOLUME BY ADDING UNDERGROUND RETENTION.  
 AREA 3 HAS SMALL DEFICIT AND WILL EQUALIZE WITH AREA 2. A NEW 2 CHAMBER DRYWELL WILL BE INSTALLED IN AREA 3.  
 ONSITE AREA WILL RETAIN THE 100 YEAR 2 HOUR EVENT (2.2 INCHES) (METHOD 2)  
 FLOWS IN KYRENE ROAD WILL REMAIN UNCHANGED.  
 FLOWS FROM ADJACENT SITES DO NOT ENTER THIS SITE.  
 SITE IS LOCATED IN FEMA ZONE X (SHADED) (04013C2240L)

NAME	AREA	C FACTOR	100YR 2HR DEPTH	VOL REQ	VOL PROV
DRAIN AREA 1	227034	0.95	0.1833	39542 CF	40386 CF
DRAIN AREA 2	42242	0.95	0.1833	7954 CF	8370 CF
INCLUDES DEFICIT FROM AREA 3					
DRAIN AREA 3	30654	0.73	0.1833	4108 CF	3511 CF
DEFICIT TO AREA 2					

PRELIMINARY

**Helix Engineering, LLC**  
 Engineering / Surveying / Consulting  
 3240 E Union Hills  
 Suite 112  
 Phoenix AZ 85050  
 602-788-2616  
 www.hxeng.com

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TWO WORKING DAYS BEFORE YOU DIG. CALL FOR THE BLUE STAKES  
 1-800-782-5348  
 BLUE STAKE CENTER

RELEASE	
DATE	
8-29-19	PRELIM GD

PROJECT NAME  
**CHAPMAN COLLISION CENTER**

PROJECT ADDRESS  
**5301 S. Kyrene  
 Tempe, AZ  
 86283**

PROJECT AREA  
**Baseline / Kyrene**

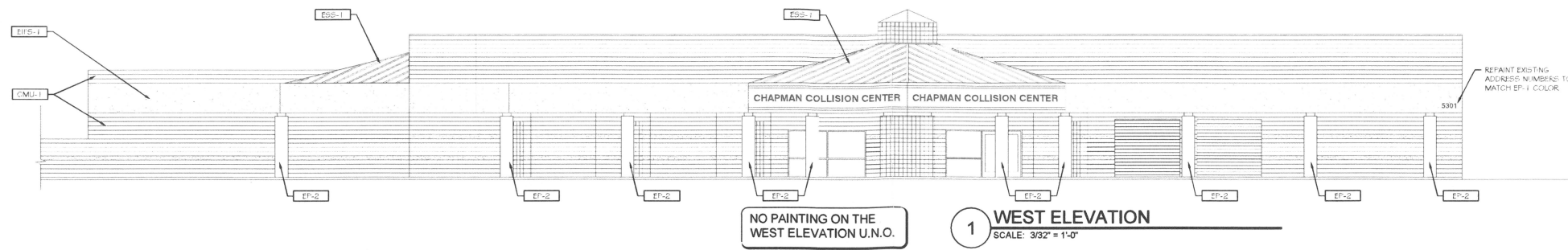
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**417**

IN HOUSE  
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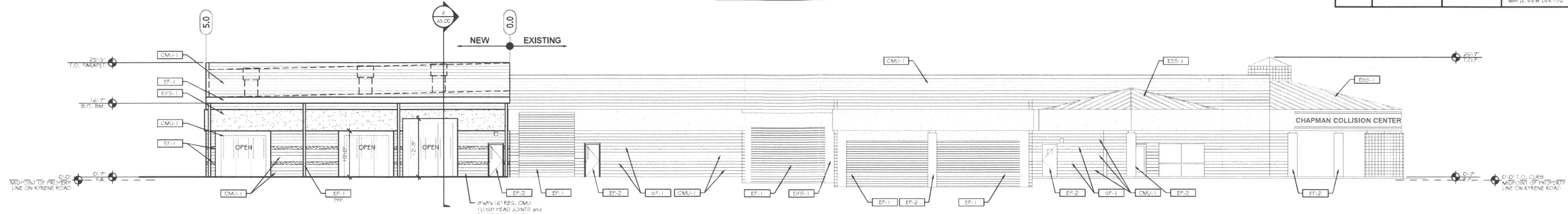
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Sep 08, 2019 - 4:50pm  
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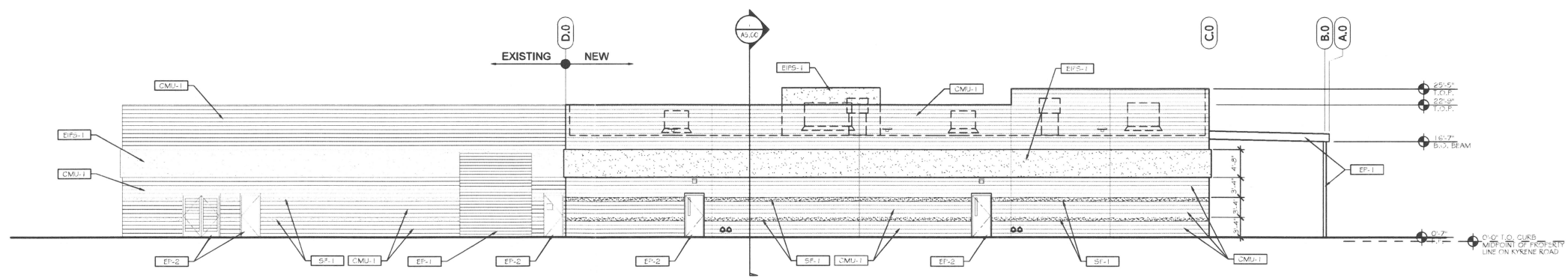
MATERIAL / COLOR LEGEND			
SYMBOL	MATERIAL	DESCRIPTION	
		PRODUCT	COLOR
EPS-1	EXTERIOR INSULATION FINISH SYSTEM OVER EXTERIOR CMU	INTEGRAL COLORED	TO MATCH DUNN EXCLUSIVE IVORY DE61P1
CMU-1	4"X8"X16" REG. CMU W/ FLUSH HEAD JOINTS and RAKED BED JOINTS TO MATCH EXISTING	DUNN EDWARDS PAINT	EXCLUSIVE IVORY DE61P1
SF-1	EXPOSED SPILT FACE CMU	DUNN EDWARDS PAINT	TO MATCH CMU-1
EP-1	METAL FINISH, METAL FASCIA, EXISTING OVERHEAD SERVICE DOORS	DUNN EDWARDS PAINT	EXCLUSIVE IVORY DE61P1
EP-2	F.I.M. DOORS, EXISTING F.I.M. DOORS, CYLINDRICAL COLUMNS	DUNN EDWARDS PAINT	MAPLE VIEW DE61S2
DR-1	CEILING OVERHEAD DOOR	COOKSON OR KYTEC	TO MATCH DUNN EDWARDS EXCLUSIVE IVORY DE61P1
ESS-1	EXISTING STANDING SEAM METAL ROOF	DUNN EDWARDS PAINT	TO MATCH DUNN EDWARDS MAPLE VIEW DE61S2



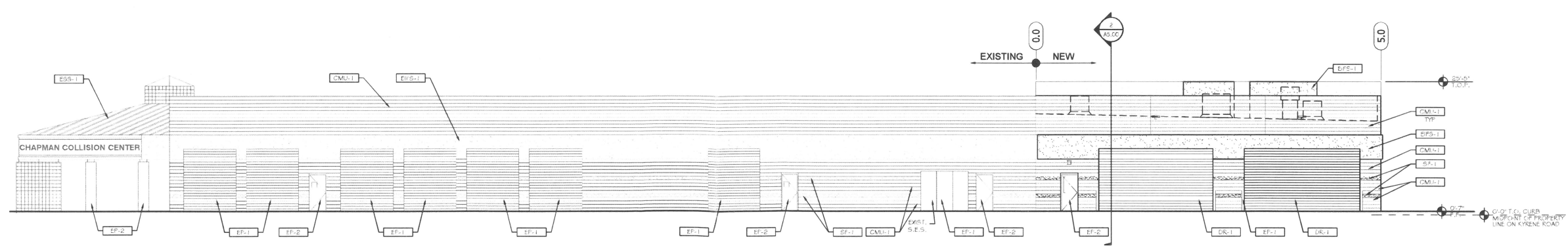
**1 WEST ELEVATION**  
SCALE: 3/32" = 1'-0"



**2 NORTH ELEVATION**  
SCALE: 3/32" = 1'-0"



**3 EAST ELEVATION**  
SCALE: 3/32" = 1'-0"



**4 SOUTH ELEVATION**  
SCALE: 3/32" = 1'-0"

ALL ROOF DRAINS TO BE INTERNALLY PIPED



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PHOENIX, AZ. 85014  
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REMODEL & ADDITION FOR:  
**CHAPMAN BODY SHOP**  
5301 SOUTH KYRENE ROAD  
TEMPE, ARIZONA 85283

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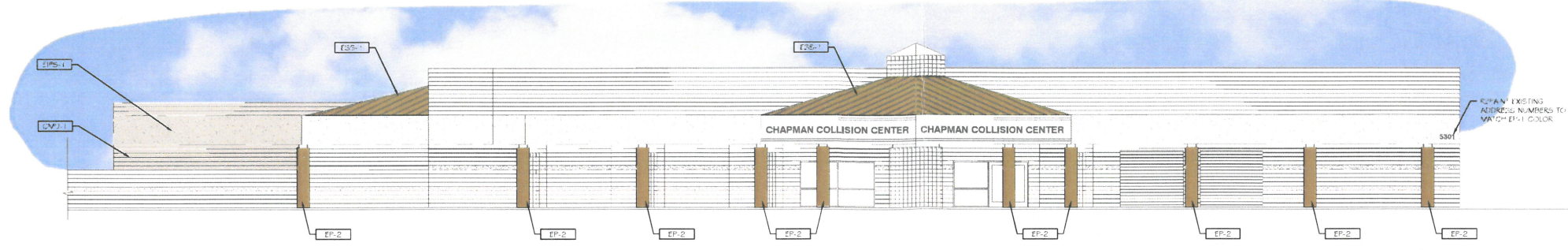
DATE: 9-13-19

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**A4.00**





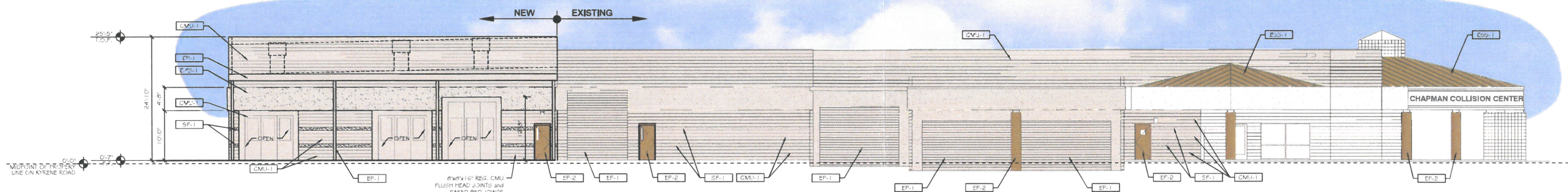
NO PAINTING ON THE WEST ELEVATION U.N.O.

1 WEST ELEVATION  
SCALE: 3/32" = 1'-0"

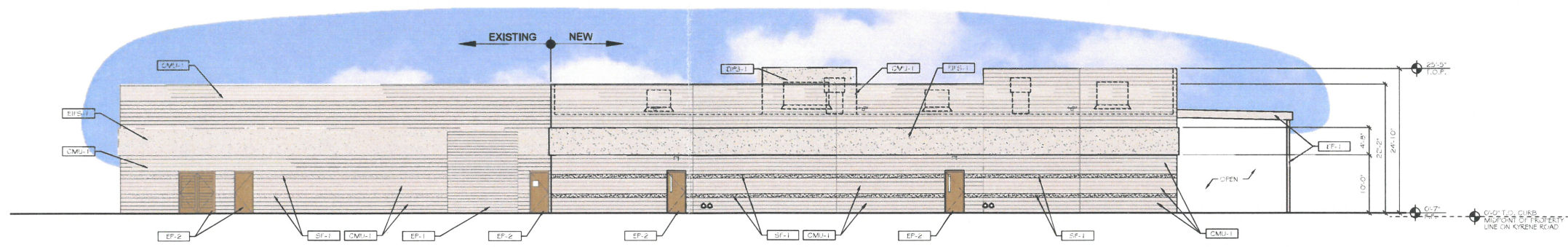
MATERIAL / COLOR LEGEND			
SYMBOL	MATERIAL	DESCRIPTION	
		PRODUCT	COLOR
EPS-1	EXTERIOR INSULATION FINISH SYSTEM OVER EXTERIOR CMU	INTEGRAL COLORED	TO MATCH DUINN EXCLUSIVE IVORY DEG 121
CMU-1	8" x 8" x 16" REG. CMU W/ FLUSH HEAD JOINTS and RAKED BED JOINTS TO MATCH EXISTING	DUINN EDWARDS PAINT	EXCLUSIVE IVORY DEG 121
SF-1	EXPOSED SPLIT FACE CMU	DUINN EDWARDS PAINT	TO MATCH CMU-1
EP-1	METAL AWNING, METAL FASCIA, EXISTING OVERHEAD SERVICE DOORS	DUINN EDWARDS PAINT	EXCLUSIVE IVORY DEG 121
EP-2	H.M. DOORS, EXISTING H.M. DOORS, CYLINDRICAL COLUMNS	DUINN EDWARDS PAINT	MAPLE VIEW DEG 152
DK-1	COILING OVERHEAD DOOR	COOKSON OR RYTEX	TO MATCH DUINN EDWARDS EXCLUSIVE IVORY DEG 121
SS-1	EXISTING STANDING SEAM METAL ROOF	DUINN EDWARDS PAINT	TO MATCH DUINN EDWARDS MAPLE VIEW DEG 152



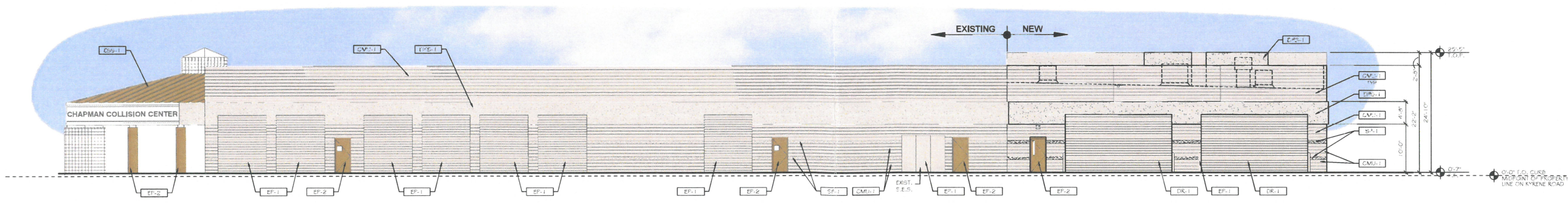
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 PHOENIX, AZ. 85014  
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2 NORTH ELEVATION  
SCALE: 3/32" = 1'-0"



3 EAST ELEVATION  
SCALE: 3/32" = 1'-0"



4 SOUTH ELEVATION  
SCALE: 3/32" = 1'-0"

REMODEL & ADDITION FOR:  
**CHAPMAN BODY SHOP**  
 5301 SOUTH KYRENE ROAD  
 TEMPE, ARIZONA 85283



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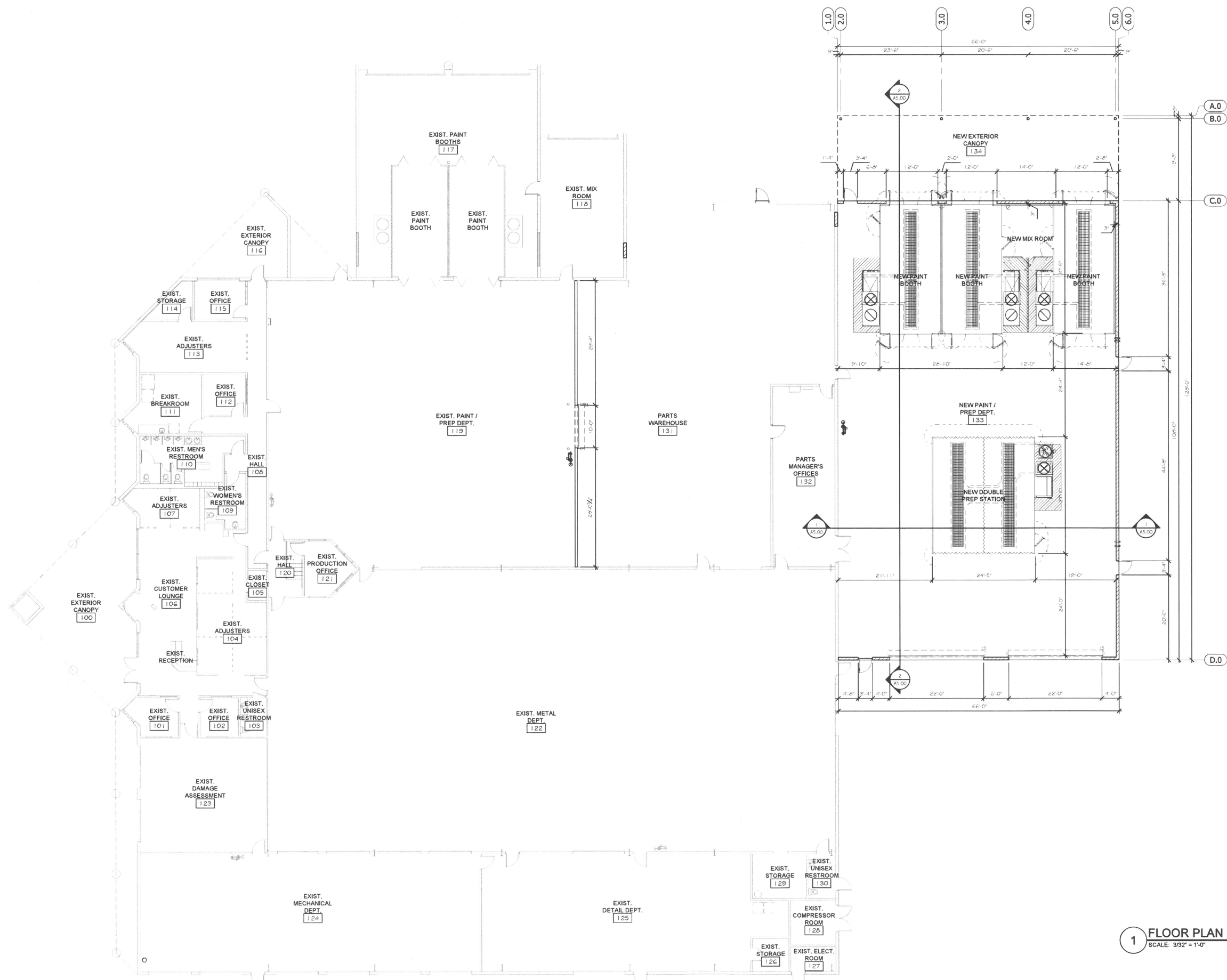
No.	Description	Date

SHEET NO.:  
**COLORED ELEVATIONS**

'COLORED ELEVATIONS'

2nd MAJOR DEV. PLAN REVIEW (9-13-19)

J:\1828 - Kyrene Bodyshop Addition - Temp\64-ColorElevations.dwg, COLORED ELEVATIONS, 9/17/2019 9:23:10 AM



**1 FLOOR PLAN**  
SCALE: 3/32" = 1'-0"



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REGISTERED ARCHITECT  
18824  
BARRY R. BARCUS  
08/15/19

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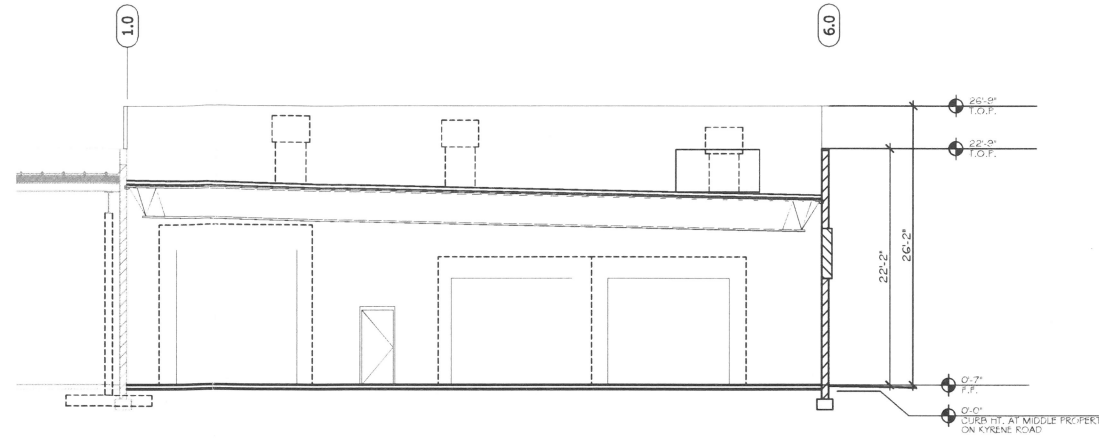
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DRAWN BY:	RRG	
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REVISIONS:		
No.	Description	Date

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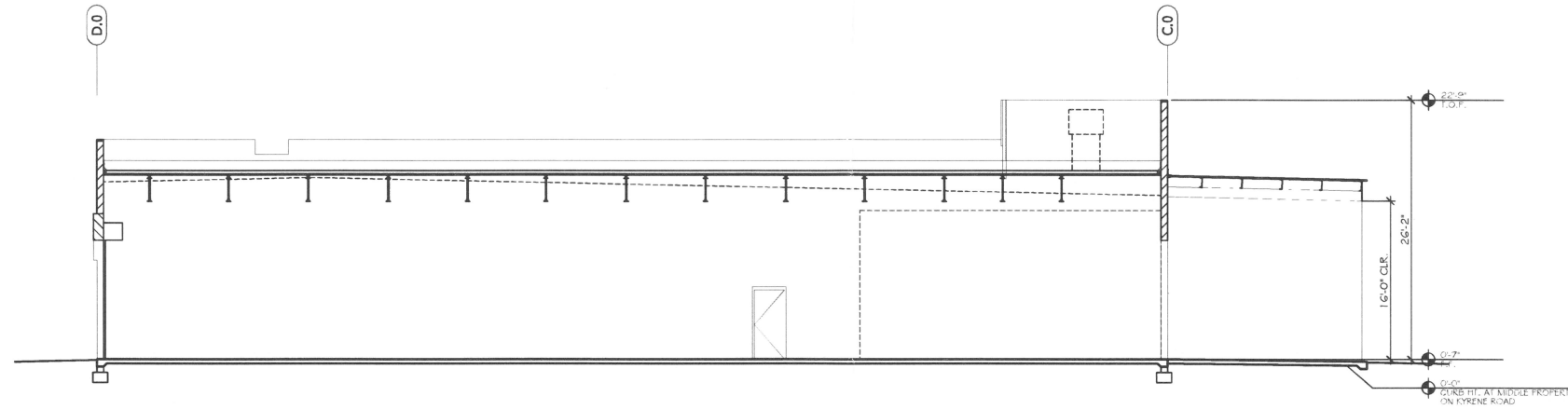
'FLOOR PLAN'

2nd MAJOR DEV. PLAN REVIEW (9-13-19)

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1 BUILDING SECTION  
SCALE: 1/8" = 1'-0"



2 BUILDING SECTION  
SCALE: 1/8" = 1'-0"



BARRY R. BARCUS ARCHITECT, INC.  
5333 NORTH 7TH STREET, SUITE B-320  
PHOENIX, AZ. 85014  
PHONE: (602) 264-4341 FAX: 264-2542



REMODEL & ADDITION FOR:  
**CHAPMAN BODY SHOP**  
5301 SOUTH KYRENE ROAD  
TEMPE, ARIZONA 85283

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JOB NO. 1828

DRAWN BY: JWG

DATE: 9-13-19

REVISIONS:

No.	Description	Date

SHEET NO.:  
**A5.00**

2nd MAJOR DEV. PLAN REVIEW (9-13-19)

# BARRY R BARCUS ARCHITECT, INC.

5333 N. 7<sup>TH</sup> ST., SUITE B 320

PHOENIX, AZ 85014

(602) 264-4341

## MATERIAL SAMPLE BOARD

FOR

REMODEL & ADDITION TO

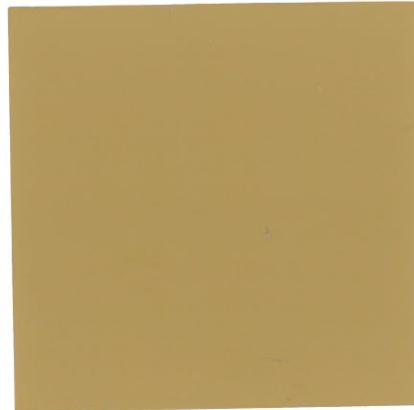
## CHAPMAN KYRENE BODYSHOP

5301 S. KYRENE ROAD

TEMPE, AZ 85283



EIFS-1  
CMU-1  
SF-1  
EP-1  
DR-1  
DUNN EDWARDS  
EXCLUSIVE IVORY  
DE6191



EP-2  
ESS-1  
DUNN EDWARDS  
MAPLE VIEW  
DE6152