

**CITY OF TEMPE
DEVELOPMENT REVIEW COMMISSION**

**Meeting Date: 10/22/2019
Agenda Item: 06**

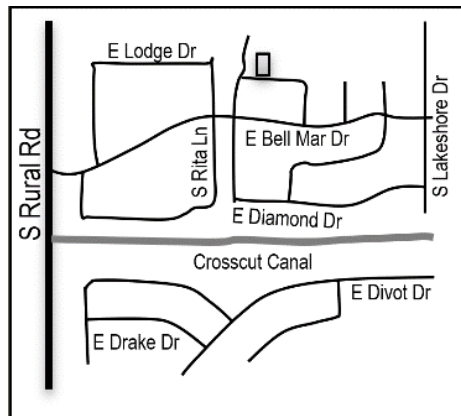
ACTION: Request a Use Permit to allow a second-story addition for a single-family residence for the **ALAM RESIDENCE**, located at 1112 East Lodge Drive. The Applicant is Md. Shamsul Alam. **(PL190260)**

FISCAL IMPACT: N/A

RECOMMENDATION: Staff – Approve, subject to conditions

BACKGROUND INFORMATION: ALAM RESIDENCE (PL190260) is a proposed single-family second-story addition on Lot 1559 of the Tempe Gardens 14 subdivision, located on the north side of East Lodge Drive adjacent to South Terrace Road in the R1-6, Single-Family Residential District. The request includes the following:

ZUP190070 Use Permit to allow a second story addition for a sing-family residence.



Property Owner	Alam Family Trust
Applicant	Md. Shamsul Alam
Zoning District(s)	R1-6
Site Area	8,100 s.f.
Total Bedrooms	6
Total Bathrooms	4.5
Building Area	3,348 s.f.
New Addition	1,983 s.f.
Lot Coverage	41.3% (45% max. required)
Building Height	29'-3 3/8" (30'-0" maximum allowed)
Building Setbacks	21'-8" front, 8'-6" east side, 7'-11 3/4" west side, (20'-0", 5'-0", 5'-0" min. required)
Vehicle Parking	2 spaces (2 min. required)

ATTACHMENTS: Development Project File

STAFF CONTACT(S): Blake Schimke, Planning Technician (480) 350-8245

Department Director: Chad Weaver, Community Development Director
 Legal review by: N/A
 Prepared by: Blake Schimke, Planning Technician
 Reviewed by: Steve Abrahamson, Principal Planner

COMMENTS

The ground floor of the residence includes a master bedroom with an ensuite bathroom and closet, three additional bedrooms, two bathrooms, a kitchen, storage areas, a powder room, a sitting room, and a central living area and family room. The second floor includes an office, a game room with a kitchen, 2 more bedrooms and a bathroom.

PUBLIC INPUT

To date staff has not received any public comment regarding the proposed second story addition.

USE PERMIT

The proposed design and use require a Use Permit to allow a second story addition to a single-story single-family residence within the R1-6, Single-Family Residential district.

Section 6-308 E Approval criteria for Use Permit (*in italics*):

1. *Any significant increase in vehicular or pedestrian traffic*; the proposed second-story use is not expected to increase vehicular or pedestrian traffic more than what is expected from a single-family use which is the intent of this application.
2. *Nuisance arising from the emission of odor, dust, gas, noise, vibration, smoke, heat or glare at a level exceeding that of ambient conditions*; the proposed second-story use is intended for a single-family use and will not generate emissions greater than ambient conditions that would otherwise cause a nuisance to the neighborhood.
3. *Contribution to the deterioration of the neighborhood or to the downgrading of property values, which is in conflict with the goals, objectives or policies for rehabilitation, redevelopment or conservation as set forth in the city's adopted plans or General Plan*; the addition will provide additional living space and is expected to add value to not only the property itself but the surrounding neighborhood as well.
4. *Compatibility with existing surrounding structures and uses*; there are several split-level homes in this neighborhood two of which are directly adjacent to this home.
5. *Adequate control of disruptive behavior both inside and outside the premises which may create a nuisance to the surrounding area or general public*; the second-story use is intended for a single-family use and is not expected to cause any disruptive behavior.

REASONS FOR APPROVAL:

Based on the information provided by the applicant, the public input received, and the above analysis staff supports approval of the requested Use Permit. This request meets the required criteria and will conform to the conditions.

SHOULD AN AFFIRMATIVE ACTION BE TAKEN ON THIS REQUEST, THE FOLLOWING NUMBERED CONDITIONS OF APPROVAL SHALL APPLY, BUT MAY BE AMENDED BY THE DECISION-MAKING BODY.

CONDITION(S) OF APPROVAL:

1. The Use Permit is valid only after a Building Permit has been obtained, the required inspections have been completed and a Final Inspection has been passed. As part of the Building Permit process, on-site storm water retention may be required to be verified or accomplished on this Site.
2. The Use Permit is valid for the plans as submitted within this application. Any additions or modifications may be submitted for review during the building plan check process.

CODE/ORDINANCE REQUIREMENTS:

THE BULLETED ITEMS REFER TO EXISTING CODE OR ORDINANCES THAT PLANNING STAFF OBSERVES ARE PERTINENT TO THIS CASE. THE BULLET ITEMS ARE INCLUDED TO ALERT THE DESIGN TEAM AND ASSIST IN OBTAINING A BUILDING PERMIT AND ARE NOT AN EXHAUSTIVE LIST.

- The use permit approval shall be void if the use is not commenced or if an application for a building permit has not been submitted, whichever is applicable, within twelve (12) months after the use permit is granted or within the time stipulated by the decision-making body.
- Specific requirements of the **Zoning and Development Code** (ZDC) are not listed as a condition of approval but will apply to any application. To avoid unnecessary review time and reduce the potential for multiple plan check submittals, become familiar with the ZDC. Access the ZDC through <http://www.tempe.gov/zoning> or purchase from Development Services.
- Any intensification or expansion of use shall require a new Use Permit.

HISTORY & FACTS:

December 12, 1972 Building Permit issued for a single-family residence.

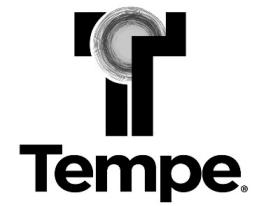
ZONING AND DEVELOPMENT CODE REFERENCE:

Section 3-102 Permitted Uses in Residential Districts

Section 3-420 Single-Family Residential Second Story Addition or Rebuild

Section 4-202 Development Standards for Residential Districts

Section 6-308 Use Permit



DEVELOPMENT PROJECT FILE

for

ALAM RESIDENCE

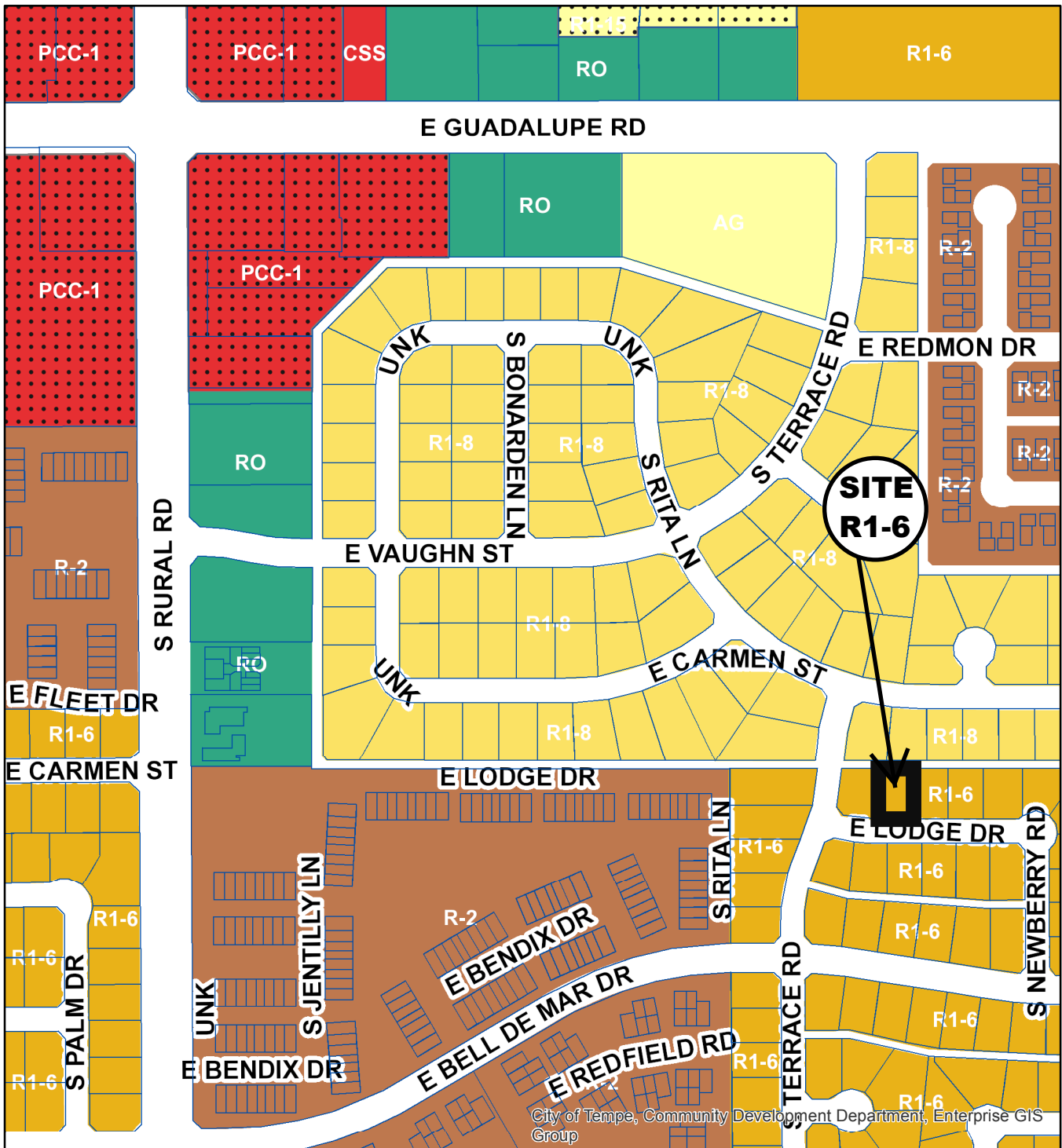
PL190260

ATTACHMENTS:









1. Location Map
2. Aerial
3. Letter of Explanation
4. Site Plan
5. Floor Plan
6. Building Elevations
7. Renderings

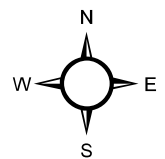
Alam Residence

PL 190260



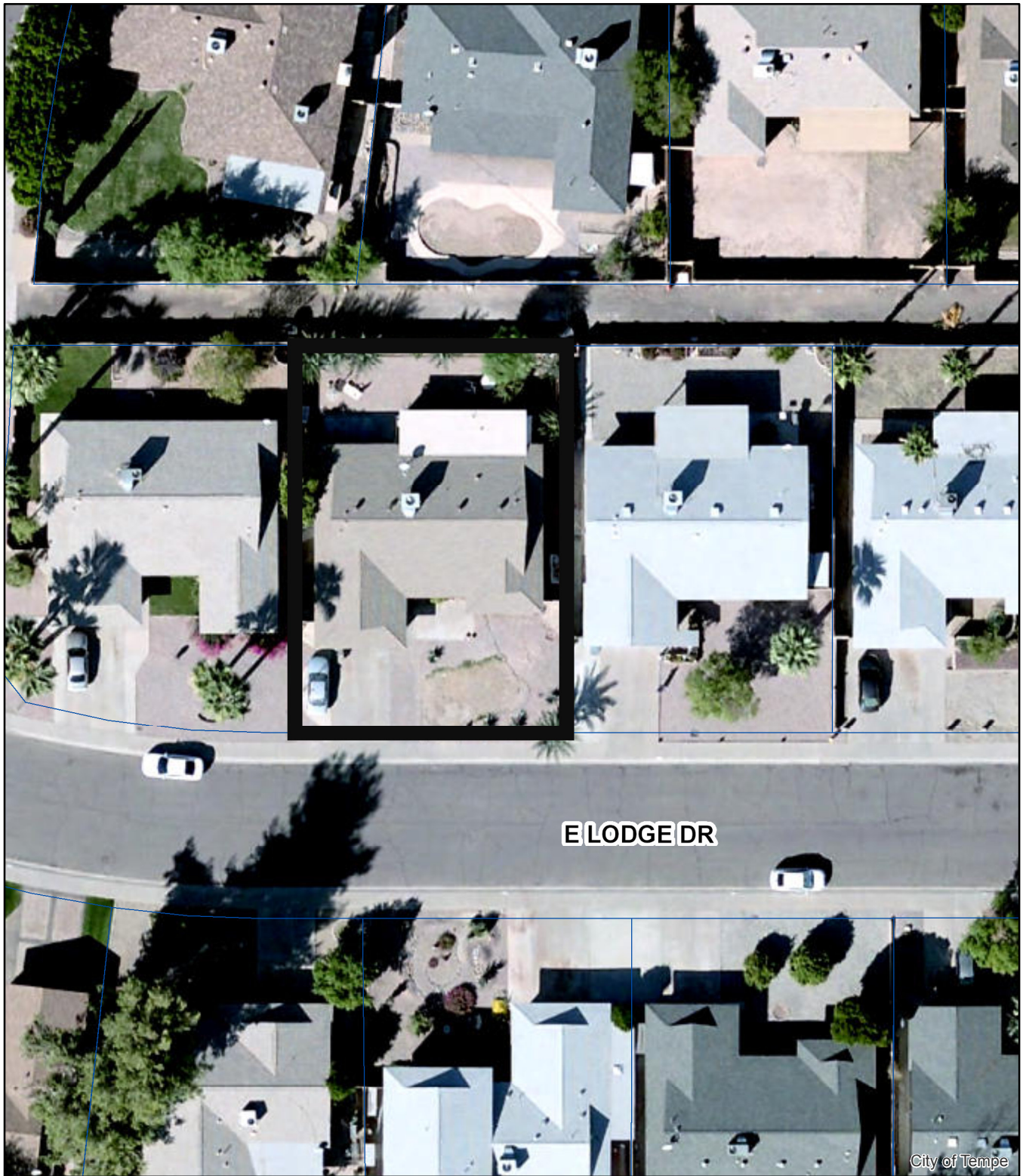
City of Tempe, Community Development Department, Enterprise GIS Group

- | | |
|--|---|
|  Commercial Shopping and Services (CSS) |  Single-Family Residential (R1-15) |
|  Planned Commercial Center Neighborhood (PCC-1) |  Single-Family Residential (R1-8) |
|  Residential/Office (RO) |  Single-Family Residential (R1-6) |
|  Agricultural (AG) |  Multi-Family Residential (R-2) |

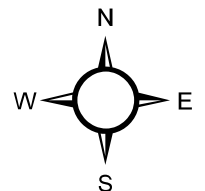


Alam Residence

PL 190260



Aerial Map



**ALAM RESIDENCE
1112 E. LODGE DR
TEMPE, AZ 85283**

LETTER OF EXPLANATION

We are asking for this use permit for the addition of a second story to an existing single story residential home. There will be a small addition to the first floor consisting of a full bathroom, half bath, closet, sitting room and new entry porch. The second floor addition will have a small office space, two bedrooms, bathroom and game room area. All additions are being made within the allowable setbacks, lot coverage requirements and height restrictions per City of Tempe zoning code.

Specific concerns per Use Permit application.

1. Any significant vehicular or pedestrian traffic in adjacent areas;

There will be no additional impact to the traffic in the area. The few clients Mr. Alam will see at home will come and go during business hours when the majority of the other residents are themselves at work.

2. Nuisance arising from the emission of odor, dust, gas, noise, vibration, smoke, heat or glare at a level exceeding that of ambient conditions.

This is a residential home that will have no impact on any of these conditions beyond that of any typical household.

3. Contribution to the deterioration of the neighborhood or to the downgrading of property values, which is conflict with the goals, objectives or policies of the cities adopted plans for General Plan.

This addition will add to the neighborhood as well as property values and in no way contribute to any deterioration. The increased square footage along with the new façade and increased street appeal will enhance the neighborhood and add to local property values.

4. Compatibility with existing surrounding structures and uses.

There are many Tri-level homes currently on Lodge Dr. as well as a variety of two story homes within the existing neighborhood. This home will add to the architectural diversity of the neighborhood and be tied in with materials already consistent with the surrounding homes.

5. Adequate control of disruptive behavior both inside and outside the premises, which may create a nuisance to the surrounding area or general public.

This is a residential home that will have no impact on any of these conditions beyond that of any typical household.

Thank you for your consideration.

Sincerely,

(Md. Shamsul Alam)

ABBREVIATIONS											
#	And	CONC.	Concrete	FIN.	Finish	INT.	Interior	PL.	Plate	SQ.	Square
L	Angle	CONN.	Construction	FLR.	Floor	JT.	Joint	P.LAM.	Plastic Laminate	S.S.	Stainless Steel
@	Centerline	CONSTR.	Construction	FLASH.	Flashing	KT.	Kitchen	PLAS.	Plaster	S.S.D.	See Structural Drawings
CL	Diameter or Round	CONT.	Continuous	FLUOR.	Fluorescent	LAM.	Laminate	PLYWD.	Plywood	STD.	Standard
O	Found or Number	CNTR.	Counter	F.M.	Flush Metal	LAV.	Lavatory	PNLD.	Paneled Door	STL.	Steel
#	Existing	CSMT.	Casement	F.O.F.	Face of Finish	LT.	Light	FR.	Fair	STOR.	Storage
(E)	Existing	CTR.	Center	F.O.S.	Face of Studs			PT.	Point		
				FR.	French			PTN.	Partition	T.B.	Towel Bar
ADJ.	Adjustable	DBL.	Double	F.R.	Fire Rated					TEL.	Telephone
A.F.F.	Above Finish Floor	DET.	Detail	F.T.	Foot or Feet			R.s.	Risers	TEMP.	Tempered
AL.	Aluminum	DIA.	Diameter	FURR.	Furring	MAX.	Maximum	R.45.	Rad 4 1/2	T.G.	Tongue and Groove
APPROX.	Approximate	DIM.	Dimension	FUT.	Future	M.C.	Medicine Cabinet	RAD.	Radius	THK.	Thick
ARCH.	Architectural	DISP.	Dispenser	FXD.	Fixed	MECH.	Mechanical	REF.	Reference	T.P.D.	Toilet Paper Dispenser
ASPH.	Asphalt	DN.	Down	GA.	Gauge	MEMB.	Membrane	REFRIG.	Refrigerator	T.O.C.	Top of Curb
		D.O.	Door Opening	GALV.	Galvanized	MFR.	Manufacturer	REQ.	Required	T.O.W.	Top of Wall
BD.	Board	DR.	Door	G.D.	Galvanized	MIN.	Minimum	RESIL.	Resilient	T.O.S.	Top of Slab
B.F.	Bi-Fold	DW.	Dishwasher	GND.	Ground	MIR.	Mirror	RM.	Room	TYF.	Typical
BLDG.	Building	DWR.	Drawer	GR.	Grade	MISC.	Miscellaneous	R.O.	Round Opening		
BLK.	Block	DWG.	Drawing	C.S.M.	Galvanized Sheet Metal	MTD.	Mounted	RWD.	Redwood	U.O.N.	Unless Otherwise Noted
BLKG.	Blocking			GYP.	Gypsum	MUL.	Mullion	RWL.	Rain Water Leader	VERT.	Vertical
BM.	Beam	E	East							V.I.F.	Verify in Field
B.O.	By Owner	EA.	Each							W	West
		E.J.	Expansion Joint	H.B.	Hose Bibb	N	North			W.	Water Closet
CAB.	Cabinet	ELEV.	Elevation	H.C.	Hollow Core	N.I.C.	Not in Contract	SCHED.	Schedule	W/W	With
CER.	Ceramic	ELEC.	Electrical	HDWD.	Hardwood	NO. or #	Number	S.D.	Soap Dispenser	W.C.	Water
C.I.	Cast Iron	ENCL.	Enclosure	HDWR.	Hardware	NOM.	Nominal	SECT.	Section	WD.	Wood
CLG.	Ceiling	E.P.	Electrical Panel Board	HR.	Horizontal	N.T.S.	Not To Scale	S.G.D.	Sliding Glass Door	W/H	Water Heater
CLKG.	Caulking	EQ.	Equal	HGT.	Height	O.C.	On Center	SH.	Shelf	W/O	Without
CLC.	Clear	EQPT.	Equipment	HVAC	HVAC	O.D.	Outside Diameter (Dim.)	SHR.	Shower	WP.	Waterproof
C.O.	Cased Opening	EXST.	Existing			O.P.	Opening	SHT.	Sheet	WT.	Weight
COL.	Column	EXP.	Exposed			OPNG.	Opening	SIM.	Similar	W.S.	Window Sill
COMP.	Compressor	EXT.	Exterior	I.D.	Insulation	OFF.	Opposite	SPEC.	Specification		

Project Data

Project Description:
BEDROOM ADDITION TO FIRST FLOOR W/ 2 BEDROOMS, OFFICE, BATH AND LIVING SPACE ON NEW SECOND FLOOR.

Project Address:
1112 LODGE DR.
TEMPE, AZ. 85283

Owner:
ALAM FAMILY TRUST

Zoning:
R1-G

Legal Description:
LOT # 1559 TEMPE GARDENS I 4
PARCEL # 301-48-470

Area Tabulations:

Existing:	1861 SQ. FT.
Living:	548 SQ. FT.
Garage / Storage:	238 SQ. FT.
Patio / Porch:	2647 SQ. FT.
Total Existing:	

New Addition:

Living 1st Flr:	598 SQ. FT.
Living 2nd Flr:	1282 SQ. FT.
Patio / Porch:	103 SQ. FT.
Total Addition:	1983 SQ. FT.

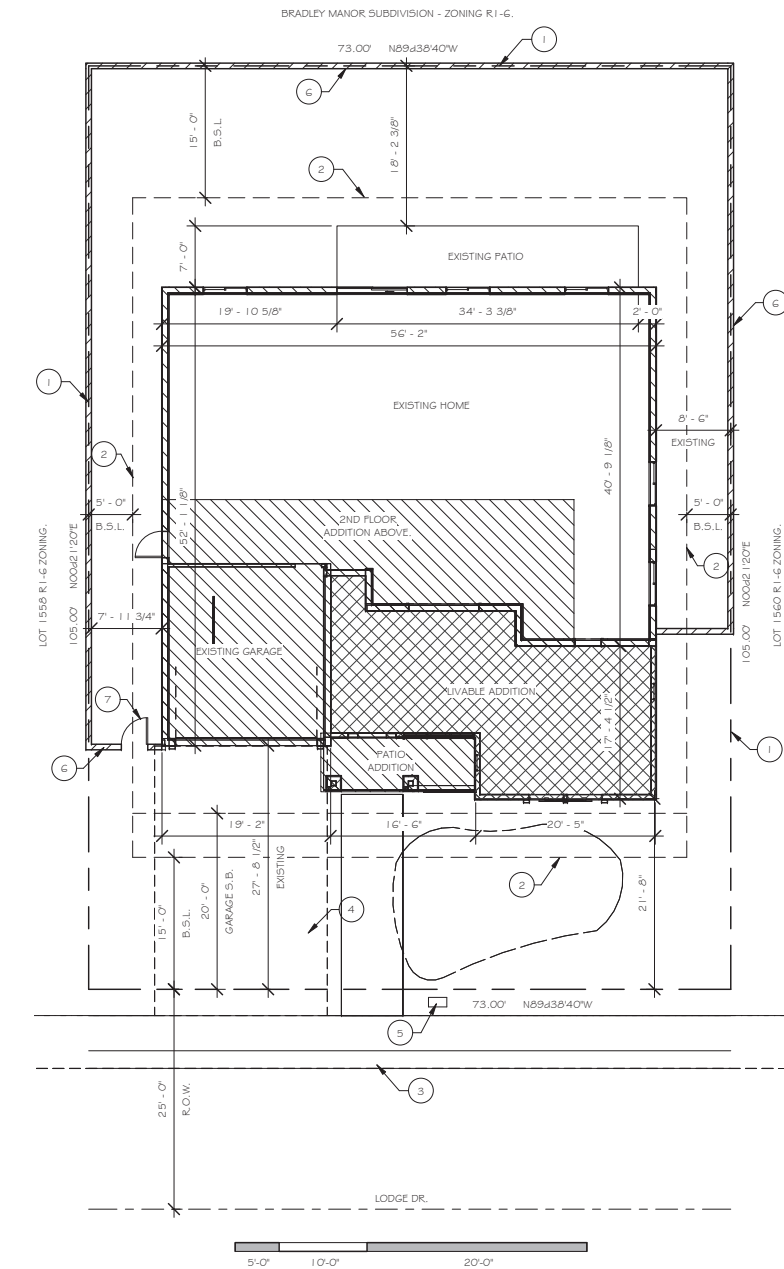
Footprint Total:
3348 SQ. FT.

Lot Area:
6100 SQ. FT.

Lot Coverage:
41.3% LOT COVERAGE

Sheet List

#	Sheet Name
A-1	COVER SHEET
A-2	SPECIFICATIONS
A-3	DEMOLITION PLAN
A-4	FLOOR PLAN
A-5	BUILDING SECTIONS
A-6	EXTERIOR ELEVATIONS 1
A-7	EXTERIOR ELEVATIONS 2
A-8	FOUNDATION PLAN
A-9	FRAMING PLAN
A-10	SHEAR WALL PLAN
D-1	DETAILS
E-1	ELECTRICAL PLAN
P-1	PLUMBING

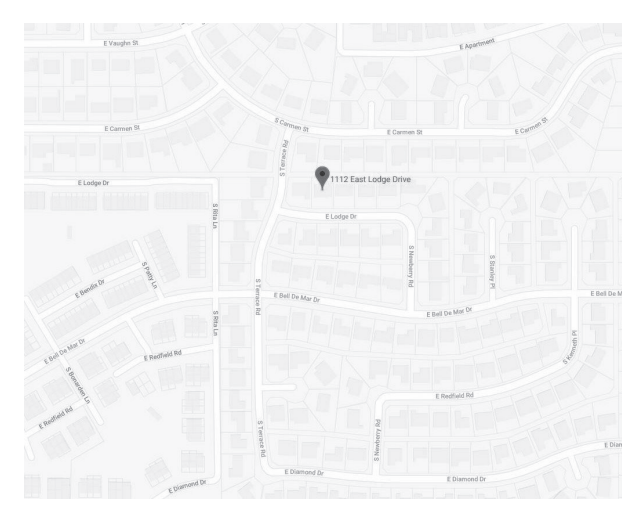
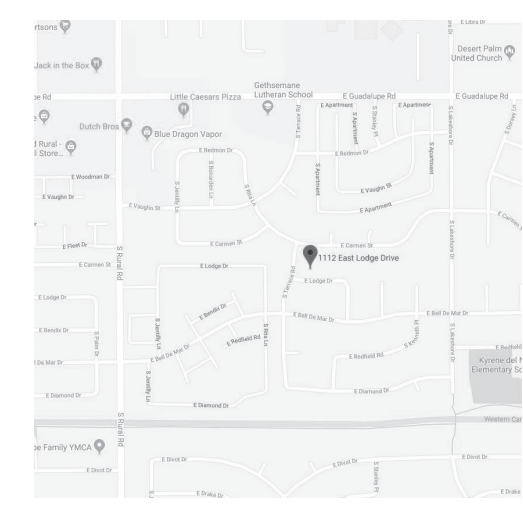


SITE PLAN KEY NOTES

#	Keynote Text
1	PROPERTY LINE.
2	BUILDING SETBACK LINE.
3	EXISTING CONCRETE CURB.
4	EXISTING CONCRETE DRIVEWAY.
5	EXISTING 3/4" WATER METER.
6	EXISTING 6'-0" SITE FENCE TO REMAIN.
7	EXISTING SELF CLOSING SELF LATCHING GATE.

CITY OF TEMPE CODES:

ADMINISTRATIVE	2018 TEMPE BUILDING SAFETY ADMINISTRATIVE CODE
ENERGY	2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
RESIDENTIAL	2018 INTERNATIONAL RESIDENTIAL CODE (IRC)
EXISTING BUILDING	2018 INTERNATIONAL EXISTING BUILDING CODE (IEBC)
BUILDING	2018 INTERNATIONAL BUILDING CODE (IBC)
MECHANICAL	2018 INTERNATIONAL MECHANICAL CODE (IMC)
ELECTRICAL	2017 NATIONAL ELECTRICAL CODE (NEC)
PLUMBING	2018 INTERNATIONAL PLUMBING CODE (IPC)
FUEL GAS	2018 INTERNATIONAL FUEL GAS CODE (IFGC)
FIRE	2018 INTERNATIONAL FIRE CODE (IFC)



VICINITY MAPS

SCALE: N.T.S.

ARCHITECTURAL SYMBOL LEGEND

- ARCHITECTURAL KEY NOTE BUBBLE
- KEY NOTE LABEL FOR STRUCTURAL, ELECTRICAL, MECHANICAL ETC.
- ELEVATION TAG
- SPOT ELEVATION TAG
- SECTION LABEL
- DOOR LABEL
- WINDOW LABEL
- INTERIOR ELEVATION CALL OUT
- GRID LABEL
- EXTERIOR ELEVATION CALL OUT
- VIEW NAME DRAWING TITLE AND SCALE CALL OUT
- REVISION TAG
- DETAIL CALL OUT
- EXISTING WALL
- EXISTING WALL TO BE DEMOLISHED
- NEW WALL

CONTRACTORS RESPONSIBILITY

CONTRACTOR SHALL THOROUGHLY REVIEW ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE DESIGNER AND THE OWNER WHEN ANY EXISTING CONDITION CONFLICTS WITH OR IS NOT COVERED BY PROJECT DOCUMENTS. CONTRACTOR TO CLARIFY WITH DESIGNER ANY DISCREPANCIES IN DESIGNER'S DOCUMENTATION PRIOR TO CONSTRUCTION, PURCHASE OF MATERIALS OR INSTALLATION.

CONTRACTOR SHALL VERIFY DIMENSIONS AND FIELD LOCATIONS NOT DIMENSIONED IN THESE DOCUMENTS.

NOTHING IN THESE DRAWINGS SHALL BE CONSTRUED AS TO ALLOW CONSTRUCTION TO PROCEED CONTRARY TO CURRENT APPLICABLE LOCAL AND STATE CODE REQUIREMENTS.

CONTRACTOR TO BE RESPONSIBLE FOR COORDINATION OF ALL ELECTRICAL AND MECHANICAL REQUIREMENTS, INCLUDING OWNER SUPPLIED REQUIREMENTS FOR CONNECTIONS WITH EQUIPMENT OR FIXTURES.

CONTRACTOR SHALL PROVIDE DESIGN SERVICES FOR ANY ELECTRICAL, HVAC AND PLUMBING WORK INCLUDING APPROPRIATE ENGINEERING AS REQUIRED. SUBMIT DOCUMENTATION FOR BUILDING DEPARTMENT AND OWNER/DESIGNER APPROVAL, PRIOR TO CONSTRUCTION.

ALL CONSTRUCTION IS NEW UNLESS OTHERWISE NOTED.

THE DRAWINGS INDICATE LOCATION, DIMENSIONS, REFERENCE, AND TYPICAL DETAILS OF CONSTRUCTION. THE DRAWINGS DO NOT INDICATE EVERY CONDITION; WORK NOT PARTICULARLY DETAILED SHALL BE OF CONSTRUCTION SIMILAR TO PARTS THAT ARE DETAILED.

DO NOT SCALE DRAWINGS.

FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DRAWINGS. WHERE DISCREPANCIES OCCUR THEY SHALL BE REPORTED TO THE DESIGNER FOR RESOLUTION.

DETAILED DRAWINGS AND LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS. CONCRETE DIMENSIONS ARE GIVEN TO FACE OF CONCRETE AND TO THE ROUGH OPENINGS FACE AT WALL OPENINGS. PARTITION DIMENSIONS ARE GIVEN TO THE FACE OF STUD UNLESS OTHERWISE NOTED.

DOOR OPENING LOCATIONS ARE DIMENSIONED TO THE CENTERLINE OF THE OPENING. IF NO LOCATING DIMENSION IS SHOWN, THE OPENING IS LOCATED BY THE DOOR DETAILS.

SITE BOUNDARY LINES, BOUNDARY DIMENSIONS, AND BOUNDARY DECLINATIONS ARE BASED UPON THE SITE SURVEY WHICH IS PROVIDED BY THE OWNER FOR REFERENCE ONLY. THE CONTRACTOR SHALL BE DEEMED TO HAVE INSPECTED THE SITE AND SATISFIED HIMSELF AS TO ACTUAL GRADES, LEVELS, DIMENSIONS, AND DECLINATIONS AND THE TRUE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED.

THESE DRAWINGS ARE PART OF SPECIFICATIONS PREPARED FOR CONSTRUCTION. ANY DISCREPANCIES OR CONFLICTS ARE TO BE BROUGHT TO THE ATTENTION OF THE DESIGNER FOR RESOLUTION.

CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR A COMPLETE JOB.

CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION AND CLEAN-UP.

NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS. WHERE NO DETAILS ARE SHOWN, CONSTRUCTION SHALL CONFORM TO SIMILAR WORK ON THE PROJECT.

CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB.

WHERE ANY DISCREPANCIES OCCUR BETWEEN PLANS, DETAILS, GENERAL STRUCTURAL NOTES, SPECIFICATIONS AND ALL APPLICABLE CODES, THE MOST STRINGENT REQUIREMENTS SHALL GOVERN.

ALL DIMENSIONS WERE PROVIDED BY A 3RD PARTY. CONTRACTOR TO VERIFY ALL EXISTING DIMENSIONS TO ASSURE PROPER ALIGNMENT WITH NEW 2ND FLOOR PRIOR TO ANY CONSTRUCTION.

Client

ALAM RESIDENCE

1112 LODGE DR.
TEMPE, AZ. 85283

Seal of Approval



Date Completed: 9-7-19

Scale: AS NOTED

Drawn By: TNT

Plan Alteration Date

- 1st Submittal:
- 2nd Submittal:
- 3rd Submittal:
- 4th Submittal:
- 5th Submittal:
- 6th Submittal:

Drawing Name

A-1
COVER SHEET

Door Schedule					
#	Width	Height	QTY	Level	Description
1	2'-0"	6'-0"	5	FF.1	
2	3'-0"	6'-0"	5	FF.1	
3	6'-0"	6'-0"	3	FF.1	
4	3'-0"	6'-0"	1	FF.1	
5	2'-0"	6'-0"	5	FF.2	
6	6'-0"	6'-0"	2	FF.2	
7	3'-0"	6'-0"	1	FF.1	
8	16'-0"	7'-0"	1	FF.1	
9	1'-0"	6'-0"	2	FF.1	
10	2'-0"	6'-0"	1	FF.1	
11	6'-0"	6'-0"	1	FF.1	
12	3'-0"	6'-0"	1	FF.1	
14	2'-0"	6'-0"	1	FF.1	
15	5'-0"	6'-0"	1	FF.2	
16	4'-0"	6'-0"	1	FF.1	
61	6'-0"	6'-0"	1	FF.2	

Window Schedule						
#	Width	Height	Head Height	Level	QTY	Description
A	5'-0"	4'-0"	6'-0"	FF.1	6	
B	2'-0"	3'-0"	6'-0"	FF.1	2	
C	6'-0"	5'-0"	6'-0"	FF.1	1	
D	5'-0"	5'-0"	6'-0"	FF.2	2	
E	6'-0"	4'-0"	6'-0"	FF.1	1	
F	4'-0"	4'-0"	6'-0"	FF.1	1	
G	4'-0"	4'-0"	6'-0"	FF.2	2	
H	5'-0"	3'-0"	6'-0"	FF.1	1	
I	6'-0"	3'-0"	6'-0"	FF.2	1	
J	6'-0"	5'-0"	6'-0"	FF.1	1	
K	4'-0"	3'-0"	6'-0"	FF.2	1	

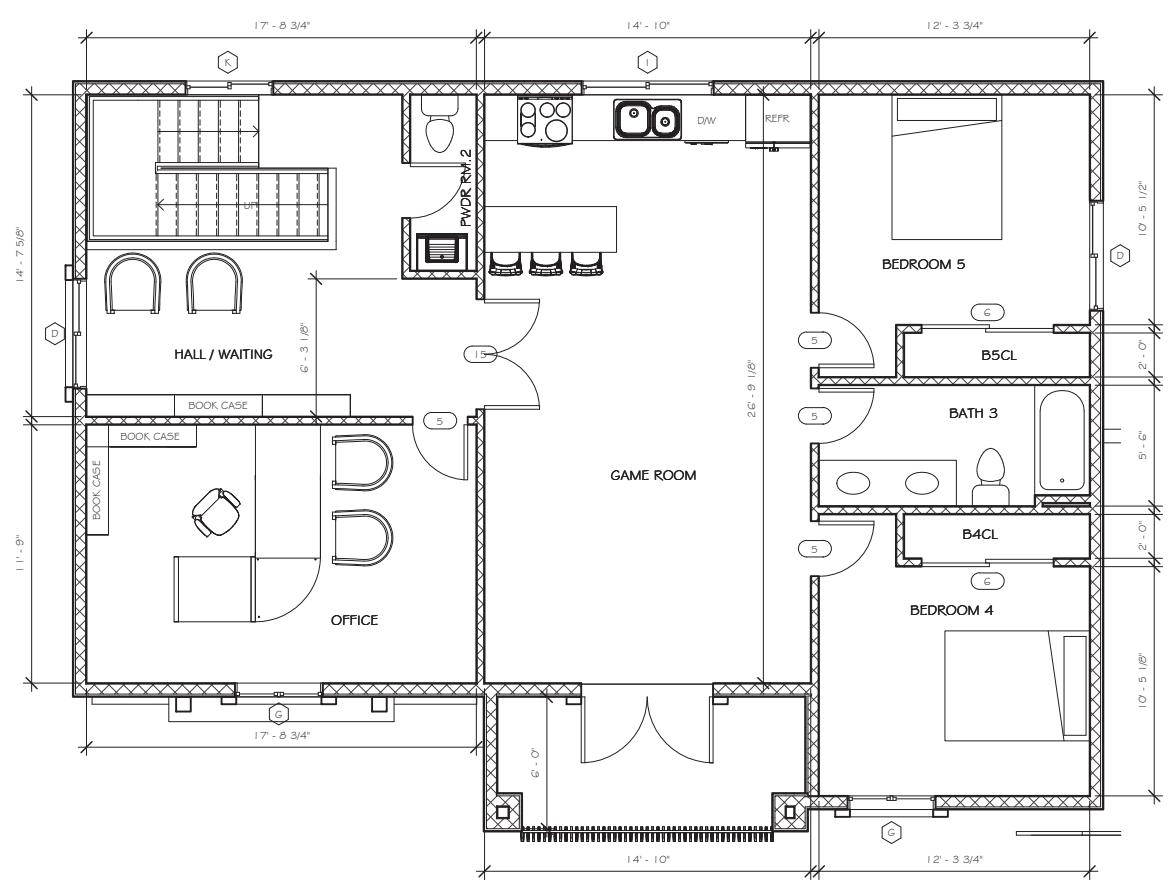
FLOOR PLAN KEY NOTES

- | # | Keynote Text |
|-----|---|
| 301 | EXISTING EXTERIOR LOAD BEARING MASONRY WALL TO REMAIN. |
| 302 | EXISTING INTERIOR NON-LOAD BEARING WALL TO REMAIN. |
| 303 | REPLACE / REPAIR EXISTING 2X WALLS IN AREA OF NEW FOOTINGS / POSTS. |
| 304 | NEW EXTERIOR LOAD BEARING WALLS W/ 2X6 STUDS @ 16" O.C. W/ MIN. R-21 BATT INSULATION AND 3/8" G.S.B. SHEATHING AT EXTERIOR. |
| 305 | NEW INTERIOR LOAD BEARING WALL W/ 2X6 STUDS @ 16" O.C. W/ 1/2" GYP. BD. FINISH EA. SIDE. |
| 310 | PROVIDE TEMPERED GLASS AT THIS LOCATION. |
| 311 | POST PER FRAMING PLAN. |
| 312 | STACKED STONE WAINSCOTT W/ PRE-CAST CONC. CAP. SEE ELEVATIONS FOR MORE DETAIL. |

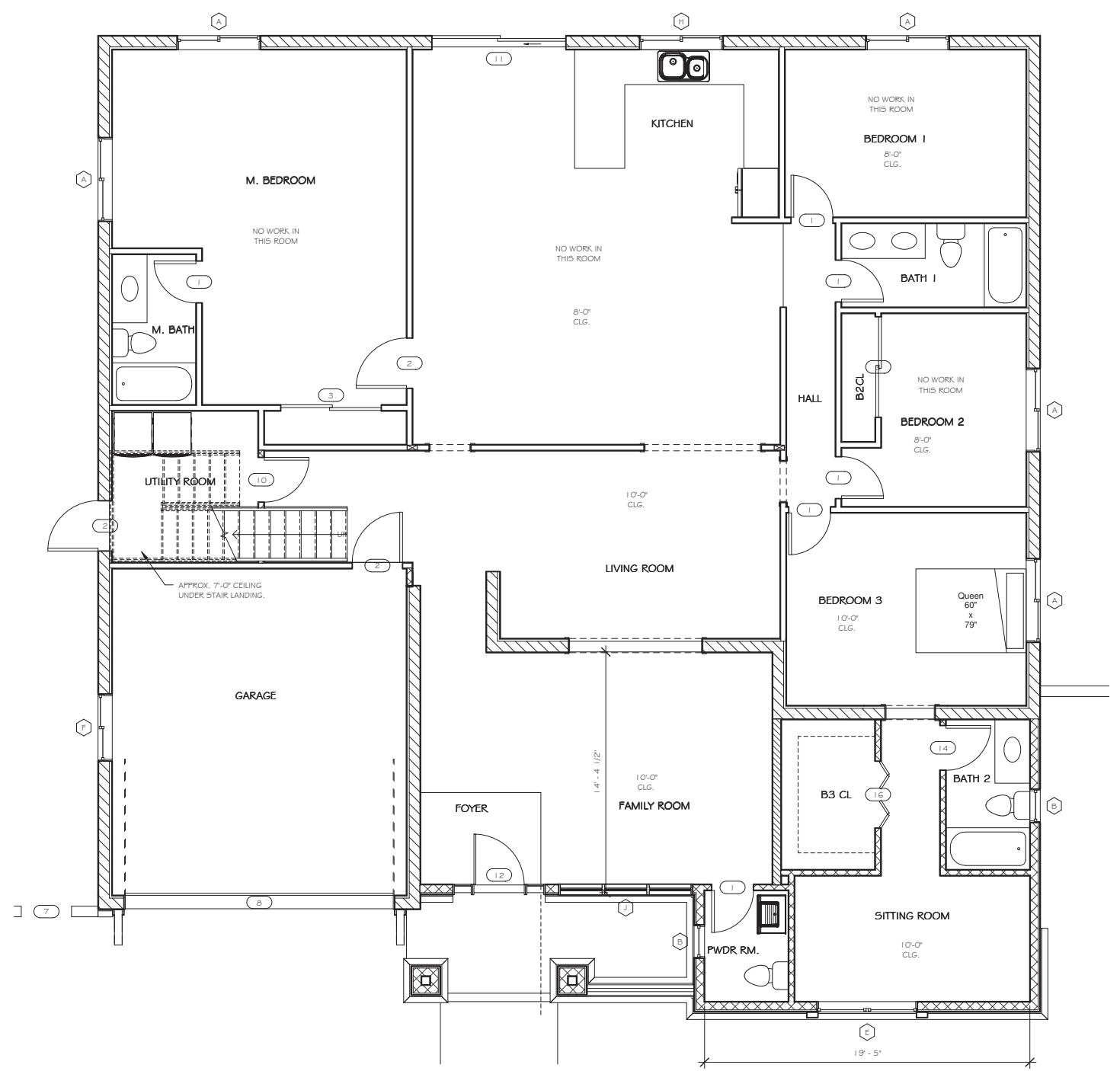


165 CHARARRAL SHADY COVE OREGON
 Phone (541) 282-1-0695
 E-Mail: TERRY@TNTCAD.COM
 WEB SITE: TNTCAD.COM

Client
ALAM RESIDENCE
 1112 LODGE DR.
 TEMPE, AZ. 85283



2 SECOND FLOOR PLAN
 1/4" = 1'-0"



1 FLOOR PLAN
 1/4" = 1'-0"

Seal of Approval

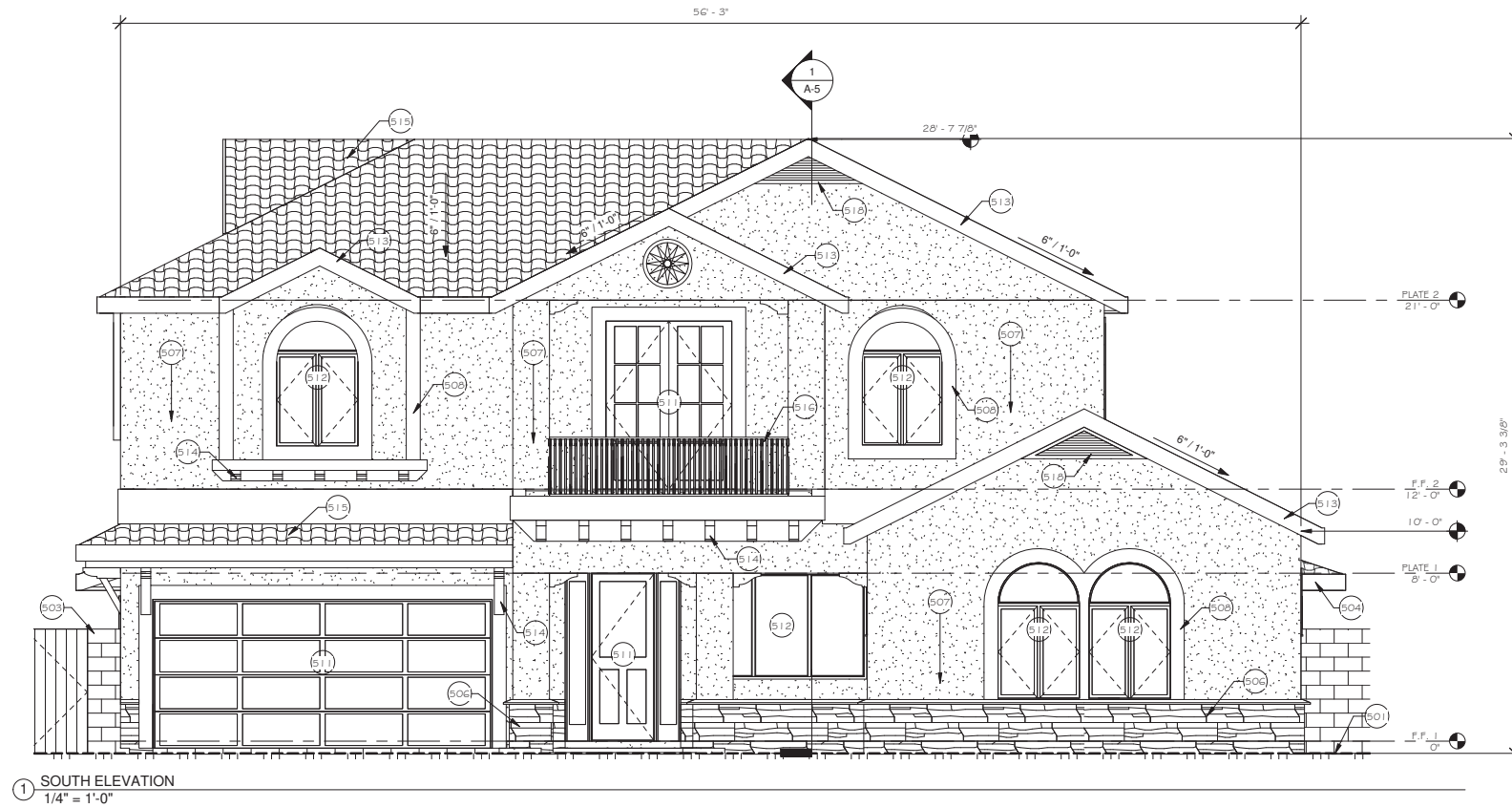
Date Completed: 7-30-19
 Scale: AS NOTED
 Drawn By: TNT

Plan Alteration Date
 1st Submittal:
 2nd Submittal:
 3rd Submittal:
 4th Submittal:
 5th Submittal:
 6th Submittal:

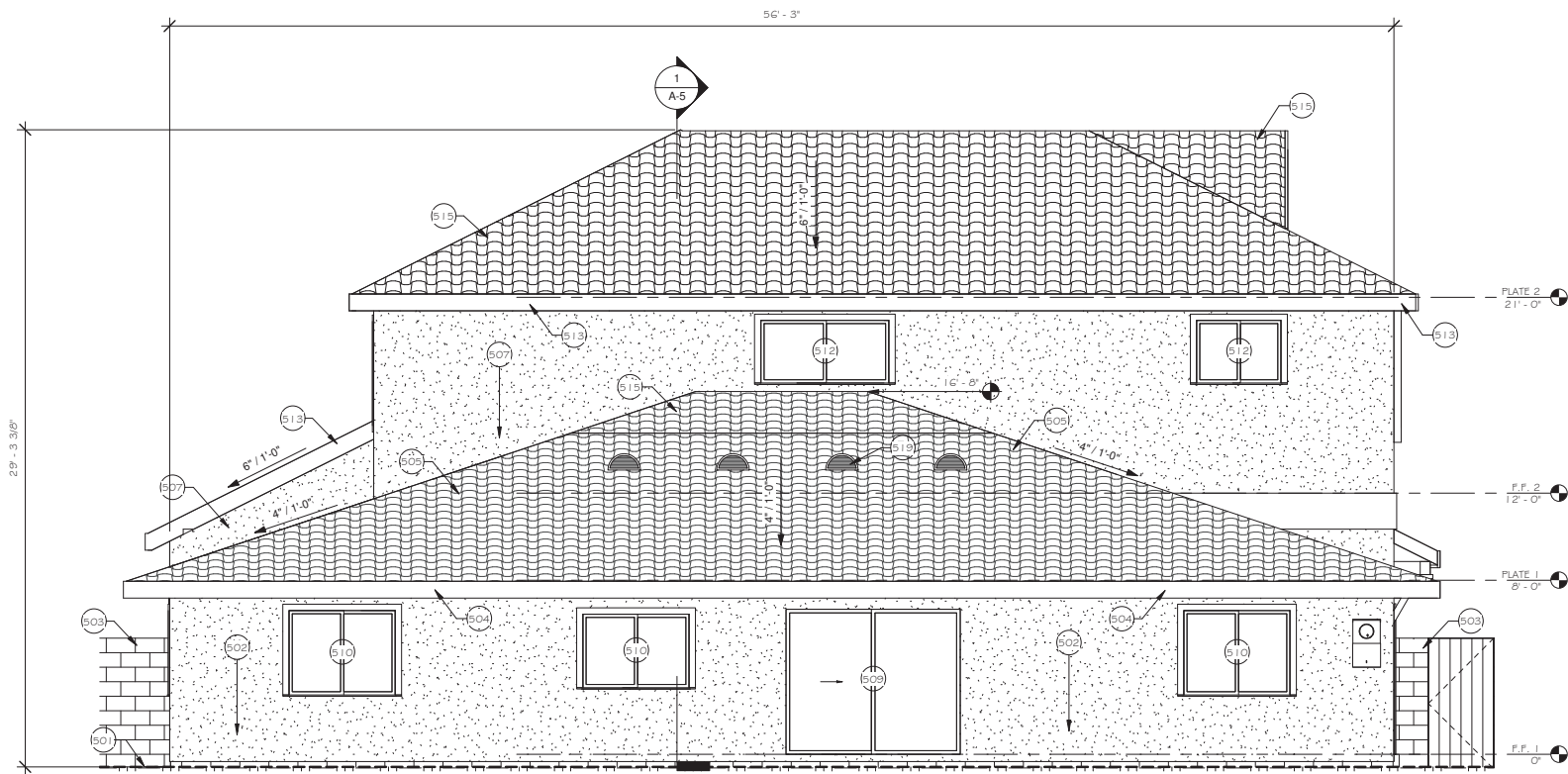
Drawing Name
A-4
 FLOOR PLAN

EXTERIOR ELEVATION KEY NOTES

#	Keynote Text
501	LINE OF EXISTING FINISH GRADE.
502	EXISTING STUCCO FINISH, PATCH AND REPAIR AS REQUIRED.
503	EXISTING SITE FENCE, NO CHANGE.
504	EXISTING 2X FASCIA.
505	NEW CONCRETE 5-TILE ROOFING #90 ROOFING UNDERLAYMENT, ON EXISTING ROOF FRAMING AND SHEATHING.
506	NEW STONE VENEER, PROVIDE CORROSION RESISTANT MASONRY TIES SPACED TO SUPPORT NO MORE THAN 2 SQ. FT. OF VENEER, EA.
507	NEW 1/2" STUCCO OVER LATH.
508	EXTRUDED FOAM TRIM W/ 1/2" STUCCO FINISH. THICKNESS OF FOAM NOT TO EXCEED 7".
509	EXISTING DOOR TO REMAIN.
510	EXISTING WINDOW TO REMAIN.
511	NEW DOOR PER SCHEDULE.
512	NEW WINDOW PER SCHEDULE.
513	NEW 2X FASCIA TO MATCH EXISTING, PAINTED.
514	4X WOOD CORBELS.
515	NEW CONCRETE 5-TILE ROOFING #90 ROOFING UNDERLAYMENT.
516	GUARD RAIL TO MIN. 36" ABOVE DECK SURFACE. MEMBERS SPACED TO NOT ALLOW THE PASSAGE OF A 4" DIA. SPHERE.
517	4X4 STRUCTURAL CORBELS.
518	6.5.M. ATTIC VENT - PAINTED TO MATCH TRIM.
519	EXISTING DORMER VENT TO REMAIN.



① SOUTH ELEVATION
1/4" = 1'-0"



② North
1/4" = 1'-0"



165 CHARFARAL SHADY COVE OREGON
Phone (541) 281-0695
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Client
ALAM RESIDENCE
1112 LODGE DR.
TEMPE, AZ. 85283



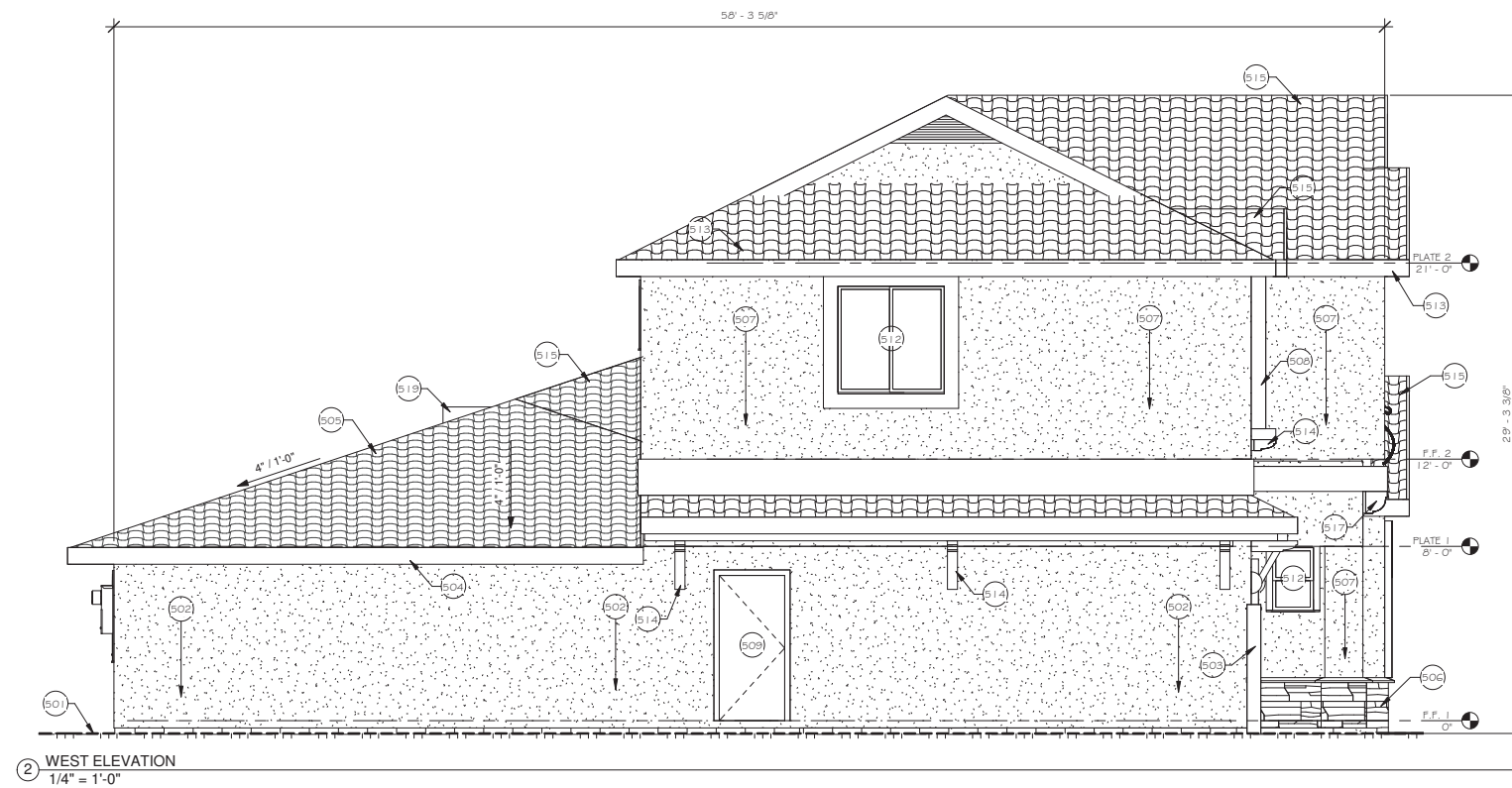
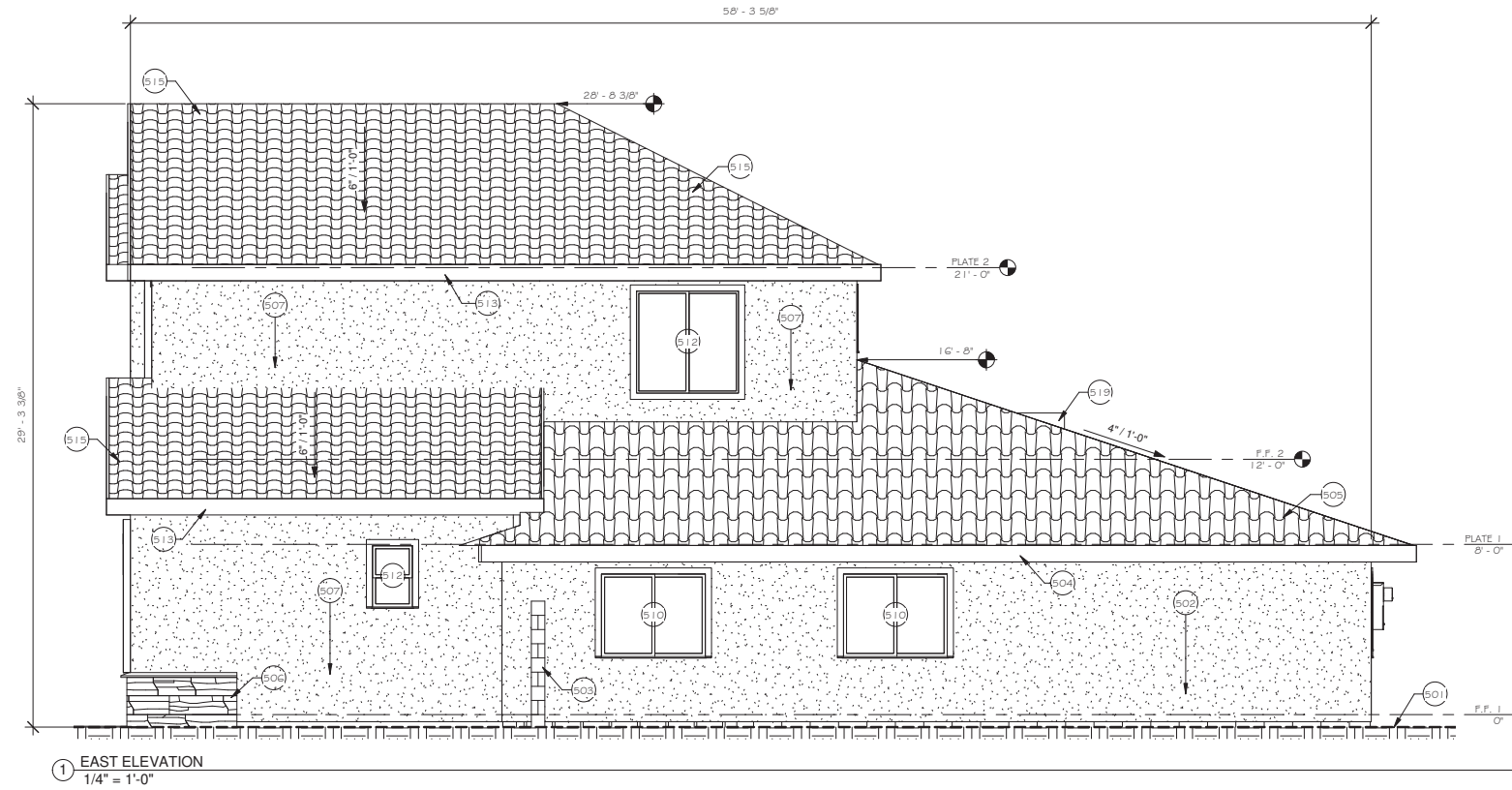
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Scale: AS NOTED
Drawn By: TNT

Plan Alteration Date
1st Submittal:
▲ 2nd Submittal:
▲ 3rd Submittal:
▲ 4th Submittal:
▲ 5th Submittal:
▲ 6th Submittal:

Drawing Name
A-6
EXTERIOR
ELEVATIONS I

EXTERIOR ELEVATION KEY NOTES

#	Keynote Text
501	LINE OF EXISTING FINISH GRADE.
502	EXISTING STUCCO FINISH, PATCH AND REPAIR AS REQUIRED.
503	EXISTING SITE FENCE, NO CHANGE.
504	EXISTING 2X FASCIA.
505	NEW CONCRETE 5-TILE ROOFING #90 ROOFING UNDERLAYMENT, ON EXISTING ROOF FRAMING AND SHEATHING.
506	NEW STONE VENEER, PROVIDE CORROSION RESISTANT MASONRY TIES SPACED TO SUPPORT NO MORE THAN 2 SQ. FT. OF VENEER EA.
507	NEW 1/2" STUCCO OVER LATH.
508	EXTRUDED FOAM TRIM W/ 1/2" STUCCO FINISH. THICKNESS OF FOAM NOT TO EXCEED 7".
509	EXISTING DOOR TO REMAIN.
510	EXISTING WINDOW TO REMAIN.
511	NEW DOOR PER SCHEDULE.
512	NEW WINDOW PER SCHEDULE.
513	NEW 2X FASCIA TO MATCH EXISTING, PAINTED.
514	4X WOOD CORBELS.
515	NEW CONCRETE 5-TILE ROOFING #90 ROOFING UNDERLAYMENT.
516	GUARD RAIL TO MIN. 36" ABOVE DECK SURFACE. MEMBERS SPACED TO NOT ALLOW THE PASSAGE OF A 4" DIA. SPHERE.
517	4X4 STRUCTURAL CORBELS.
518	G.S.M. ATTIC VENT - PAINTED TO MATCH TRIM.
519	EXISTING DORMER VENT TO REMAIN.



165 CHAPARRAL SHADY COVE OREGON
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Date Completed: 9-7-19
Scale: AS NOTED
Drawn By: TNT

Plan Alteration Date
1st Submittal:
▲ 2nd Submittal:
▲ 3rd Submittal:
▲ 4th Submittal:
▲ 5th Submittal:
▲ 6th Submittal:

Drawing Name
A-7
EXTERIOR
ELEVATIONS 2









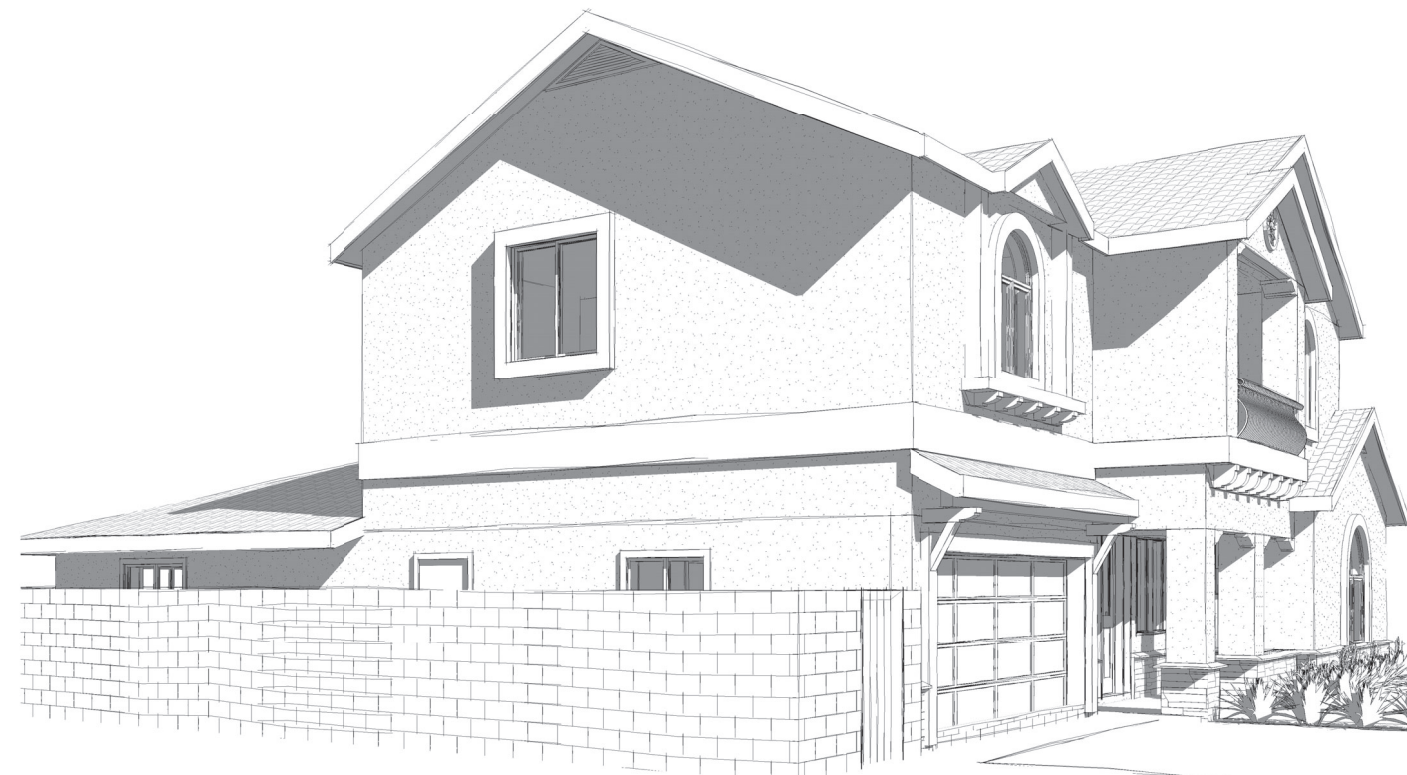




1 3D View 1



2 3D View 2



3 3D View 5



Client
ALAM RESIDENCE
 1112 LODGE DR.
 TEMPE, AZ. 85283

Seal of Approval

Date Completed: 7-30-19
 Scale: AS NOTED
 Drawn By: TNT

Plan Alteration Date
 1st Submittal:
 ▲ 2nd Submittal:
 ▲ 3rd Submittal:
 ▲ 4th Submittal:
 ▲ 5th Submittal:
 ▲ 6th Submittal:

Drawing Name
PR-1
 PERSPECTIVES