

**CITY OF TEMPE  
DEVELOPMENT REVIEW COMMISSION**

**Meeting Date: 3/24/2020  
Agenda Item: 6**

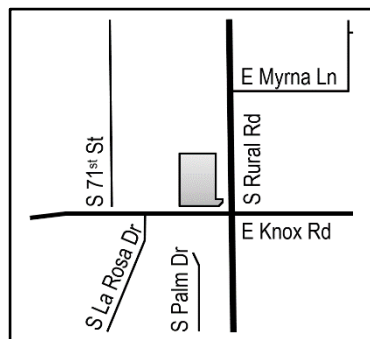
**ACTION:** Request a Use Permit to allow an instructional school (life skills for cognitively disabled individuals) for TRANSITIONS TALLY HO FARMS, located at 850 East Knox Road. The applicant is Ramirez Architects.

**FISCAL IMPACT:** N/A

**RECOMMENDATION:** Deny, (if an affirmative action is taken, conditions of approval shall apply)

**BACKGROUND INFORMATION:** TRANSITIONS TALLY HO FARMS (PL200042) is proposing to operate an instructional school for developmentally disabled adults on Lot 13 of the Tally Ho Farms subdivision, located on the northwest corner of East Knox Road and South Rural Road in the AG, Agricultural District. The school will operate within the existing 3,610 square-foot single-family residence and the van fleet will be parked in the 3,350 square-foot detached garage. A separate surface parking area for employees and visitors is proposed behind the garage, adjacent to the required street side yard. The request includes the following:

ZUP200009 Use Permit to allow an instructional school (life skills for cognitively disabled individuals) in the AG, Agricultural District.



Property Owner / Operator	Dennis Karp, Transitions
Applicant	Art Ramirez, Ramirez Architects
Zoning District	AG
Site Area	62,732 s.f. (1.44 ac)
Building Area	6,960 s.f.
Lot Coverage	11% (25% max. required)
Landscape Coverage	71% (No Standard)
Building Height	17'-0" (30'-0" max. allowed)
Building Setbacks	35' front, 20' side, 12' street side, 183' rear, 25' parking (35', 20', 12', 35', 25' min. required)
Vehicle Parking	17 spaces (14 min. required)
Bicycle Parking	8 spaces (8 min. required)
School Hours	8:30 a.m. to 3:30 p.m., M-F
Building Code Occupancy Current	R-3 (Residential)
Building Code Occupancy Proposed	B (Business)

**ATTACHMENTS:** Development Project File

**STAFF CONTACT(S):** Lee Jimenez, Senior Planner (480) 350-8486 or Lee\_Jimenez@tempe.gov

Department Director: Chad Weaver, Community Development Director

Legal review by: N/A

Prepared by: Lee Jimenez, Senior Planner

Reviewed by: Steve Abrahamson, Principal Planner

## COMMENTS

The operator, Transitions for the Developmentally Disabled, is a state licensed agency that provides instructional and care-giving services to cognitively disabled individuals with disorders such as autism, cognitive disabilities, epileptic seizures, and cerebral palsy. Their clientele consists of individuals who have graduated high school special education but do not have the necessary skills to be employed at a job full-time. The school offers these individuals a place to learn social, emotional, and daily living skills while interacting with their peers to learn about and participate in their community. Per the State of Arizona's Division of Developmental Disabilities, the maximum staff to student ratio is two (2) staff for every nine (9) special needs individual. Transitions plans to have six (6) to eight (8) staff and two (2) supervisors working at the site.

## PUBLIC INPUT

A neighborhood meeting is not required for the requested entitlement. As of the publishing of this staff summary report, staff has received three (3) public inquiries regarding the proposed use and eleven (11) letters of support. All inquiries shared concern about the proposed use and the precedence that may be set in motion if approved. The inquiries also identified a Tally Ho South Deed of Restrictions from 1964 and a Development Agreement for Tally-Ho (South) from when the subdivision was annexed into the City in 1993. The deed of restrictions is not within the City's purview since it is considered a private contractual matter between the owners of the properties in Tally-Ho South; therefore, it is not enforceable by the City. Additionally, all the inquiries also requested that the agenda be continued to the next available hearing date to better familiarize themselves with the use permit application and to be able to safely attend the public hearing in-person given the current pandemic climate. All the letters of support received shared positive experiences with the facility and its mission.

## USE PERMIT

The proposed use requires a Use Permit to allow an instructional school in the AG zoning district.

Section 6-308 E Approval criteria for Use Permit (*in italics*):

1. *Any significant increase in vehicular or pedestrian traffic*; the proposed use is expected to generate more vehicular and pedestrian traffic than a single-family use, but not more than other trip generators located within the vicinity such as Arizona Community Church, Arizona Christian Academy, Corona Del Sol High School, and Kyrene de la Mariposa Elementary School. While the special needs students will not be driving to the school, the number of trips created by the transporting of students by company van and employees will surpass typical levels of a single-family use. Nevertheless, site ingress and egress from Knox Road will not impact the adjacent Tally Ho Subdivision since South 71<sup>st</sup> Street terminates at East Knox Road.
2. *Nuisance arising from the emission of odor, dust, gas, noise, vibration, smoke, heat or glare at a level exceeding that of ambient conditions*; the proposed use is not expected to generate emissions significantly greater than ambient conditions given the fact that the site is located at the intersection of a major arterial and collector street. However, any planned outdoor activity is expected to generate more noise than what exists today. Nevertheless, the operator is required by Code to provide a land use buffer between adjacent single-family uses along the western and northern property lines which will consist of an 8'-0" high masonry wall and a 6'-0" wide landscape area with trees planted 20'-0" on-center. Alternative wall/fencing types, heights, materials, and finishes may be used subject to the preference of each adjacent property owner(s).
3. *Contribution to the deterioration of the neighborhood or to the downgrading of property values, which is in conflict with the goals, objectives or policies for rehabilitation, redevelopment or conservation as set forth in the city's adopted plans or General Plan*; the proposed use is not expected to downgrade property values nor conflict with the goals, objectives or policies of the City adopted Corona South Tempe Character Area Plan and the Tempe General Plan 2040. The proposed use will repurpose a single-family home located on an intersection of a major arterial and collector street that has experienced ownership turn-over on multiple occasions within the past 10 years. Furthermore, the proposed use is permitted in the AG District subject to a use permit which is consistent with the designated residential land use of the General Plan 2040.
4. *Compatibility with existing surrounding structures and uses*; the only exterior changes to the site is the installation of the land use buffers along the west and north property lines, and the employee and visitor parking lot, which is to be located behind the home and garage and setback 25'-0" from South Rural Road. The existing single-family home

and garage will remain unaltered. The proposed use is compatible with the church, learning academy, and high school located across Rural Road while a land use buffer will be provided between the adjacent single-family uses along the west and north property lines to provide sound mitigation. Moreover, no single-family homes front the subject site. Nevertheless, the added parking and proposed use is not in character with single-family uses.

5. *Adequate control of disruptive behavior both inside and outside the premises which may create a nuisance to the surrounding area or general public;* the combination of a) being located on an intersection of a major arterial and collector street, b) being located on a 1.44 acre lot with generous minimum building setbacks, c) providing land use buffers, and d) the nature of an instructional school for adults with special needs, reduces the potential for disruptive behavior that would otherwise create a nuisance to the surrounding area and general public.

#### **REASONS FOR DENIAL:**

Based on the information provided by the applicant, the public input received, and the above analysis, staff does not support approval of the requested Use Permit. The request does not meet the required criteria.

#### **SHOULD AN AFFIRMATIVE ACTION BE TAKEN ON THIS REQUEST, THE FOLLOWING NUMBERED CONDITIONS OF APPROVAL SHALL APPLY, BUT MAY BE AMENDED BY THE DECISION-MAKING BODY.**

#### **CONDITION(S) OF APPROVAL: (Non-standard conditions are identified in bold)**

EACH NUMBERED ITEM IS A CONDITION OF APPROVAL. THE DECISION-MAKING BODY MAY MODIFY, DELETE OR ADD TO THESE CONDITIONS.

1. The Use Permit is valid only after a Building Permit has been obtained, the required inspections have been completed, and a Final Inspection has been passed. As part of the Building Permit process, on-site storm water retention may be required to be verified or accomplished on this Site.
2. The Use Permit is valid for the plans as submitted within this application. Minor modifications may be reviewed through the building permit plan check process; major modifications will require a new Use Permit.
3. All required Federal, State, County, and Municipal permits, licenses, and clearances shall be obtained, or the Use Permit is void.
4. **Typical hours of operation shall be limited to Monday through Saturday from 7 a.m. to 5 p.m. with occasional extended evening hours until 8 p.m. for life skill classes (maximum of two (2) occurrences per week).**
5. **The maximum number of on-site clients and staff shall be limited to thirty-six (36) clients and ten (10) staff; total number of clients and staff shall not exceed occupant load per final certificate(s) of occupancy.**
6. **To reduce impacts regarding visual, sound, privacy and/or glare to and from the proposed use, the operator shall provide the following:**
  - a. **A land use buffer consisting of a minimum 8'-0" high masonry or concrete wall and a landscape screen at least 6'-0" clear in width with trees (of the non-deciduous variety) provided with a maximum spacing of 20'-0" on-center shall be provided along the west and north property lines. Subject to each adjacent property owner, alternative heights and types of walls/fencing along with additional plant materials such as hedges and/or shrubs may be substituted in lieu of masonry or concrete wall requirement. Details to be approved through building safety plan check review.**
  - b. **Parking lot surface consisting of a stabilized, dust-proof, porous material (e.g. decomposed granite); no concrete or asphalt.**
  - c. **Parking lot lighting shall consist of full cutoff light fixtures with a combination of switches consisting of photocell, timer, and motion-detection.**
7. **Life skill overnights are permitted once a month from Saturday evening through Sunday morning.**
8. **The operator vehicle fleet shall be parked and stored within the garage, outside of operating hours and days.**
9. **No signs shall be permitted.**

10. **No person shall reside on the property.**
11. **Return to the appropriate decision-making body for review of compliance with conditions of approval within six (6) months. The timing for the six-month review period to commence begins when the business is in full operation. Advise Community Development staff in writing when in full business operation.**

**CODE/ORDINANCE REQUIREMENTS:**

THE BULLETED ITEMS REFER TO EXISTING CODE OR ORDINANCES THAT PLANNING STAFF OBSERVES ARE PERTINENT TO THIS CASE. THE BULLET ITEMS ARE INCLUDED TO ALERT THE DESIGN TEAM AND ASSIST IN OBTAINING A BUILDING PERMIT AND ARE NOT AN EXHAUSTIVE LIST.

**USE PERMIT:**

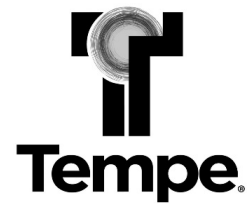
- The Use Permit is valid for Transitions Tally Ho Farms and may be transferable to successors in interest through an administrative review with the Community Development Director, or designee.
- The use permit approval shall be void if the use is not commenced or if an application for a building permit has not been submitted, whichever is applicable, within twelve (12) months after the use permit is granted or within the time stipulated by the decision-making body.
- The decision-making body, upon finding that the applicant has not taken corrective actions to resolve issues related to the permit/approval and that a continuation of the permit/approval is not in the interest of the public health, safety and general welfare, can revoke the permit/approval after providing written notice of its intentions to the holder of the permit.
- Specific requirements of the **Zoning and Development Code (ZDC)** are not listed as a condition of approval but will apply to any application. To avoid unnecessary review time and reduce the potential for multiple plan check submittals, become familiar with the ZDC. Access the ZDC through <http://www.tempe.gov/zoning> or purchase from Development Services.
- **SITE PLAN REVIEW:** Verify all comments by all departments on each Preliminary Site Plan Review. If questions arise related to specific comments, they should be directed to the appropriate department, and any necessary modifications coordinated with all concerned parties, prior to application for building permit. Construction Documents submitted to the Building Safety Division will be reviewed by planning staff to ensure consistency with this Design Review approval prior to issuance of building permits
- Any intensification or expansion of use shall require a new Use Permit.
- All required permits and clearances shall be obtained from the Audit and Licensing Division of the City of Tempe prior to the Use Permit becoming effective.

**HISTORY & FACTS:**

March 13, 1996	City Council approved the annexation of Tally-Ho Farms Subdivision (Ordinance No. 93-02).
December 29, 2003	Board of Adjustment approved the following for the EDEL RESIDENCE (BA030268), located at 850 East Knox Road in the AG, Agricultural District: <ol style="list-style-type: none"> <li>a. Variance to reduce the east side yard setback from 20 feet to 12 feet.</li> <li>b. Variance to reduce the front yard setback from 40 feet to 35 feet.</li> <li>c. Variance to allow a detached accessory building to be located in the front half of the lot.</li> </ol>
June 14, 2019	Building Safety Division expired out the building permit for group home (6-10 occupants) due to a lack of required inspections for SEMPERCARE TALLY HO FARMS (BP171887), located at 850 East Knox Road.

**ZONING AND DEVELOPMENT CODE REFERENCE:**

Section 3-102 Permitted Uses in Residential Districts  
 Section 6-308 Use Permit



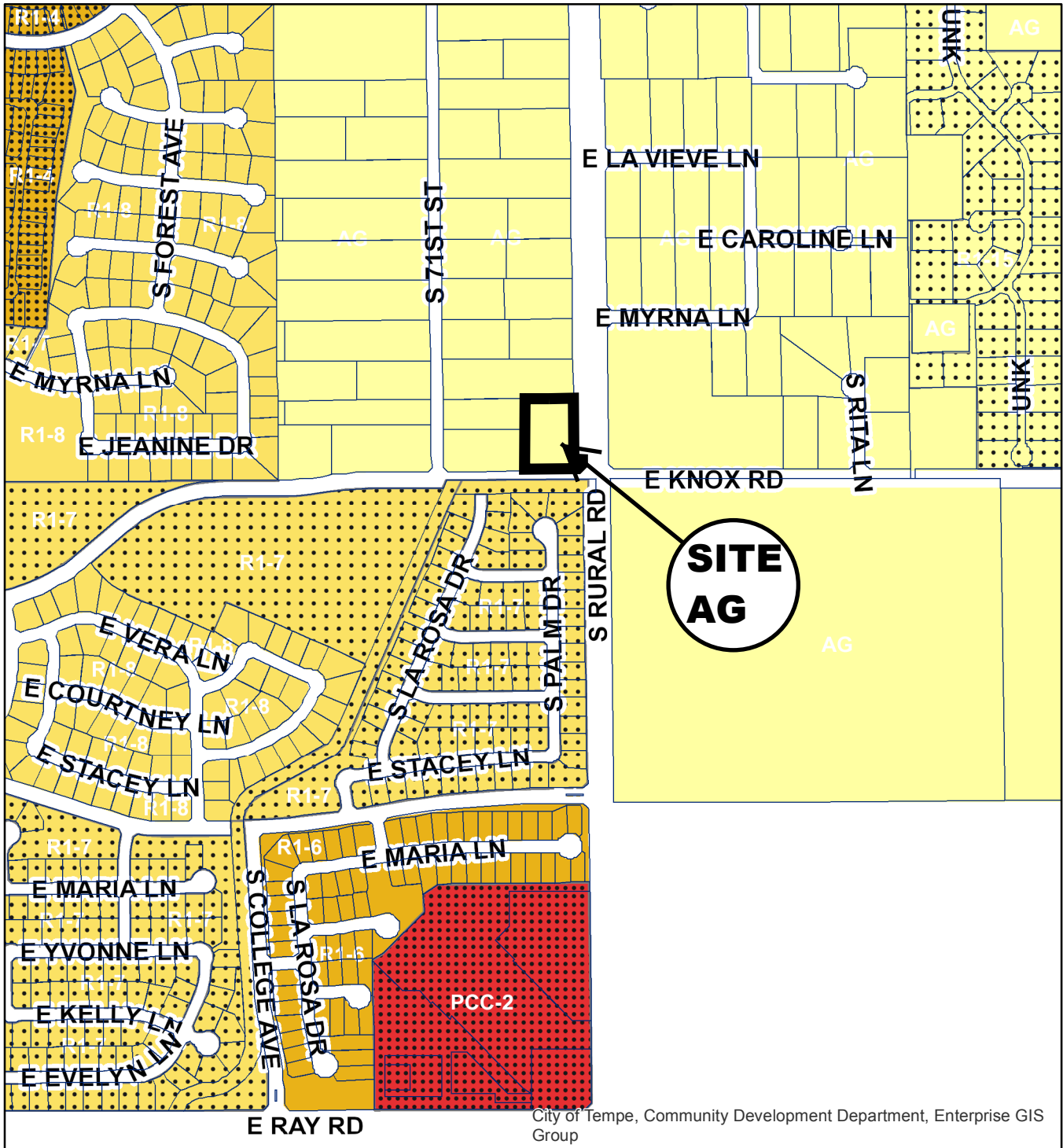
**DEVELOPMENT PROJECT FILE**  
for  
**TRANSITIONS TALLY HO FARMS**  
(PL200042)








**ATTACHMENTS:**

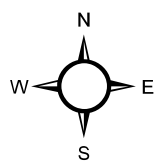
1. Location Map
2. Aerial
- 3-7. Letter of Explanation
8. Site Plan
- 9-10. Floor Plans
- 11-18. Site Context Photos
- 19-35. Public Input Received (as of 4pm on 3/18/20)

# 850 EAST KNOX ROAD

PL200042



- |   |   |   |                                  |
|---|---|---|----------------------------------|
|  | Planned Commercial Center General (PCC-2) |  | Single-Family Residential (R1-7) |
|  | Agricultural (AG)                         |  | Single-Family Residential (R1-6) |
|  | Single-Family Residential (R1-15)         |  | Single-Family Residential (R1-4) |
|  | Single-Family Residential (R1-8)          |   |                                  |



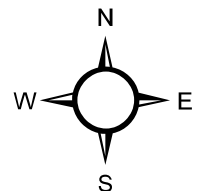


850 EAST KNOX ROAD

PL200042



Aerial Map





## Letter of Explanation for Use Permit at 850 East Knox Road

### TRANSITIONS FOR THE DEVELOPMENTALLY DISABLED

TRANSITIONS for the Developmentally Disabled is a State of Arizona Department of Economic Security/Division of Developmentally Disabled licensed agency that provides instructional and care-giving services to cognitively disabled individuals ([www.TransitionsAZ.org](http://www.TransitionsAZ.org)). For the past 15 years TRANSITIONS has been providing Instructional Programs, Assisted-Living Residences, Habilitation, Attendant Care, and Respite services Valley Wide.

TRANSITIONS Instructional Programs are dedicated to working exclusively with individuals with Special Needs - Autism, Cognitive Disabilities, Epileptic Seizures and Cerebral Palsy. Our clientele are individuals who have graduated High School Special Education yet do not have the necessary skills to be employed at a job full time. We offer them a place to learn social, emotional and daily living skills and interact with their peers to learn about and participate in our community.

TRANSITIONS currently has 2 Instructional Programs located in Tempe on property that we lease: **McClintock Farm** has been operating for 11 years and is located at 8150 S. McClintock Drive, Tempe in an AG Zoned residential house. The **Delta Center** has been operating for 10 years and is located at 206 W. Julie Drive, Tempe in an I-2 zoned commercial building. Our students attend our programs Monday – Friday from 8:30am to 3:30pm.

TRANSITIONS would like to open a Special Needs Instructional Facility at 850 E. Knox, Tempe. Our intention is to combine both of the programs we currently operate in Tempe and move them to 850 E. Knox Road.

### LIFE IN THE COMMUNITY

One of TRANSITIONS primary missions in working with developmentally disabled adults at our State of Arizona DES/Division of Developmental Disabilities *Day Treatment & Training, Adult* programs (DTA's) is including them in the local community. Community inclusion is the belief that people of EVERY ability should have the right to contribute to, and be a part of, their community. Through education and exposure to new experiences in the community, our Special Needs individuals can attain a higher sense of self-esteem, a richer quality of life, build relationships with the people around them, and feel accepted in the world.

Our program at Tally Ho Farm in Tempe makes it easy for our participants to stay involved in the Tempe community. Tempe offers an inclusion-rich environment that TRANSITIONS' DTA's have taken full advantage of. Whether it's a visit to Kiwanis Park, to City of Tempe Fire Stations, Tempe Town Lake, Arizona Mills Mall, volunteering at Elderly Assisted-Living Facilities, Tempe Beach Park, or riding the Light Rail to Downtown Tempe, our supervised groups are able to learn about life and experience kindness, respect, acceptance and friendship in the Tempe community.

Inclusion doesn't only benefit the disabled individuals, it benefits the community as well. Our Special Needs enrich lives and put smiles on faces everywhere they go in the community. Community inclusion is essential for general population to learn about and accept those with Special Needs. If you've ever come across our groups on an outing experiencing life in Tempe, you know that our DTA's make Tempe a better place to live.



Our connection to Tempe is strong. Currently, 5 DTA attendees live with their families in Tempe. Many of our DTA attendees graduated from Corona Del Sol High School across the street from Tally Ho Farms. Many members of our student's families work and have strong ties to Tempe with our 2 DTA's, as well as the owner's purchase of 850 E. Knox Road. Being part of the Tempe community as part of their DTA for over 10 years have given our members strong ties to the City.

Inclusion of those with developmental disabilities in our community is not only necessary for quality of life, it is mandated by federal and state law. The Federal "Developmental Disabilities Assistance and Bill of Rights Act of 2000" states that *"All people, regardless of disability, deserve the opportunity for a full life in their community where they can live, learn, work, and play alongside each other through all stages of life.* People with intellectual and/or developmental disabilities<sup>1</sup> (I/DD) need varying degrees of support to reach personal goals and establish a sense of satisfaction with their lives." State of Arizona has numerous policies that prioritize empowering individuals with developmental disabilities to lead self-directed, healthy and meaningful lives through inclusion in the community.

By interaction with individuals who are intellectually disabled, the community is helping someone with special needs to conquer the daily challenges life can throw their way. As they grow older, inclusion in the community can help these individuals find their place in the world.

#### **"Commercial" vs. "AG" Residential Property**

TRANSITIONS currently operates the Delta Center DTA in a commercial setting and McClintock Farm in an AG zoned residence. Our participants LOVE the McClintock Farms DTA. It is a super-rich learning environment. With protected, open grassy areas, an organic garden, trees, chickens, rabbits and a couple pygmy goats, "The Farm" is a setting that's alive. The house and classrooms have a natural "at home" feel that our Special Needs students can relate to and feel comfortable in. Caring for the garden and animals gives them a sense of purpose, self-importance, and makes them want to come to the DTA each and every day. The population we serve is very sensitive to noise and a DTA in a residence is a quiet place to be and learn. There is something about being close to nature that makes our population happy and at peace. When potential new participants tour both our DTA's in Tempe, they almost always choose McClintock Farms.

The Delta Center, by comparison, is in a commercial area. It is a more sterile and less colorful environment. There are more cars, noise, and people around and our participants don't have the same safety, freedom, or desire to go outside. Though we make it as comfortable and learning-rich for our participants as possible, it doesn't compare to the uplifting feeling of the Farm. The environment doesn't promote as much socialization because participants are more confined to their classrooms and common areas.

The difference these two settings have on our students is clear. The Farm is where our participants are happiest, more social, and are better able to learn more about themselves and the world. That is why we want to move our DTAs to Tally Ho Farms.

## **850 E. KNOX ROAD**

TRANSITIONS purchased the residence at 850 E. Knox Road, Tempe to open a DTA Instructional Facility. We plan on having 32 Special Needs students attend the program at Tally Ho Farms. Our general hours of operation will be from 8:30 am to 3:30 pm Monday to Saturday with occasional evening life skill classes to 8:00 pm. There will not be anyone living on the property and we will not have any overnights there.

The property has a total of 67,732 sf with a Single Family residence on site that is 3,610 sf, 7 bedrooms and 4 baths. A detached garage is 3,350 sf with an attached Guest Room that is approximately 536 sf. The property also has a covered car port between the house and garage. Extensive interior remodel work has already been done on this property by the former owner, Semper Care Tally Ho Farms, for the purpose of getting a Group Home Use Permit on the property.

The intent is to leave the existing exterior property unchanged. This existing structure is typical in design to the existing residential homes in the Tally Home Farms subdivision. The compatibility with the existing surrounding structures and uses will be maintained. There is absolutely no nuisance arising from the emission of odor, dust, gas noise, vibration, smoke, heat or glare at any level exceeding that of ambient local conditions.

The site improvements made and currently planned will increase the property value of this facility and to the surrounding neighborhood. The improvements made to the property are in conformance with the goals, objectives and policies of the City's adopted General Plan.

## **VEHICLE FLOW**

One of the reasons TRANSITIONS picked this location is because it provides safe and easy vehicle entry and exit from the property. The driveway is not on the fast-moving Rural Road side of the property, but on the first driveway on Knox Road with a dedicated turn-lane to access that driveway. No additional vehicular or pedestrian traffic will flow into the Tally Ho Farms subdivision. With our proposed parking area in the back, vehicles entering and exiting the property will not have to "back out" of the driveway onto Knox Road, but will have plenty of room to turn around and drive forward out of the driveway.

**Our Special Needs students do not drive nor own cars.** TRANSITIONS transports our students to the site and home with 2 vans we own. The only cars that will be parked on our property are that of 5-7 staff. Their cars will remain on the property all day until their shift is over. Only the 2 vans will enter and exit the driveway during the day.

There are only 2 other residents in the Tally Ho Farms subdivision that access their property by car from Knox Road; everyone else accesses their property from the Warner Road side of the subdivision.

Across the street from our property on Knox is a block wall that conceals the backside of the houses on the opposite side of the street, so we don't anticipate traffic concerns with neighbors on the south side of the street. Corona High School and a Church are right across the street on the east side of Rural Road.

## **SEPARATE GARAGE STRUCTURE FOR COMPANY VANS**

TRANSITIONS 2 vans will pick up individuals at their homes, transport them to the facility, and transport them home after the program is over. These vans are also used to transport our Special Needs individuals out into the

community and to planned activities. Vans will be parked and stored inside the 3,350 sf garage, which has 4 “roll up” doors to enter and exit the structure. The storage and parking of the vans will not be visible from the street.

There is plenty of room to turn around in the garage structure so there will be no “backing up” through the roll up doors or out onto the street. Since the vans will be parked and stored in the garage, we do not need extra parking spaces for them in the outdoor parking area.

### **OUTDOOR PARKING AREA FOR EMPLOYEES**

A separate parking area will be provided to employees and visitors to park their vehicles outside of the garage. TRANSITIONS will create a separate parking area for employees and visitors to park (1) ADA parking stall and 16 vehicles per the site plan. Employee vehicles will enter the driveway and drive straight through a two-way covered “car port” to a parking lot directly behind the garage. Vehicles will have plenty of room to park, turn around and exit through the other side of the covered car port and drive straight onto Knox Road.

TRANSITIONS plans to cover the parking area in a stabilized, dust-proof, porous material (e.g. decomposed granite) for dirt mitigation. All 16 parking spaces will be adequately marked and the paved area will be properly drained and kept free from dust or loose particles at all times. Per the City of Tempe ZDC 4-706, this on-site parking area adjacent to streets will be screened from street view by a screen wall, existing trees and a large set back from Rural Road. Refer to the existing landscape buffer in the site plan aerials. There is ample clear vision in and around the parking area per ZDC 4-702(G). The minimum number of accessible parking spaces shall conform to ADA requirements per parking regulations.

### **NUMBER OF PARKING SPACES**

Since none of our students drive and our vans will be parked and stored in the garage, we only need parking for on-site staff and the occasional visitor.

TRANSITIONS requires parking for 6 Staff that will teach and supervise 27 Special Needs students, as well as 1-2 Supervisors. The State of Arizona’s Division of Developmental Disabilities has strict requirements for the number of Staff versus the number of Special Needs Members and that ratio is 1 Staff for every 4.5 Special Needs members (1:4.5). Note that the 1 to 4½ ratio is not a typo. It is so 9 individuals can be with 2 staff. With 27 students, we need 6 staff. We will also have 2 Supervisors that will manage and run the facility for a total of 8 employees working at the site.

Our students are closely supervised at the DTA. With 1 trained and experienced staff member for every 4.5 special needs members, the adequate control of disruptive behavior both inside and outside the premises is a nonissue. TRANSITIONS will not create any nuisance to the surrounding area or the general public.

TRANSITIONS is indicating a parking lot with 16 standard parking spaces at an area just north of the garage and (1) ADA accessible parking space next to the building’s secondary entrance.

The facility consists of 6 original bedrooms and where each of the instructional rooms will be approximately 1,015 SF. Instructional activities will occur in in each of the original bedrooms while the rest of the main house will be common areas for group activities, dining, entertainment, storage, etc. The Guest Room that is part of the garage is where the office will be located (536 total sf). Though there is a total of 3,610 sf of livable space on the property, only 1,551 sf will be for instructional areas and offices.

TRANSITIONS will utilize the original bedrooms as instructional areas. The Guest Room in the Garage will be used as an office and all other space will be used as common areas. With a new parking area for 16 vehicles, a garage for our 2 vans along with (1) ADA accessible parking spot we have met the parking requirement for this facility.

### **PARKING AREA DIMENSIONS**

Per the attached site plan the parking area will be approximately 4,080 sf and located on the north side of the garage. Per Section 4-606 - Parking Area Dimensions the parking spaces will be 90 Degrees with a one-way aisle width of 24', and 18' stalls.

### **LANDSCAPE BUFFER**

Per the attached combination site plan / Google aerial of 850 E. Knox and the Tax Information aerial, there are existing landscape/land use buffers around the perimeter of the property, especially in the south (front) and sides (East-West) of the property. TRANSITIONS will plant more trees on the northern side of the property for our own privacy as well as for the privacy of our neighbor. Currently there are 3 trees spaced out on the north side. We plan on planting an additional 2 trees for full landscape buffer coverage.

### **CONCLUSION**

For the past 11 years, TRANSITIONS DTA's have called Tempe home. Our DTA's have an important role in the Tempe community and the Tempe community has an important role in the lives of our individuals. Our individuals would miss Tempe as much as the Tempe community, organizations, and businesses would miss us.

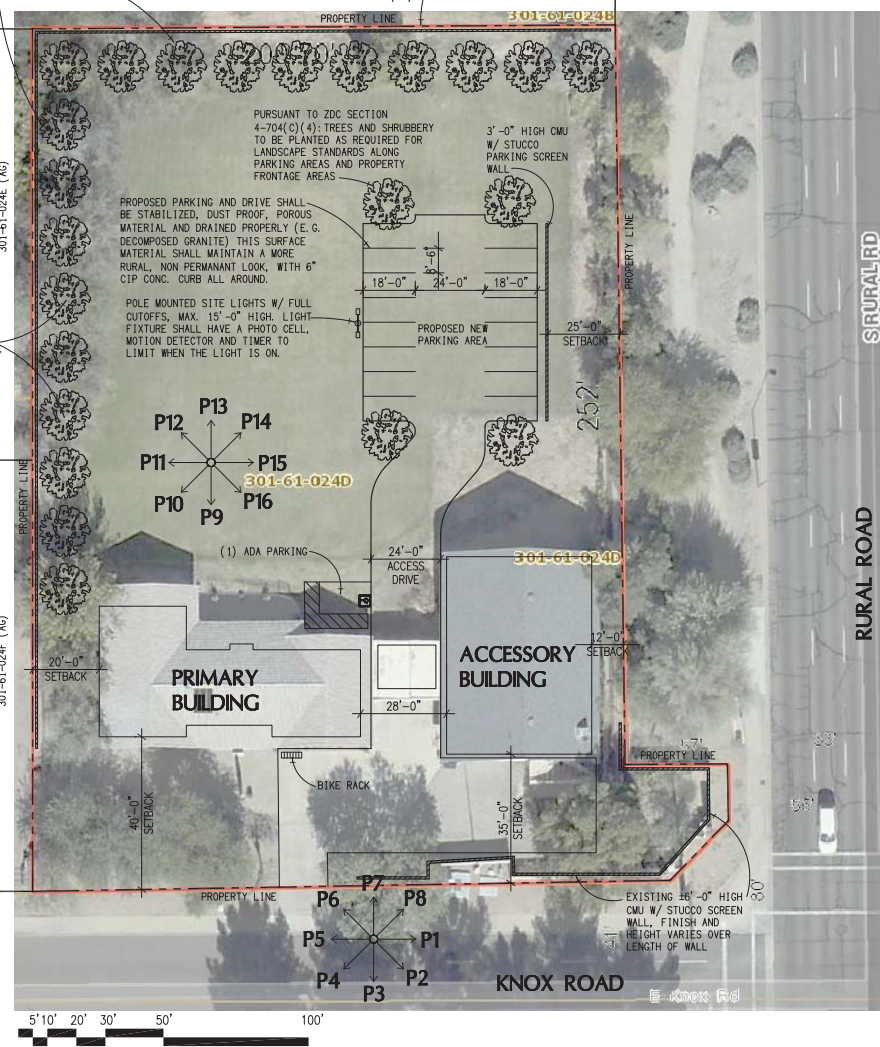
Our greatest wish is have a DTA at Tally Ho Farms and continue to call Tempe home.



8'-0" HIGH CMU SCREEN WALL AT PROPERTY LINE. FINISH TO COMPLEMENT STRUCTURES.  
OPTION: 6'-0" TALL STRAIGHT WROUGHT IRON FENCE WITH SHRUBS AND TREES. PER ZDC SECTION 4-704(C)(4)

NON-DECIDUOUS TREES AT 20'-0" O.C. ALONG PROPERTY LINE

PLEASE NOTE: APPROXIMATELY ON 3/2/2020, A NEW CHAIN LINK FENCE WAS INSTALLED ALONG THE NORTH PROPERTY LINE AND PAID FOR EQUALLY BY THE NORTH PROPERTY OWNER AND TRANSITIONS. THE PROPERTY OWNER NORTH OF THE TRANSITIONS PROPERTY IS HAPPY WITH THIS FENCE.



**REFERENCE SITE PLAN (AERIAL)**  
SCALE: 1"=20'-0"

NO EXTERIOR MODIFICATIONS PLANNED. THE EXISTING HOME IS IN CONFORMANCE AND STYLE OF A TYPICAL HOME IN TALLY HO FARMS.

NO SIGNAGE IDENTIFYING "TRANSITIONS" WILL BE INSTALLED.

**PROJECT DATA**

**ARCHITECT:** Ramirez Architects  
3020 North Central Avenue  
Suite 120  
Phoenix, Arizona 85004

**TENANT:** Transitions  
850 East Knox Road  
Tempe, Arizona 85284

**PROJECT INFO.**

**OWNER:** Transitions  
**ARCHITECT:** Ramirez Architects  
**EXPLANATORY TITLE:** Use Permit for an educational development facility for developmentally disabled adults.  
**PROJECT ADDRESS:** 850 East Knox Road  
Tempe, Arizona 85284

**PARCEL NUMBER:** 301-61-024D  
**CONSTRUCTION TYPE:** TYPE VB  
**ZONE:** AG

**CURRENT OCCUPANCY TYPE:** R3 (Residential)  
**PROPOSED FUTURE OCCUPANCY TYPE:** B (Business)

**LOT AREA:** 62,732 S.F. (1.55 Acres)  
**LOT COVERAGE:** Building: 6,960 s.f. (11%)  
Paving: 11,025 s.f. (18%)  
Landscape: 44,747 s.f. (71%)

**MAX. BUILDING HEIGHT:** 30' Max.  
**EXIST. BUILDING HEIGHT:** 17'

**BUILDING AREA:** Primary Building (Occ.): 3,610 s.f.  
Garage Building (Occ.): 3,350 s.f.  
Covered Porch: 811 s.f.  
Total Under Roof: 7,771 s.f.  
Total Occupiable (Occ.): 6,960 s.f.

**OCCUPANT LOAD:** Primary Bldg (B): 1/150 s.f.  
3,610 s.f. / 150 = 24 Occupants  
Accessory Bldg (B): 1/150 s.f.  
336 s.f. / 150 = 2 Occupants  
Total (B) occ: 4,146 s.f. = 28 Occupants

**REQUIRED EXITS:** (2) Required at each Building  
(3) Provided at Primary Building  
(3) Provided at Accessory Building

**FIRE SPRINKLERS:** Yes

**FIRE ALARMS:** Yes, Where Required

**EMERGENCY LIGHTING:** Yes, Where Required

**SEISMIC ZONE:** Section 1627 as amended

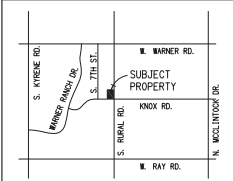
**PARKING REQUIRED:** 300 s.f. / Parking Space  
3,610 s.f. / 300 = 14 P.S. Req'd

**PARKING PROVIDED:** 16 Standard Parking Spaces Proposed  
1 ADA Accessible Parking Space  
17 p.s. Total

**VAN FLEET PARKING:** THE ACCESSORY BUILDING (GARAGE) HAS SPACE FOR (5) STANDARD SIZE VANS, EACH VAN SHALL OCCUPY A 8'-6" WIDE x 22'-0" LONG PARKING SPACE.

**BICYCLE PARKING:** 1/500 s.f. / Bicycle Space  
3,610 s.f. / 500 = 8 P.S. Req'd  
(1) Rack / (8) Bicycles

**VICINITY MAP**



**RAMIREZ ARCHITECTS**

**TRANSITIONS**  
850 East Knox Road  
Tempe, Arizona 85284

Date	Description

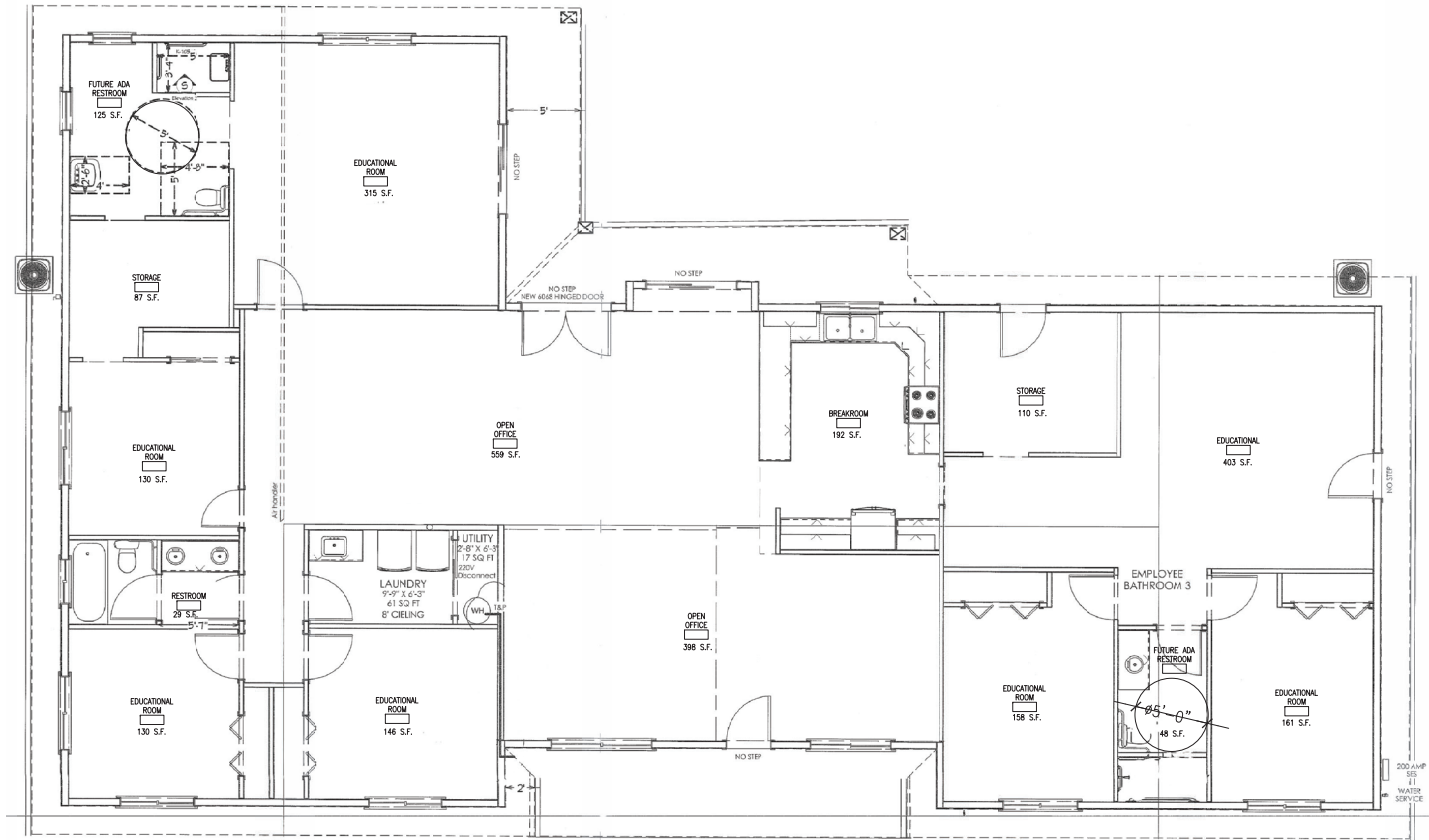
Scale	Drawn By	Date Drawn	Checked By
1"=20'-0"	PWR	2/17/20	AR

**Project Description**  
TRANSITIONS for the Developmentally Disabled

**REFERENCE SITE PLAN**

Proj. No.	Date
#####	02/17/20

Sheet No. **A0.1**



**REFERENCE PRIMARY BUILDING FLOOR PLAN**  
 SCALE: 1/4"=1'-0"



**RAMIREZ ARCHITECTS**

**TRANSITIONS**  
 850 East Knox Road  
 Tempe, Arizona 85284

Revisions	Date	Description

Scale	1/4"=1'-0"	Drawn By	PWR	Date Drawn	2/17/20	Checked By	AR
Project Description	TRANSITIONS for the Developmentally Disabled						
REFERENCE PRIMARY BUILDING FLOOR PLAN							

Proj. No.	#####
Date	02/17/20

Sheet No. **A1.0**



**CONTEXT PHOTOS FOR PROPERTY @ :  
850 EAST KNOX ROAD TEMPE, ARIZONA 85284**























Todd Stevens  
Stevens Holdings LLP  
13001 South 71<sup>st</sup> Street – APN# 301-61-024 H  
13019 South 71<sup>st</sup> Street – APN# 301-61-024 B  
Tempe, Arizona 85284

February 14, 2020

Re: Transitions for the Developmentally Disabled  
Pamela and Dennis Karp  
850 East Knox Road  
Tempe, Arizona 85284

To Whom It May Concern,

I own and reside in property adjacent Pamela and Dennis Karp, Transitions for the Developmentally Disabled, 850 East Knox Road, Tempe, Arizona

I support their mission and feel their proposed use of the property located on Knox Road is appropriate and a welcome addition to the neighborhood.

Please feel free to contact me if any additional information is needed.

Sincerely,



Todd Stevens

  
tstevens@encantahomes.com



## Jimenez, Lee

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**From:** Debbie Keller <dkellerpublicity@aol.com>  
**Sent:** Wednesday, March 11, 2020 12:10 PM  
**To:** Jimenez, Lee  
**Subject:** Transitions Tally Ho Farms (PL200042)

Hi Lee,

This Debbie Keller Neighborhood Association lead for Tally Ho Farms South. I know you have a couple of my neighbors inquire about the Transitions school at Knox & Rural.

I don't want to gobble up your valuable time but I have several of my neighbors coming to me with all kinds of questions.

I lived here at Tally Ho Farms for 40 years and have been the Neighborhood Association lead since our NA was created with the City. I work with Shawna and Elizabeth in Neighborhood Service, Dean Miller in planning and Shawn Thompson in Landscape Maintenance .

Over the years we have had to face everything from people buying lots in our subdivision to build apartments to commercial prospects. I'm happy to say it doesn't happen that often. Here we are again with Transitions. I met with the owners yesterday. They told me they bought the house with no intention of ever living in it. They bought the house to consolidate their other two schools into the one on Knox. They told me their business hours would be 8:00 - 3:30 M-F. Outside of that the house would be empty. We have several large lots up for grabs and my concern is allowing this to happen would open the door for other problems down the road.

I plan to be at the meeting on the 24th. Can the meeting be postponed or does it have happen on the 24th? My other question is, would the City council except a petition signed by everyone on my street, or do they all have to appear at the meeting? My neighbor Todd Stevens told me last night that he wished he would have looked at the situation a little closer before he wrote the letter saying it was okay with him. Can he reverse his stance even though he wrote the letter?

I know what happens on this street when things like this happen. My goal is to get the correct information out to my neighbors and let them make up their minds without everyone driving you crazy.

Feel free to contact me via e-mail or my cell at 602-714-7060.

With appreciation,  
Debbie Keller

## Jimenez, Lee

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**From:** Jack Hodgson <jackhodgson@cox.net>  
**Sent:** Monday, March 16, 2020 1:05 PM  
**To:** Jimenez, Lee  
**Cc:** 'Dennis'  
**Subject:** Transitions Tally Ho Farms PL200042

Dear Mr. Jimenez:

As a resident of Tally Ho Farms I am interested in attending the Development Review Commission hearing on March, 24<sup>th</sup>. In view of all the cancellations occurring due to the virus I was wondering if this hearing will be delayed.

Rgs.,

Jack Hodgson

██████████ S. 71<sup>st</sup> St.

Tempe, AZ 85284

Cell # ██████████

## Jimenez, Lee

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**From:** Dennis Cling <dcmc1202@cox.net>  
**Sent:** Monday, March 16, 2020 9:52 AM  
**To:** Jimenez, Lee  
**Subject:** Case # PL200042, Transitions Tally Ho Farms

Good morning Lee,  
Coronavirus:

With so many things closing or shutting down in Tempe we are wondering if the Public Hearing use permit is on schedule or will it be rescheduled to a future date? One reason we are asking is because some of our older residents are older from ages 65 to 85 that would like to be at the meeting. They do not want to go in public do to coronavirus. Please take this into consideration & maybe reschedule.

Thank you,  
Dennis Cling  
[REDACTED] S. 71<sup>st</sup> ST

March 17, 2020

Dear Tempe Development Review Commission-

My name is Patti Mamalis. I am a long time Tempe resident, a retired, after twenty seven years, Tempe Elementary School teacher, and the mother of Benjamin Pompa, a 28 year old adult that has down syndrome. I am writing this letter to you to request very serious consideration to allow 850 E Knox Rd in Tempe to be the location of Transitions DTA.

My son, Ben has attended this program since 2012 when he graduated from high school. Finding the appropriate match for a DTA program and my son's abilities, personality, and skill level was one of the hardest things as a parent that I have ever done. I interviewed many directors, took tours of several different sites, dissected the programs they offered, and really took a hard look at all of my options. Then I found Transitions for the Disabled and I knew right then and there this was the place for Ben to go to as an adult with a disability.

The staff are a group of the nicest, most knowledgeable, capable adults that I have ever met. They meet the needs of each client/member and treat them all with the utmost respect and dignity that they deserve. Genuine, caring, understanding and excellence is exhibited by all staff at all times.

The program is amazing and cannot be compared to any other program like this. There truly are no comparisons. Believe me I tried to compare many other programs to Transitions for the Disabled and couldn't do it. From individual client goals to group outings, to social skills, to life skills, to self help skills, to house duties and even farm duties the learning in a small group setting is outstanding. Ben was very depressed in high school and just kind of going through the motions. Once he got involved in this program he blossomed and once again let his light shine.

The setting- a house specifically the house on 850 E Knox has seven rooms that provide the perfect place for small groups with a leader and very directed learning. There is also room for whole group activities which create bonding with the other members and clients. A home environment is



perfect to instill safety. It makes for a comfortable setting where learning is accelerated, and a sense of pride happens because it feels “like home.”

As far as the neighborhood.... I would love to have this program be my neighbor. They are quiet. They are only there Monday through Friday from 9:00 to 4:00 so weekends and evenings no noise, no people no activity. What better neighbors could you ask for? The owners Dennis and Pam Karp are amazing people that hold the entire program to the highest degree of integrity and excellence that I have ever seen and have ever been involved in. An added benefit to having this program in the neighborhood is you just might get to have a little interaction with the clients and members and find out first hand what great people they are. Also 850 E Knox is right smack dab on the corner of Rural and Knox so would not be bothersome to the residents in any way shape or form.

I hope this letter makes your decision, which is not to be taken lightly, easier and you have a better understanding of what really happens at the DTA. I would be happy to answer any questions you might have.

Respectfully Submitted,

Patti Mamalis

[plynnp@cox.net](mailto:plynnp@cox.net)



March 17, 2020

Dear Tempe Development Review Commission-

My name is Larry Mamalis and I have been a Tempe resident for the last 5 years. I am the step father of Ben Pompa and I have a great interest in your decision to allow 850 E Knox in Tempe to be the future site of the DTA for Transitions for the Disabled.

Ben absolutely loves going to the DTA and on holidays is quite upset with staying home. When he is home he spends most of the time in his room watching Netflix or listening to his radio. He gets a great deal out of the program, the activities they provide, the learning and the projects that he comes home with to mention a few. The socialization piece that this program provides is amazing. He has friends and is around others with special needs also. During a recent hospital stay a staff member and another client came to visit him in the hospital. That is what this caring community does for Ben.

I know this hearing is about giving permission for a business to be in a residential community. This is the perfect location to have this program. The inside has enough space to spread out and have small groups. The outside has enough property to have some animals and a garden which both activities transfer to incredible learning opportunities for Ben and the other clients.

I personally recommend that you adjust the zone and allow this program to occupy at 850 E Knox Rd in Tempe.

Sincerely,  
Larry Mamalis

**Skyler Pham**

[REDACTED]

Sky.berd04@gmail.com

17th March 2020

Dear Mr. Jimenez,

I want Transitions to obtain the Use Permit for Tally Ho Farms. Even though I don't go to the transitions myself, I do know that my sister loves going to the DTA everyday and that she also loves the new location. There's more space like bigger classrooms, outside walking space, and a bigger yard. More space is beneficial because there won't be a lot of crowding, and more space to take care of animals for the educational portion. Even people who are interested in going to transitions might want to go because of how spacious it is.

Sincerely,

Skyler Pham

**Lindsey Pham**

[REDACTED]

lindseyyphamm@gmail.com

17th March 2020

Dear Mr. Jimenez,

I am writing this letter in support of the Transitions obtainment of the Use Permit for Tally Ho Farms. I do not personally go to Transitions, but I know how important this is for my sister, Carol Nguyen, who currently attends Transitions. My family is not always home to take my sister out to experience new things due to school and work, so Transitions is a crucial component to my sister's day to day. Everyday she comes home from the program and tells me all of the fun things she's done in the day. She's always excited to go to Transitions and never debates going.

She is eager to move to Tally Ho Farms especially for the amount of space she will have to walk around. Transitions moving to Tally Ho Farms will give the attendants the space they need in order to learn. Their previous classrooms were small compared to the amount of people that attended, so the use of Tally Ho's space will be a wonderful improvement. The activities that Tally Ho will provide will be a great improvement to their quality of learning. They will be able to have a big yard to help take care of animals and spend time outside. It is important that my sister and her friends have a safe space for them to walk around and be outside and Tally Ho Farms will provide that space.

Transitions moving to a residential area will also improve the attendants' connection to a greater community rather than a secluded area in a commercial setting. Transitions moving to Tally Ho Farms will be a beneficial addition to the Tempe community because it shows that Tempe is a diverse and supportive area. Transitions' move could even bring in more people interested in attending and volunteering because it is a little closer compared to their previous farm. The DTA is a huge part of my family's lives and the obtainment of the Use Permit would not be something the community would regret.

Sincerely,

Lindsey Pham

**Carol Nguyen**



17th March 2020

Dear Mr. Jimenez,

My name is Carol and even though I have a disability I never let anyone get on top of me because I am my own person. I love who I am today and everyday because I know the people at Transitions is there to support me. The Transitions use of Tally Ho Farms will be good for me because there will be bigger classrooms for us to walk around and learn, we can go outside more, and will let us have more activities to do.

Sincerely,

Carol Nguyen



## Jimenez, Lee

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**From:** Susan Holmes <2515read@gmail.com>  
**Sent:** Wednesday, March 18, 2020 9:25 AM  
**To:** Jimenez, Lee  
**Subject:** D.T.A. Program facility Tally Ho Farm

Dear Lee,

On behalf of Sam Brumand, who has Down Syndrome and I have known and worked with for twenty years, I am asking you to do all that you can do to see that the property at 850 E. Knox Road in Tempe, AZ be used for the Tally Ho Farm so that people with disabilities have a place to go to pursue their dreams.

Sam has been going to an excellent program, Transitions, that he just loves! It makes me so happy that such an awesome program is available for this special population where they can learn, socialize and lead fulfilling lives.

I think this would be a most positive move for them and once again, please do your part in giving them this amazing possibility to grow.

Thank you!

Susan Holmes

██████ S Desert Foothills Pkwy Unit ██████  
Phoenix, AZ 85048

## Jimenez, Lee

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**From:** roejoeaz@cox.net  
**Sent:** Wednesday, March 18, 2020 9:34 AM  
**To:** Jimenez, Lee  
**Cc:** Dennis@transitionsaz.org  
**Subject:** CITY OF TEMPE USE PERMIT HEARING  
**Attachments:** photo.JPG

I am writing in support of the request for Tally Ho Farm property (850 E Knox Rd) to be approved for Transitions' Day Treatment program.

My adult daughter who has Down Syndrome has been involved with the Transitions program since she graduated high school in 2009! For over 10 years the programs facilitated by the Transitions organization have been a blessing to our family. The opportunity to have my daughter attend a safe, caring, LOCAL program has been invaluable. By having Suzie attend during the day, I am able to work full time knowing my child is in an enriching environment instead of just being watched somewhere. She is safe, well cared for and growing in independence. She feels she is part of a community. The Transitions organization has a loving, caring staff who support our objectives of learning life skills, social skills, academics and independence. Suzie is achieving her full potential through this program. She is part of the community and not "warehoused" in some industrial or commercial setting. This new neighborhood facility is a home away from home during the day for her and others.

This new facility will afford even more opportunities to all who attend as the home and grounds are much larger than her current location in Tempe.

PLEASE let your committee decision be inclusive of all. In light of these trying times, an attitude of "Not in my neighborhood" cannot be tolerated. Community diversity is a value to be upheld by all.

Thank you for listening how important this new facility will be to so many lives.

Rosanne Sabo



**Jimenez, Lee**

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**From:** Ruth <ruth@sterlingcasemanagement.com>  
**Sent:** Wednesday, March 18, 2020 10:44 AM  
**To:** Jimenez, Lee  
**Cc:** Dennis@transitionsaz.org  
**Subject:** Transitions - Tally Ho Farm DTA

Mr. Jimenez,

Please consider my endorsement for the rezoning of 850 E. Knox Road, Tempe as a location for Tally Ho Farm DTA. Tally Ho Farm DTA will allow the expansion of Transitions to create meaningful opportunities for their Special Needs clients to learn and grow their abilities.

Certainly, for my son, Tally Ho Farm will give him many additional opportunities to continue his growth and quality of life. Your support in this matter is much appreciated. Please let me know if you have any questions.

Regards,

Ruth Georgina Covey  
Vice President, Operations  
Sterling Case Management & Fiduciaries of Arizona  
7493 N. Oracle Rd. #105  
Tucson, AZ 85704  
Mobile: [REDACTED]  
Office: [REDACTED]  
[www.sterlingcasemanagement.com](http://www.sterlingcasemanagement.com)

## Jimenez, Lee

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**From:** Lisa Elkin <lisaelkin11@gmail.com>  
**Sent:** Wednesday, March 18, 2020 12:59 PM  
**To:** Jimenez, Lee  
**Cc:** dennis@transitionsaz.org; roejoeaz@cox.net  
**Subject:** Fwd: FW: CITY OF TEMPE USE PERMIT HEARING  
**Attachments:** photo.JPG

Dear City of Tempe Senior Planner Mr. Jimenez,

My name is Lisa Elkin. I am an attorney based out of Phoenix, Arizona. I am writing to voice my support of the Transitions organization's request for the City of Tempe to zone 850 E. Knox Rd. Tempe, AZ 85284 appropriately so that the property may be used as the Tally Ho Farms D.T.A. program.

My older sister Suzie has Down Syndrome. Attached is a photograph of her. Down Syndrome is a genetic disorder that caused when abnormal cell division results in an extra full or partial copy of chromosome 21. This genetic abnormality causes lifelong intellectual disability and developmental delays that vary in severity from person to person. But there is nothing down about it! While many individuals with Down Syndrome may face challenges due to their disability, they are all incredible people who deserve to be included in everyday society. My sister is the most loving person that I know, and having her in my life has taught me so many invaluable lessons and I am truly thankful and blessed to be her sister.

Suzie is older than me by three years, but in many ways I am her "big sister" as her developmental disability has always caused her to struggle with some areas of life that have been easier for others. She graduated from Hamilton High School in Chandler in 2009, after attending high school for as long as she was possibly able to. Suzie began attending Transitions and their D.T.A. program shortly after she graduated high school in 2009. My mom has always been a strong advocate for my sister, and has worked tirelessly to make sure that Suzie has the best opportunities in life to succeed and be as integrated into mainstream society as possible. As Suzie's graduation from high school approached over ten years ago, my mom spent countless hours looking for programs that would be able to facilitate Suzie and that would also be able to provide her continuing education opportunities for life skills. It was a stressful time for our family as we wanted to be sure that Suzie would be in a program that would cater to her special needs, but also give her the opportunity to gain practical living skills and continue her education. Not many of these programs exist, and to have a program that included transportation and was close to our home in Chandler was very important, as my mother worked full time and I was attending college out of state. After meeting with countless different programs and weighing all of the options, my mom found that D.T.A. program offered by Transitions was the best opportunity available. My sister began attending Transitions' D.T.A. program, and has continued to attend the program for almost eleven years.

All of the programs that the Transitions organization offers have been a blessing to our family. The D.T.A. program, however, is the most crucial to my sister's ability to thrive as a member of society. At the D.T.A. program, Suzie is able to be in a setting with her friends and peers while the D.T.A. staff all work hard to ensure that the environment is not only fun, but also educationally enriching. The opportunity to have my sister attend a safe, caring, and local program has been invaluable. By having Suzie attend during the day, my mom is able to continue to work full time knowing my sister is in an enriching environment instead of just being watched somewhere. At the D.T.A., she is safe, well cared for, and growing in independence. Suzie feels that she is truly part of a community thanks to Transitions. Suzie is achieving



her full potential through this program. It is so rewarding to see that she has a sense of belonging and is not “warehoused” in some industrial or commercial setting, but rather has an opportunity to learn and continue to grow.

These programs are few and far between for members of our adult community who have intellectual or developmental disabilities. Transitions is one of the few organizations that have such programs available. Our adult citizens with intellectual or developmental disabilities, not just those in the City of Tempe but in the entire Arizona community, have a right to participate in our society and continue to learn and grow, regardless of whatever disabilities they may have. Transitions has created a program where these adults are able to thrive while also receiving the necessary care and attention that they required. Through the living skills that they gain at these programs, many of them are able to contribute to society in meaningful ways. My sister, for example, also works part time in several hospitals collecting recycling. The skills that she has learned through attending her D.T.A. program have enabled her to be successful at her job and be a productive and contributing member of society.

The current D.T.A. facility is a home away from home during the day for my sister and countless others. The new proposed facility will afford even more opportunities to all who attend, as the facility is much larger than their current location. Allowing the property to be zoned for the creation of a D.T.A. program will not only enable my sister to continue to learn and succeed, but will also create opportunities for even more adults to attend the program, further enriching the lives of these individuals, their families, and their communities. Inclusion is so important to these individuals, who can sometimes feel as though they are "different" and don't fit in with normal society. Transitions and their D.T.A. program provide these individuals with the inclusion that they deserve. Community diversity is a value to be upheld by all. The City of Tempe has made significant strides at celebrating diversity and encouraging inclusion, through its programs such as the Regional Unity Walk and the creation of the Access Tempe Web Map. My hope is that these values of inclusion and diversity will be continued to be upheld, and that the City of Tempe will permit the use of 850 E. Knox Rd. Tempe, AZ 85284 as a D.T.A. program.

Thank you for listening how important this new facility will be to so many lives. Please do not hesitate to contact me if any additional information is needed.

Sincerely,

Lisa Elkin, Esq.  
Alcock & Associates, P.C.  
[lisaelkin11@gmail.com](mailto:lisaelkin11@gmail.com)

## Jimenez, Lee

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**From:** Trish Nedberg <tnedberg@cox.net>  
**Sent:** Wednesday, March 18, 2020 11:43 AM  
**To:** Jimenez, Lee  
**Cc:** dennis@transitionsaz.org  
**Subject:** zoning for Tally Ho Farm DTA

My name is Trish Nedberg, and although a Scottsdale resident, I have owned and operated Arizona Speech Pathology in Tempe since 1997. I worked in Tempe with the previous owner since 1984. I have a strong history of serving the children and adults in need of speech and Language support. Although I'm now at an age of retirement, I still work with this population who attend the DTA and other facilities in the east valley. Our need for strong, active programs that allow our disabled adults to thrive is a complete necessity. For these individuals DTA settings increases the quality of their life and continued social growth. Family home settings and farm settings provide the best environment for this population. Being able to work outside and be involved with the animals available in these settings is paramount to their health. Ultimately, we who work with this population and the neighbors in these areas are the fortunate individuals who get to be enriched by these beautiful souls. I'm grateful every day for being touched by my clients. This neighborhood has that same opportunity by allowing Tally Ho Farms to open their doors. Sincerely, Trish Nedberg