

**CITY OF TEMPE  
DEVELOPMENT REVIEW COMMISSION**

**Meeting Date: 8/11/2020  
Agenda Item: 8**

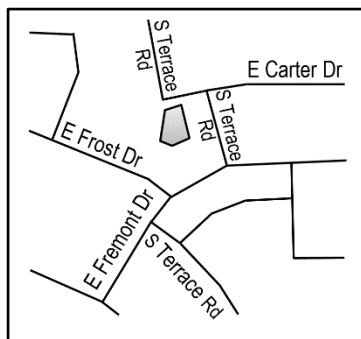
**ACTION:** Request two (2) Use Permit Standards to reduce the required accessory building side (west) setback from 9 feet to 5 feet, and to increase the maximum building height from 15 feet to 15 feet – 7 inches for the LARA RESIDENCE, located at 1091 East Carter Drive. The applicant is Johnny A. Lara.

**FISCAL IMPACT:** N/A

**RECOMMENDATION:** Staff – Approve, subject to conditions

**BACKGROUND INFORMATION:** The LARA RESIDENCE (PL200147) is proposing a new single-level detached garage on Lot 1334 of the Tempe Gardens 11 subdivision, located west of South Terrace Road and south of East Carter Drive in the R1-6, Single-Family District. The applicant is requesting a minimum side setback reduction of a 15-foot-7-inch high accessory building from 9 feet to 5 feet, the minimum required side setback standard of the district. Additionally, the applicant is also requesting an increase to the maximum allowed accessory building height from 15 feet to 15 feet – 7 inches. Access to the garage will be provided through the dedicated public alley. The request includes the following:

- ZUP200027 Use Permit Standard to reduce the minimum required accessory building side (west) setback from 9 feet to the 5 feet minimum required side setback standard of the R1-6, Single-Family District.
- ZUP200038 Use Permit Standard to increase the maximum allowed accessory building height from 15 feet to 15 feet – 7 inches.



Property Owner / Applicant	Johnny Lara
Zoning District	R1-6
Site Area	11,147 s.f.
Building Area	2,108 s.f.
Lot Coverage	19% (45% max. allowed)
Accessory Building Height	15'-7" (15'-0" max. allowed)
Accessory Building Setbacks (*measured from dedicated public alley midpoint)	5'-0" west side, 11'- 0" south side*, 15'-1" rear* (9'-0", 9'-0", 9'-0" min. required)
Vehicle Parking	4 spaces (2 min. required)

**ATTACHMENTS:** Development Project File

**STAFF CONTACT(S):** Lee Jimenez, Senior Planner (480) 350-8486

Department Director: Chad Weaver, Community Development Director  
 Legal review by: N/A  
 Prepared by: Lee Jimenez, Senior Planner  
 Reviewed by: Steve Abrahamson, Principal Planner

## COMMENTS

The LARA RESIDENCE (PL200147) is surrounded by R1-6 zoning. The new detached garage will add 908 square-feet of air-conditioned building area to the lot and will include a two-piece bathroom. The applicant plans to use the garage to store and maintain work vehicles that are currently parked on the street. He also notes that recreational vehicle that appears in recent Google Street View imagery is co-owned and not normally parked on the lot.

## PUBLIC INPUT

Staff received one (1) public inquiry and no public comments as of the publishing of the staff summary report.

## USE PERMIT STANDARD

The proposed design requires a Use Permit Standard to reduce the minimum required accessory building side (west) setback from 9 feet to the 5 feet minimum required side setback standard of the R1-6, Single-Family District, and a Use Permit Standard to increase the maximum allowed accessory building height (15 feet) to 15 feet – 7 inches within the R1-6, Single-Family District.

Section 6-308(E) Approval criteria for Use Permit (*in italics*):

1. *Any significant increase in vehicular or pedestrian traffic*; the proposed design of the detached garage is not expected to increase vehicular or pedestrian traffic at a significant level since its use is intended only for the single-family residence.
2. *Nuisance arising from the emission of odor, dust, gas, noise, vibration, smoke, heat or glare at a level exceeding that of ambient conditions*; aside from construction, the proposed detached garage is intended for the single-family residence and is not expected to generate emissions that would otherwise cause a nuisance to the surrounding neighborhood.
3. *Contribution to the deterioration of the neighborhood or to the downgrading of property values, which is in conflict with the goals, objectives or policies for rehabilitation, redevelopment or conservation as set forth in the city's adopted plans or General Plan*; the proposed detached garage is expected to increase the value of the property and benefit the surrounding neighborhood in general.
4. *Compatibility with existing surrounding structures and uses*; the proposed materials and finishes for the garage match the main house, and the garage use is compatible with single-family uses.
5. *Adequate control of disruptive behavior both inside and outside the premises which may create a nuisance to the surrounding area or general public*; the proposed garage is intended to solely be used by the primary residence and is not expected to create disruptive behavior.

## REASONS FOR APPROVAL:

Based on the information provided by the applicant, the public input received and the above analysis staff supports approval of the requested Use Permit Standards. This request meets the required criteria and will conform to the conditions.

## SHOULD AN AFFIRMATIVE ACTION BE TAKEN ON THIS REQUEST, THE FOLLOWING NUMBERED CONDITIONS OF APPROVAL SHALL APPLY, BUT MAY BE AMENDED BY THE DECISION-MAKING BODY.

### CONDITION(S) OF APPROVAL: (Non-standard conditions are identified in bold)

EACH NUMBERED ITEM IS A CONDITION OF APPROVAL. THE DECISION-MAKING BODY MAY MODIFY, DELETE OR ADD TO THESE CONDITIONS.

1. The Use Permit Standards are valid only after a Building Permit has been obtained, the required inspections have been completed and a Final Inspection has been passed. As part of the Building Permit process, on-site storm water retention may be required to be verified or accomplished on this Site.

2. The Use Permit Standards are valid for the plans as submitted within this application. Any additions or modifications may be submitted for review during the building plan check process.

**CODE/ORDINANCE REQUIREMENTS:**

THE BULLETED ITEMS REFER TO EXISTING CODE OR ORDINANCES THAT PLANNING STAFF OBSERVES ARE PERTINENT TO THIS CASE. THE BULLET ITEMS ARE INCLUDED TO ALERT THE DESIGN TEAM AND ASSIST IN OBTAINING A BUILDING PERMIT AND ARE NOT AN EXHAUSTIVE LIST.

**USE PERMIT:**

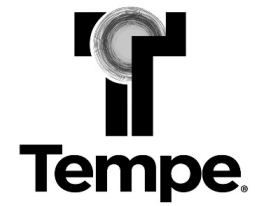
- The Use Permit is valid for [Business Name] and may be transferable to successors in interest through an administrative review with the Community Development Director, or designee.
- The use permit approval shall be void if the use is not commenced or if an application for a building permit has not been submitted, whichever is applicable, within twelve (12) months after the use permit is granted or within the time stipulated by the decision-making body.
- The decision-making body, upon finding that the applicant has not taken corrective actions to resolve issues related to the permit/approval and that a continuation of the permit/approval is not in the interest of the public health, safety and general welfare, can revoke the permit/approval after providing written notice of its intentions to the holder of the permit.
- Specific requirements of the **Zoning and Development Code (ZDC)** are not listed as a condition of approval but will apply to any application. To avoid unnecessary review time and reduce the potential for multiple plan check submittals, become familiar with the ZDC. Access the ZDC through <http://www.tempe.gov/zoning> or purchase from Development Services.
- Any intensification or expansion of use shall require a new Use Permit.

**HISTORY & FACTS:**

- |                |   |
|----------------|---|
| July 13, 1971  | Building Inspection Department pass the final inspection of a new single-family residence, located at 1091 East Carter Drive in the R1-6, Single-Family District. |
| April 19, 1973 | Building Inspection Department pass the final inspection of a new in-ground pool, located at 1091 East Carter Drive in the R1-6, Single-Family District.          |

**ZONING AND DEVELOPMENT CODE REFERENCE:**

- Section 3-102 Permitted Uses in Residential Districts
- Section 3-401 Accessory Buildings, Uses and Structures
- Section 4-201A Use Permit Standard
- Section 4-202 Development Standards for Residential Districts
- Section 6-308 Use Permit



# DEVELOPMENT PROJECT FILE

for  
LARA RESIDENCE  
(PL200147)

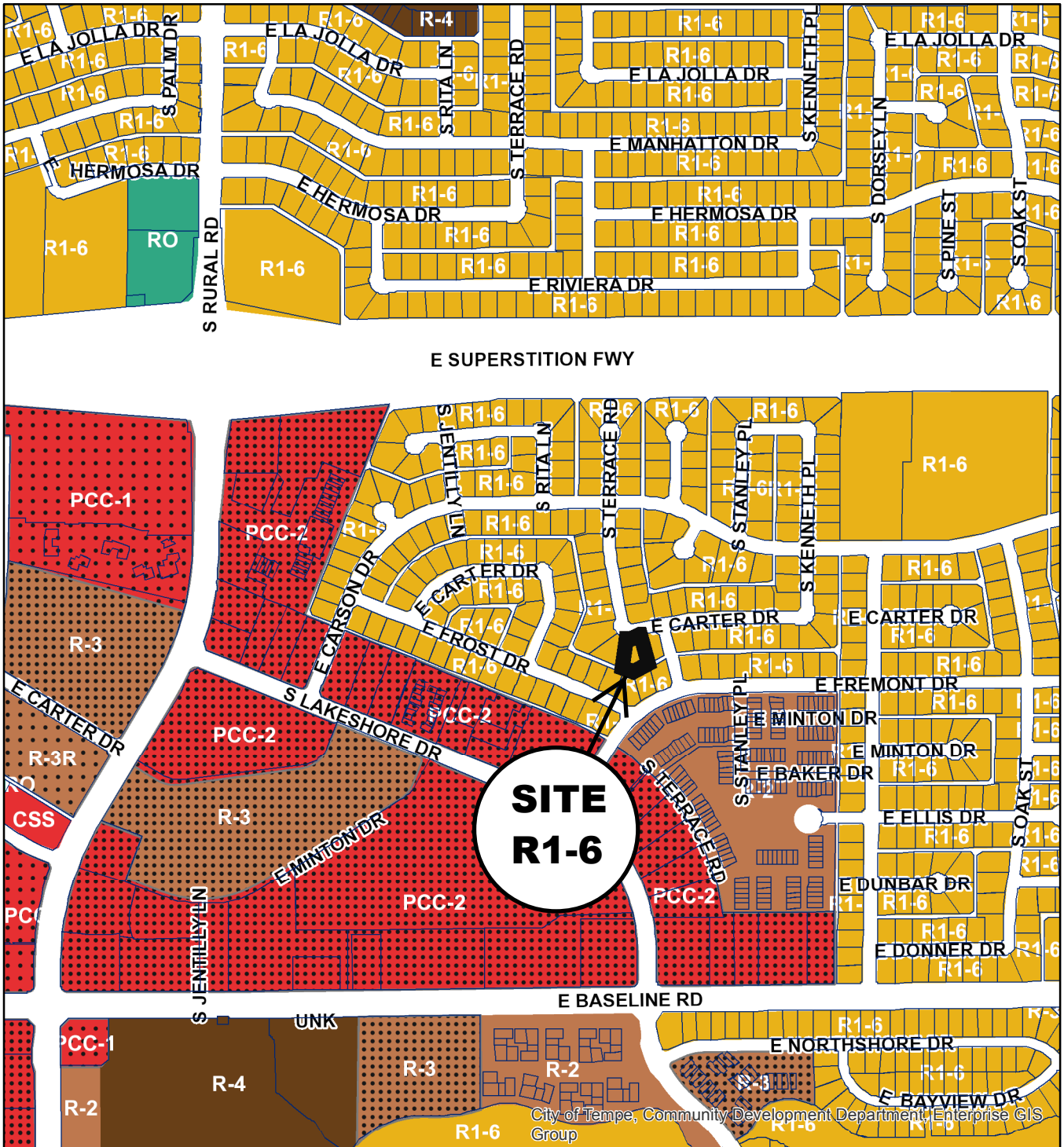
## ATTACHMENTS:










1. Location Map
2. Aerial
- 3-4. Letter of Explanation
5. Site Plan
6. Building Elevations
7. Floor Plan

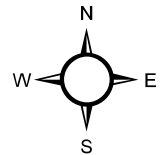


# LARA RESIDENCE

PL200147



- |  |  |
|--|--|
|  Commercial Shopping and Services (CSS)         |  Multi-Family Residential (R-2)             |
|  Planned Commercial Center Neighborhood (PCC-1) |  Multi-Family Residential Restricted (R-3R) |
|  Planned Commercial Center General (PCC-2)      |  Multi-Family Residential Limited (R-3)     |
|  Residential/Office (RO)                        |  Multi-Family Residential General (R-4)     |
|  Single-Family Residential (R1-6)               |  |



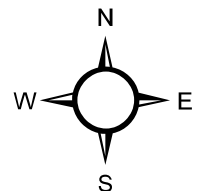


# LARA RESIDENCE

PL200147



Aerial Map





July 20, 2020

City of Tempe  
Community Development Department  
31 East 5<sup>th</sup> Street  
Tempe, Arizona 85281

To Whom It May Concern:

I currently live at 1091 East Carter Drive in Tempe. I am interested in applying for two Use Permits to build a detached garage in my backyard. Per the City of Tempe, a Use Permit is required to reduce the side yard setback to 5 feet for an Accessory Building and to exceed the maximum accessory building height of 15 feet. The garage I would like to build will be located on the southwest corner of my property – the garage will include a bathroom, sink and AC unit.

I am a small business owner and currently, I park my work vehicles on the street:



Please note, the RV in the image above is co-owned with another person and is not normally parked at my house.

The garage will allow me to move my work vehicles off the street, which would reduce the number of cars parked on the street and improve the overall aesthetic of the neighborhood. I do not believe that the proposed detached garage would negatively impact my neighbors, based on the Use Permit Zoning and Development Code Criteria below:

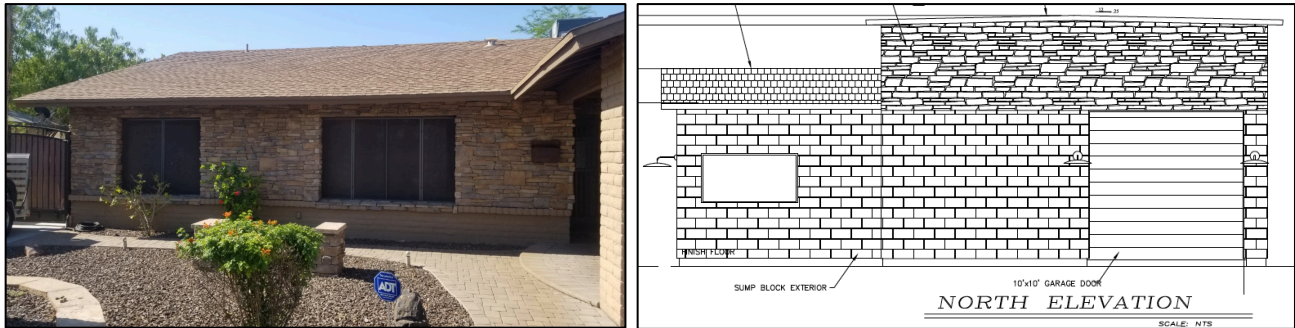
a. Any significant vehicular or pedestrian traffic in adjacent areas;

The construction of the detached garage in my backyard would be only for my use and would not create an increase in vehicular or pedestrian traffic in any adjacent areas.

b. Nuisance arising from the emission of odor, dust, gas, noise, vibration, smoke, heat or glare at a level exceeding that of ambient conditions;

No nuisances would arise from the addition of the detached garage in my backyard, above ambient conditions. Conversely, the construction of the garage would allow me a place to work on my vehicles away from the front yard and would enclose any odor, dust, gas, noise, vibration, smoke, heat or glare resulting in work on my vehicles.

c. Contribution to the deterioration of the neighborhood or to the downgrading of property values, which is conflict with the goals, objectives or policies of the city's adopted plans for General Plan; The detached garage will match the existing architecture and design of my house:



This includes stone veneer, slump block and large windows, which will allow for natural light and add to the design. The east elevation of the garage (facing the pool and backyard) will have a framed eaves adobe the door and window, creating a residential aesthetic and the north elevation (facing the house) will have a 10' x 10' garage door, windows and stone veneer on the top half of the building.


Rather than lead to the deterioration of the neighborhood and downgrading of property values, the detached garage will increase property value by reducing the amount of vehicles visible to the street.

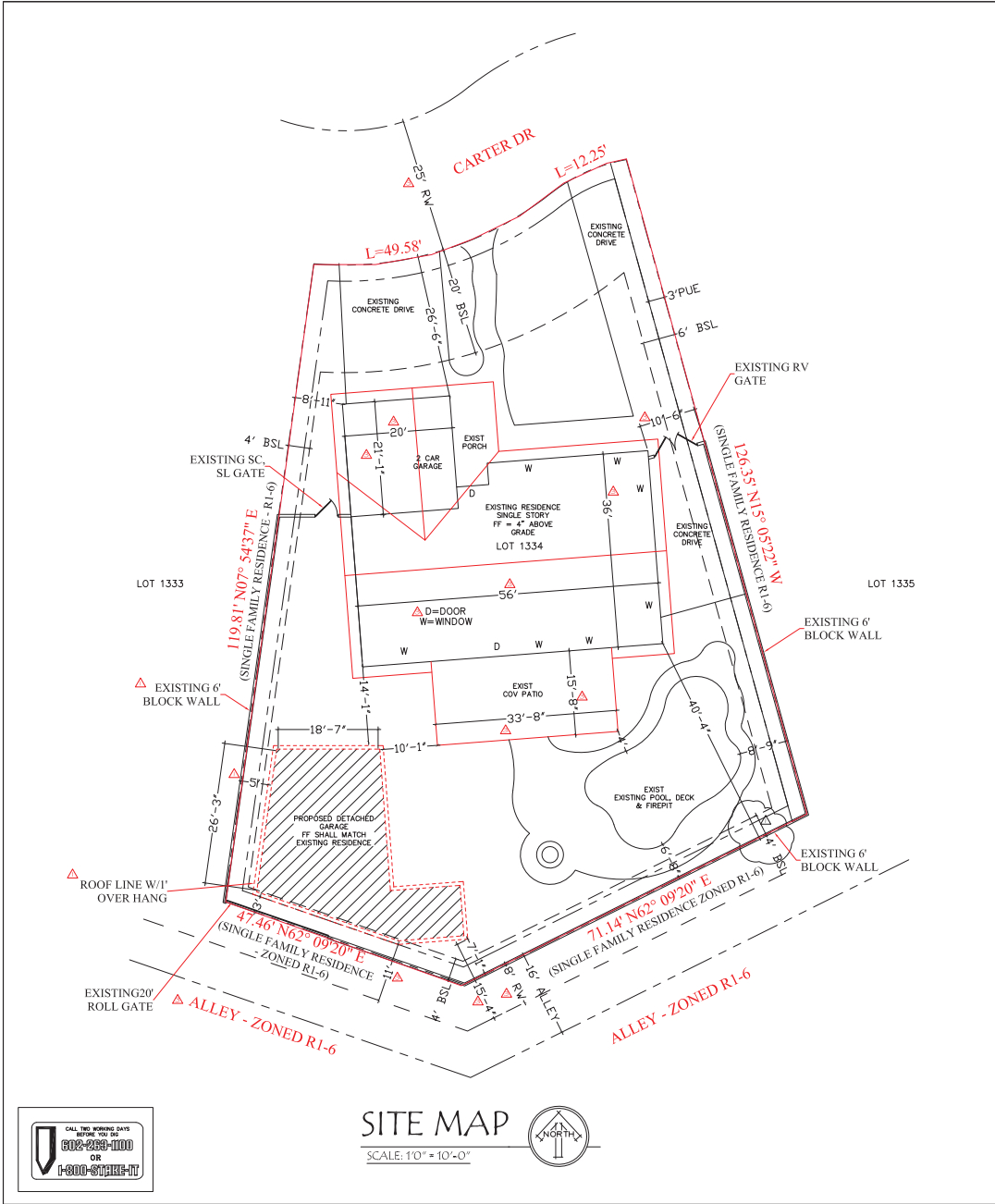
d. Compatibility with existing surrounding structures and uses; and  
The detached garage design will match my house and the character of the neighborhood and will be compatible with the surrounding structures and uses. The garage will be placed in the southwest corner of my yard. To the south is an alley and my neighbor to the west has approved of the plan for the garage. With the request for additional height, the garage will be built 15 feet, 7 inches from grade, but only 15 feet from finished floor of the house. This difference in measurement won't necessarily be noticeable from the street (Carter Drive).

e. Adequate control of disruptive behavior both inside and outside the premises, which may create a nuisance to the surrounding area or general public.  
This item does not apply to my request.

Thank you for taking my request into consideration. Please feel free to contact me with any questions or concerns. I am available through email at johnny@AFSAZ.com or at (480) 650-7617.

Sincerely,

  
Johnny Lara



**SITE MAP**  
SCALE: 1"0" = 10'-0"

CALL TWO WORKING DAYS BEFORE YOU GO  
602-233-1100  
OR  
1-800-878-8787

**DESIGN CRITERIA**  
THE FOLLOWING DESIGN CRITERIA WAS USED IN THE PREPARATION OF THESE DRAWINGS. ANY DEVIATION NOTED SHOULD BE CALLED TO THE ATTENTION OF THE DESIGNER IMMEDIATELY.  
ALL CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING CODES AND AMENDMENTS FOR THE TEMPE BUILDING SAFETY ADMINISTRATIVE CODE AND TEMPE ZONING AND DEVELOPMENT CODE.  
2018 INTERNATIONAL RESIDENTIAL CODE (AS AMENDED)  
2018 INTERNATIONAL MECHANICAL CODE  
2018 INTERNATIONAL PLUMBING CODE  
2017 NATIONAL ELECTRICAL CODE (N.E.C.) NFP A 70 (AS AMENDED)  
2018 INTERNATIONAL FIRE CODE  
2018 INTERNATIONAL FUEL GAS CODE  
2018 INTERNATIONAL ENERGY CONSERVATION CODE  
2018 INTERNATIONAL PROPERTY MAINTENANCE CODE  
2018 INTERNATIONAL EXISTING BUILDING CODE  
TEMPE BUILDING SAFETY ADMINISTRATIVE CODE (SEC 8 OF TEMPE CITY CODES)  
TEMPE ZONING and DEVELOPMENT CODE (ZDC)

**ADDRESS:** TEMPE, AZ 85282  
**TEMPE GARDENS**  
**OWNER:** LOT: 1334 - MCR: 13441  
**APN:** 133-38-113

**LOT AREA:** 11,147 S.F.    **ZONING:** R1-6  
**JURISDICTION:** CITY OF TEMPE  
**QUARTER SECTION (QS):** 35  
**CONSTRUCTION TYPE:** V-B  
**SPRINKLERS:** NO  
**STORIES:** SINGLE STORY  
**BUILDING HEIGHT:**  
ALLOWED: 30' PROPOSED: 15'7"  
**BUILDING SETBACKS: (MINIMUM)**  
FRONT: 20', REAR: 25', SIDES: 5' EA  
**BUILDING SETBACKS: (PROPOSED)**  
SIDE: 5'-0", REAR: 3' OFF PL & 11' OFF ALLEY RW  
**VEHICLE PARKING: (2) REQ., (2) PROVIDED**

TOTAL LOT SIZE: 8712 S.F.	
TOTAL HOUSE:	1208 S.F.
(1ST STORY):	946 S.F.
(GARAGE):	254 S.F.
(PATIO):	0 S.F.
(ENTRY):	0 S.F.
PROPOSED STRUCTURE:	908 S.F.
HOUSE w/ ADDITION:	2108 S.F.
TOTAL LOT COVERAGE:	24%
LOT COVERAGE ALLOWED:	45%

**FINISHED FLOOR NOTE:**  
THIS ADDITION WILL BE CONSTRUCTED AT THE FINISH FLOOR ELEVATION OF THE EXISTING HOME. THE FINISH FLOOR AT THE REAR DOOR WILL BE A MINIMUM OF 4" ABOVE THE EXISTING GRADE IN THE REAR YARD. ALL EXISTING LANDSCAPE WILL SLOPE AWAY FROM NEW IMPROVEMENTS.

**GENERAL NOTES:**  
ALL CONSTRUCTION SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY OF TEMPE. CITY OF TEMPE APPROVED PLAN AND PERMIT SHALL BE ON SITE AT ALL TIMES. NO REVISIONS OR MODIFICATIONS SHALL BE MADE WITHOUT THE APPROVAL OF THE CITY OF TEMPE.

**PROJECT DESCRIPTION:**  
ADDITION OF A DETACHED GARAGE WITH ELECTRICAL AND PLUMBING TO A BATH ROOM.

**GRADING AND DRAINAGE NOTES:**  
A FINISH FLOOR ELEVATION CERTIFICATE SHALL BE PROVIDED BY THE REGISTRANT, TO THE FIELD INSPECTOR PRIOR TO THE ROUGH FRAME INSPECTION. THE MINIMUM FINISH FLOOR ELEVATION SHOWN IS SAFE FROM A 100 YEAR FLOOD OF THE STORM WATER POLICIES AND STANDARDS MANUAL. A SEPARATE PERMIT IS REQUIRED FOR ANY WORK IN THE CITY OF TEMPE RIGHT-OF-WAY.

Revisions

REV 10.30	CITY COMMENTS
REV 07.15	CITY COMMENTS

NOT BEING REVIEWED ON THIS DRAWING. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF TEMPE ZONING AND DEVELOPMENT CODE AND THE CITY OF TEMPE BUILDING SAFETY ADMINISTRATIVE CODE. ANY DEVIATION NOTED SHOULD BE CALLED TO THE ATTENTION OF THE DESIGNER IMMEDIATELY.

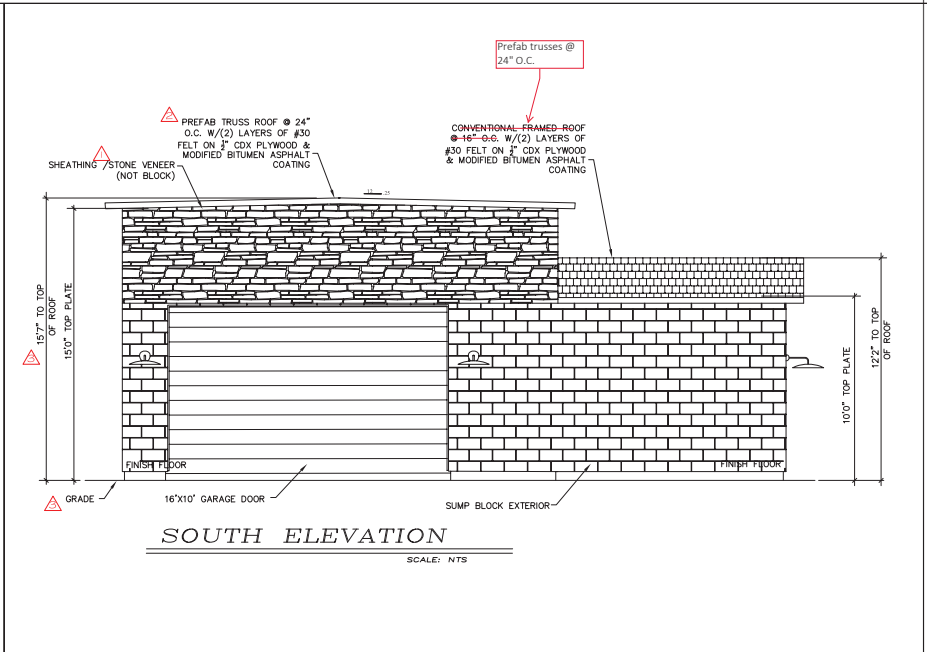
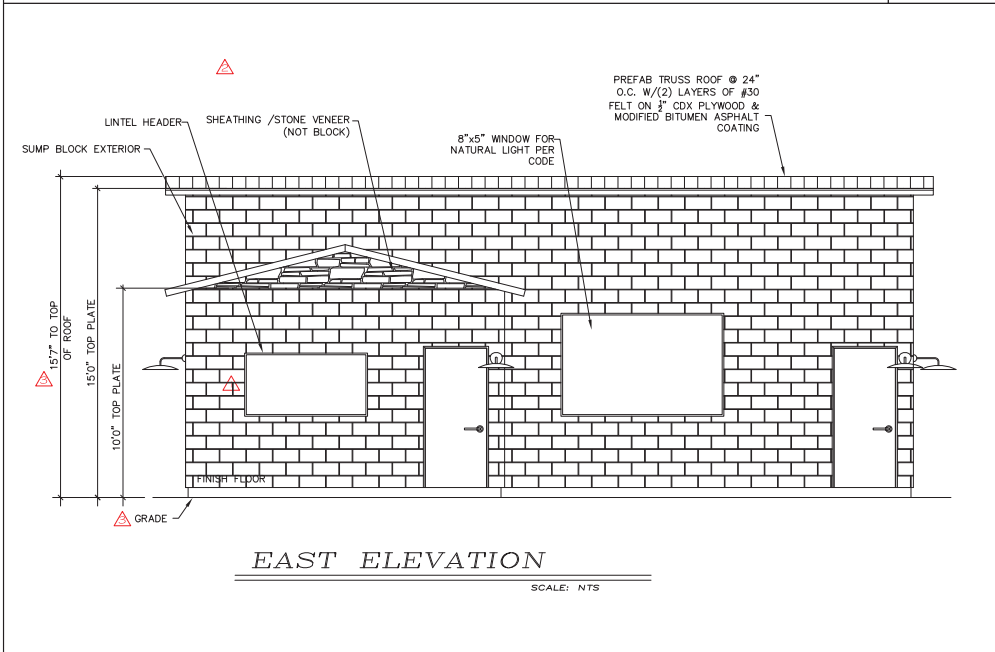
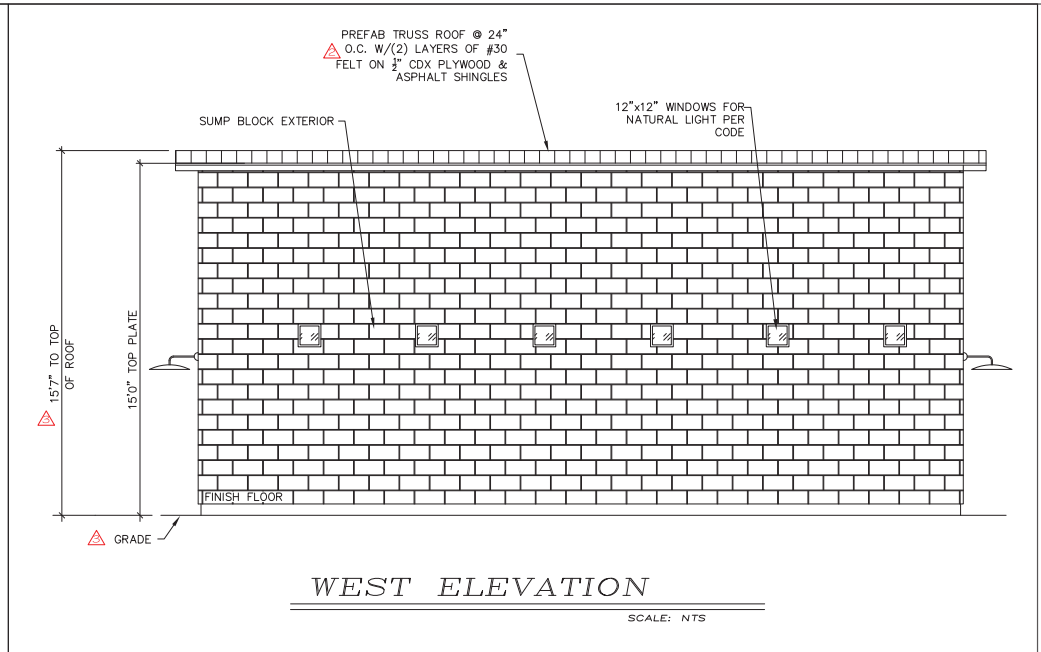
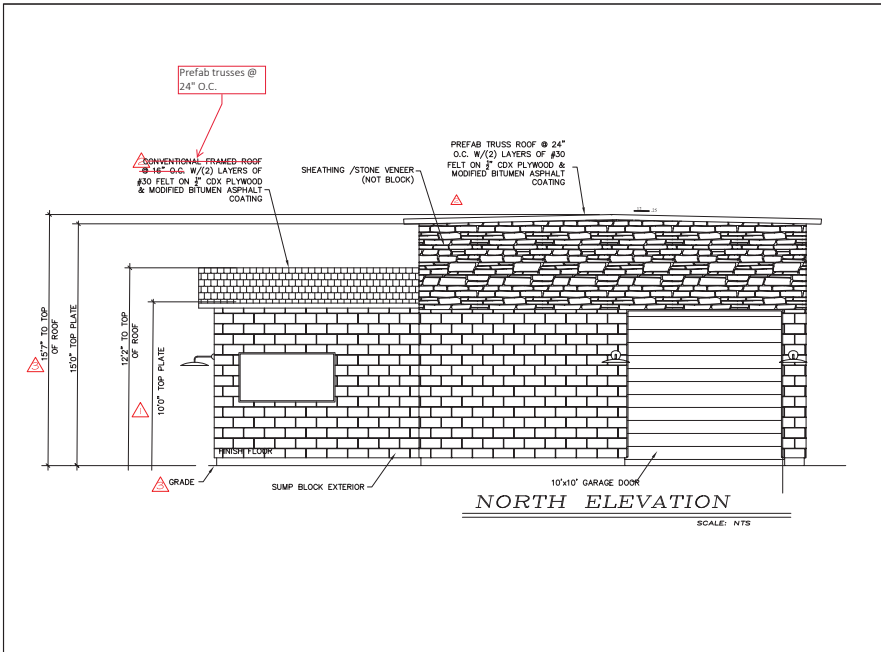
**KJ Drafting Services, Inc.**  
plan it before you build it  
145 E. LIBERTY LN, GILBERT AZ 85296  
Off: (480)756-1145

LARA RESIDENTIAL ADDITION  
1091 E. CARTER DRIVE  
TEMPE, AZ 85292  
LOT 1334 of TEMPE GARDENS



Designed by:  
Drawn by: K. JOYNER  
Checked by:  
Scale: NTS  
Date: 06.11.2020  
Sheet:

**SITE**



Revisions	
REV 18-08-RED	LINE COMMENTS
REV 01-28-RED	LINE COMMENTS
REV 07-15-RED	LINE COMMENTS

ALL WORK APPROVED OR PERMITTED BY THE STATE OF ARIZONA, DEPARTMENT OF CONSTRUCTION, DIVISION OF BUILDING SAFETY, 1445 N. GILBERT AVENUE, PHOENIX, AZ 85028. EXEMPT FROM PERMITTING UNDER ARIZONA STATUTE, PARAGRAPH 10, ARTICLE 10, CHAPTER 10, TITLE 9, OF THE ARIZONA CONSTITUTION.

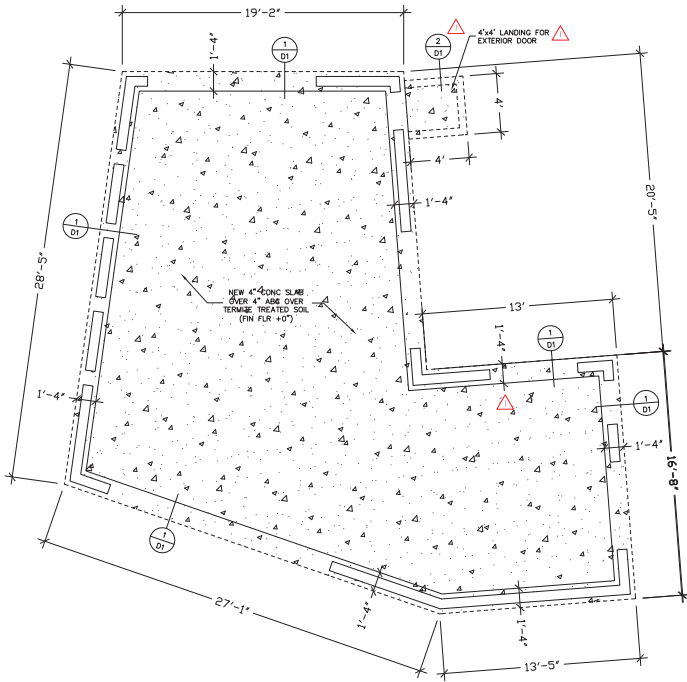
**K Drafting Services, Inc.**  
 plan it before you build it  
 145 E. LIBERTY LN, GILBERT, AZ 85296  
 OFF: (480)736-1145

LARA RESIDENTIAL ADDITION  
 1091 E. CARTER DRIVE  
 TEMPE, AZ 85292  
 LOT 1334 of TEMPE GARDENS

Designed by:	K. JOINER
Drawn by:	K. JOINER
Checked by:	
Scale:	NTS
Date:	06.11.2020
Sheet:	A3

**FOUNDATION PLAN NOTES**

1. REFER TO GENERAL NOTES AND SPECIFICATIONS (SHEET 'C') FOR ADDITIONAL NOTES AND INFORMATION.
2. FOOTINGS SHALL BE ON UNDISTURBED SOIL OR APPROVED FILL IRC SECTION R403.
3. THERE SHALL BE A FLOOR OR LANDING ON EACH SIDE OF EACH EXTERIOR DOOR. THE WIDTH OF THE LANDING SHALL NOT BE LESS THAN THE DOOR SERVED WITH A MINIMUM DIMENSION OF 36" MEASURED IN THE DIRECTION OF TRAVEL IRC SECTION R312.
4. SLOPE LANDINGS AT DOORS A MAXIMUM OF 1/4" P.L.F.



**FOUNDATION PLAN**

SCALE: 1/4" = 1'0"

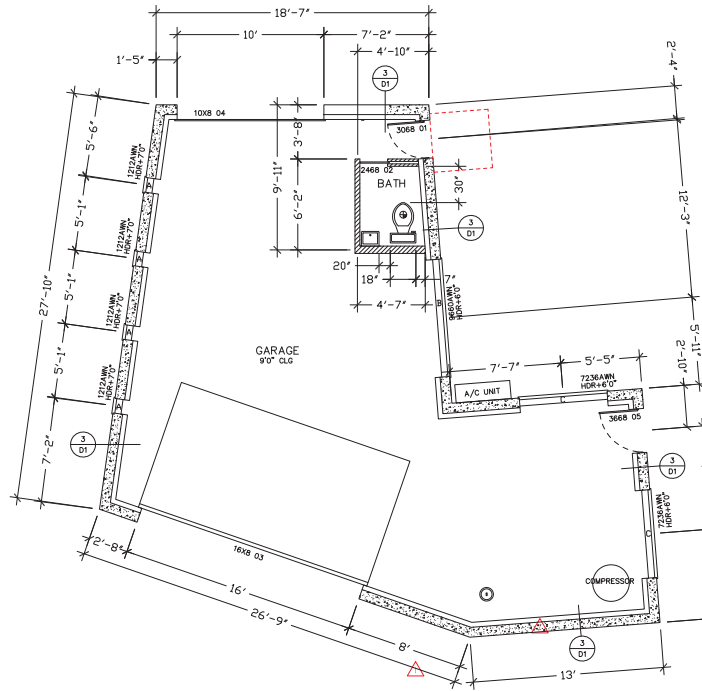
**DOOR SCHEDULE**

No.	Location	Door	Type	Material	Width	Height	Finish	Header	Track	Hardware	Notes
01	REAR ENTRY	REAR ENTRY	SW	6'-0"	8'-0"	1 1/2"	WOOD	2'-0"	2'-0"	2'-0"	
02	INTD. REVO.	REAR ENTRY	SW	6'-0"	8'-0"	1 1/2"	WOOD	2'-0"	2'-0"	2'-0"	
03	GARAGE REVO.	REAR ENTRY	SW	6'-0"	8'-0"	1 1/2"	WOOD	2'-0"	2'-0"	2'-0"	
04	GARAGE REVO.	REAR ENTRY	SW	6'-0"	8'-0"	1 1/2"	WOOD	2'-0"	2'-0"	2'-0"	
05	REAR ENTRY	REAR ENTRY	SW	6'-0"	8'-0"	1 1/2"	WOOD	2'-0"	2'-0"	2'-0"	

**WINDOW SCHEDULE**

No.	Location	Window	Size	Frame	Glazing	Notes
A	REAR ENTRY	REAR ENTRY	6'-0" x 8'-0"	ALUMINUM	SINGLE HUNG, BR. GLAZE, LOW E +	
B	BATH	BATH	6'-0" x 3'-0"	ALUMINUM	SINGLE HUNG, BR. GLAZE, LOW E +	
C	REAR ENTRY	REAR ENTRY	6'-0" x 3'-0"	ALUMINUM	SINGLE HUNG, BR. GLAZE, LOW E +	

**FND ANCHORAGE/SILL PLATE NAILING**  
 INTERIOR: #11 DNT2 PINS AT 4" O.C. OR 16d AT 4" O.C. OR 1/2" DIA RIBB-BOLT'S, 3-1/2" EMBEDMENT, AT 48" O.C.



**FLOOR PLAN**

SCALE: 1/4" = 1'0"

FOOTAGE SUMMARY

TOTAL LOT SIZE:	8712 S.F.
TOTAL HOUSE:	1378 S.F.
(1ST STORY):	946 S.F.
(GARAGE):	254 S.F.
(PATIO):	144 S.F.
(ENTRY):	34 S.F.
PROPOSED STRUCTURE:	757 S.F.
HOUSE w/ ADDITION:	2135 S.F.
TOTAL LOT COVERAGE:	25%
LOT COVERAGE ALLOWED:	30%

- NEW EXTERIOR WALL - 88X16 CMU CONCRETE BLOCK WALL
- NEW INTERIOR FUR OUT WALL - 2x6 CONVENTIONAL FRAMING @ 24" O.C.
- NEW INTERIOR WALL - 2x4 CONVENTIONAL FRAMING @ 16" O.C.

**FLOOR PLAN NOTES**

1. REFER TO GENERAL NOTES AND SPECIFICATIONS (SHEET 'C') FOR ADDITIONAL NOTES AND INFORMATION.
2. STUD WALLS: (IRC SECTION R602) EXTERIOR WALLS = 5-1/2" (2X6) @ 16" O.C. INTERIOR BRG WALLS = 3-1/2" (2X4) @ 16" O.C. INTERIOR NON-BRG WALLS = 3-1/2" (2X4) @ 24" O.C. UNLESS NOTED OTHERWISE
3. ALL WOOD PLATES SHALL BE PRESSURE TREATED OR FOUNDATION GRADE REDWOOD IRC SECTION R403.1.6
4. SLOPE LANDINGS AT DOORS A MAXIMUM OF 1/4" P.L.F.
5. THERE SHALL BE A FLOOR OR LANDING ON EACH SIDE OF EACH EXTERIOR DOOR. THE WIDTH OF THE LANDING SHALL NOT BE LESS THAN THE DOOR SERVED WITH A MINIMUM DIMENSION OF 36" MEASURED IN THE DIRECTION OF TRAVEL PER IRC SECTION R312
6. A SEPARATE INSULATION INSPECTION PRIOR TO DRYWALL, OR AN INSULATION CERTIFICATE WILL BE REQUIRED AT TIME OF FINAL. THIS HOUSE WILL NOT HAVE ANY NATURAL GAS, THIS WILL BE AN ALL ELECTRIC HOUSE
7. ALL CRIBBING SHALL BE 16" O.C. MAX W/8D NAILING @ 6" O.C. IN FIELD & 4" O.C. @ EDGES.
8. ALL DOORS AND WINDOWS ADJACENT TO AND ACTING AS A BARRIER BETWEEN THE THE EXISTING SWIMMING POOL SHALL COMPLY WITH IRC AG 105.1 POOL BARRIERS - AMENDED, IRC R308.4 ITEM 9, AND CITY OF PHOENIX BARRIER ORDINANCE.
9. ALL DOORS BETWEEN GARAGE AND RESIDENCE SHALL BE SOLID WOOD NOT LESS THAN 1-3/8" THICK, OR 20 MINUTE FIRE RATED & EQUIPPED WITH A SELF-CLOSING DEVICE.
10. SMOKE DETECTORS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS, SLEEPING ROOMS, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF A BEDROOM, SEE ELECTRICAL PLAN.
11. CARBON MONOXIDE DETECTOR SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREAS IN THE VICINITY OF THE BEDROOMS. SEE ELECTRICAL PLAN.

**Revisions**

REV 01 (0.25 RED)	LINE COMMENTS
REV 01 (0.25 RED)	LINE COMMENTS
REV 01 (0.25 RED)	LINE COMMENTS

DESIGNED BY: K. JOHNER  
 DRAWN BY: K. JOHNER  
 CHECKED BY:  
 SCALE: NTS  
 DATE: 06.11.2020  
 SHEET: AI

**K Drafting Services, Inc.**  
 plan it before you build it  
 145 E. LIBERTY LN. GILBERT, AZ 85296  
 NCRIL: (480)756-1145

LARA RESIDENTIAL ADDITION  
 1091 E. CARTER DRIVE  
 TEMPE, AZ 85292  
 LOT 1334 of TEMPE GARDENS