

**CITY OF TEMPE  
DEVELOPMENT REVIEW COMMISSION**

**Meeting Date: 10/27/2020  
Agenda Item: 7**

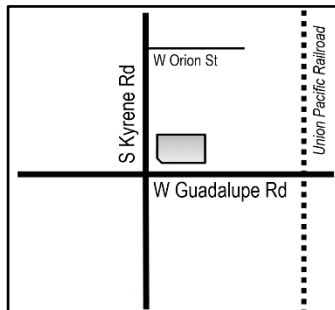
**ACTION:** Request a Use Permit to allow a restaurant with a drive-through in the General Industrial District for KYRENE & GUADALUPE, located at 6375 South Kyrene Road. The applicant is Cawley Architects.

**FISCAL IMPACT:** N/A

**RECOMMENDATION:** Staff – Approve, subject to conditions

**BACKGROUND INFORMATION:** KYRENE & GUADALUPE (PL200217) is located on the northeast corner of South Kyrene Road and West Guadalupe Road in the GID, General Industrial District. The site is currently a dry-cleaning service business with a drive-through. The applicant wishes to repurpose the building as a drive-through focused quick service restaurant, either a coffee establishment or a local concept restaurant group. The project is authorized for processing under the City’s adaptive reuse program. Should the use permit be approved, further processing of a minor development plan review will be required for any proposed site, elevation, and landscape modifications. The request includes the following:

ZUP200051 Use Permit to allow a restaurant with a drive-through in the GID, General Industrial District.



Property Owner	The Elmukhtar Group
Applicant	Kevin W. Fawcett, Cawley Architects
Zoning District	GID
Site Area	29,084 s.f.
Building Area	2,878 s.f.
Lot Coverage	10% (no max. required)
Landscape Coverage	39% (10% min. required)
Building Height	20'-4" (35'-0" max. allowed)
Building Setbacks	97' front, 19' side, 58' street side, 51' rear, 28' parking (25', 0', 25', 0', 20' min. required)
Vehicle Parking	15 spaces (9 min. required)
Bicycle Parking	3 spaces (4 min. required)
Hours of Operation	24 hours, daily
Building Code Occupancy	B / S-1

**ATTACHMENTS:** Development Project File

**STAFF CONTACT(S):** Lee Jimenez, Senior Planner (480) 350-8486

Department Director: Chad Weaver, Community Development Director  
 Legal review by: N/A  
 Prepared by: Lee Jimenez, Senior Planner  
 Reviewed by: Steve Abrahamson, Principal Planner

## COMMENTS

Pursuant to the City of Tempe Zoning and Development Code Section 4-602(E), *Parking Standards Applicable in the Adaptive Reuse Program*, parking for restaurant uses shall be calculated at one parking space per 150 square-feet of net area and shall exclude hallways, restrooms, kitchens and storage areas from the net area, essentially only requiring the dining areas to be parked. However, the lot shall maintain the existing number of provided parking spaces, except for modifications required by the American with Disabilities Act. Therefore, based on the fifteen (15) provided off-street parking spaces, the maximum floor area permissible for indoor and outdoor dining is 2,250 square-feet and 500 square-feet, respectively. Should an increase in dining area be pursued in the future, the property owner may satisfy parking requirements with a parking affidavit or a shared parking application with a combination of a parking affidavit and a shared parking model or professional parking analysis.

## PUBLIC INPUT

A neighborhood meeting is not required for this use permit request. As of the publishing of this staff report, no public comments have been received by staff.

## USE PERMIT

The proposed use requires a Use Permit to allow a restaurant with a drive-through to operate in the GID zoning district.

Section 6-308(E) Approval criteria for Use Permit (*in italics*):

1. *Any significant increase in vehicular or pedestrian traffic*; the proposed use is expected to increase vehicular and pedestrian traffic to the site but not significantly more than the existing retail service use.
2. *Nuisance arising from the emission of odor, dust, gas, noise, vibration, smoke, heat or glare at a level exceeding that of ambient conditions*; the proposed use is not expected to generate emissions greater than ambient conditions that would otherwise cause a nuisance to the surrounding area.
3. *Contribution to the deterioration of the neighborhood or to the downgrading of property values, which is in conflict with the goals, objectives or policies for rehabilitation, redevelopment or conservation as set forth in the city's adopted plans or General Plan*; the proposed use is not expected to conflict in conflict with any City adopted plans and is consistent with the General Plan 2040.
4. *Compatibility with existing surrounding structures and uses*; the existing dry-cleaning business with drive-through service has been operating at this location with no issues for the past 18 years; however, site alterations may be necessary to support the new restaurant and drive-through operation of which the applicant is fully aware and intends to follow-through with if the use permit is granted.
5. *Adequate control of disruptive behavior both inside and outside the premises which may create a nuisance to the surrounding area or general public*; the nature of the proposed use is not expected to cause disruptive behavior.

## REASONS FOR APPROVAL:

Based on the information provided by the applicant, the public input received, and the above analysis staff supports approval of the requested Use Permit. This request meets the required criteria and will conform to the conditions.

## SHOULD AN AFFIRMATIVE ACTION BE TAKEN ON THIS REQUEST, THE FOLLOWING NUMBERED CONDITIONS OF APPROVAL SHALL APPLY, BUT MAY BE AMENDED BY THE DECISION-MAKING BODY.

### CONDITION(S) OF APPROVAL: (Non-standard conditions are identified in bold)

EACH NUMBERED ITEM IS A CONDITION OF APPROVAL. THE DECISION-MAKING BODY MAY MODIFY, DELETE OR ADD TO THESE CONDITIONS.

1. **The Use Permit is valid only after a Minor Development Plan Review is approved and a Building Permit has been obtained, the required inspections have been completed and a Final Inspection has been passed. As part of the**

**Building Permit process, on-site storm water retention may be required to be verified or accomplished on this Site.**

2. **The Use Permit is valid for the plans as submitted within this application. Any additions or modifications may be submitted for review during the development plan review or building plan check process.**
3. **Replace all dead or missing trees along the Kyrene Road and Guadalupe Road landscape frontage areas and within all required landscape islands, along with any other missing landscape material.**

**CODE/ORDINANCE REQUIREMENTS:**

THE BULLETED ITEMS REFER TO EXISTING CODE OR ORDINANCES THAT PLANNING STAFF OBSERVES ARE PERTINENT TO THIS CASE. THE BULLET ITEMS ARE INCLUDED TO ALERT THE DESIGN TEAM AND ASSIST IN OBTAINING A BUILDING PERMIT AND ARE NOT AN EXHAUSTIVE LIST.

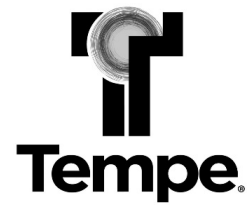
- The Use Permit is valid for KYRENE & GUADALUPE and may be transferable to successors in interest through an administrative review with the Community Development Director, or designee.
- The use permit approval shall be void if the use is not commenced or if an application for a building permit has not been submitted, whichever is applicable, within twelve (12) months after the use permit is granted or within the time stipulated by the decision-making body.
- The decision-making body, upon finding that the applicant has not taken corrective actions to resolve issues related to the permit/approval and that a continuation of the permit/approval is not in the interest of the public health, safety and general welfare, can revoke the permit/approval after providing written notice of its intentions to the holder of the permit.
- Specific requirements of the **Zoning and Development Code (ZDC)** are not listed as a condition of approval but will apply to any application. To avoid unnecessary review time and reduce the potential for multiple plan check submittals, become familiar with the ZDC. Access the ZDC through <http://www.tempe.gov/zoning> or purchase from Development Services.
- All business signs shall receive a Sign Permit. Contact sign staff at 480-350-8435.
- Any intensification or expansion of use shall require a new Use Permit.
- All required permits and clearances shall be obtained from the Audit and Licensing Division of the City of Tempe prior to the Use Permit becoming effective.
- All required Federal, State, County, and Municipal permits, licenses, and clearances shall be obtained, or the Use Permit is void.
- **SITE PLAN REVIEW:** Verify all comments by all departments on each Preliminary Site Plan Review. If questions arise related to specific comments, they should be directed to the appropriate department, and any necessary modifications coordinated with all concerned parties, prior to application for building permit. Construction Documents submitted to the Building Safety Division will be reviewed by planning staff to ensure consistency with this Design Review approval prior to issuance of building permits

**HISTORY & FACTS:**

September 4, 2001           Hearing Officer approved a Use Permit to allow a new 3,900 s.f. commercial dry cleaners in an industrial district for QUALITY CLEANERS, located at 6375 South Kyrene Road in the I-1, Light Industrial District. (PL010319).

**ZONING AND DEVELOPMENT CODE REFERENCE:**

Section 3-202 Permitted Uses in Commercial and Mixed-Use Districts  
Section 3-302 Permitted Uses in Office/Industrial Districts  
Section 3-408 Drive-Through Facilities  
Section 4-204 Development Standards for Office/Industrial Districts  
Section 6-308 Use Permit



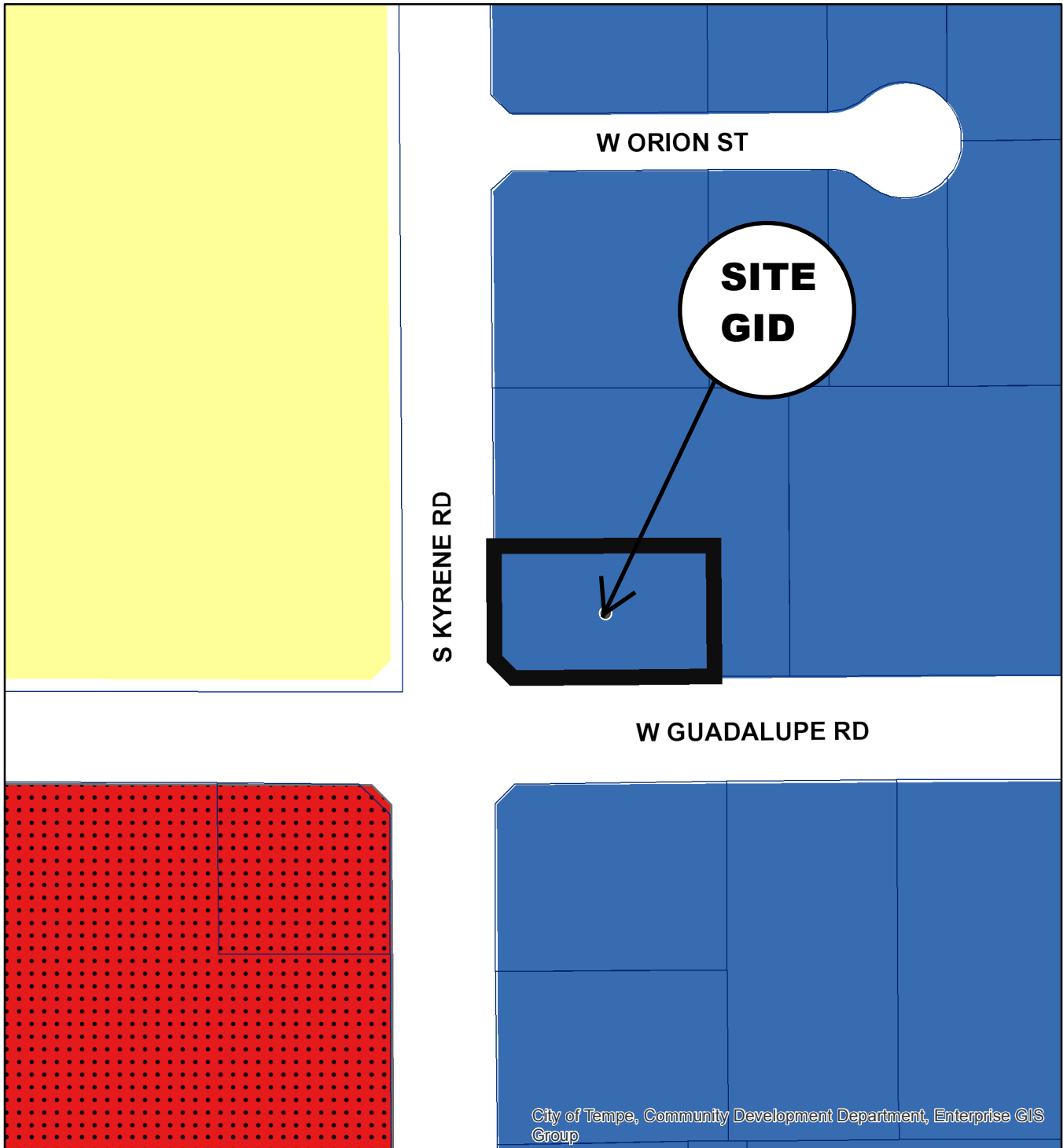
**DEVELOPMENT PROJECT FILE**  
for  
**KYRENE & GUADALUPE**  
**(PL200217)**

**ATTACHMENTS:**




1. Location Map
2. Aerial
- 3-7. Letter of Explanation
- 8-12. Site Context Photos
13. Site Plan
- 14-15. Existing and Proposed Blackline Elevations
- 16-17. Existing and Proposed Color Elevations
18. Floor Plan

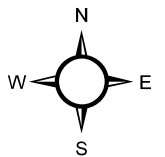
# KYRENE & GUADALUPE

PL200217



City of Tempe, Community Development Department, Enterprise GIS Group

-  General Industrial District (GID)
-  Planned Commercial Center Neighborhood (PCC-1)
-  Agricultural (AG)

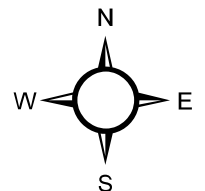


# KYRENE & GUADALUPE

PL200217



Aerial Map



September 21, 2020  
Revised: October 2, 2020

### **Review Committee**

City of Tempe – Use Permit Review Committee

RE: 6375 South Kyrene Road (SPR 20074)  
Use Permit Application

To whom it may concern,

Please accept this letter of explanation in reference to the matter described above.

### **Project background**

This site is located at the NEC of Guadalupe Road and Kyrene Road. The APN is 301-82-005C. The site is currently zoned GID, as is the adjacent, surrounding parcel at this northeast corner. Due south of this parcel, across Guadalupe Road, are a series of similarly zoned parcels (GID) including the corner parcel which currently has retail, restaurant and drive through uses approved. At the NWC of this intersection is the Benedict Sports Complex which is currently zoned AG. At the SWC, is a parcel zoned PCC-1, with an existing retail use (Circle K).

This parcel also recently received authorization to participate in the City of Tempe's Adaptive Reuse Program.

The subject site is currently occupied by a 2,800 square foot structure that houses a dry-cleaning service. The building has an enclosed entry portico of approximately 400 square feet and a single lane drive-thru with a canopy. The building was constructed in 2002 and appears to have been subsequently repainted some time ago, providing its current, dilapidated appearance. The construction is a mix of regular and split faced CMU, along with steel detailing for the entry and drive thru canopies.

### **Project Goals**

Atlas Development intends to repurpose this building as a drive-through focused QSR, probably a coffee shop similar to Dunkin Donuts or local group similar to Cartel Coffee or the Crepe Bar. We would like to keep the existing building, parking, and drive-through assembly. Obviously, the provisions of the Adaptive Reuse Program will provide us flexibility in achieving compliance for this new use.

We anticipate a series of exterior and interior improvements, though the scope will be determined upon clarity of our development options. Standard permitting for these improvements will occur as well. As you can see based on the images provided in the exhibit, this building has seen its day. Our project goal, is to breathe new life into the site and building. We plan to beautify the building with vibrant and elegant color. We will improve and enhance the currently stale exterior elevation. Our aim will be to create a sense “of place” with a warm and inviting interior. We plan to upgrade the presently sparse landscaping with new abundant vegetation and native flora. Creating a lush and inviting atmosphere will bring positive attention, interest, and curb appeal to a rather unremarkable corner.

### **Request**

We are requesting approval of a restaurant/retail use at this location with drive through facilities to service that business. We may also be providing a small outdoor seating area for dining onsite and we would like approval for this as well. This request is to establish compliance with Zoning Ordinance Table 3-302A, Table 3-202A, section 3-408, and section 3-425.

### **Justification**

Our team is requesting approval of this change in use only. Given the existing site and the provisions of the Adaptive Reuse Program, we are not requesting relief from any setbacks or other development standards.

As discussed above, this business is anticipated to operate similarly to a Dunkin Donuts location. Hours of operation are undetermined at this point, but we would like the opportunity to operate as a 24 hour business, while respecting all applicable City of Tempe guidelines and regulations. We further anticipate that this type of business should have limited impact to pedestrian and vehicular activity. Please note that the current business, the dry cleaners, sees greatly reduced traffic, particularly walk-ins. The revitalization of this corner will inevitably create more visitation, but not in a fashion that exceeds what a comparable corner, with a thriving business, might generate. Please note that we have paid special attention to the vehicular queuing at this location. In converting to the site to one-way circulation, we have been able to establish queuing for 13 vehicles, thus eliminating any overflow backing up offsite.

In reference to the adjacent parcels, we don't foresee an impact. This site is essentially self-sufficient, with the exception of a shared driveway along Kyrene. While we may see some additional traffic through this driveway, the site is already configured with code compliant curb-cuts, drive aisles, etc. Therefore, vehicular impacts should be minimal. Please note that the drive through is also already configured to match the requirements of Section 3-408 of the Zoning Ordinance. The limited increase in pedestrian traffic should have no impacts.



There should not be any nuisance issues associated with this change in use. Noise, vibrations, heat, glare, etc. should be consistent with the current drive through traffic. Odors are anticipated to be reduced versus typical quick service restaurant uses. The anticipated business will have a limited menu focusing on beverages, as opposed to the robust food menu that one would see across the street at McDonalds.

The approval of this use permit would also provide some uniformity in the Planning for this intersection. As noted previously, across the street to the south, there is a similarly zoned parcel (GID) that appears to have been already been granted a similar use permit, establishing the McDonalds and Chevron businesses at this location. The opposite corner (SWC) also has auto focused retail and restaurant uses at the Circle K. Beyond that, obviously, the northwest corner is not in play as that land is owned by the Tempe Union High School District.

Please note that, as it relates to concerns regarding any disruptive behaviors at this location, there is nothing inherent to this type of business that should generate issues.

In terms of this use permit's effect on the surrounding community, we believe that the installation of an active, stable business at this location does more to improve the immediate area than leaving this site with an unsightly, low volume business in a run-down structure. Setting a trajectory for positive growth in this part of Tempe is reinforced by providing quality business and development opportunities. This Zoning action provides exactly this type of opportunity.

Please feel free to reach out with any questions or concerns.

Thanks very much,



Kevin W. Fawcett  
Cawley Architects

Attachments:

1. Photos of the existing facility
2. Colored elevations of the existing facility
3. Colored elevations describing an anticipated appearance after building modifications.
4. Conceptual Floor Plan

NW View



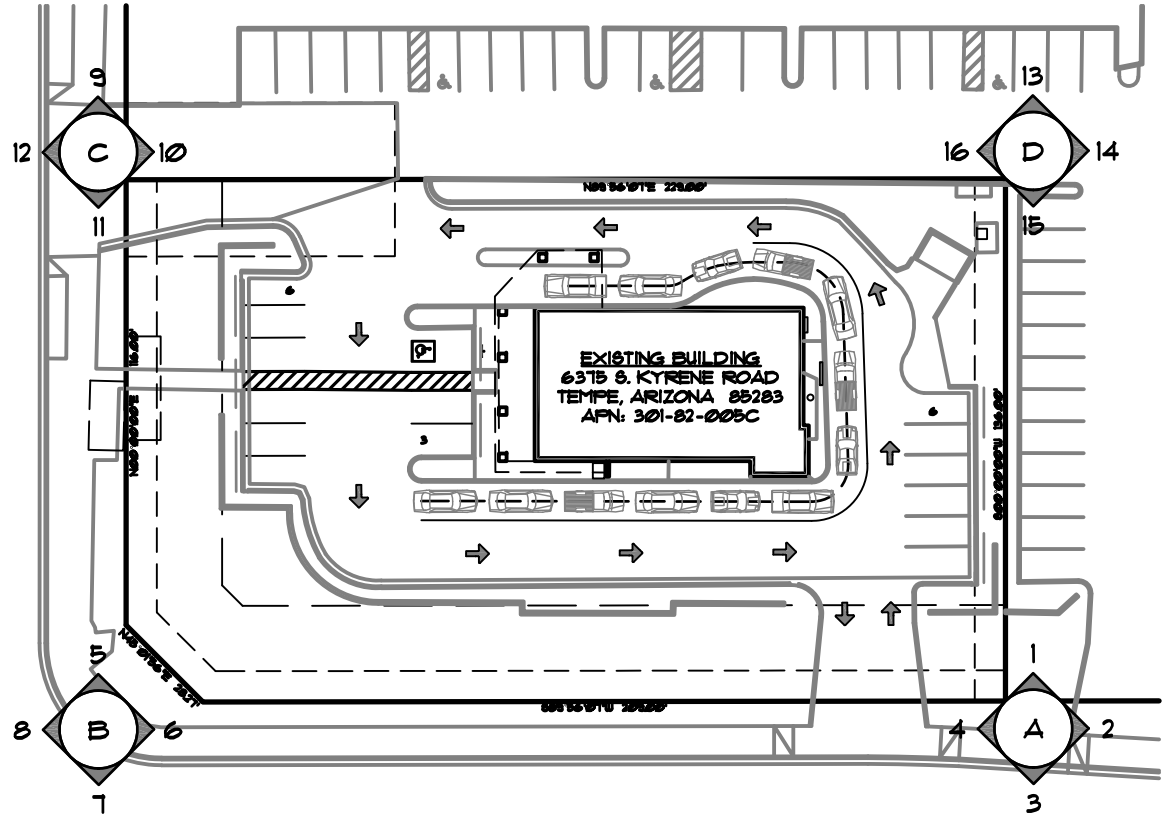
SE View



NW View



KYRENE ROAD



GUADALUPE ROAD



A-1



A-2



A-3



A-4



B-5



B-6



B-7



B-8



C-9



C-10



C-11



C-12



D-13



D-14



D-15



D-16



APN: 301-09-009B  
ZONING: AG  
BENEDICT SPORTS COMPLEX

NEW BUS BAY PER C.O.T. PROJECT NO. 6006164  
NEW ENTRANCE DRIVE PER C.O.T. DESIGN STD. PER C.O.T. PROJECT NO. 6006164

EXISTING FIRE HYDRANT

KYRENE ROAD

GUADALUPE ROAD

NOTE: LANDSCAPE IMPROVEMENTS TO BE INSTALLED PER FUTURE DEVELOPMENT PLAN REVIEW

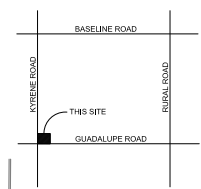
EXIST. PUBLIC SIDEWALK, CURBS, AND GUTTER TO REMAIN - TYP.

APN: 301-45-003G  
ZONING: PCG-1  
CIRCLE K

APN: 301-41-014F  
ZONING: G1D  
CHEVRON / MCDONALD'S

APN: 301-41-193  
ZONING: G1D  
APN: 301-41-193  
ZONING: G1D

VICINITY MAP N.T.S.

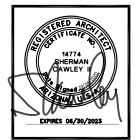


SITE DATA

PROJECT:	USE PERMIT FOR A QUICK SERVE RESTAURANT
ADDRESS:	6375 SOUTH KYRENE ROAD TEMPE, ARIZONA, 85283
DEVELOPER:	ATLAS CHRIS.WALTON@ATLASPHX.COM
OWNER:	THE ELMURHAR GROUP 1706 S. WALLISTER TEMPE, AZ 85284
SCOPE:	USE PERMIT
LEGAL DESCRIPTION:	
ASSESSOR PARCEL NO.:	301-42-005C
ZONING:	G1D
SITE AREA:	44,29.084 S.F. H=0.67 ACRES
BUILDING AREA:	2,878 S.F. GROSS
LANDSCAPE AREA:	11,379 S.F.
LOT COVERAGE:	10%
LANDSCAPE COVERAGE:	10% (PROPOSED)
LANDSCAPE (R.O.W.):	2,133 S.F. (PROPOSED)
OCCUPANCY:	B/S-1 (CURRENT)
CONSTRUCTION TYPE:	V-B w/ A.F.E.S.
ALLOWABLE AREA:	36,000 S.F. (SINGLE STORY)
BUILDING HEIGHT:	20'4" (PROPOSED) 35'0" (ALLOWED)



730 N. 52nd St. Ste. 203  
Phoenix, Arizona 85008  
P 602.393.5000  
CawleyArchitects.com



PARKING CALCULATIONS

BUILDING AREA CALCULATIONS			
OCCUPANCY	GROSS	NET	
RESTAURANT	2878	1226*	
OUTDOOR DINING	373	347	
TOTAL:	3251	1573	
* - THE NET FLOOR AREA INDICATED EXCLUDES HALLWAYS, RESTROOMS, KITCHENS, AND STORAGE AREAS.			
REQUIRED PARKING CALCULATIONS			
OCCUPANCY	S.F.	FACTOR	TOTAL
RESTAURANT	1226	1:1150	9
OUTDOOR DINING	347	N/A*	0
TOTAL:			9
* - THE NET 500 S.F. OF OUTDOOR DINING IS EXEMPT FROM THE ADAPTIVE REUSE PROGRAM.			
PARKING PROVIDED			
TOTAL REGULAR SPACES	14		
TOTAL ACCESSIBLE SPACES	1		
TOTAL COVERED SPACES	1		
TOTAL SPACES ON SITE	15		
/ CAR OR / 1,000 S.F.			
BICYCLE PARKING CALCULATIONS			
RATIO	REQUIRED	PROVIDED	
1:1,000 S.F.	3	3	

KYRENE & GUADALUPE

6375 SOUTH KYRENE ROAD  
TEMPE ARIZONA 85283

DATE  
PRELIMINARY SITE PLAN REVIEW  
08-03-2020  
USE PERMIT  
CITY COMMENTS  
10-05-2020

LEGEND

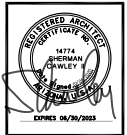
- PROPERTY LINE
- - - EASEMENT / SETBACK LINE
- - - CAR OVERHANG, MEASURED FROM FACE OF CURB AS DIMENSIONED ON SITE PLAN
- 6" CURB
- SALT FINISH CONCRETE SIDEWALK
- /// PAINT STRIPING ON PAVEMENT
- ⊕ NEW FIRE HYDRANT
- ⊕ EXISTING FIRE HYDRANT
- ⊕ FIRE DEPARTMENT CONNECTION
- ACCESSIBLE ROUTE / PATH OF TRAVEL
- ⊕ FIRE RISER

NOTICE OF ALTERNATE BILLING CYCLE:  
If a contract shall the owner to accept the billings in 10 day intervals. If the owner does not accept the billings in 10 day intervals, the owner shall be deemed to have accepted the billings in 10 day intervals. The owner shall be deemed to have accepted the billings in 10 day intervals if the owner does not accept the billings in 10 day intervals.

The architect and design consultant shall be responsible for the preparation of all documents and for the payment of all bills. The architect and design consultant shall be responsible for the preparation of all documents and for the payment of all bills. The architect and design consultant shall be responsible for the preparation of all documents and for the payment of all bills.

EXISTING SITE PLAN





**KYRENE & GUADALUPE**

6375 SOUTH KYRENE ROAD  
TEMPE ARIZONA 85283

DATE  
PRELIMINARY SITE PLAN REVIEW  
08-03-2020  
USE PERMIT  
09-21-2020  
USE PERMIT  
10-05-2020

**NOTICE OF ALTERNATE BILLING CYCLES:**  
The architect shall be compensated on the basis of the number of billings cycles that shall be determined by the architect and shall be billed on a monthly basis. The architect shall be compensated on a monthly basis for the entire duration of the project. The architect shall be compensated on a monthly basis for the entire duration of the project. The architect shall be compensated on a monthly basis for the entire duration of the project.

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Project: 20097  
A7.1

**GENERAL NOTES**

- SEE STRUCTURAL FOR Lintel INFORMATION.
- SEE DOOR SCHEDULE FOR DOOR HEIGHTS.
- SEE STRUCTURAL FOR CONTROL JOINTS.

**MATERIAL SAMPLE APPROVAL**

- PRIOR TO ORDERING, G.C. TO PROVIDE INDIVIDUAL SAMPLES OF ALL BUILDING COLORS AND MATERIALS FOR REVIEW AND APPROVAL BY THE ARCHITECT AND OWNER (i.e. PAINTED CPU, ETC.)
- ALL INDIVIDUAL SAMPLES TO BE PRESENTED AT ONE TIME, ON-SITE IN SIZES OF NO LESS THAN 12" X 12".

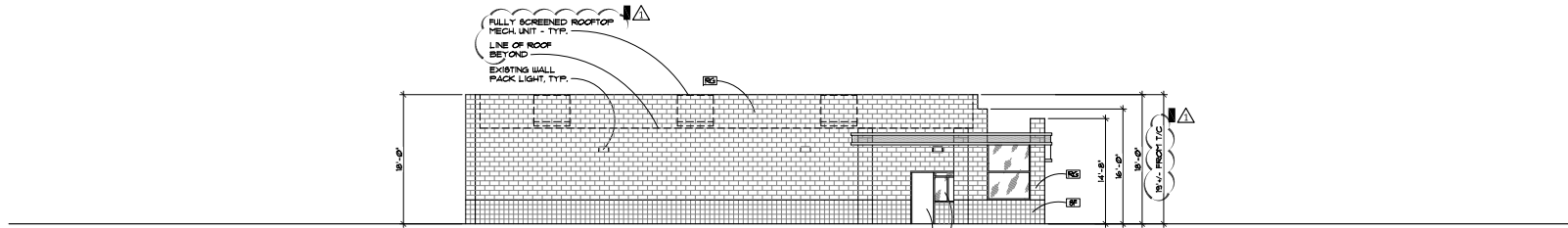
**MATERIAL KEY**

MATERIAL	DESCRIPTION
[R5]	SMOOTH FACE REGULAR STRUCK 8" X 8" X 16" CPU
[R1]	SPLIT FACED 8" X 8" X 16" CPU

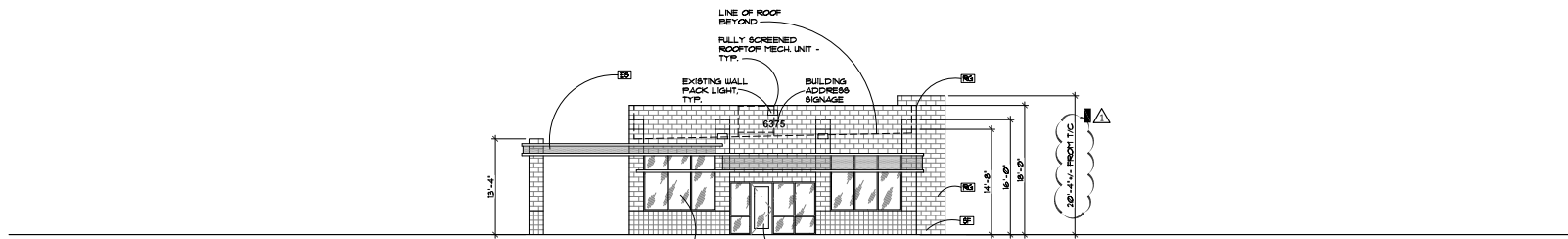
**STOREFRONT / GLAZING KEY**

MATERIAL	COLOR
FRAMES	CLEAR ANODIZED ALUMINUM
GLAZING	1" INSULATED BLUE REFLECTIVE

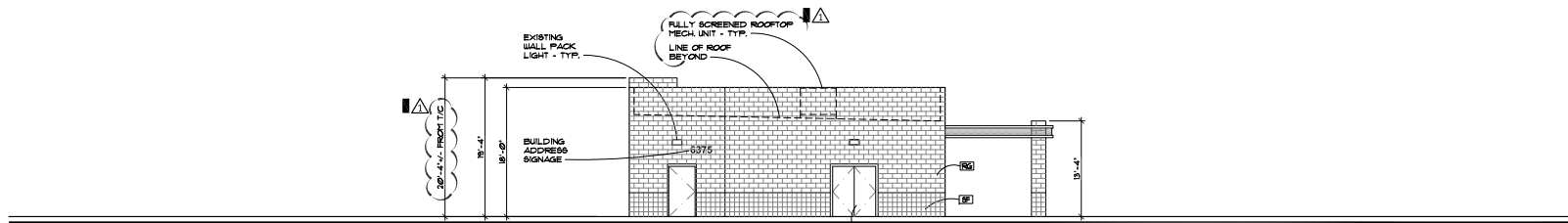
- 'S' AT WINDOW LOCATIONS INDICATES SPANDREL PANELS.
- SEE WINDOW TYPES FOR LOCATIONS OF TEMPERED GLASS.



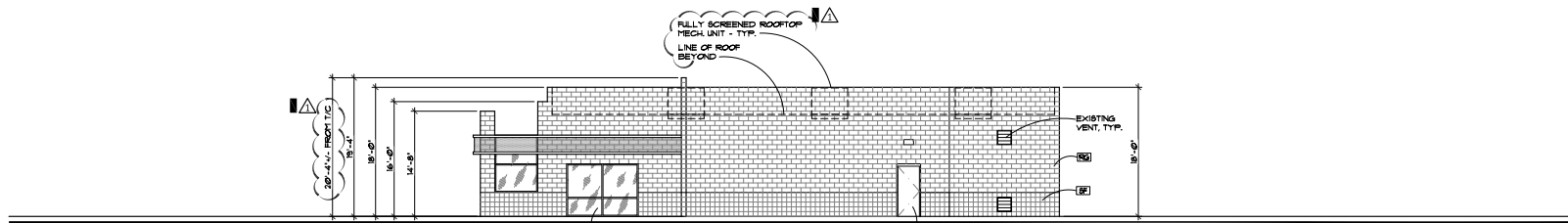
EXISTING NORTH ELEVATION



EXISTING WEST ELEVATION

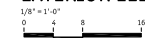


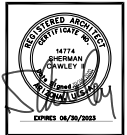
EXISTING EAST ELEVATION



EXISTING SOUTH ELEVATION

**EXISTING EXTERIOR ELEVATIONS**





**KYRENE & GUADALUPE**

6375 SOUTH KYRENE ROAD  
TEMPE ARIZONA 85283

DATE  
PRELIMINARY SITE PLAN REVIEW  
08-03-2020  
USE PERMIT  
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CITY COMMENTS  
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NOTICE OF ALTERNATE BILLING CYCLES:  
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Project: 2009  
A7.2

**GENERAL NOTES**

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**MATERIAL SAMPLE APPROVAL**

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- ALL INDIVIDUAL SAMPLES TO BE PRESENTED AT ONE TIME, ON-SITE IN SIZES OF NO LESS THAN 12" X 24"

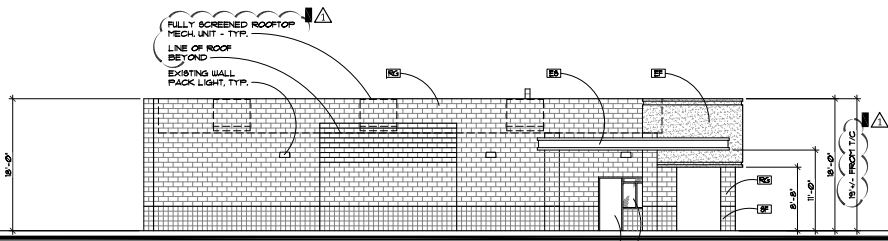
**MATERIAL KEY**

MATERIAL	DESCRIPTION
ES	SMOOTH FACE REGULAR STRUCK 8 X 8 X 16 CPU
EF	SPLIT FACED 8 X 8 X 16 CPU
EE	EXTERIOR INSULATED FINISH SYSTEM
EB	EXPOSED STEEL, PAINTED

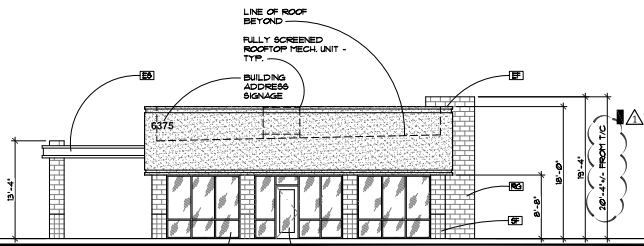
**STOREFRONT / GLAZING KEY**

MATERIAL	COLOR
FRAMES	CLEAR ANODIZED ALUMINUM
GLAZING	1" INSULATED BLUE REFLECTIVE

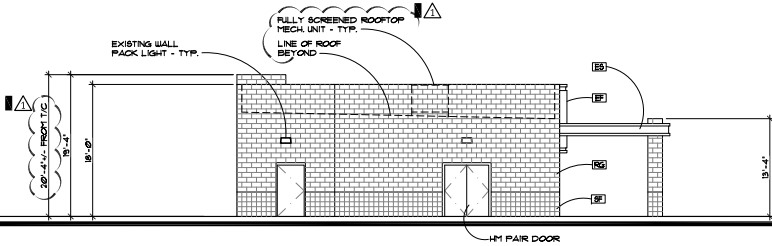
- 'S' AT WINDOW LOCATIONS INDICATES SPANDREL PANELS.
- SEE WINDOW TYPES FOR LOCATIONS OF TEMPERED GLASS.



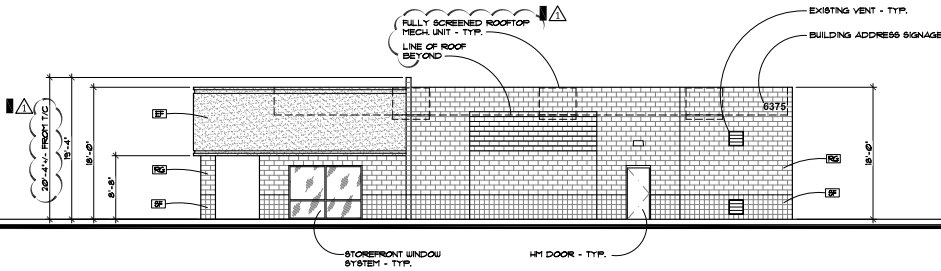
IMPROVED NORTH ELEVATION



IMPROVED WEST ELEVATION

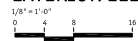


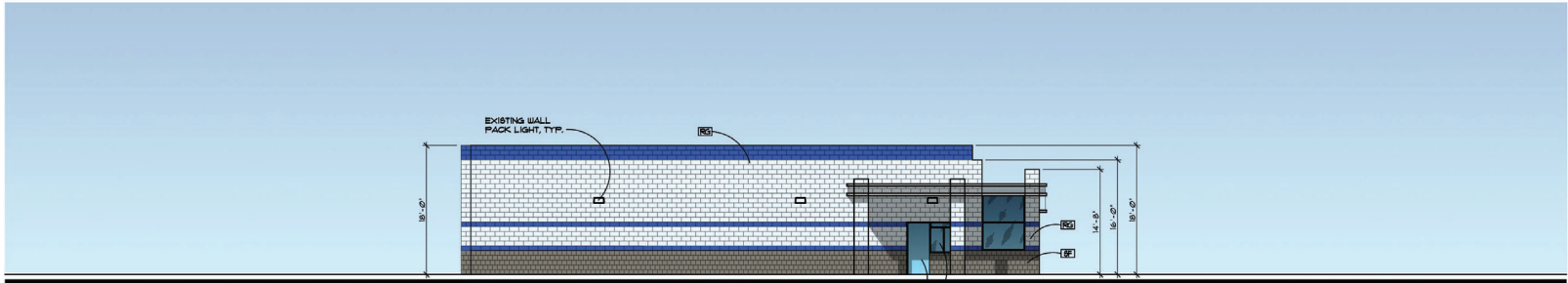
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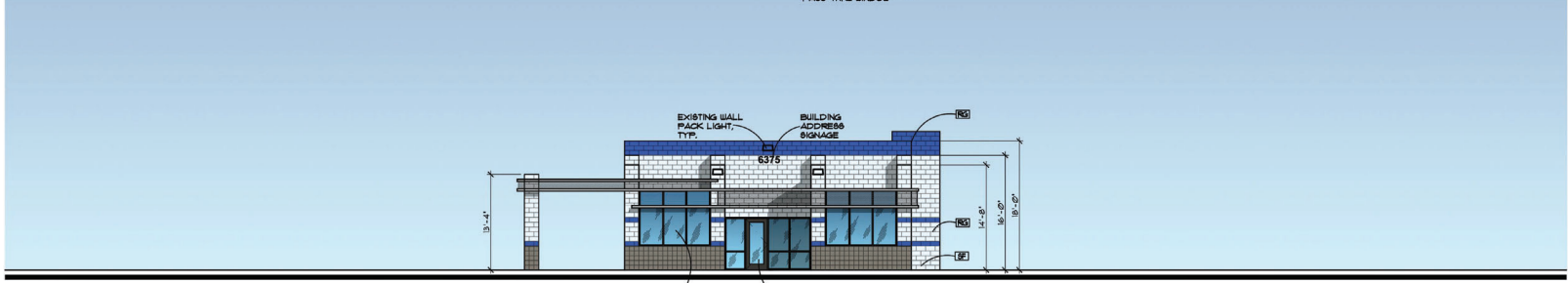
IMPROVED SOUTH ELEVATION

**CONCEPTUAL IMPROVED EXTERIOR ELEVATIONS**

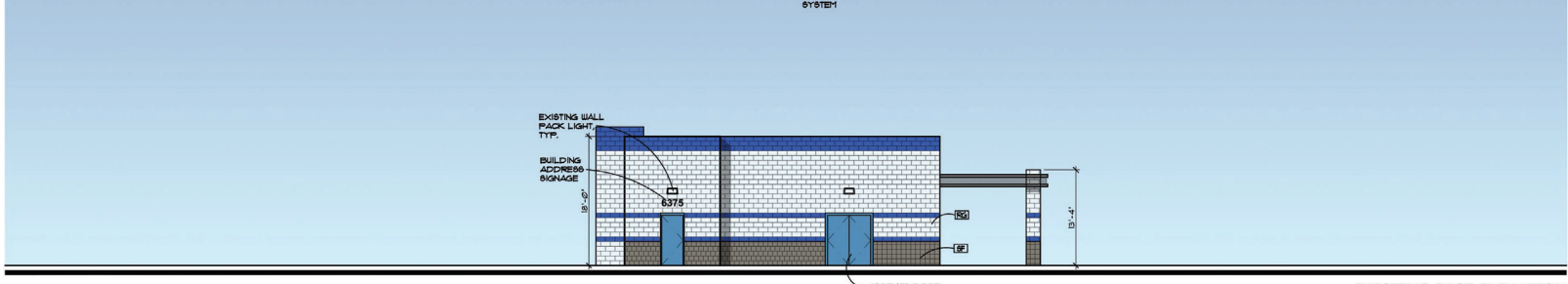




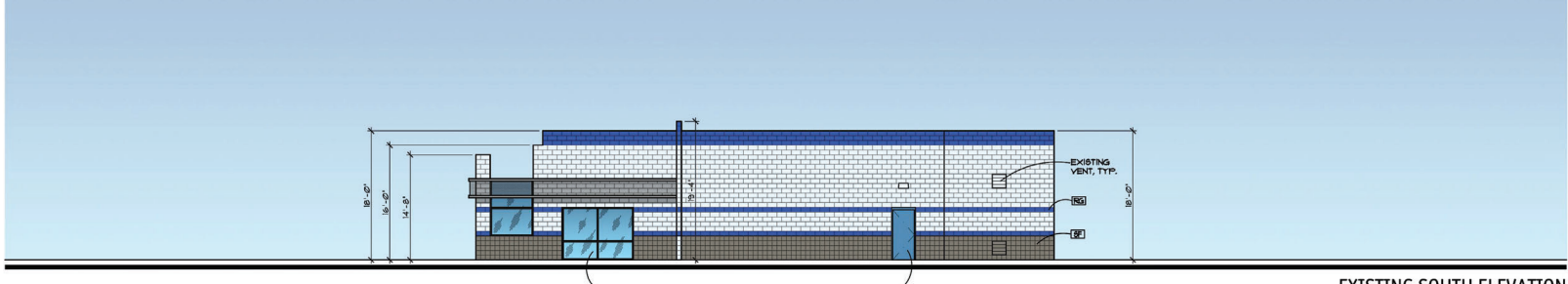
EXISTING NORTH ELEVATION



EXISTING WEST ELEVATION



EXISTING EAST ELEVATION



EXISTING SOUTH ELEVATION

GENERAL NOTES

1. SEE STRUCTURAL FOR Lintel INFORMATION.
2. SEE DOOR SCHEDULE FOR DOOR HEIGHTS.
3. SEE STRUCTURAL FOR CONTROL JOINTS.

MATERIAL SAMPLE APPROVAL

1. PRIOR TO ORDERING, G.C. TO PROVIDE INDIVIDUAL SAMPLES OF ALL BUILDING COLORS AND MATERIALS FOR REVIEW AND APPROVAL BY THE ARCHITECT AND OWNER (i.e. PAINTED CHU, ETC.)
2. ALL INDIVIDUAL SAMPLES TO BE PREPARED AT ONE TIME, ON-SITE IN SIZES OF NO LESS THAN 12" X 12".

MATERIAL KEY

MATERIAL	DESCRIPTION
[S]	SMOOTH FACE REGULAR STRUCK 8 X 8 X 16 CHU
[F]	SPLIT FACED 8 X 8 X 16 CHU

STOREFRONT / GLAZING KEY

MATERIAL	COLOR
FRAMES	CLEAR ANODIZED ALUMINUM
GLAZING	1" INSULATED BLUE REFLECTIVE

1. 'S' AT WINDOW LOCATIONS INDICATES SPANDREL PANELS.
2. SEE WINDOW TYPES FOR LOCATIONS OF TYPED GLASS.

COLOR KEY

KEY	NAME - DUNN EDWARDS COLOR NAME
①	-
②	-
③	-

MATERIAL	KEY
EXT. RAILING	①
BOLLARDS	②
GATES	③
SES	④
TRANSFORMER	⑤

1. SEALANTS FOR PROJECTS TO MATCH ADJACENT MATERIAL COLORS - NO WHITE OR OFF WHITE COLORS.
2. PAINTER TO PROVIDE TWO COATS SEALER TO ALL EXPOSED NATURAL BLOCK, PRECAST CONCRETE, UNPAINTED CONCRETE AND OTHER MATERIALS AS REQUIRED TO PROVIDE A WEATHER SEALED PROJECT.
3. G.C. IS RESPONSIBLE FOR SUBMITTING ALL PRE-MANUFACTURED MATERIALS AND COLORS TO ARCHITECT FOR REVIEW AND APPROVAL.
4. G.C. TO OBTAIN APPROVAL FROM UTILITY COMPANY BEFORE PAINTING TRANSFORMER.



730 N. 52nd St. Ste. 203  
Phoenix, Arizona 85008  
P. 602.393.5060

CawleyArchitects.com



KYRENE & GUADALUPE

6375 SOUTH KYRENE ROAD  
TEMPE ARIZONA 85283

DATE  
PRELIMINARY SITE PLAN REVIEW 08-03-2020  
USE PERMIT 09-21-2020

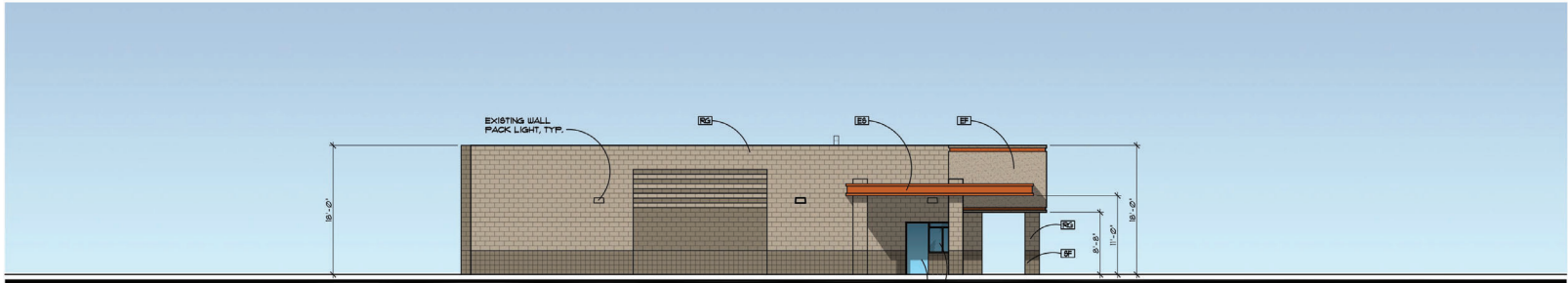
NOTICE OF ALTERNATE BILLING CYCLE:  
The contract shall allow the owner to require submission of billing or estimates in billing cycles other than 30-day cycles. A written request for such alternate billing cycle appropriate to the project is submitted from the owner to the architect's designated agent. See owner's telephone number and address on cover sheet and the contract or its negotiated agent and shall approve the written distribution upon request.

The architectural design and data presented in these documents is an indication of services provided by Cawley Architects.  
All discrepancies found in these documents or conflicts between these documents and actual field conditions shall be reported to Cawley Architects for resolution prior to commencement of the work.  
Discrepancies between bid amounts and these documents shall be reported to the General Contractor prior to commencement of work.

EXISTING EXTERIOR ELEVATIONS



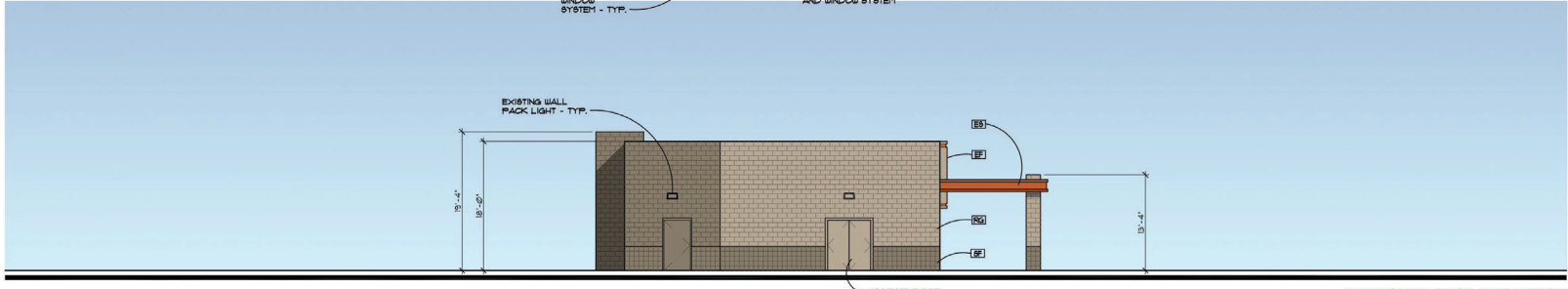
Project: 20097  
A7.1



IMPROVED NORTH ELEVATION



IMPROVED WEST ELEVATION



IMPROVED EAST ELEVATION



IMPROVED SOUTH ELEVATION

GENERAL NOTES

1. SEE STRUCTURAL FOR LINTEL INFORMATION.
2. SEE DOOR SCHEDULE FOR DOOR HEIGHTS.
3. SEE STRUCTURAL FOR CONTROL JOINTS.

MATERIAL SAMPLE APPROVAL

1. PRIOR TO ORDERING, G.C. TO PROVIDE INDIVIDUAL SAMPLES OF ALL BUILDING COLORS AND MATERIALS FOR REVIEW AND APPROVAL BY THE ARCHITECT AND OWNER (i.e. PAINTED CHU, ETC.)
2. ALL INDIVIDUAL SAMPLES TO BE PRESENTED AT ONE TIME, ONSITE IN SIZES OF NO LESS THAN 1' X 1'.

MATERIAL KEY

MATERIAL	DESCRIPTION
(MS)	SMOOTH FACE REGULAR STRUCK 8 X 8 X 16 CHU
(EF)	SPLIT FACED 8 X 8 X 16 CHU
(EF)	EXTERIOR INSULATED FINISH SYSTEM
(ES)	EXPOSED STEEL, PAINTED

STOREFRONT / GLAZING KEY

MATERIAL	COLOR
FRAMES	CLEAR ANODIZED ALUMINUM
GLAZING	1" INSULATED BLUE REFLECTIVE

1. 'S' AT WINDOW LOCATIONS INDICATES SPANDREL PANELS.
2. SEE WINDOW TYPES FOR LOCATIONS OF TEMPERED GLASS.



730 N. 52nd St. Ste. 203  
Phoenix, Arizona 85008  
P 602.393.5060

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KYRENE & GUADALUPE

6375 SOUTH KYRENE ROAD  
TEMPE ARIZONA  
85283

DATE

PRELIMINARY SITE PLAN  
REVIEW  
08-03-2020  
USE PERMIT  
09-21-2020

NOTICE OF ALTERNATE BILLING CYCLE:  
The contract shall be amended to require submission of billing or estimates in billing cycle due from 15th day of a month. A writing shall be provided to each other party and appropriate to the project & location from the name of the owner's designated agent. See owner's telephone number and address on cover sheet and the contract or its designated agent shall provide the written designation upon request.

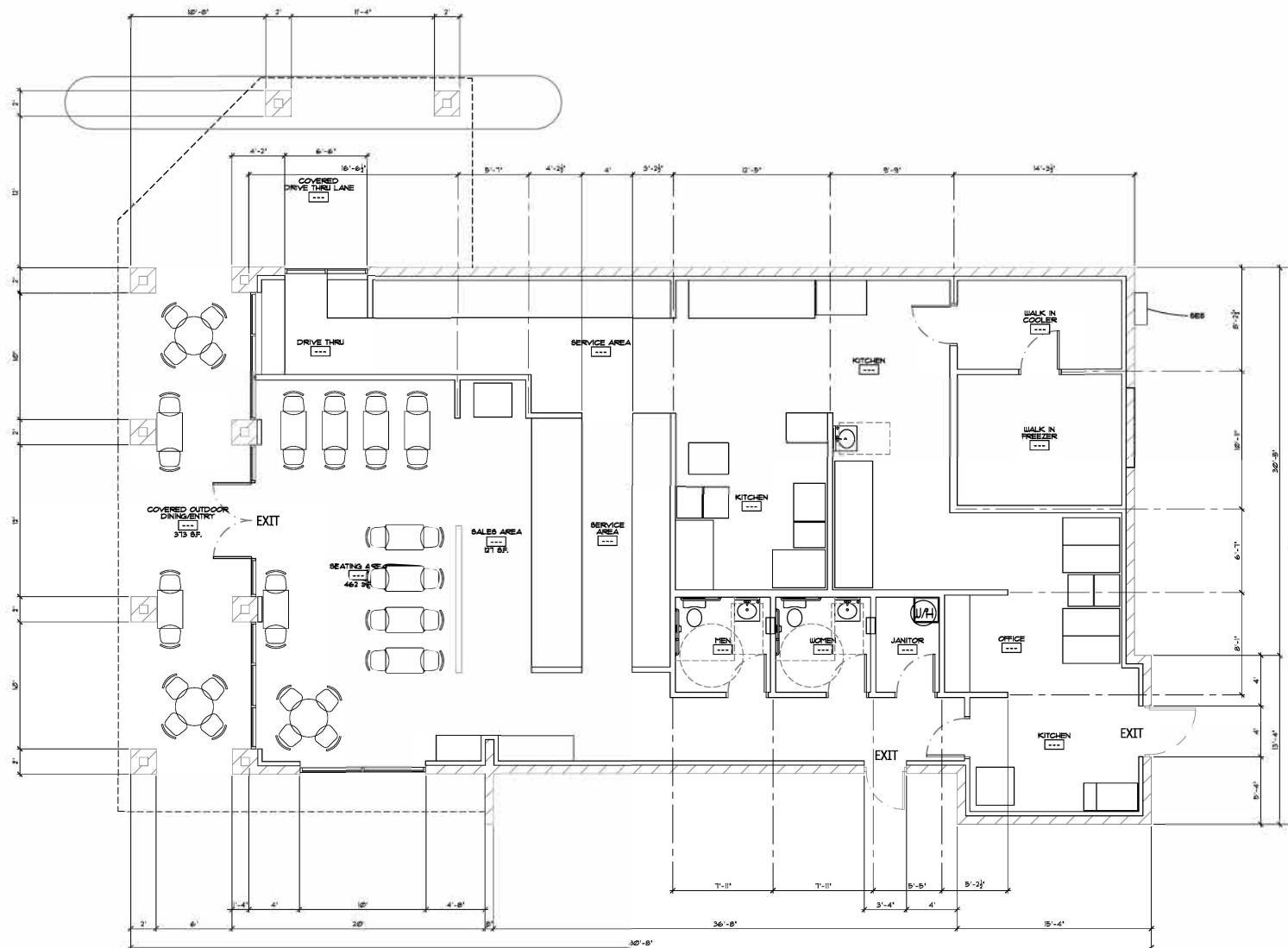
The architect design and data presented in these documents is an acknowledgment of services provided by Cawley Architects.  
All discrepancies found in these documents and actual field conditions shall be reported to Cawley Architects for resolution prior to commencement of the work.  
Discrepancies between bid amounts and these documents shall be reported to the General Contractor prior to commencement of work.

CONCEPTUAL IMPROVED EXTERIOR ELEVATIONS



Project: 20097





**KYRENE & GUADALUPE**

6375 SOUTH  
 KYRENE ROAD  
 TEMPE  
 ARIZONA  
 85283

DATE	08-03-2020
PRELIMINARY SITE PLAN REVIEW	08-03-2020
USE PERMIT	02-21-2020
USE PERMIT	CITY COMMENTS
	10-06-2020

**NOTICE OF ALTERNATE BILLING CYCLE:**  
 The contract obligates the owner to require all subcontractors to bill in alternate billing cycles other than their own. A written description of each alternate billing cycle application to this project is available from the owner or the owner's designated agent. The work shall not be performed until the owner or owner's agent has received the written description of each alternate billing cycle application from the owner.

The architectural design and data presented in these documents is an instrument of service provided by Cawley Architects.

All discrepancies found in these documents or conflicts between these documents and other best conditions shall be reported by Cawley Architects to the respective prior to commencement of the work.

Discrepancies between bid amounts and these documents shall be reported to the General Contractor prior to commencement of work.