



**CITY OF TEMPE  
DEVELOPMENT REVIEW COMMISSION**

**Meeting Date: 10/27/2020  
Agenda Item: 5**

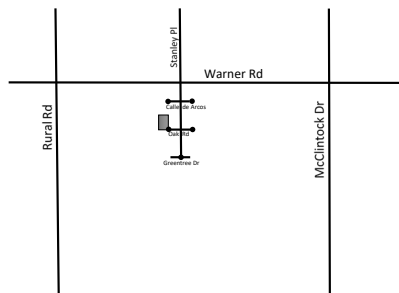
**ACTION:** Request a Use Permit Standard to increase the maximum height of an accessory building from fifteen (15) feet to eighteen (18) feet for the **WROBLE RESIDENCE**, located at 1225 East Warner Road, Unit 6. The applicant is Randy Wroble. **(PL200179)**

**FISCAL IMPACT:** N/A

**RECOMMENDATION:** Staff – Approval, subject to conditions

**BACKGROUND INFORMATION:** WROBLE RESIDENCE (PL200179) increase the maximum height of an accessory building from fifteen (15) feet to eighteen (18) feet on Lot of the Wingfoot subdivision located in the R1-15, Single-Family Residential District. The request includes the following:

ZUP200021 Use Permit Standard to increase the maximum height of an accessory building from fifteen (15) feet to eighteen (18) feet



Property Owner	Randle J Wroble
Applicant	Randy Wroble
Zoning District(s)	R1-15
Site Area	27,421 s.f.
Existing Building Area	5,800 s.f
Proposed Garage	1,876 s.f.
Existing Lot Coverage	21% (45% max.)
Proposed Lot Coverage	27% (45% max.)
Required Building Setbacks	35' front, 15'side, 30' rear
Vehicle Parking	2 spaces (2 min. required)

**ATTACHMENTS:** Development Project File

**STAFF CONTACT(S):** Robbie Aaron, (480) 350-8096

Department Director: Chad Weaver, Community Development Director  
Legal review by: N/A  
Prepared by: Robbie Aaron, Planner II  
Reviewed by: Steve Abrahamson, Principal Planner

## COMMENTS

The proposed accessory building will be for a garage will be built on an existing sport court and will house additional vehicles that currently are parked in the driveway. The HOA has given approval for the new structure.

## PUBLIC INPUT

To date, staff has not received any public input regarding the request.

## USE PERMIT

The proposal requires a Use Permit Standard to increase the maximum height of an accessory building from fifteen (15) feet to eighteen (18) feet for a single-family residence within the R1-6, Single-Family Residential district.

Section 6-308 E Approval criteria for Use Permit (*in italics*):

1. *Any significant increase in vehicular or pedestrian traffic*; the proposal will not increase vehicular or pedestrian traffic more than what is expected from a single-family owner-occupied use.
2. *Nuisance arising from the emission of odor, dust, gas, noise, vibration, smoke, heat or glare at a level exceeding that of ambient conditions*; the proposal will not generate emissions greater than ambient conditions that would otherwise cause a nuisance to the neighborhood.
3. *Contribution to the deterioration of the neighborhood or to the downgrading of property values, which is in conflict with the goals, objectives or policies for rehabilitation, redevelopment or conservation as set forth in the city's adopted plans or General Plan*; The proposal will not contribute to the deterioration of the neighborhood or to the downgrading of property values and will not be in conflict with the goals, objectives or policies of the City's adopted General Plan.
4. *Compatibility with existing surrounding structures and uses*; Upon an aerial survey of the neighborhood staff noted other accessory structures and buildings of various heights and setbacks throughout the area. This home will continue to be a single-family home.
5. *Adequate control of disruptive behavior both inside and outside the premises which may create a nuisance to the surrounding area or general public*; the proposal is intended for a single-family owner-occupied use and is not expected to cause any disruptive behavior.

## REASONS FOR APPROVAL:

Based on the information provided by the applicant, the public input received, and the above analysis staff supports approval of the requested Use Permit. This request meets the required criteria and will conform to the conditions.

## SHOULD AN AFFIRMATIVE ACTION BE TAKEN ON THIS REQUEST, THE FOLLOWING NUMBERED CONDITIONS OF APPROVAL SHALL APPLY, BUT MAY BE AMENDED BY THE DECISION-MAKING BODY.

## CONDITION(S) OF APPROVAL:

1. The Use Permit is valid for the plans as submitted within this application. Any additions or modifications may be submitted for review during the building plan check process.

**CODE/ORDINANCE REQUIREMENTS:**

THE BULLETED ITEMS REFER TO EXISTING CODE OR ORDINANCES THAT PLANNING STAFF OBSERVES ARE PERTINENT TO THIS CASE. THE BULLET ITEMS ARE INCLUDED TO ALERT THE DESIGN TEAM AND ASSIST IN OBTAINING A BUILDING PERMIT AND ARE NOT AN EXHAUSTIVE LIST.

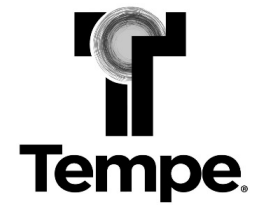
- The use permit approval shall be void if the use is not commenced or if an application for a building permit has not been submitted, whichever is applicable, within twelve (12) months after the use permit is granted or within the time stipulated by the decision-making body.
- Specific requirements of the **Zoning and Development Code (ZDC)** are not listed as a condition of approval but will apply to any application. To avoid unnecessary review time and reduce the potential for multiple plan check submittals, become familiar with the ZDC. Access the ZDC through <http://www.tempe.gov/zoning> or purchase from Development Services.
- Any intensification or expansion of use shall require a new Use Permit.

**HISTORY & FACTS:**

April 19, 1989                      Building Permit issued for a single-family residence.

**ZONING AND DEVELOPMENT CODE REFERENCE:**

Section 3-102 Permitted Uses in Residential Districts  
Section 4-706 Screens, Walls and Access Control Landscapes  
Section 6-308 Use Permit



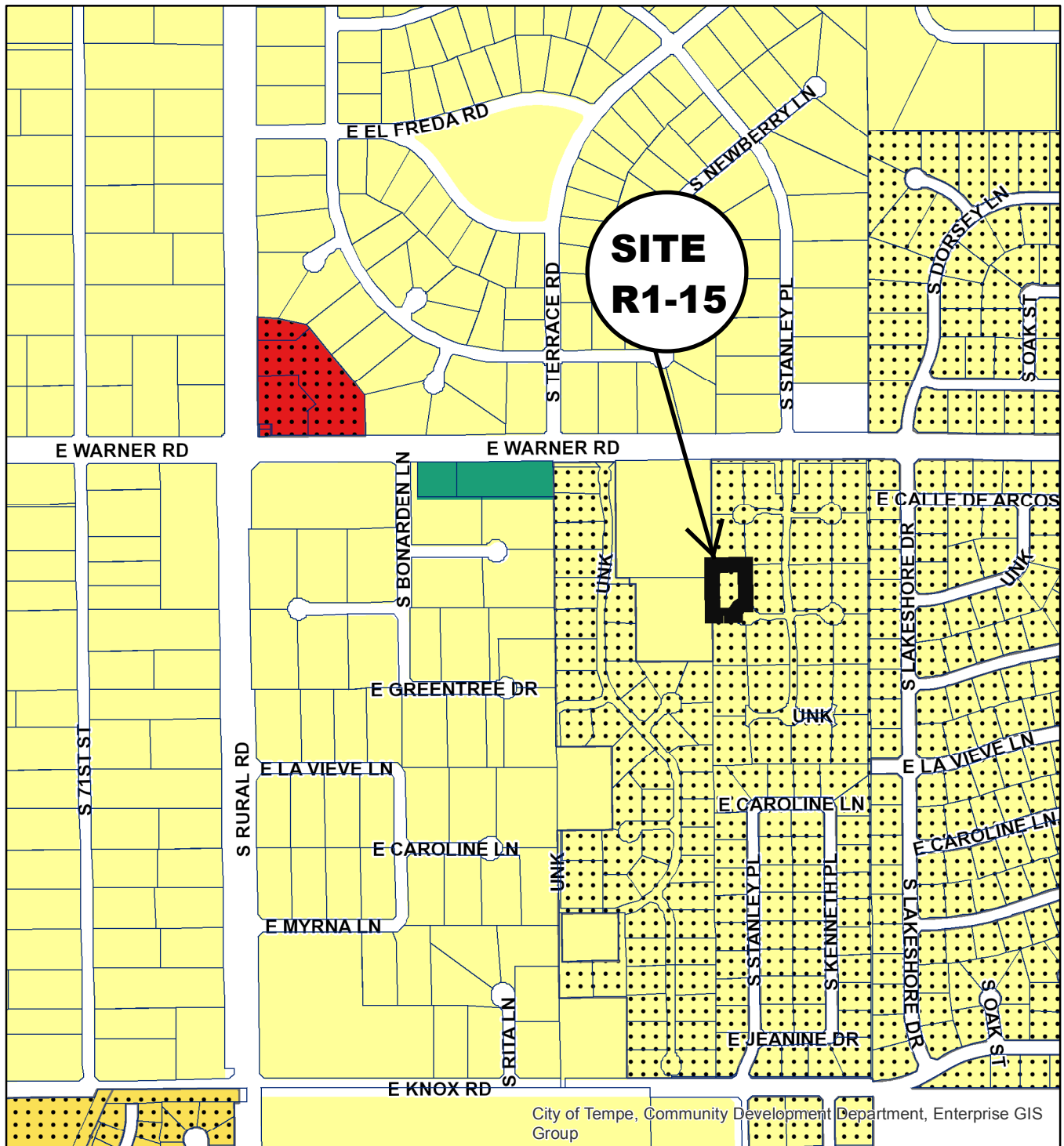
**DEVELOPMENT PROJECT FILE**  
for  
**WROBLE RESIDENCE**  
**(PL200179)**

**ATTACHMENTS:**

1. Location Map
2. Aerial
3. Letter of Explanation
4. Site Plan
- 5-6. Floor Plan & Elevations

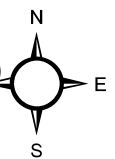
# WROBLE RESIDENCE

PL200179



City of Tempe, Community Development Department, Enterprise GIS Group

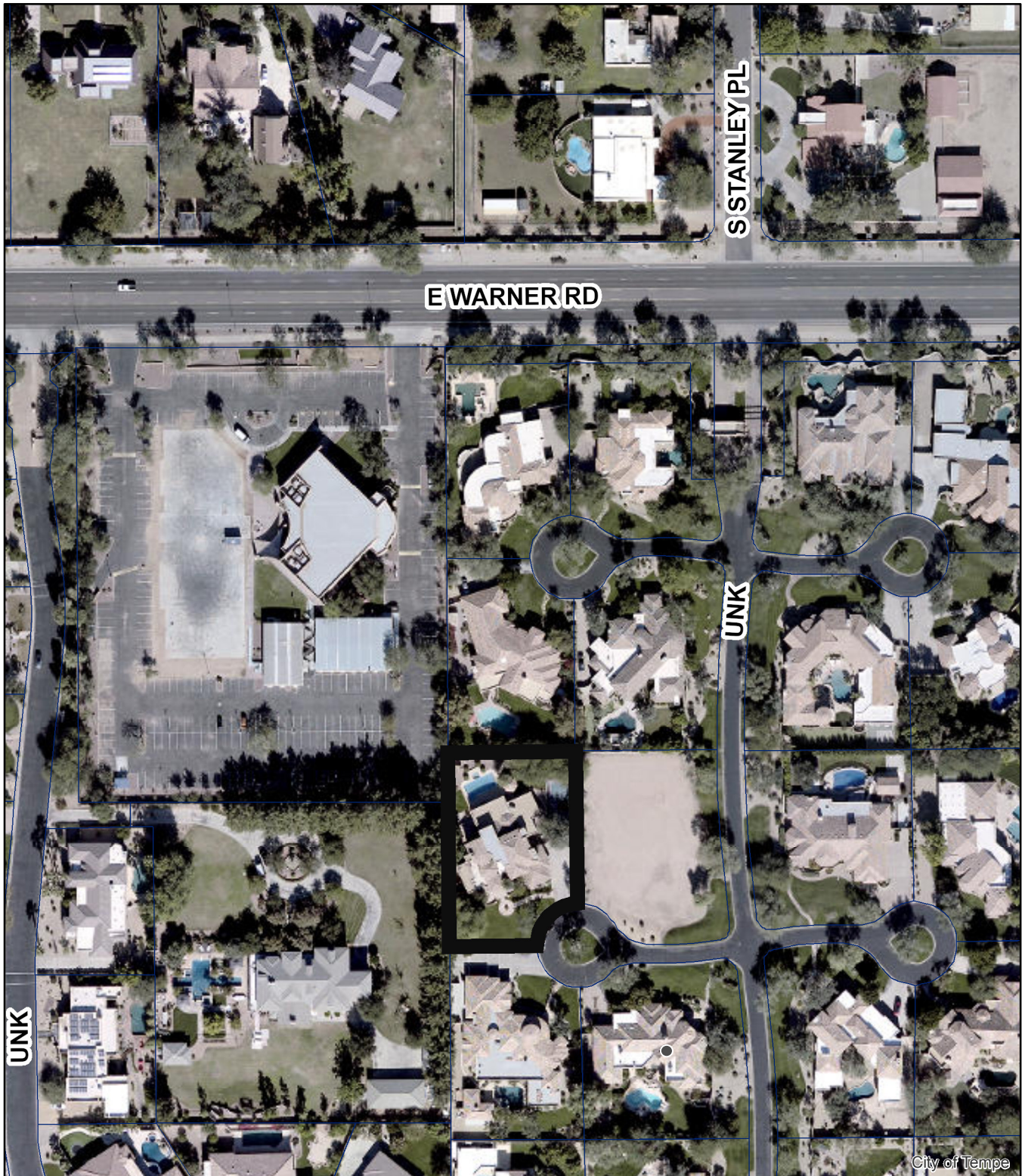
- Planned Commercial Center Neighborhood (PCC-1)
- Single-Family Residential (R1-15)
- Residential/Office (RO)
- Single-Family Residential (R1-7)
- Agricultural (AG)



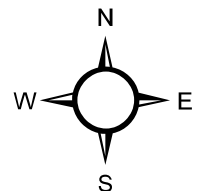


# WROBLE RESIDENCE

PL200179



Aerial Map



23 August 2020

Re: PL200179

To Whom It May Concern:


This project is a detached garage I am putting on my side yard behind the wall/fence where the sport court currently is located. It will be used to house extra vehicles, as we have six automobiles, an off-road vehicle and two motorcycles.

The total height is 17'8" which is why we are applying for a Use Permit before Planning can approve the Building Permit.

The HOA has approved and all neighbors have given permission for the new structure, as it will not cause any deterioration of the neighborhood. We currently only have a three car garage, so this addition will get the extra vehicles out of the driveway and actually improve the appearance of the neighborhood. The structure will obstruct any views of the neighbors and since we have trees in the backyard, will not even be very visible from the street going through the neighborhood.

Please let me know if you need any further information.

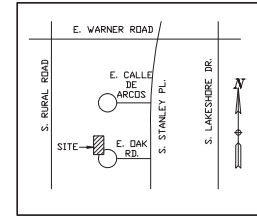
Thank you,

DocuSigned by:  
 Randall J Wroble 23/2020  
35821219EADD41E...  
Randy Wroble

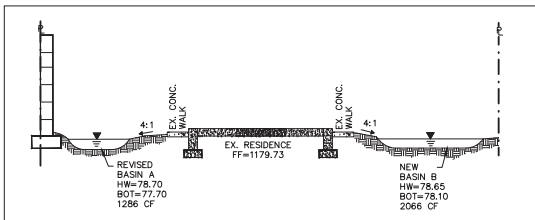
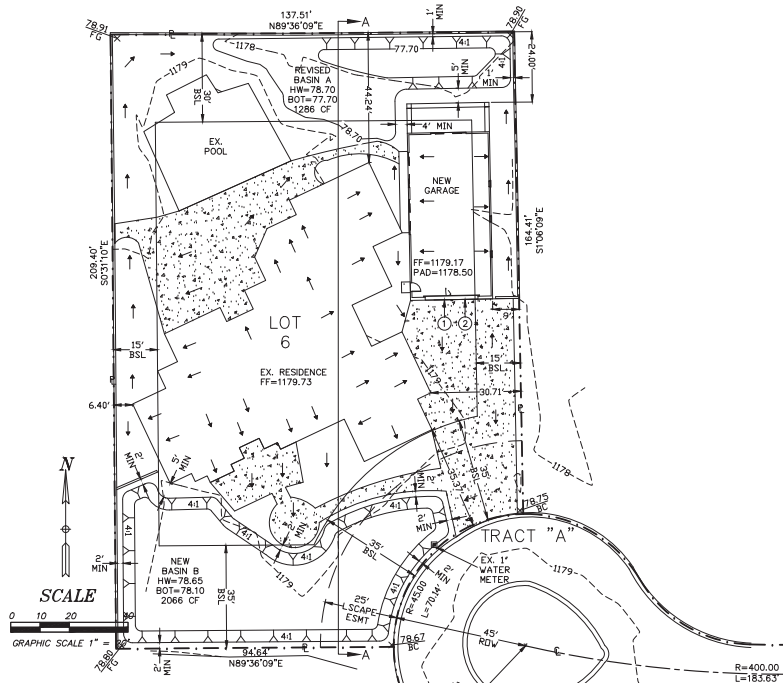


# SITE AND RETENTION PLAN

## 1225 E. WARNER RD., UNIT 6, TEMPE, AZ. APN 308-02-006



**VICINITY MAP**  
N.T.S.



**SECTION A-A**  
N. T. S.

- LEGEND**
- PROPERTY/RIGHT-OF-WAY LINE
  - CENTER/MONUMENT LINE
  - EASEMENT LINE
  - BUILDING SETBACK LINE
  - EXIST. CURB
  - UTILITY LINE (AS NOTED)
  - ⊙ EXIST. MANHOLE
  - ⊕ EXIST. FIRE HYDRANT
  - ⊠ EXIST. METER
  - ⊗ EXIST. VALVE
  - ⊕ EXIST. LIGHT
  - ⊖ EXIST. POWER POLE (P.P.)
  - ⊙ EXIST. TRAFFIC SIGN (AS NOTED)
  - ICV IRRIGATION CONTROL VALVE
  - ← FLOW DIRECTION

- X 44.60 EG PROPOSED GRADE
- X 44.60 NG NATURAL GRADE
- X 44.60 P PAVEMENT GRADE
- X 44.60 C CONCRETE GRADE
- X 44.60 BC BACK OF CURB

**OWNER/CONTACT**  
RANDY WRUBLE  
1225 E. WARNER RD., UNIT 6  
TEMPE, AZ 85284  
PHONE: (602) 451-7867

**ENGINEER**  
ROPER ENGINEERING AND  
CONSTRUCTION MANAGEMENT  
3715 N. NEVADA STREET  
CHANDLER, AZ 85225  
PHONE: (480) 813-4764  
roperengineering@cox.net

**LEGAL DESCRIPTION**  
LOT 6, WINGFOOT, BOOK 277, PAGE 27,  
RECORDS OF MARICOPA COUNTY, ARIZONA.

**APN**  
308-02-006

**ZONING**  
R1-15

**BENCHMARK**  
CITY OF TEMPE BENCHMARK 285  
FND BRASS CAP IN HANDHOLE AT THE  
INTERSECTION OF RURAL ROAD AND WARNER  
ROAD. ELEVATION= 1177.17 C.O.T. DATUM

**SITE BENCHMARK**  
SOUTHEAST PROPERTY CORNER,  
BACK OF CURB (CONCRETE).  
ELEV=1178.62

**SITE PLAN NOTES**

- This set of plans has been reviewed for compliance with City requirements prior to issuance of construction permits. However, such review shall not prevent the City from requiring correction of errors in plans found to be in violation of any law or ordinance.
- The City does not warrant any quantities shown on these plans.
- The City approval is for on-site grading, drainage. Plan check is valid for one year following the initial application date. Construction permits must be obtained prior to plan check expiration date. Permits expire one year from issue date but may be extended upon request and the payment of appropriate fees for subsequent periods of six months each.
- An approved set of plans shall be available on the job site at all times.
- Call the engineering inspection request line at (480)350-8072 at least one business day before construction to request inspection of grading and drainage. Construction work concealed without inspection by the City shall be subject to exposure at the contractor's expense.
- The homeowners shall contact BLUE STAKE (602-263-1100) 48 hours prior to construction.
- All broken or displaced existing concrete curb, gutter, or sidewalk shall be removed and replaced as directed by the City of Tempe Engineering Division Inspector.

**CONSTRUCTION KEYNOTES**

- REMOVE EX. BLOCK WALL.
- MATCH TO EX. DRIVEWAY

I HEREBY ACKNOWLEDGE THIS GRADING & DRAINAGE DESIGN AND AGREE TO CONTACT THE PRIVATE DEVELOPMENT ENGINEERING INSPECTOR AT 480-350-8072 FOR A PRE-CONSTRUCTION MEETING. ANY CHANGES TO OR DEVIATIONS FROM THIS PLAN REQUIRE CITY APPROVAL.

OWNER - SIGNATURE & PRINT NAME DATE

APPROVAL FOR DRAINAGE ONLY.

FOR CITY OF TEMPE DATE

LOT COVERAGE	
SQUARE FOOTAGE	SQUARE FOOTAGE - LOT
EX. UNDER ROOF 5800 SF	27,421 SF
NEW GARAGE 1578 SF	
EX. CONCRETE 5198 SF	
NEW CONCRETE 83 SF	
TOTAL	12,957 SF
LOT COVERAGE = 12,957 SF / 27,421 SF = 47.3%	

RETENTION CALCULATIONS	
LOT AREA = 27,421 SF	
C = 0.60*	* USE 0.60 FOR LOTS BETWEEN 12,000 AND 40,000 SF, AND 40% OR MORE LOT COVERAGE.
ROW AREA = 1578 SF	
C = 0.95	

REQUIRED RETENTION:	
$V = \frac{[(0.60)(27,421)](2.2)}{12}$	= 3016 CF FOR LOT
$V = \frac{[(0.95)(1578)](2.2)}{12}$	= 275 CF FOR ROW
TOTAL = 3291 CF	

RETENTION PROVIDED:	
REVISED BASIN A = $((2056+4)/2 SF)(1.0)$	= 1276 CF
NEW BASIN B = $((4369+3142)/2 SF)(0.55)$	= 2066 CF
TOTAL RETENTION PROVIDED =	3342 CF

EXCESS VOLUME = 3342 - 3291 = 51 CF

SITE AND RETENTION PLAN

LOT 6, WINGFOOT  
1225 E. WARNER RD., UNIT 6  
TEMPE, AZ 85284

JOB NO.: 20-04  
DATE: 8/07/2020  
SCALE: 1"=20'  
SHEET: C1 OF 1  
DRAWN BY: J.M.C.S.  
CHECKED BY: P.J.S.  
APPROVED BY: P.J.S.

ROPER ENGINEERING AND  
CONSTRUCTION MANAGEMENT L.L.C.  
3715 N. NEVADA STREET  
CHANDLER, ARIZONA 85225  
PHONE: (480) 813-4764  
EMAIL: roperengineering@cox.net

1225 E. WARNER RD., UNIT 6

EN#

DS#

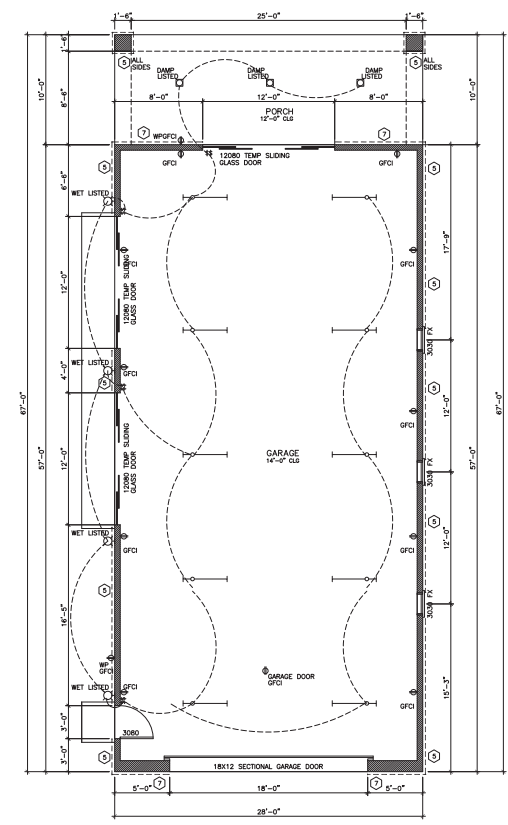
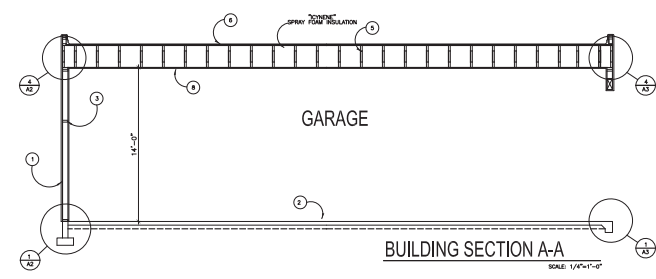
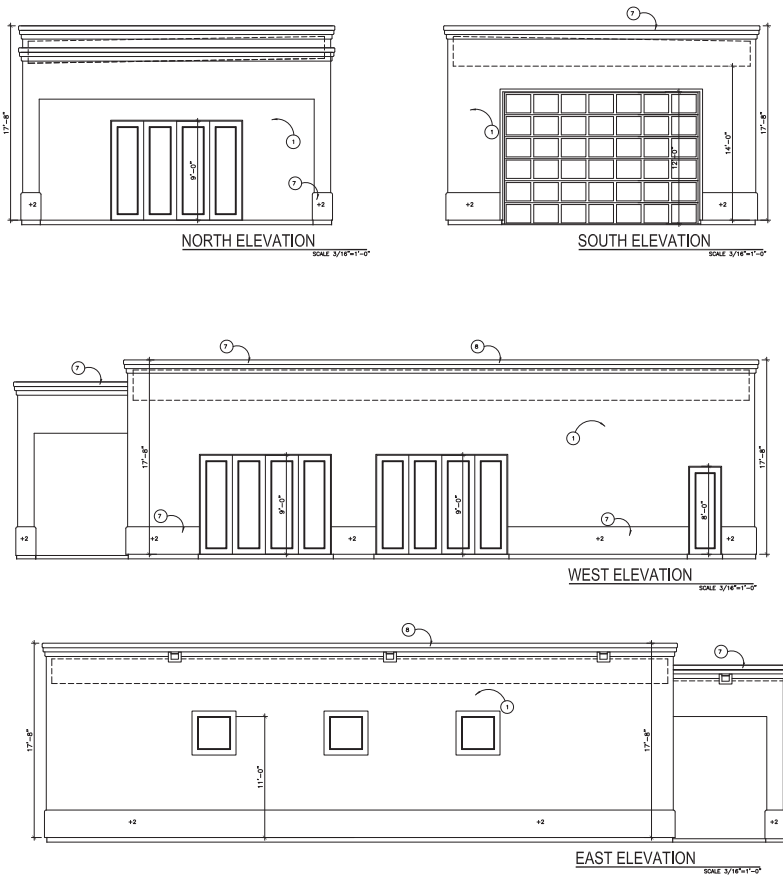


**FIXTURES**

- FLUORESCENT CHANNEL
- BUILD MOUNTED
- RECESSED PANEL RECESSED RECEPTACLE
- RECESSED PANEL RECESSED RECEPTACLE
- SINGLE POLE SWITCH @ 144" U.S.G.
- RECESSED CON.

**FLOOR/ELEVATION/SECTION KEYNOTES:**

- 1) TYPICAL EXTERIOR WALL - BRICK/CMU
- 2) TYPICAL EXTERIOR WALL - BRICK/CMU
- 3) TYPICAL EXTERIOR WALL - BRICK/CMU
- 4) TYPICAL EXTERIOR WALL - BRICK/CMU
- 5) TYPICAL EXTERIOR WALL - BRICK/CMU
- 6) TYPICAL EXTERIOR WALL - BRICK/CMU
- 7) TYPICAL EXTERIOR WALL - BRICK/CMU
- 8) TYPICAL EXTERIOR WALL - BRICK/CMU
- 9) TYPICAL EXTERIOR WALL - BRICK/CMU
- 10) TYPICAL EXTERIOR WALL - BRICK/CMU
- 11) TYPICAL EXTERIOR WALL - BRICK/CMU
- 12) TYPICAL EXTERIOR WALL - BRICK/CMU
- 13) TYPICAL EXTERIOR WALL - BRICK/CMU
- 14) TYPICAL EXTERIOR WALL - BRICK/CMU
- 15) TYPICAL EXTERIOR WALL - BRICK/CMU
- 16) TYPICAL EXTERIOR WALL - BRICK/CMU
- 17) TYPICAL EXTERIOR WALL - BRICK/CMU
- 18) TYPICAL EXTERIOR WALL - BRICK/CMU
- 19) TYPICAL EXTERIOR WALL - BRICK/CMU
- 20) TYPICAL EXTERIOR WALL - BRICK/CMU
- 21) TYPICAL EXTERIOR WALL - BRICK/CMU
- 22) TYPICAL EXTERIOR WALL - BRICK/CMU
- 23) TYPICAL EXTERIOR WALL - BRICK/CMU
- 24) TYPICAL EXTERIOR WALL - BRICK/CMU
- 25) TYPICAL EXTERIOR WALL - BRICK/CMU
- 26) TYPICAL EXTERIOR WALL - BRICK/CMU



**PANEL SCHEDULE**

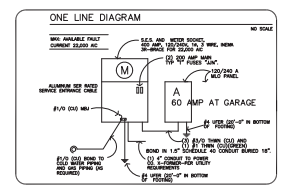
CR	DESCRIPTION	TYPE	CHALLENGER	SURFACE MOUNTED	100/240V 18 2M
1	SWITCH				
2	SWITCH				
3	SWITCH				
4	SWITCH				
5	SWITCH				
6	SWITCH				
7	SWITCH				
8	SWITCH				
9	SWITCH				
10	SWITCH				
11	SWITCH				
12	SWITCH				
13	SWITCH				
14	SWITCH				
15	SWITCH				
16	SWITCH				
17	SWITCH				
18	SWITCH				
19	SWITCH				
20	SWITCH				
21	SWITCH				
22	SWITCH				
23	SWITCH				
24	SWITCH				
25	SWITCH				
26	SWITCH				

**MAIN HOUSE PANEL SCHEDULE**

#	TYPE	CHALLENGER	SURFACE MOUNTED	100/240V 18 2M
1	SWITCH			
2	SWITCH			
3	SWITCH			
4	SWITCH			
5	SWITCH			
6	SWITCH			
7	SWITCH			
8	SWITCH			
9	SWITCH			
10	SWITCH			
11	SWITCH			
12	SWITCH			
13	SWITCH			
14	SWITCH			
15	SWITCH			
16	SWITCH			
17	SWITCH			
18	SWITCH			
19	SWITCH			
20	SWITCH			
21	SWITCH			
22	SWITCH			
23	SWITCH			
24	SWITCH			
25	SWITCH			
26	SWITCH			

**SHEAR WALL SCHEDULE**  
SHEAR ENTIRE EXTERIOR IN ADDITION TO THE FOLLOWING

MARK	MATERIAL	FASTENERS	NAILING	FACES	BLOCKING	SEAL PLATE ATTACHMENT
SW (1)	3/8" PLYWOOD OR OSB	86 COMMON	4" EDGE 12" FIELD	SINGLE	BLOCKED	1/2" A.B. @ 36" O.C.
SW (2)	3/8" PLYWOOD OR OSB	86 COMMON	4" EDGE 12" FIELD	SINGLE	BLOCKED	1/2" A.B. @ 24" O.C.
SW (3)	3/8" PLYWOOD OR OSB	86 COMMON	3" EDGE 12" FIELD	SINGLE	BLOCKED	1/2" A.B. @ 18" O.C.



**MAIN HOUSE ELECTRICAL LOAD CALC**

APN 308-02-006

1225 E WARNER ROAD #6

TEMPE, AZ 85284

DATE: 10/20/2018

TIME: 10:00 AM

PROJECT: 18-001

SCALE: 1/8"=1'-0"

DATE: 10/20/2018

TIME: 10:00 AM

**SHEET INDEX**

A1 FLOOR PLAN  
ELECTRICAL  
ELEVATIONS  
CROSS SECTION

A2 FOUNDATION PLAN  
ROOF FRAMING PLAN

GOVERNING BUILDING CODES: CITY OF TEMPE  
2018 INTERNATIONAL RESIDENTIAL CODE  
2017 NATIONAL ELECTRIC CODE

SOME LINE SECTIONS MAY BE SUBJECT TO THE APPLICABLE  
SPECIAL REQUIREMENTS

**ELECTRICAL LOAD CALC**

APN 308-02-006

1225 E WARNER ROAD #6

TEMPE, AZ 85284

DATE: 10/20/2018

TIME: 10:00 AM

PROJECT: 18-001

SCALE: 1/8"=1'-0"

DATE: 10/20/2018

TIME: 10:00 AM

**LOT 6 WINCFOOT**

APN 308-02-006

ZONING R1-15

1225 E WARNER ROAD #6

TEMPE, AZ 85284

DATE: 10/20/2018

TIME: 10:00 AM

PROJECT: 18-001

SCALE: 1/8"=1'-0"

DATE: 10/20/2018

TIME: 10:00 AM

Sheet A1 Of A2

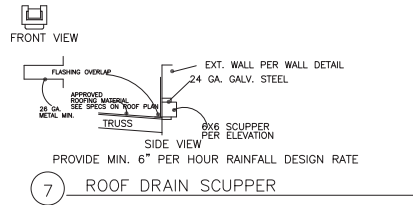
Contact Randy Wroble 602-451-7867

**ATTIC VENTILATION REQUIREMENT**  
 GENERAL METALS T-TOP  
 1876/1200-12.0 SQ. FT. NET FREE AREA  
 PROVIDE 6 T TOPS EACH AT 1.7 SQ FT NFA (1)  
 COMPLY WITH SECTION R 806

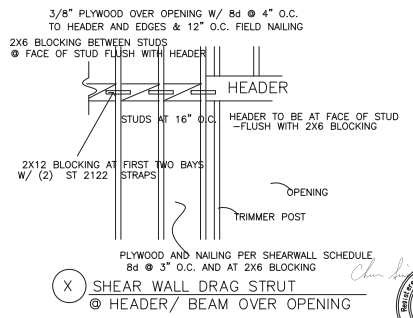
**FOUNDATION NOTES**

1. SOIL BEARING TO BE A MIN. OF 1500 PSI @ 18" BELOW NATURAL GRADE ON ENGINEERS CERTIFIED PAD
2. 20' OF #4 UFER WIRE GROUND TO BE EMBEDDED IN THE FOOTING
3. ALL INTERIOR SLABS TO BE MIN. OF 4" THICKNESS W/ 4" OF ABC MIN. INTERIOR 5 SACK MIX EXTERIOR SLABS TO BE 5" MIN. THICK ON 8" COMPACTED SOIL ZONE. EXTERIOR SLABS 5.5 SACK MIX
4. SLOPE OF EXTERIOR CONCRETE TO BE .25/12" MIN.
5. ANCHOR B'S TO BE 32" O.C. U.N.O. AND AT CORNERS AND BESIDE DOOR OPENINGS PER ENG. REQUIREMENTS
6. CONCRETE TO BE A MIN. 2500 PSI.
7. TOP OF EXTERIOR FOUNDATION SHALL BE +1.12 PLUS 2X ABOVE THE ELEVATION OF THE STREET OUTER OF THE INLET OF AN APPROVED DRAINAGE DEVICE
8. FINISH GRADE SHALL BE A MIN. OF 6" ABOVE ADJACENT GRADE FINISH
9. ALL UNDERSLAB AREAS WITHIN THE PERIPHERY OF THE BUILDING FOUNDATION SHALL BE CHEMICALLY TREATED BY A LICENSED APPLICATOR TO PREVENT THE INFESTATION OF TERMITES AND WITHIN 12" OF EACH SPLICE CORNER AND OPENING. USE A MIN. OF 2 AB'S PER PIECE OF PLATE
11. PROVIDE A LANDING AT ALL EXTERIOR DOORS AT LEAST 36" DEEP.
12. THE GRADE AWAY FROM FOUNDATION WALLS SHALL FALL 4" WITHIN THE FIRST 10 FEET
13. SOLIS SHALL BE CHEMICAL TERMITOCIDE TREATED PRIOR TO CONCRETE PLACEMENT FOR ALL FOR ALL FOUNDATIONS AND SLABS THAT ARE PART OF OR ATTACHED TO A DWELLING
14. THERE SHALL BE A FLOOR OR LANDING ON EACH SIDE OF EACH REQUIRED EXTERIOR DOOR. THE WIDTH OF THE LANDING SHALL NOT BE LESS THAN THE DOOR SERVED WITH A MINIMUM DIMENSION OF 36" MEASURED IN THE DIRECTION OF TRAVEL.

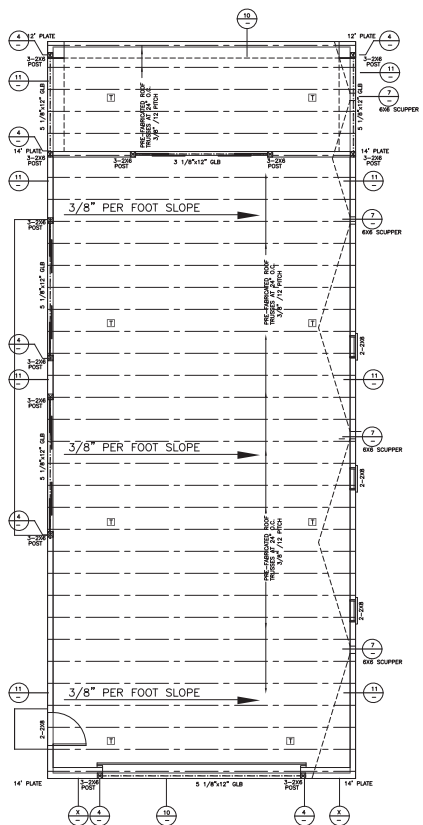
ALL LUMBER MUST BEAR AN APPROVED GRADING STAMP  
 ALL BEAMS, JOISTS AND RAFTERS TO BE #2 AND BETTER OF  
 MANUFACTURE TRUSSES TO RESEMBLE ELEVATIONS  
 FIRE ENGINEERED MFG. TRUSSES @24 O.C.  
 COMMON TRUSSES AT HOUSE  
 USE A 3/8" PER FOOT PITCH  
 REVISE STRUCTURAL ENGINEERING IF ROOF CHANGES  
 AND SUBMIT PLAN CHANGES



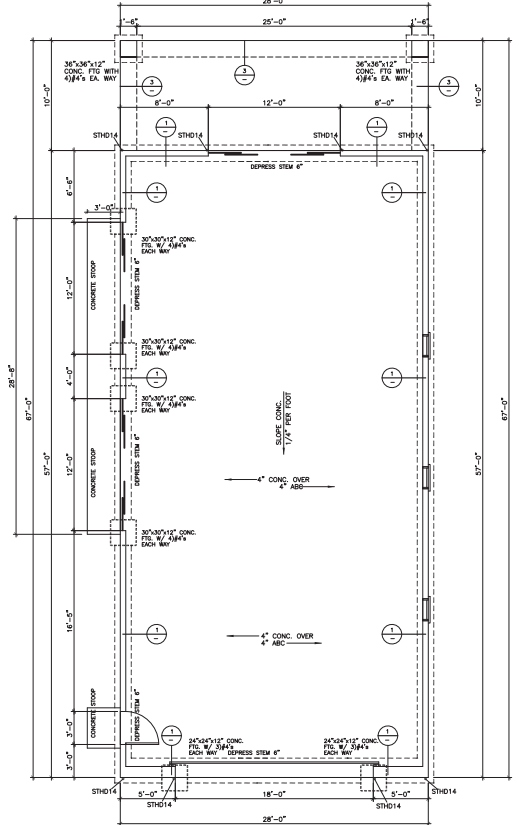
7 ROOF DRAIN SCUPPER



X SHEAR WALL DRAG STRUT @ HEADER/ BEAM OVER OPENING

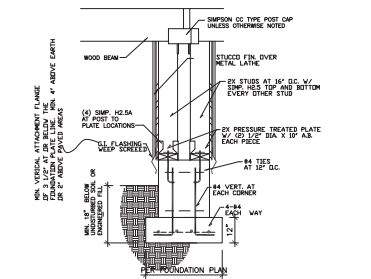


FRAMING PLAN SCALE 1/4\"/>



FOUNDATION PLAN SCALE 3/16\"/>

1 EXT. WALL/STEM AND FTG.



2 FRAMED COLUMN/FTG.

3 SLAB CONDITIONS

4 BEAM / POST CONNECTIONS

10 PARAPET TRUSS/JOIST PARALLEL

11 PARAPET TRUSS/JOIST PREP.

LOT 6 WINGFOOT  
 APN 305-02-006  
 ZONING R1-15  
 1225 E WARNER ROAD #6  
 TEMPE, AZ 85284

Sheet A2 OF A2