

**CITY OF TEMPE  
DEVELOPMENT REVIEW COMMISSION**

**Meeting Date: 12/8/2020  
Agenda Item: 9**

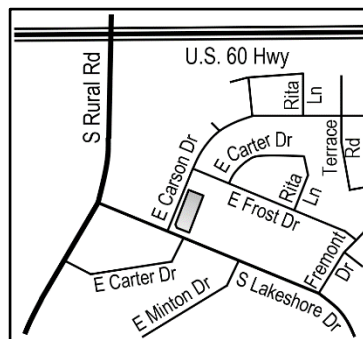
**ACTION:** Request a Use Permit Standard to reduce the minimum parking setback from 20 feet to 18 feet, and a Development Plan Review consisting of a new 7,800 square-foot single-story surgical center for QUANTUM SURGICAL CENTER, located at 4611 South Lakeshore Drive. The applicant is DWL Architects-Planners, Inc.

**FISCAL IMPACT:** There is no fiscal impact on City funds.

**RECOMMENDATION:** Approve, subject to conditions

**BACKGROUND INFORMATION:** QUANTUM SURGICAL CENTER (PL200225) is proposed on the northeast corner of East Carson Drive and South Lakeshore Drive in the PCC-2, Planned Commercial Center General District. The applicant is requesting a Use Permit Standard to reduce the required front parking setback by 10% from 20 feet to 18 feet, and a Development Plan Review to construct a medical office on the last remaining vacant lot of the Lake Country Estates Unit 1 subdivision. The request includes the following:

- ZUP200053 Use Permit to reduce the required front parking setback by 10% from 20 feet to 18 feet.
- DPR200116 Development Plan Review including site plan, building elevations, and landscape plan



Existing Property Owner	Quantum Surgical Centers, LLC
Applicant	Carrie Sheldon, DWL Architects-Planners, Inc.
Zoning District	PCC-2
Gross / Net site area	0.79 acres
Total Building Area	7,800 s.f.
Lot Coverage	23% (50% maximum allowed)
Building Height	26'-6" (40'-0" maximum allowed)
Building Setbacks	96'-5" front, 12'-6" street side, 38'-6" side, 75'-6" rear (0', 0', 30', 30' min.)
Landscape area	22% (15% minimum required)
Vehicle Parking	46 on-site and 3 off-site spaces (49 minimum required, 61 maximum allowed)
Bicycle Parking	2 spaces (2 minimum required)

**ATTACHMENTS:** Development Project File

**STAFF CONTACT(S):** Lee Jimenez, Senior Planner (480) 350-8486

Department Director: Chad Weaver, Community Development Director  
 Legal review by: N/A  
 Prepared by: Lee Jimenez, Senior Planner  
 Reviewed by: Suparna Dasgupta, Principal Planner

## COMMENTS

This site is located between East Frost Drive, South Lakeshore Drive, East Fremont Drive, and East Carson Drive.

Existing entitlements for this property that will remain in effect are: None.

Existing uses on the site include: None.

This request includes the following:

1. Use Permit Standard
2. Development Plan Review which includes: a single-level commercial building with proposed outpatient surgical uses within 7,800 square-feet of building area on 0.79 net acres.

The applicant is requesting the Development Review Commission take action on the items 1 and 2 listed above.

## SITE PLAN REVIEW

This project was processed through two (2) preliminary site plan review (December 11, 2019 and August 12, 2020) and two (2) site plan reviews after a formal application (October 7, 2020 and November 12, 2020). The following items, listed by category, were requested by staff (in *italics*) and addressed by the applicant as follows:

1. Site Plan
  - a. *Planning staff recommended relocating the front parking area to the rear and shifting the building closer to the front for consistency with the other office buildings along South Lakeshore Drive; the applicant prefers keeping the vast majority of the patient parking at the front to separate patient drop-off/pick-up areas from that of doctors and staff.*
  - b. *Planning staff recommended detaching and relocating the pedestrian sidewalk along Lakeshore Drive over the 12-foot wide public utility easement to close the gap between the street tree canopies and the sidewalk; the applicant prefers to maintain consistency with the other office sites along Lakeshore Drive.*
2. Landscape Plan
  - a. *Planning staff recommended planting a narrower tree species within the required land use buffer at the rear of the site; the applicant replaced the proposed Columnar Indian Laurel with Ghost Gum.*
  - b. *Planning staff recommended relocating the electric transformer away from the street and outside of a required landscape island; the applicant relocated the transformer outside of the landscape island within a screened but accessible portion of the site.*
3. Building Elevations
  - a. *Planning staff encouraged the application of materials and finishes that are consistent with the other office buildings located along South Lakeshore Drive; the applicant revised the building design from what was primarily stucco to brick.*

## PUBLIC INPUT

- Neighborhood meeting not required.
- As of the publishing time of this report, no public comments have been received by staff.

## PROJECT ANALYSIS

### CHARACTER AREA PLAN

The project is located within the Kiwanis/The Lakes Character Area Plan and conforms with the following design guidelines and placemaking principles of the character area plan:

- *Livable: Distinguishable architectural variety with materials that enhance the streetscape.*
- *Low Density: Single-level building with 23% lot coverage, less than half the maximum allowed.*
- *Lush: Adding Trees with shade cover along the Carson Dr. and Lakeshore Dr. streetscapes*

- *Walkable/Bikeable: Adequate bicycle parking and convenient pedestrian access. Added sidewalk to connect neighborhood to Lakeshore Dr.*
- *Sustainable: Low-water use landscaping, balanced developed and open space, shade features for windows reducing heat gain and building cooling requirements*
- *Safe: Building design allows for visibility of the street, providing natural surveillance*

## **USE PERMIT STANDARD**

The proposed design requires a Use Permit Standard to reduce the required front parking setback.

Section 6-308(E) Approval criteria for Use Permit (*in italics*):

1. *Any significant increase in vehicular or pedestrian traffic; the proposed parking setback reduction will not increase vehicular or pedestrian traffic.*
2. *Nuisance arising from the emission of odor, dust, gas, noise, vibration, smoke, heat or glare at a level exceeding that of ambient conditions; the proposed parking setback reduction will not generate emissions that would otherwise cause a nuisance to the surrounding area.*
3. *Contribution to the deterioration of the neighborhood or to the downgrading of property values, the proposed use is not in conflict with the goals objectives or policies for rehabilitation, redevelopment or conservation as set forth in the city's adopted plans or General Plan; the proposed parking setback reduction is not in conflict any the City's adopted and plans and is allowed subject to approval of this Use Permit Standard request.*
4. *Compatibility with existing surrounding structures and uses; the proposed parking setback reduction is consistent with commercial properties within the surrounding area.*
5. *Adequate control of disruptive behavior both inside and outside the premises which may create a nuisance to the surrounding area or general public; the proposed setback reduction is not likely to cause any disruptive behavior.*

The manner of conduct and the building for the proposed use will not be detrimental to persons residing or working in the vicinity, to adjacent property, to the neighborhood, or to the public welfare in general, and that the use will be in full conformity to any conditions, requirement or standards prescribed therefore by this code.

## **DEVELOPMENT PLAN REVIEW**

### **Site Plan**

Site ingress and egress is provided by a shared driveway from South Lakeshore Drive, located at the east end of the front of the lot, and a second driveway from East Carson Drive, located at the north end of the street side. Additional access is provided by means of cross-access from the lot directly to the east. A pedestrian connection is provided from the public sidewalk along East Carson Drive. The building is setback 96'-5" from the front property line, 12'-6" from the street side property line, 38'-6" from the side property line, and 75'-6" from the rear property line. Surface parking is provided along the front, side, and rear of the lot with some covered spaces along the rear property line. The main entrance is located at the southeast corner of the building and employee/service entrance doors are located at the rear of the building along the north. Parking screens are provided along the perimeter of parking areas.

### **Building Elevations**

The building consists primarily of 4"x8"x16" structural brick with offset patterns throughout the façade. The main entrance/reception area, located at the southeast corner of the building, consists of pop-out tower element composed of structural steel, metal panels, and glass. provide shade at the entrance. Narrow vertical windows are provided on the east and west elevations and adorned with vertical and horizontal panels for shade. Service entrances are provided at the rear of the building. The emergency power generator and refuse enclosures, and parking screens will be constructed of the same structural brick used for the building. Parking canopies are provided over the parking spaces at the rear, adjacent to the alley.

### **Landscape Plan**

The landscape design provides a tree palette consisting of Mulga and Ghost Gum. The ground cover palette consists of

Candelilla, Giant Hesperaloe, Brakelights Crimson Yucca, Thunder Cloud Texas Sage, Seep Muhly, Regal Mist Deer Grass, Ultra Violet Salvia, Mingenew Gold Outback Sunrise EMU, New Gold Lantana, Purple Trailing Lantana, and Blanca Dwarf Ruellia. A total of thirteen (13) street trees are required and provided. Both driveways will be upgraded with integral colored unit pavers 20'-0" onsite.

Section 6-306(D) Approval criteria for Development Plan Review (*in italics*):

1. *Placement, form, and articulation of buildings and structures provide variety in the streetscape; only one (1) building is proposed but helps add to the existing variety of streetscape since the site has been vacant for quite some time.*
2. *Building design and orientation, together with landscape, combine to mitigate heat gain/retention while providing shade for energy conservation and human comfort; while the vast majority of the building's doors and windows are exposed to the south and west facing sun, each is provided with a shade canopy to help mitigate heat gain/retention. The proposed landscape will help shade the ground and assist with energy conservation and human comfort*
3. *Materials are of a superior quality, providing detail appropriate with their location and function while complementing the surroundings; the proposed materials and finishes are high quality and appropriately complement the surrounding office developments.*
4. *Buildings, structures, and landscape elements are appropriately scaled, relative to the site and surroundings; the proposed building and landscape elements are appropriately scaled to the site and the adjacent office developments.*
5. *Large building masses are sufficiently articulated so as to relieve monotony and create a sense of movement, resulting in a well-defined base and top, featuring an enhanced pedestrian experience at and near street level; the building design provides a generous amount of articulation along the street frontages.*
6. *Building facades provide architectural detail and interest overall with visibility at street level (in particular, special treatment of windows, entries and walkways with particular attention to proportionality, scale, materials, rhythm, etc.) while responding to varying climatic and contextual conditions; the building provides architectural detail and interest by providing a glass tower element on the southeast corner of the building and shade canopies over each window on the east and west elevations.*
7. *Plans take into account pleasant and convenient access to multi-modal transportation options and support the potential for transit patronage; a well-landscaped pedestrian connection is provided from Carson Drive.*
8. *Vehicular circulation is designed to minimize conflicts with pedestrian access and circulation, and with surrounding residential uses; pedestrian access and circulation is adequately delineated from the drive-through and vehicular circulation traffic.*
9. *Plans appropriately integrate Crime Prevention Through Environmental Design principles such as territoriality, natural surveillance, access control, activity support, and maintenance; the plans appropriately integrate CPTED principles by using appropriate landscaping, limiting hiding spaces, and providing natural surveillance from all angles of the site.*
10. *Landscape accents and provides delineation from parking, buildings, driveways and pathways; the proposed landscape design accentuates and delineates the vehicle maneuvering areas from the building, driveway aisles, and parking areas.*
11. *Signs have design, scale, proportion, location and color compatible with the design, colors, orientation and materials of the building or site on which they are located; all proposed signs are shown in concept but will require a separate sign permit review and approval.*
12. *Lighting is compatible with the proposed building(s) and adjoining buildings and uses, and does not create negative effects; the lighting will conform with the standard set forth in Part 4, Chapter 8, Lighting, of the Zoning and Development Code.*

#### **REASONS FOR APPROVAL:**

1. The project meets the General Plan Projected Land Use.
2. The project will meet the development standards required under the Zoning and Development Code.
3. The proposed project meets the approval criteria for a Use Permit Standard and Development Plan Review.

Based on the information provided and the above analysis, staff recommends approval of the requested Use Permit Standard and Development Plan Review. This request meets the required criteria and will conform to the conditions.

## **USE PERMIT STANDARD CONDITIONS OF APPROVAL:**

EACH NUMBERED ITEM IS A CONDITION OF APPROVAL. THE DECISION-MAKING BODY MAY MODIFY, DELETE OR ADD TO THESE CONDITIONS.

1. This Use Permit Standard is valid only after a Building Permit has been obtained, the required inspections have been completed and a Final Inspection has been passed.
2. The Use Permit Standard is valid for the plans as submitted within this application. Any additions or modifications may be submitted for review during the building plan check process.

## **DEVELOPMENT PLAN REVIEW CONDITIONS OF APPROVAL: (Non-standard conditions are identified in bold)**

EACH NUMBERED ITEM IS A CONDITION OF APPROVAL. THE DECISION-MAKING BODY MAY MODIFY, DELETE OR ADD TO THESE CONDITIONS.

### **General**

1. Except as modified by conditions, development shall be in substantial conformance with the site plan and building elevations dated November 2, 2020 and landscape plan dated September 28, 2020. Minor modifications may be reviewed through the plan check process of construction documents; major modifications will require submittal of a Development Plan Review.

### **Site Plan**

2. Provide service yard and mechanical (cooling tower/generator) yard walls that are at least 8'-0" tall as measured from adjacent grade or are at least the height of the equipment being enclosed, whichever is greater. Verify height of equipment and mounting base to ensure that wall height is adequate to fully screen the equipment.
3. Provide gates of steel vertical picket, steel mesh, steel panel or similar construction. Where a gate has a screen function and is completely opaque, provide vision portals for visual surveillance. Provide gates of height that match that of the adjacent enclosure walls. Review gate hardware with Building Safety and Fire staff and design gate to resolve lock and emergency ingress/egress features that may be required.
4. Provide upgraded paving at each driveway consisting of integral colored unit paving. Extend this paving in the driveway from the right-of-way line to 20'-0" on site and from curb to curb at the drive edges. From sidewalk to right-of-way line, extend concrete paving to match sidewalk.
5. Utility equipment boxes for this development shall be finished in a neutral color (subject to utility provider approval) that compliments the coloring of the buildings.
6. Place exterior, freestanding reduced pressure and double check backflow assemblies in pre-manufactured, pre-finished, lockable cages (one assembly per cage). If backflow prevention or similar device is for a 3" or greater water line, delete cage and provide a masonry or concrete screen wall following the requirements of Standard Detail T-214.

### **Building Elevations**

7. The materials and colors are approved as presented:  
Primary Building – 4"x8"x16" Structural Brick – Summit Brick – 50% Inca / 50% Inca Ironspot  
Secondary Building – 4"x8"x16" Brick Projections – Summit Brick – 50% Inca / 50% Inca Ironspot  
Mechanical Screening and Canopy – Vertical Standing Seam Metal – Graphite Mica  
Metal Shade Elements, Mullions, Door Frames – Match Graphite Mica  
Windows - Anodized aluminum frame – Match Graphite Mica  
Glazing – Tinted – Vitro Solarban 90 - Optigray  
Trim - Painted steel – Match Graphite Mica  
Exterior Door Panels – Painted Metal – Sherwin Williams "Rusted Red" #SW7593  
Provide primary building colors and materials with a light reflectance value of 75 percent or less.
8. Shade canopies for parking areas:
  - a. Provide an 8" fascia for the canopy structure.
  - b. Maximum 75% light reflectance value shall also apply to the top of the canopy.
  - c. Relate canopy in color and architectural detailing to the buildings.
  - d. Conceal lighting conduit in the canopy structure and finish conduit to match.

9. If provided, roof access shall be from the interior of the building. Do not expose roof access to public view.
10. Conceal roof drainage system within the interior of the building.
11. Incorporate lighting, address signs, and incidental equipment attachments (alarm klaxons, security cameras, etc.) where exposed into the design of the building elevations. Exposed conduit, piping, or related materials is not permitted.
12. Locate the electrical service entrance section (S.E.S.) inside the building or inside a secure yard that is concealed from public view.

### **Lighting**

13. This project shall follow requirements of ZDC Part 4, Chapter 8, Lighting, unless otherwise conditioned.
14. Illuminate building entrances from dusk to dawn to assist with visual surveillance at these locations.

### **Landscape**

15. Arterial street trees shall be a minimum of 36" box specimens and a minimum of 1 ½" caliper trunk.
16. Irrigation notes:
  - a. Provide pipe distribution system of buried rigid (polyvinylchloride), not flexible (polyethylene). Use of schedule 40 PVC mainline and class 315 PVC ½" feeder line is acceptable. Class 200 PVC feeder line may be used for sizes greater than ½". Provide details of water distribution system.
  - b. Locate valve controller in a vandal resistant housing.
  - c. Hardwire power source to controller (a receptacle connection is not allowed).
  - d. Controller valve wire conduit may be exposed if the controller remains in the mechanical yard.
17. Include requirement to de-compact soil in planting areas on site and in public right of way and remove construction debris from planting areas prior to landscape installation.
18. Top dress planting areas with a rock or decomposed granite application. Provide rock or decomposed granite of 2" uniform thickness. Provide pre-emergence weed control application and do not underlay rock or decomposed granite application with plastic.

### **Building Address**

19. Verify property address and submit a PDF copy of the site plan with unit floor plans for permanent addressing to [permitcenter@tempe.gov](mailto:permitcenter@tempe.gov) prior to submittal of construction documents.
20. Provide address sign(s) on the building elevation facing the street to which the property is identified.
  - a. Conform to the following for building address signs:
    - 1) Provide street number only, not the street name
    - 2) Compose of 12" high, individual mount, metal reverse pan channel characters.
    - 3) Self-illuminated or dedicated light source.
    - 4) On multi-story buildings, locate no higher than the second level.
    - 5) Coordinate address signs with trees, vines, or other landscaping, to avoid any potential visual obstruction.
    - 6) Do not affix numbers or letters to elevation that might be mistaken for the address.
  - b. Utility meters shall utilize a minimum 1" number height in accordance with the applicable electrical code and utility company standards.

### **CODE/ORDINANCE REQUIREMENTS:**

THE BULLETED ITEMS REFER TO EXISTING CODE OR ORDINANCES THAT PLANNING STAFF OBSERVES ARE PERTINENT TO THIS CASE. THE BULLET ITEMS ARE INCLUDED TO ALERT THE DESIGN TEAM AND ASSIST IN OBTAINING A BUILDING PERMIT AND ARE NOT AN EXHAUSTIVE LIST.

### **USE PERMIT:**

- The Use Permit Standard is valid for Quantum Surgical Center and may be transferable to successors in interest through an administrative review with the Community Development Director, or designee.
- The use permit approval shall be void if the use is not commenced or if an application for a building permit has not been submitted, whichever is applicable, within twelve (12) months after the use permit is granted or within the time stipulated by the decision-making body.

- The decision-making body, upon finding that the applicant has not taken corrective actions to resolve issues related to the permit/approval and that a continuation of the permit/approval is not in the interest of the public health, safety and general welfare, can revoke the permit/approval after providing written notice of its intentions to the holder of the permit.
- Any intensification or expansion of use shall require a new Use Permit.

**SITE PLAN REVIEW:** Verify all comments by all departments on each Preliminary Site Plan Review. If questions arise related to specific comments, they should be directed to the appropriate department, and any necessary modifications coordinated with all concerned parties, prior to application for building permit. Construction Documents submitted to the Building Safety Division will be reviewed by planning staff to ensure consistency with this Design Review approval prior to issuance of building permits.

**DEADLINE:** Development plan approval shall be void if the development is not commenced or if an application for a building permit has not been submitted, whichever is applicable, within twelve (12) months after the approval is granted or within the time stipulated by the decision-making body. The period of approval is extended upon the time review limitations set forth for building permit applications, pursuant to Tempe Building Safety Administrative Code, Section 8-104.15. An expiration of the building permit application will result in expiration of the development plan.

**STANDARD DETAILS:**

- Access to Tempe Supplement to the M.A.G. Uniform Standard Details and Specifications for Public Works Construction, at this link: <http://www.tempe.gov/city-hall/public-works/engineering/standards-details> or purchase book from the Public Works Engineering Division.
- Access to refuse enclosure details DS116 and DS118 and all other Development Services forms at this link: <http://www.tempe.gov/city-hall/community-development/building-safety/applications-forms>. The enclosure details are under Civil Engineering & Right of Way.

**BASIS OF BUILDING HEIGHT:** Measure height of buildings from top of curb at a point adjacent to the center of the front property line.

**PUBLIC ART:** Provide public art for this development in conformance with the Art in Private Development Ordinance and ZDC Sec. 4-407 and ZDC Appendix D. Contact the Community Services Cultural Services Division regarding implementation of this requirement prior to receiving building permits.

**WATER CONSERVATION:** Under an agreement between the City of Tempe and the State of Arizona, Water Conservation Reports are required for landscape and domestic water use for the non-residential components of this project. Have the landscape architect and mechanical engineer prepare reports and submit them with the construction drawings during the building plan check process. Report example is contained in Office Procedure Directive # 59. Refer to this link: <http://www.tempe.gov/home/showdocument?id=5327>. Contact the Public Works Department, Water Conservation Division with questions regarding the purpose or content of the water conservation reports.

**HISTORIC PRESERVATION:** State and federal laws apply to the discovery of features or artifacts during site excavation (typically, the discovery of human or associated funerary remains). Contact the Historic Preservation Officer with general questions. Where a discovery is made, contact the Arizona State Historical Museum for removal and repatriation of the items.

**POLICE DEPARTMENT SECURITY REQUIREMENTS:**

- Refer to Tempe City Code Section 26-70 Security Plans.
- Design building entrance(s) to maximize visual surveillance of vicinity. Limit height of walls or landscape materials, and design columns or corners to discourage ambush.
- Maintain distances of 20'-0" or greater between a pedestrian path of travel and any hidden area to allow for increased reaction time and safety.
- Follow the design guidelines listed under appendix A of the Zoning and Development Code. In particular, reference the CPTED principal listed under A-II Building Design Guidelines (C) as it relates to the location of pedestrian

environments and places of concealment.

- Provide a security vision panel at service and exit doors (except to rarely accessed equipment rooms) with a 3" wide high strength plastic or laminated glass window, located between 43" and 66" from the bottom edge of the door.

#### TRAFFIC ENGINEERING:

- Provide 8'-0" wide public sidewalk along arterial roadways, or as required by Traffic Engineering Design Criteria and Standard Details.
- Construct driveways in public right of way in conformance with Standard Detail T-320. Alternatively, the installation of driveways with return type curbs as indicated, similar to Standard Detail T-319, requires permission of Public Works, Traffic Engineering.
- Correctly indicate clear vision triangles at both driveways on the site and landscape plans. Identify speed limits for adjacent streets at the site frontages. Begin sight triangle in driveways at point 15'-0" in back of face of curb. Consult Intersection Sight Distance memo, available from Traffic Engineering if needed [www.tempe.gov/index.aspx?page=801](http://www.tempe.gov/index.aspx?page=801). Do not locate site furnishings, screen walls or other visual obstructions over 2'-0" tall (except canopy trees are allowed) within each clear vision triangle.

#### FIRE:

- Clearly define the fire lanes. Ensure that there is at least a 20'-0" horizontal width, and a 14'-0" vertical clearance from the fire lane surface to the underside of tree canopies or overhead structures. Layout and details of fire lanes are subject to Fire Department approval.
- Provide a fire command room(s) on the ground floor of the building(s). Verify size and location with Fire Department.

#### CIVIL ENGINEERING:

- An Encroachment Permit or License Agreement must be obtained from the City for any projections into the right of way or crossing of a public utility easement, prior to submittal of construction documents for building permit.
- Maintain a minimum clear distance of twenty-four (24) feet between the sidewalk level and any overhead structure.
- Any new or existing overhead utilities (if any) on or adjacent to site must be placed underground, including street crossings, per City of Tempe Code, Section 25-120 thru 25-126 & Ord # 88.85 except for transmission lines (greater than 12.5kv).
- Coordinate site layout with Utility provider(s) to provide adequate access easement(s).
- Clearly indicate property lines, the dimensional relation of the buildings to the property lines and the separation of the buildings from each other.
- Verify location of any easements, or property restrictions, to ensure no conflict exists with the site layout or foundation design.
- 100-year onsite retention required for this property, coordinate design with requirements of the Engineering Department.

#### SOLID WASTE SERVICES:

- Enclosure indicated on site plan is exclusively for refuse. Construct walls, pad and bollards in conformance with standard detail DS-116 or DS-118.
- Contact the Solid Waste Division to verify that vehicle maneuvering and access to the enclosure is adequate. Refuse staging and collection must be on site; no backing onto or off of streets, alleys or paths of circulation.
- Develop strategy for recycling collection and pick-up from site. Roll-outs may be allowed for recycled materials. Coordinate storage area for recycling containers with overall site and landscape layout.
- Gates for refuse enclosure(s) are not required, unless visible from the street. If gates are provided, the property manager must arrange for gates to be open from 6:00am to 4:30pm on collection days.

#### PARKING SPACES:

- Verify conformance of accessible vehicle parking to the Americans with Disabilities Act and the Code of Federal Regulations Implementing the Act. Refer to Building Safety ADA Accessible Parking Spaces Marking/Signage on Private Development details.



- At parking areas, provide demarcated accessible aisle for disabled parking.
- Distribute bike parking areas nearest to main entrance(s). Provide parking loop/rack per standard detail T-578. Provide 2'-0" by 6'-0" individual bicycle parking spaces. One loop may be used to separate two bike parking spaces. Provide clearance between bike spaces and adjacent walkway to allow bike maneuvering in and out of space without interfering with pedestrians, landscape materials or vehicles nearby.

**ZONING AND DEVELOPMENT CODE:**

- Specific requirements of the **Zoning and Development Code (ZDC)** are not listed as a condition of approval, but will apply to any application. To avoid unnecessary review time and reduce the potential for multiple plan check submittals, become familiar with the ZDC. Access the ZDC through [www.tempe.gov/zoning](http://www.tempe.gov/zoning) or purchase from Community Development.

**LIGHTING:**

- Design site security light in accordance with requirements of ZDC Part 4 Chapter 8 (Lighting) and ZDC Appendix E (Photometric Plan).
- Indicate the location of all exterior light fixtures on the site, landscape and photometric plans. Avoid conflicts between lights and trees or other site features in order to maintain illumination levels for exterior lighting.

**LANDSCAPE:**

- Trees shall be planted a minimum of 16'-0" from any existing or proposed public utility lines. The tree planting separation requirements may be reduced to no less than 8'-0" from utility lines upon the installation of a linear root barrier. Per Detail T-460, the root barrier shall be a continuous material, a minimum of 0.08" thick, installed to a minimum depth of 4'-0" below grade. The root barrier shall extend 6'-0" on either side of the tree parallel to the utility line for a minimum length of 12'-0". Final approval is subject to determination by the Public Works, Water Utilities Division.
- Prepare an existing plant inventory for the site and adjacent street frontages. The inventory may be prepared by the Landscape Architect or a plant salvage specialist. Note original locations and species of native and "protected" trees and other plants on site. Move, preserve in place, or demolish native or "protected" trees and plants per State of Arizona Agricultural Department standards. File Notice of Intent to Clear Land with the Agricultural Department. Notice of Intent to Clear Land form is available at <https://agriculture.az.gov/plantsproduce/native-plants>. Follow the link to "applications to move a native plant" to "notice of intent to clear land".

**SIGNS:** Separate plan review process is required for signs in accordance with requirements of ZDC Part 4 Chapter 9 (Signs). Refer to [www.tempe.gov/signs](http://www.tempe.gov/signs).

**DUST CONTROL:** Any operation capable of generating dust, include, but not limited to, land clearing, earth moving, excavating, construction, demolition and other similar operations, that disturbs 0.10 acres (4,356 square feet) or more shall require a dust control permit from the Maricopa County Air Quality Department (MCAQD). Contact MCAQD at <http://www.maricopa.gov/aq/>.

**HISTORY & FACTS:**

July 1, 1983	City Council approved an Amended General and Final Plan of Development for Lake Country Plaza Tract "C", located at 4611 South Lakeshore Drive in the PCC-2 zoning district.
September 19, 1984	Design Review Board approved building elevations, site, and landscape plans for Randall Plaza, located at 4611 South Lakeshore Drive in the PCC-2 zoning district. (DR-84.162)
December 20, 1984	City Council approved the Final Plan of Development for Randall Plaza consisting of 8,978 s.f. on 0.68 acres and located at 4611 South Lakeshore Drive in the PCC-2 zoning district. (S-84.94)
March 5, 1986	Design Review Board approved building elevations, site, and landscape plans for Randall Plaza, located at 4611 South Lakeshore Drive in the PCC-2 zoning district. (DR-86.47)

January 6, 1999	Design Review Board approved site plan and building elevations, and continued the landscape plan for Kalaf Office Building located at 4611 South Lakeshore Drive in the PCC-2 zoning district. (DRB99366)
July 7, 1999	Design Review Board approved the landscape plan for Kalaf Office Building located at 4600 South Lakeshore Drive in the PCC-2 zoning district.
December 15, 1999	Design Review Board approved the building elevations, site plan and landscape plan for Lakeshore Plaza Building located at 4611 South Lakeshore Drive in the PCC-2 zoning district.
February 17, 2000	City Council approved a Final Plan of Development for Lakeshore Plaza Office Building consisting of 9,300 s.f. on 0.789 net acres located at 4611 South Lakeshore Drive in the PCC-2 zoning district. (SFP-2000.10 / CC000007)
May 2, 2000	Hearing Officer approved variance to reduce the required length of the on-site driveway off Carson Drive from 20' to 17'-9" for Kalaf Properties, located at 4611 South Lakeshore Drive in the PC-2, Planned Commercial Center District. (BA000106)
July 8, 2008	Development Review Commission approved two (2) Use Permit Standards to reduce the required side yard setback from 30 feet to 27 feet and to increase the maximum building height from 40 feet to 47 feet, and a Development Plan Review consisting of a three-story building with approximately 18,928 of office space above 9,230 of first floor parking and lobby on 0.79 net acres for Lakeshore Office Plaza located at 4611 South Lakeshore Drive in the PCC-2 zoning district. (PL070461)

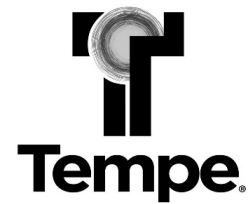
**ZONING AND DEVELOPMENT CODE REFERENCE:**

[Section 4-201\(A\), Use Permit Standard](#)

[Section 4-203, Development Standards for Commercial and Mixed-Use Districts](#)

[Section 6-306, Development Plan Review](#)

[Section 6-308, Use Permit](#)



# DEVELOPMENT PROJECT FILE

for

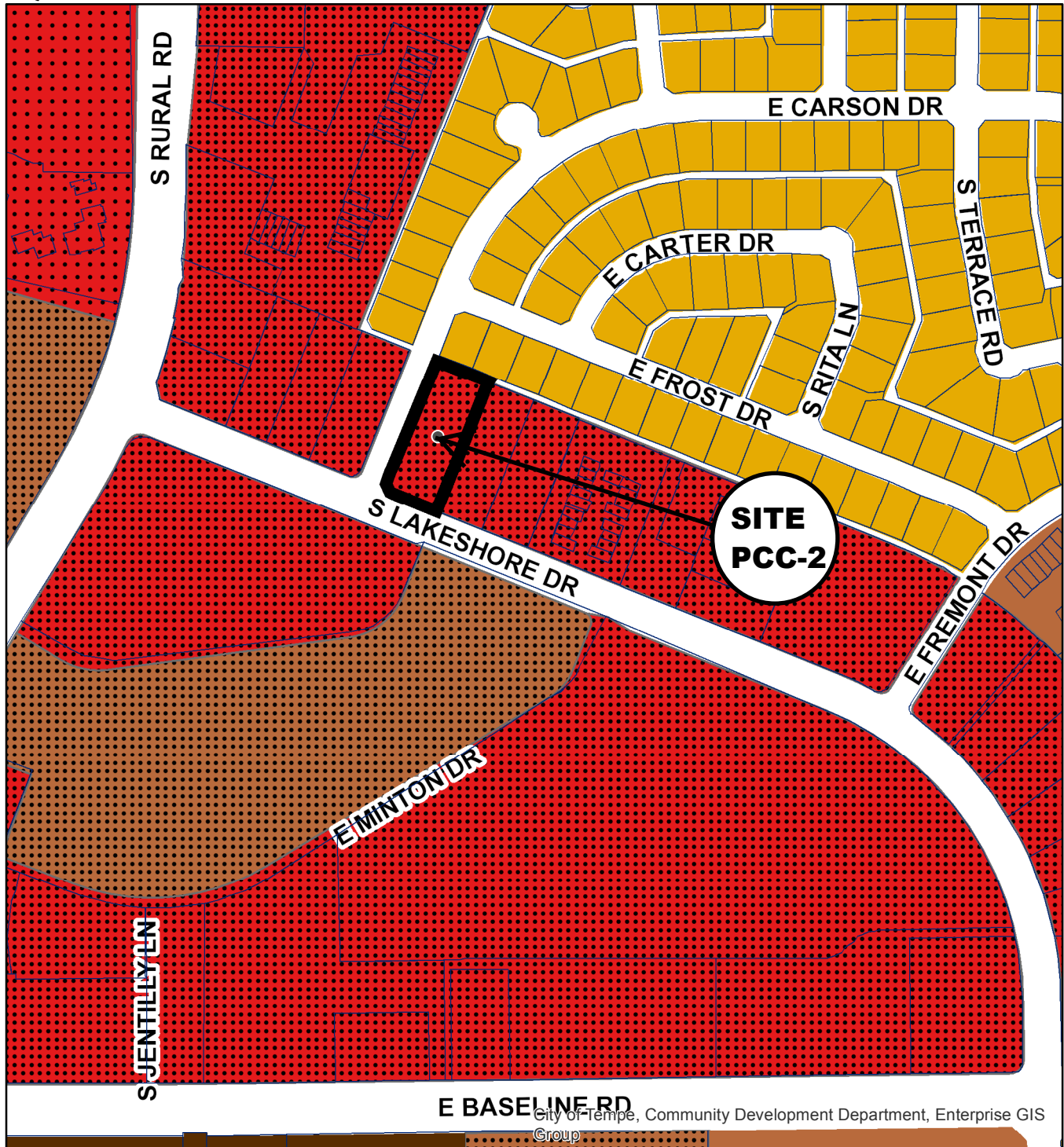
## QUANTUM SURGICAL CENTER (PL200225)

### ATTACHMENTS:







- 1-11. Site Context (Location Map, Aerial and Aerial with Site Plan Overlay, Site Photos)
- 12-17. Applicant's Letter of Explanation
- 18-21. Site Design (Site Plan, Landscape Plan, Preliminary Underground Utility Plan, and Preliminary Grading & Drainage Plan)
- 22-27. Building Design (Blackline Elevations, Color Elevations, Sections, Renderings, Material Samples, and Floor Plans)
- 28-39. Supplemental Information (Parking Cross-Access Plan; Declaration of Easements and Covenants, Conditions & Restrictions)

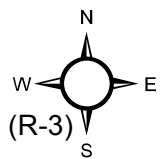
# QUANTUM SURGICAL CENTER

PL200225



City of Tempe, Community Development Department, Enterprise GIS Group

- |   |  |   |  |
|---|--|---|--|
|  | Planned Commercial Center Neighborhood (PCC-1) |  | Multi-Family Residential (R-2)         |
|  | Planned Commercial Center General (PCC-2)      |  | Multi-Family Residential Limited (R-3) |
|  | Single-Family Residential (R1-6)               |  | Multi-Family Residential General (R-4) |



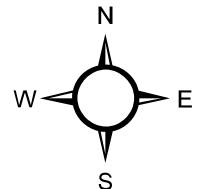
# QUANTUM SURGICAL CENTER

PL200225



City of Tempe

## Aerial Map



11/25/2020 1:59:54 PM



**CONTEXTUAL AERIAL MAP WITH SITE PLAN OVERLAY**  
1" = 20'-0"



**DWL**  
ARCHITECTS+

2333 North Central Avenue  
Phoenix Arizona 85004  
602.264.9731  
dwlarchitects.com



**STERLING CM**  
**QUANTUM SURGICAL CENTER**  
4611 S LAKESHORE DR.  
TEMPE, AZ 85282

REVISIONS  
No. Description Date

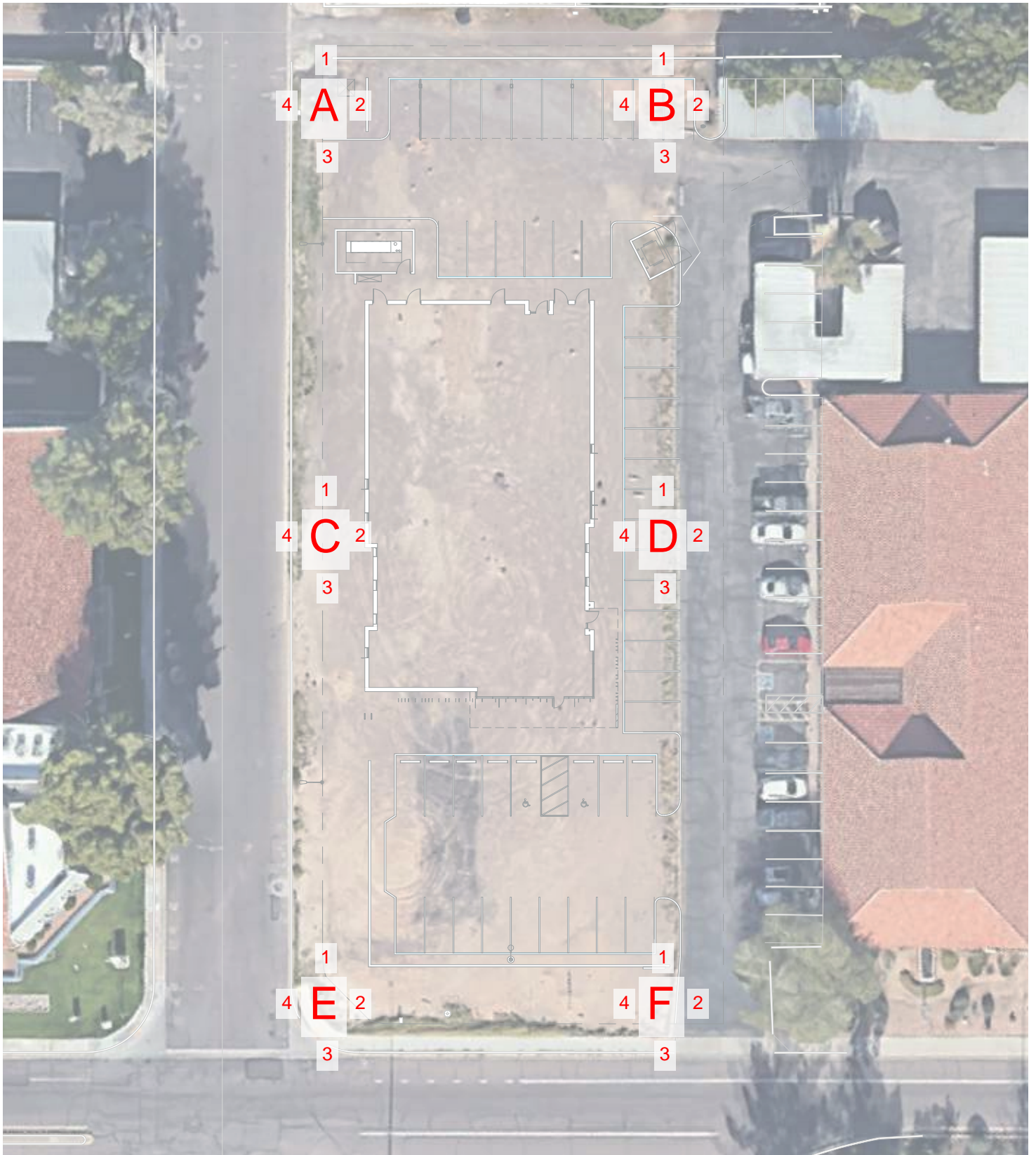
65% SET  
©COPYRIGHT 2015  
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KEY:

SHEET TITLE  
**COLOR AERIAL  
SITE PLAN**

SHEET NUMBER  
**A022**

DRAWN BY: CS	REVIEWED BY: AR
DATE: 11/11/2020	PROJECT NUMBER: 2015.00



SITE PHOTO LOCATIONS

# DWL ARCHITECTS+

DWL PROJECT NUMBER: 2015.00

DATE: 11/02/2020

QUANTUM SURGICAL CENTER

4611 S LAKESHORE DR.  
TEMPE, AZ 85282

A



A1



A2



A3



A4



B



B1



B2



B3



B4

C



C1



C2



C3



C4

D



D1



D2



D3



D4

E



E1



E2



E3



E4

F



F1



F2



F3



F4

G



G1



G2



G3



G4

November 2<sup>nd</sup>, 2020

Mr. Lee Jimenez

Community Development Department – City of Tempe  
31 East 5th Street  
Tempe, Arizona 85281  
Phone: 480-350-8486

Email: Lee\_Jimenez@tempe.gov

RE: PL200225 Formal Application – Major Development Review - Resubmittal

Dear Mr. Jimenez

Please find attached the resubmitted Formal Application for Major Development Review for the Quantum Surgical Center proposed at 4611 S Lakeshore Dr. Tempe, AZ 85282. Included is the Submittal Checklist noting all documents included with this application. This application has been submitted electronically. Pictures of the physical material boards and adjacent property images have been included; the physical boards were delivered to the permit center as part of the previous submission. Also included in this resubmission is a response to the review comments received October 23<sup>rd</sup>, 2020. We have carefully reviewed all of the comments and addressed each one specifically by updating the plans or providing a response clarifying the design intent.

The primary goal is to create a modern state-of-the-art facility for surgical procedures with the design concept of using timeless materials that are honest and durable. The building elevations consist mainly of structural brick, giving a sense of permanence. Bricks are offset in a pattern to break up the monotony of the façade and give a sense of movement that changes throughout the day as shadows are cast by the protruded brick. Structural steel and metal panels create the shade canopy at the entrance and blends into the building signage that will display the name of the surgical center and the logo with backlighting. The building massing and parapet height are appropriately scaled and designed to be proportional to the buildings in the immediate vicinity. The entry is massed proportionally for prominence from the street and for pedestrian and vehicular wayfinding. The offset massing on the roof serves to accent the form of the building and also screen the mechanical units.

The buildings in the vicinity are eclectic with a mix of desert-toned stucco, clay tile, and slump block in the older commercial development to red brick, EIFS, mixed metals, stone, and masonry in the new mixed-use developments. Because of the eclectic materiality within the vicinity and the revitalization of the area, we felt that the timelessness of the red brick would complement both the older and newer buildings and would be a nice transition the scale and materiality to the residential neighborhood.

The development plan will conform to the following standards of Zoning and Development Code Criteria Section 6-306(D) as applicable:

1. Placement, form, and articulation of buildings and structures provide variety in the streetscape in the following ways:
  - The scale and form of the entry lobby signifies entry and helps with wayfinding.
  - The articulation of the protruding bricks allows for shadows to change the building facade throughout the day.
  - The insets on the long east and west sides of the building break up the longer elevations.

2. Building design and orientation, together with landscape, combine to mitigate heat gain/retention while providing shade for energy conservation and human comfort in the following ways:
  - The building canopy and shade fins at the entry provide shading on the large glazed lobby.
  - The back staff/receiving entrance and patient discharge are recessed to provide protection from the elements and intrusion of heat.
  - Punch windows have L-shaped shade fins to shade from direct sun when needed.
  - Trees on the west side help shade the building from the harsh afternoon sun.
  
3. Materials are of superior quality, providing detail appropriate to their location and function while complementing the surroundings in the following ways:
  - Red brick is a timeless material that is durable and relatable to the human scale. Dark steel is used for shade canopies and fins to complement the red brick. Newer developments along Baseline near Lakeshore Dr. (Lake Country Village) utilize a mix red brick and block as a building material with steel accents for fencing, canopies, etc.
  - Adjacent properties utilize the slump block that is common for the surrounding area at the time of development. The brick will be of a similar scale to relate to the adjacent properties.
  - Slump blocks are common for the residential neighborhood directly adjacent on Carson Dr.. The brick acts as a modern transition from the commercial properties on Lakeshore Dr. and into the Residential neighborhood through Carson Dr.
  
4. Buildings, structures, and landscape elements are appropriately scaled, relative to the site and surroundings in the following ways:
  - The main mass of the building is minimized as required for the function of the building.
  - Mechanical unit screen walls on the roof are inset from the perimeter, match the dark steel accents, and act as an architectural feature on the roof
  - The trees are appropriately scaled to provide shade while also complementing the mature landscape of the current Lakeshore streetscape.
  
5. Large building masses are sufficiently articulated so as to relieve monotony and create a sense of movement, resulting in defined base and top, featuring an enhanced pedestrian experience at the street level in the following ways:
  - The building is similar to the size of the adjacent buildings. Given the narrow site, the longest (west) elevation is 116 feet in length and is articulated with an inset.
  - A pattern of protruding bricks will create a sense of movement as the shadows change throughout the day.
  - The entry is identified as a taller mass with glazing to signify the public entrance.
  
6. Building facades provide architectural detail and interest overall with visibility at street level (in particular, special treatment of windows, entries, and walkways with particular attention to proportionality, scale, materials, rhythm, etc.) while responding to varying climatic and contextual conditions in the following ways:
  - All windows have shade treatment that adds interest to the building while serving to protect from glare and heat gain
  - The scale of the entry in proportion to the main building mass is inviting with a canopy that provides protection from the sun/elements.
  - The brick material breaks down the façade elevation to the human scale.



- The protruding brick pattern provides a rhythm across the façade with shadows creating movement.
7. Plans take into account pleasant and convenient access to multi-modal transportation options and support the potential for transit patronage in the following ways:
    - Sidewalks are shaded and provide convenient access from the streetscape.
    - The building is planned to be used as a surgical center, requiring vehicular patient pickup for the safety of patients (required per Arizona Department of Health Services). Transit use will be for planned for staff. A changing area is provided for surgical staff.
    - Spaces requiring higher HVAC loads operationally are located towards the North of the facility.
  8. Vehicular circulation is designed to minimize conflicts with pedestrian access and circulation, and with surrounding residential uses in the following ways:
    - Pedestrian access does not cross vehicular traffic for the convenience and safety of pedestrians
    - A sidewalk will be added to connect the residential neighborhood entering from Carson Dr. to the main Lakeshore dr. street.
  9. Plans appropriately integrate Crime Prevention through Environmental Design principles such as territoriality, natural surveillance, access control, activity support, and maintenance in the following ways:
    - The building will be secured with access control and security cameras
    - The main street frontage and access is visible from the front lobby, allowing for natural surveillance throughout the business day.
  10. Landscape accents and provides delineation from parking, buildings, driveways, and pathways in the following ways:
    - Parking areas have landscape islands at each end of each length of parking spaces.
    - Landscaping adjacent to driveways is appropriate for the location and does not impede on the visibility triangle.
    - The scale of the plantings along the building help translate to the human scale.
  11. Signs have design, scale, proportion, location, and color compatible with the design, colors, orientation, and materials of the building or site on which they are located in the following ways:
    - Building signage matches the materiality and forms of the dark steel accent features of the building.
    - Monument signage ties into the parking screen wall and matches the dark steel accents of the building.
    - The scale is appropriate for the location and type of information displayed.
  12. Lighting is compatible with the proposed building and adjoining buildings and uses, and does not create negative effects in the following ways:
    - A single light pole will be added to the front parking area to provide safe light levels without spilling outside of the property boundaries.
    - Wall mounted lighting on the building will match the materiality of accent features and will be a shape and scale appropriate to complement the brick material.

In addition, the development plan addresses the Plan for Kiwanis / The Lakes Character Area 7 and enhances the unique quality of the area in the following ways:

- Livable: Distinguishable architectural variety with materials that enhance the streetscape.
- Low Density: Single-level building with 23% lot coverage, less than half the maximum allowed.
- Lush: Adding Trees with shade cover along the Carson Dr. and Lakeshore Dr. streetscapes
- Walkable/Bikeable: Adequate bicycle parking and convenient pedestrian access. Added sidewalk to connect neighborhood to Lakeshore Dr.
- Sustainable: Low-water use landscaping, balanced developed and open space, shade features for windows reducing heat gain and building cooling requirements
- Safe: Building design allows for visibility of the street, providing natural surveillance

Use Standard Permit:

The facility is an outpatient Ambulatory Surgery Center. The operating hours are similar to adjacent commercial properties of the regular 9-5 operation for staff and patients but may have minor activity after hours for patients who may need to come in early or stay late after a surgery.

The facility houses two (2) operating rooms and can serve approximately 10 surgeries total on a very busy day. The typical staffing proposed is 4 full-time employees with each surgeon bringing in their own assisting staff for each surgery. This approximates to 10 staff during the busiest part of the day. Patient traffic is intermittent and scheduled. The facility may accommodate approximately 20 (patients and family combined) guests on a busy day.

The requested set back change only applies to the South Lakeshore drive and is to make certain that public parking areas have sufficient maneuvering clearance and comfortable drive aisles.

The proposed design conforms to the standards and Zoning and Development Code Criteria Section 6-308(E) as applicable below:

- a. The proposed use does not significantly increase vehicular or pedestrian traffic in adjacent areas.
- b. This criterion is not applicable to the proposed facility and use. All operational activity is indoors and does not cause nuisance arising from emission of odor, dust, gas, noise, vibration, smoke, heat or glare at a level exceeding that of ambient conditions.
- c. The use is believed to increase the value of the property and its surrounding areas by bringing in high-paying jobs
- d. The facility is compatible with surrounding structures and uses; and
- e. This criterion is not applicable to the proposed facility and use. The facility will be secured after business hours with security cameras and card access. There will be adequate illumination of the premises to meet city requirements.

Sincerely,

**DWL ARCHITECTS + PLANNERS, INC.**



Peter Pascu, AIA  
Executive Vice President

Exhibits:

Existing site:

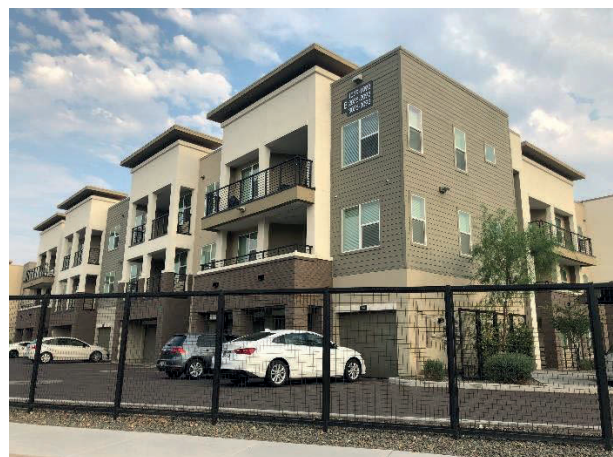


Proposed:



Vicinity images:

Lakeshore Dr.



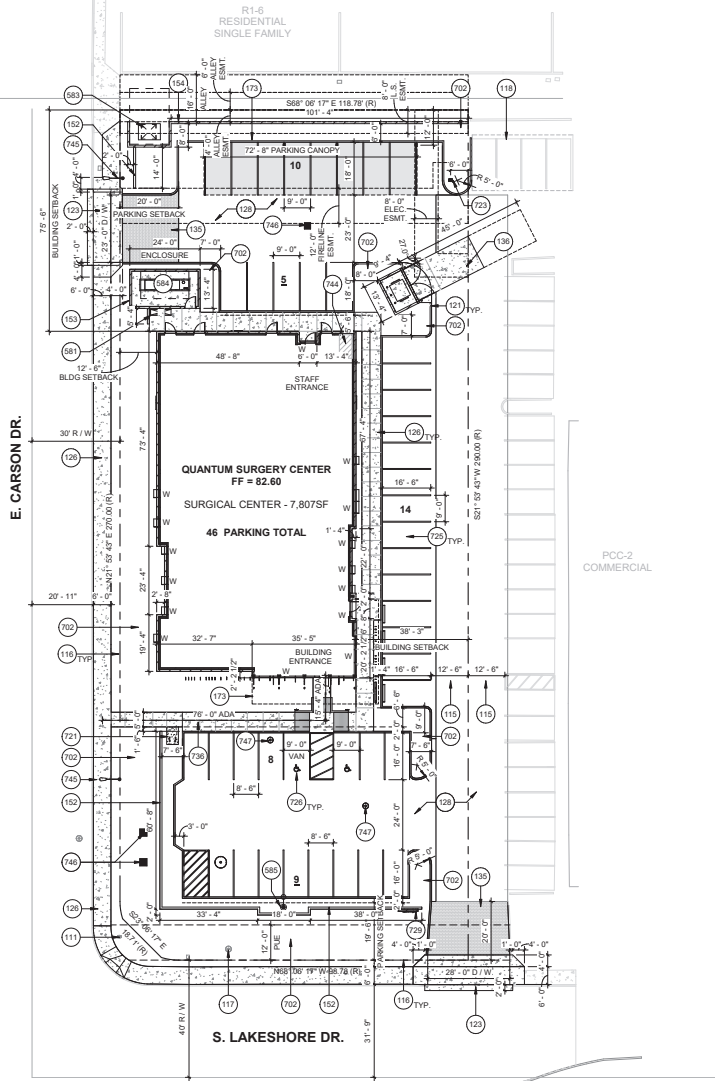
SW corner Rural rd. & Lakeshore dr.



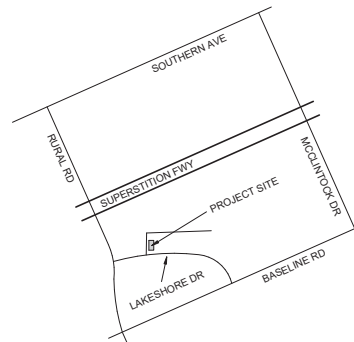
Baseline development:



11/25/2020 2:10:19 PM



**ARCHITECTURAL SITE PLAN**  
1" = 20'-0"



**VICINITY MAP**

**KEYNOTE LEGEND**

- 111 PROTECT IN PLACE EXISTING FIRE HYDRANT
- 115 EXISTING NON-EXCLUSIVE EASEMENT
- 116 PROPERTY LINE
- 117 EXISTING SEWER CLEANOUT
- 118 EXISTING PARKING CANOPY ABOVE
- 121 CONCRETE CURB. SEE CIVIL.
- 123 CONCRETE DRIVEWAY AND CURB - TEMPE STANDARD DETAIL T-320
- 126 CONCRETE SIDEWALK. SEE CIVIL AND LANDSCAPE.
- 128 CONCRETE ASPHALT PAVING. SEE CIVIL
- 135 INTEGRALLY COLORED UNIT PAVING
- 136 CONCRETE APRON AT TRASH ENCLOSURE PER TEMPE STANDARD DETAIL DS-118
- 152 STRUCTURAL BRICK SITE WALL WITH 1" OFFSET PATTERN - 3'-0" HEIGHT MIN ABOVE PARKING PAVING
- 153 STRUCTURAL BRICK BLOCK GENERATOR ENCLOSURE WITH 1" OFFSET PATTERN - OPEN AIR - 9'-0" HEIGHT
- 154 STRUCTURAL BRICK - SITE WALL - 8'-0" HEIGHT
- 173 EXTENT OF CANOPY ABOVE.
- 581 SES CABINET
- 583 TRANSFORMER ON CONCRETE PAD
- 584 EMERGENCY GENERATOR IN 9'-0" AFF OPEN AIR ENCLOSURE
- 585 LIGHT POLE
- 702 PLANTING AREA
- 721 BICYCLE RACKS
- 723 FIRE HYDRANT AND FIRE LINE
- 725 PARKING STALLS
- 726 ACCESSIBLE PARKING STALL, SIGN, AND POST
- 729 BACKLIT MONUMENT SIGNAGE
- 736 ACCESSIBLE ROUTE. 5'-0" WIDE MIN
- 744 FIRE RISER ROOM
- 745 STREET LIGHT. TEMPE STANDARD DETAIL T-651
- 746 CATCH BASIN. SEE CIVIL.
- 747 SEWER CLEANOUT. SEE CIVIL.

**PROJECT DATA TABLE:**

**CASE NUMBER:**  
SPR10125  
PL200225

**APPLICANT:**  
CARRIE SHELDON  
DWL ARCHITECTS + PLANNERS  
2333 N CENTRAL AVE.  
PHOENIX, AZ 85004  
602-264-9731  
csheldon@dlwarchitects.com

**PROJECT NAME:**  
QUANTUM SURGICAL CENTER  
4611 S. LAKESHORE DR.  
TEMPE, AZ 85282

**PARCEL 133-38-005G:**  
GROSS AREA - 34,331 SF (0.7881 AC)  
NET AREA - 34,331 SF (0.7881 AC)

**SCOPE:**  
SINGLE-STORY SURGICAL CENTER (7,807SF)

**ZONING DISTRICT:**  
PCC-2

**GENERAL PLAN PROJECTED LAND USE:**  
MIXED-USE

**BUILDING AREA:**  
7,800 SF

**LOT COVERAGE:**  
MAXIMUM - 50%  
ACTUAL - 23%  
7,800/34,331 = 22.7

**LANDSCAPE AREA:**  
REQUIRED - 15% MIN  
PROVIDED - 22%  
7,587 / 34,331 = 22  
RIGHT OF WAY - 913 SF

**USE PERMIT STANDARD:**  
STREET SIDE PARKING SETBACK <10%  
REDUCTION FROM 20' - 0" TO 19' - 6" (FRONT)

**HEIGHT OF BUILDING:**  
MAX HEIGHT - 40' - 0"  
ACTUAL HEIGHT - 26' - 6" (MAX) (ABOVE TOP OF CURB AT FRONT OF LOT)

**SETBACKS:**  
REAR MINIMUM - 30' - 0"  
REAR PROVIDED - 75' - 6"  
SIDE MINIMUM - 30' - 0"  
SIDE PROVIDED - 38' - 6"  
STREET SIDE MIN - 0' - 0"  
STREET SIDE PROVIDED CARSON - 12' - 6"  
FRONT MIN - 0' - 0"  
FRONT PROVIDED - 96' - 5"

**STORIES:**  
1

**VEHICLE PARKING:**  
REQUIRED: 49  
PROVIDED: 46

3 ADDITIONAL PROVIDED ON ADJACENT PROPERTY PER CC&R - MCR# 132-29

**CALCULATION:**  
SURGICAL CENTER NET SF: 7,345 SF (CLINIC) 1 PER 150SF = 49

**BICYCLE PARKING:**  
REQUIRED: 2  
PROVIDED: 2

7,345 < 12,000 (CLINIC) - 2 MIN

**TYPE OF CONSTRUCTION:**  
II B

**OCCUPANCY CLASSIFICATION:**  
A-3 (ASSEMBLY - WAITING)  
B (AMBULATORY CARE FACILITY)  
S-1 (MECHANICAL / STORAGE)

**OCCUPANCY LOAD:**  
B OCCUPANCY - 72 PERSONS

**NON-SEPARATED USE**

**FULLY SPRINKLERED**



**REVISIONS**

No.	Description	Date

**65% SET**

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KEY:

**SITE PLAN**

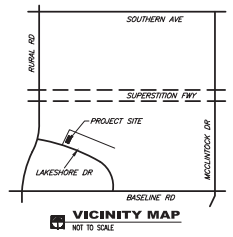
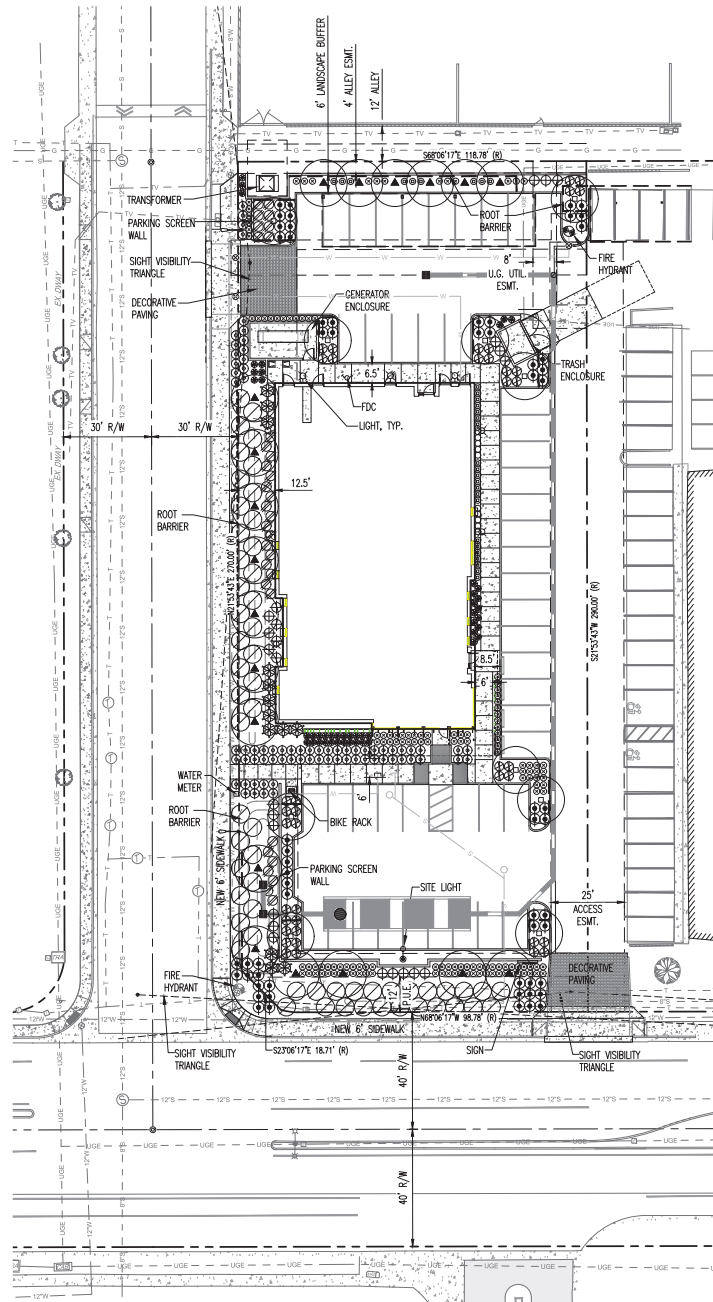
**SHEET NUMBER:**

**A021**

DATE:	PROJECT NUMBER:
11/20/2020	2015.00

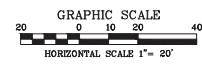
**LANDSCAPE NOTES**

- CONTRACTOR TO OBTAIN PERMITS FROM LOCAL AGENCIES AND UTILITY COMPANIES HAVING JURISDICTION OVER THIS SITE.
- CONTRACTOR TO VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO ANY INSTALLATION.
- CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO INSTALL THE WORK INDICATED ON THE LANDSCAPE DOCUMENTS. HE SHALL BE RESPONSIBLE FOR CAREFUL SITE INSPECTION, DETAILED REVIEW OF THE PLANS, AND COORDINATION WITH OTHER CONTRACTORS ON-SITE PRIOR TO ANY INSTALLATION. ANY DISCREPANCIES SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE OWNER'S AGENT.
- PRIOR TO INITIATING THESE LANDSCAPE IMPROVEMENTS, THE LANDSCAPE CONTRACTOR MUST SCHEDULE A PRE-CONSTRUCTION MEETING ON-SITE WITH THE APPROVAL OF THE OWNER AND THE GENERAL CONTRACTOR. THE OWNER'S REPRESENTATIVE AND/OR THE PROJECT LANDSCAPE ARCHITECT MUST BE PRESENT AT THIS MEETING TO RESOLVE ANY EXISTING SITE CONDITIONS THAT MAY BE IN CONFLICT WITH THE LANDSCAPE DOCUMENTS AND/OR IMPACT THE INSTALLATION OF THE PROPOSED IMPROVEMENTS. THIS MEETING SHOULD OCCUR AT THE COMPLETION OF THE ON-SITE AND OFF-SITE IMPROVEMENTS INCLUDING: ALL UTILITIES AND STREET IMPROVEMENTS.
- DAMAGE TO EXISTING LANDSCAPING, UNDERGROUND UTILITIES, IRRIGATION LINES, ELECTRICAL LINES, ETC. SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE.
- ANY DISCREPANCIES FOUND BETWEEN THE PLANS AND THE SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
- ALL QUANTITIES PROVIDED ARE FOR BIDDING PURPOSES ONLY. LANDSCAPE CONTRACTOR SHALL VERIFY ALL QUANTITIES PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FINISH GRADES IN LANDSCAPED AREAS. CONTRACTOR SHALL DETERMINE WITH THE GENERAL CONTRACTOR THE EXTENT OF ROUGH GRADING AND/OR FINE GRADING TO BE ESTABLISHED BY OTHERS.
- ALL GRADING AND DRAINAGE SHALL BE IN ACCORDANCE WITH THE PLANS PREPARED BY THE PROJECT CIVIL ENGINEER, OR AS DIRECTED BY THE OWNER'S AGENT. PROVIDE POSITIVE DRAINAGE AWAY FROM THE BUILDING(S) IN ALL CONDITIONS. CONTRACTOR TO MEET ALL EXISTING GRADES AT PROJECT BOUNDARIES. FINISH GRADE SHALL BE 3" BELOW THE TOP OF ADJACENT WALKS AND CURBS PRIOR TO RECEIVING MULCH OR CRUSHED GRANITE.
- AREAS OUTSIDE OF THE PROJECT LIMITS AND ANY UNDISTURBED AREAS THAT ARE DAMAGED OR DISTURBED SHALL BE RESTORED TO THE ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL FINE GRADE ENTIRE LANDSCAPED AREA AS REQUIRED FOR INSTALLATION OF PLANTING. ALL GRADES SHALL BE NEAT, RAKED SMOOTH AND BE FREE OF DEBRIS PRIOR TO SUBSTANTIAL COMPLETION.
- PRIOR TO SPREADING MATERIAL GROUNDCOVERS, ADJUST AND COMPACT FINISH GRADES. APPLY WEED PRE-EMERGENT SURFLAN PER MANUFACTURER'S INSTRUCTIONS AND THEN SPREAD DECOMPOSED GRANITE OR MULCH AS INDICATED ON THE PLANS. DECOMPOSED GRANITE SHALL BE RAKED AND WATERED TO SETTLE FINES WITH A MINIMUM FINAL DEPTH OF 2". PROVIDE A SECOND APPLICATION OF THE PRE-EMERGENT SURFLAN AT THE END OF THE MAINTENANCE PERIOD.
- ALL LANDSCAPED AREAS SHALL RECEIVE A 2" TOP DRESSING OF DECOMPOSED GRANITE. PROVIDE A SAMPLE OF SIZE AND COLOR FOR APPROVAL BY OWNER'S AGENT PRIOR TO DELIVERY.
- STAKE LOCATIONS OF ALL TREES FOR APPROVAL PRIOR TO INSTALLATION OF ANY PLANT MATERIAL.
- ALL PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED AS IS TYPICAL FOR THE SPECIES. THEY SHALL HAVE HEALTHY, WELL DEVELOPED ROOT SYSTEM (NOT POT BOUND), A NORMAL HABIT OF GROWTH CONSISTENT WITH INDUSTRY STANDARDS, AND FREE OF ANY BRUISES, CUTS, OR OTHER ABNORMALITIES. PLANT MATERIAL SHALL BE SIZED IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERMEN AND THE ARIZONA NURSEMAN ASSOCIATION.
- BACKFILL MIXTURES, EXCEPT AS NOTED, TO BE COMPRISED OF 75% NATIVE SOIL AND 25% DECOMPOSED GRANULAR BARK MULCH, AND 2 LBS. DISPERSAL PER CUBIC YARD OF BACKFILL.
- ADD AGRI-FORM FERTILIZER TABLETS AT THE FOLLOWING RATES:  
 1 GALLON PLANT - 1 TABLET      15 GALLON PLANT - 4 TABLETS  
 5 GALLON PLANT - 2 TABLET      BOXED TREE - 6 TABLETS (MIN.)  
 TABLETS TO BE PLACED NO DEEPER THAN 6" BELOW SOIL SURFACE.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ALL PLANTS SHOWN ON THE PLANTING PLAN. DO NOT SUBSTITUTE PLANTS BY TYPE OR QUANTITY WITHOUT WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT, OWNER'S AGENT, OR MUNICIPALITY WITH JURISDICTION.
- THE OWNER'S AGENT RESERVES THE RIGHT TO REJECT ANY SELECTION OF PLANT MATERIAL THAT DOES NOT SATISFY THE INTENT OF THE LANDSCAPE DESIGN BASED ON: SIZE, SHAPE, EVIDENCE OF STRESS OR IMPROPER CARE.
- PRIOR TO INITIATING THE 90-DAY MAINTENANCE PERIOD, COMPLETE ANY INITIAL PUNCH LIST ITEMS, THEN OBTAIN APPROVAL FROM OWNER'S AGENT OF SUBSTANTIAL COMPLETION. DETERMINE WITH OWNER'S AGENT THE START DATE FOR THE 90-DAY MAINTENANCE PERIOD. CONTRACTOR TO THEN PERFORM LANDSCAPE MAINTENANCE WHICH INCLUDES WATERING, WEEDING, PRUNING, AND REPLACEMENT OF ANY MATERIAL THAT HAS DIED OR IS SHOWING EVIDENCE OF STRESS. SUBMIT A WRITTEN REQUEST FOR A FINAL PUNCH LIST ONE WEEK PRIOR END OF THE MAINTENANCE PERIOD.
- PROVIDE OWNER WITH A WRITTEN GUARANTEE OF ONE YEAR FOR ALL TREES AND SIX MONTHS FOR ALL OTHER PLANT MATERIAL DATED FROM START OF THE MAINTENANCE PERIOD AGAINST DEFECTS INCLUDING DEATH AND UNSATISFACTORY GROWTH. PROVIDE OWNER WITH WRITTEN INSTRUCTIONS OUTLINING MAINTENANCE PROCEDURES TO BE ADOPTED IN ORDER TO PROTECT GUARANTEE. INCLUDE A SEASONAL WATERING SCHEDULE AND FERTILIZER PROGRAM.



**PLANT SCHEDULE**

SYMBOL	BOTANICAL/Common NAME	SIZE	QTY.	MAT. SIZE H/W	REMARKS
<b>TREES</b>					
○	ACACIA ANEURA MULGA	2" CAL. 36" BOX	10	18x18	STANDARD
△	EUCALYPTUS PAPUANA GHOST GUM	2" CAL. 36" BOX	19	40x20	STANDARD
<b>SHRUBS &amp; ACCENTS</b>					
●	EUPHORBIA ANTISYPHILICA CANDELLULA	5 GAL.	47	2x3	2 GPH EMITTER
★	HESPERALOE FUNIFERA GIANT HESPERALOE	5 GAL.	13	6x5	1 GPH EMITTER
⊕	HESPERALOE PARVIFLORA "BRAKELIGHTS" CRUSON YUCCA	5 GAL.	40	2x2	1 GPH EMITTER
⊕	LEUCOPHYLLUM CANDIDUM "THUNDER CLOUD" THUNDER CLOUD TEXAS	5 GAL.	24	3x3	2 GPH EMITTER
○	MUHLENBERGIA REVERCHONII SEEP MUHLY	5 GAL.	142	2x2	2 GPH EMITTER
⊕	MUHLENBERGIA CAPILLARIS "REGAL MIST" REGAL MIST BEER GRASS	5 GAL.	32	3x3	2 GPH EMITTER
○	SALVIA X "ULTRA VIOLET" ULTRA VIOLET SALVIA	5 GAL.	30	2x2	2 GPH EMITTER
<b>GROUNDCOVER</b>					
○	EREMOPHILA GLABRA "MINGENOW GOLD" OUTBACK SUNRISE EMU	1 GAL.	59	1x6	2 GPH EMITTER
⊕	LANTANA X "NEW GOLD" NEW GOLD LANTANA	1 GAL.	72	2x3	2 GPH EMITTER
⊕	LANTANA MONTEVIDENSIS PURPLE TRAILING LANTANA	1 GAL.	61	2x5	2 GPH EMITTER
○	RUELLIA BRITTONIANA "BLANCA" DWARF RUELLIA	1 GAL.	10	1x2	2 GPH EMITTER
<b>MATERIALS</b>					
---	ROCK PROCS "CARMEL" DECOMPOSED GRANITE	3/4" SCREENED			2" DEPTH ALL LANDSCAPE AREAS
---	ROOT BARRIER	4" DEEP			INSTALL PER COT DETAIL T-460-1
<b>NOTES</b>					
1) TREE HEIGHTS AND CALIPERS WILL COMPLY WITH "ARIZONA NURSERY ASSOCIATION SPECIFICATIONS" FOR THAT TYPE AND SIZE OF TREE.					
2) LANDSCAPE TO BE WATERED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM.					
<b>LANDSCAPE AREA CALCULATIONS</b>					
TOTAL SITE AREA:		34,331 S.F.			
REQUIRED LANDSCAPE AREA (15% MIN.):		5,150 S.F.			
LANDSCAPE PROVIDED ON-SITE:		7,567 S.F. (22%)			
LANDSCAPE IN RIGHT-OF-WAY:		913 S.F.			



**DWL ARCHITECTS+**  
 2333 North Central Avenue  
 Phoenix Arizona 85004  
 602.264.9731  
 dwlarchitects.com



The WLB Group

STERLING CM  
 QUANTUM SURGICAL CENTER  
 4611 S LAKESHORE DR.  
 TEMPE, AZ 85282

**REVISIONS**

No.	Description	Date

**DESIGN REVIEW**

KEY:

--	--

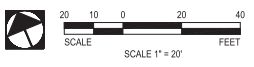
**LANDSCAPE PLAN**

SHEET NUMBER: **L101**

DATE: 09/28/2020 PROJECT NUMBER: 2015.00

DRAWN BY: SP REVIEWED BY: SP



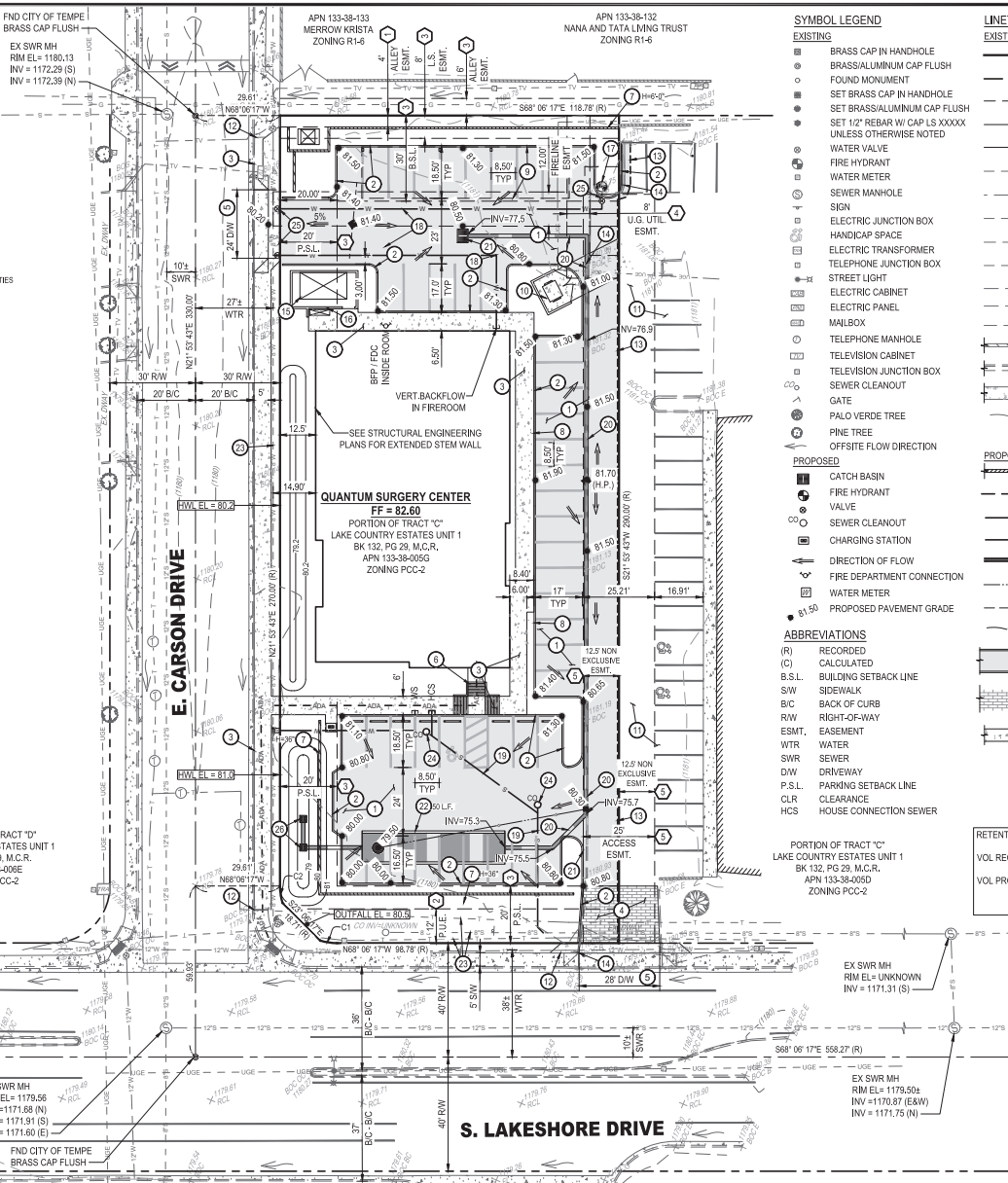


**GENERAL NOTES:**

- |                                       |   |
|---------------------------------------|---|
| 1 ASPHALT                             | 15 EMERGENCY GENERATOR                    |
| 2 CONCRETE CURB                       | 16 SES CABINET                            |
| 3 CONCRETE SIDEWALK                   | 17 FIRE HYDRANT                           |
| 4 PAVERS                              | 18 FIRE LINE                              |
| 5 CONCRETE DRIVEWAY                   | 19 SEWER LINE                             |
| 6 HC RAMP                             | 20 STORM DRAIN PIPE                       |
| 7 SITE WALL                           | 21 CATCH BASIN                            |
| 8 EXTRUDED CURB                       | 22 UNDERGROUND RETENTION PIPE / TANK      |
| 9 PARKING CANOPY                      | 23 CAUTION EXISTING UNDERGROUND UTILITIES |
| 10 TRASH ENCLOSURE                    | 24 SEWER CLEANOUT                         |
| 11 EXISTING ASPHALT (TO REMAIN)       | 25 WATER VALVE                            |
| 12 SAWCUT AND MATCH EXISTING CONCRETE | 26 MAXWELL PLUS DRYWELL                   |
| 13 SAWCUT AND MATCH EXISTING ASPHALT  |   |
| 14 REMOVE EXISTING CONCRETE CURB      |   |

**EASEMENT LEGEND**

- EASEMENTS, COVENANTS, CONDITIONS AND RESTRICTIONS AS SET FORTH ON THE PLAT RECORDED IN BOOK 132 OF MAPS, PAGE 29.
- EASEMENTS FOR THE PURPOSES(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT.  
PURPOSE: PUBLIC UTILITIES  
RECORDING DATE: DECEMBER 05, 1978  
RECORDING NO. DOCKET 13313, PAGE 1350
- REGISTRALS AS SHOWN ON THAT CERTAIN MAP/PLAT  
RECORDING NO. BOOK 150 OF MAPS, PAGE 38  
WHICH AMONG OTHER THINGS RECITES APPROVED GENERAL PLAN OF DEVELOPMENT AND TRAIL PLAN.  
RECORDING NO. BOOK 536 OF MAPS, PAGE 14  
REFERENCE IS HEREBY MADE TO SAID DOCUMENT FOR FULL PARTICULARS.
- EASEMENTS FOR THE PURPOSES(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT.  
PURPOSE: UNDERGROUND ELECTRICAL CONDUCTORS  
RECORDING DATE: FEBRUARY 28, 1995  
RECORDING NO. 95-0106926
- MATTERS CONTAINED IN THAT CERTAIN DOCUMENT  
ENTITLED RECIPROCAL EASEMENT AGREEMENT  
RECORDING DATE: JUNE 08, 2007  
RECORDING NO. 2007-0600279  
REFERENCE IS HEREBY MADE TO SAID DOCUMENT FOR FULL PARTICULARS.



**SYMBOL LEGEND**

- EXISTING**
- BRASS CAP IN HANDHOLE
  - BRASS/ALUMINUM CAP FLUSH
  - FOUND MONUMENT
  - SET BRASS CAP IN HANDHOLE
  - SET BRASS/ALUMINUM CAP FLUSH
  - SET 1/2" REBAR W/ CAP LS XXXXX UNLESS OTHERWISE NOTED
  - WATER VALVE
  - FIRE HYDRANT
  - WATER METER
  - SEWER MANHOLE
  - SEWER SIGN
  - ELECTRIC JUNCTION BOX
  - HANDICAP SPACE
  - ELECTRIC TRANSFORMER
  - TELEPHONE JUNCTION BOX
  - STREET LIGHT
  - ELECTRIC CABINET
  - ELECTRIC PANEL
  - MALBOX
  - TELEPHONE MANHOLE
  - TELEVISION CABINET
  - TELEVISION JUNCTION BOX
  - SEWER CLEANOUT
  - GATE
  - PALO VERDE TREE
  - PINE TREE
  - OFFSITE FLOW DIRECTION
- PROPOSED**
- CATCH BASIN
  - FIRE HYDRANT
  - VALVE
  - SEWER CLEANOUT
  - CHARGING STATION
  - DIRECTION OF FLOW
  - FIRE DEPARTMENT CONNECTION
  - WATER METER
  - PROPOSED PAVEMENT GRADE
- ABBREVIATIONS**
- (R) RECORDED
  - (C) CALCULATED
  - B.S.L. BUILDING SETBACK LINE
  - SWW SIDEWALK
  - B/C BACK OF CURB
  - R/W RIGHT-OF-WAY
  - ESMT. EASEMENT
  - WTR WATER
  - SWR SEWER
  - D/W DRIVEWAY
  - P.S.L. PARKING SETBACK LINE
  - CLR CLEARANCE
  - HCS HOUSE CONNECTION SEWER

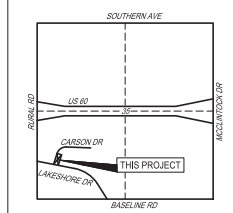
**LINETYPE LEGEND**

- EXISTING**
- PROPERTY LINE
  - RIGHT OF WAY
  - EASEMENT
  - SECTION LINE
  - CENTERLINE
  - EXISTING 8" WATER
  - EXISTING 12" WATER
  - EXISTING 8" SEWER
  - EXISTING 12" SEWER
  - EXISTING UNDERGROUND ELECTRIC
  - EXISTING TELEPHONE
  - EXISTING GAS
  - EXISTING CATV
  - EXISTING CMU WALL
  - EXISTING CURB & GUTTER
  - EXISTING SIDEWALK
  - EXISTING 1" CONTOUR
- PROPOSED**
- FENCE OR RETAINING WALL (CMU)
  - ADA PATH
  - WATER LINE
  - SEWER LINE
  - STORM DRAIN LINE
  - FLOWLINE
  - GRADE BREAK LINE
  - 1" CONTOUR
  - ASPHALT AND CURB
  - PAVERS
  - MULTI-USE PATH / SIDEWALK

**RETENTION DESIGN CRITERIA**

VOL REQUIRED =  $(2.4 \times 12) \times 34,331 \text{ ft}^2 \times (0.05) = 6,523 \text{ ft}^3$

VOL PROVIDED = 2,894  $\text{ft}^3$  (RETENTION BASINS)  
+ 3,629  $\text{ft}^3$  (RETENTION PIPES)  
= 6,519  $\text{ft}^3$  (TOTAL RETENTION)



**VICINITY MAP**  
SCALE: NTS  
SECTION 35 T.1N. R.4E. G. & S.R.B.M.  
MARICOPA COUNTY, ARIZONA

**PROJECT ADDRESS**

4611 SOUTHLAKESHORE DRIVE TEMPE, ARIZONA 85282

**BASIS OF BEARINGS**

THE WEST LINE OF THE SOUTHWEST QUARTER OF SECTION 35 AS SHOWN HEREON AS BEARING N01°00'48"E PER CITY OF TEMPE, ARIZONA SURVEY CONTROL MAP.

**BENCHMARK**

BRASS CAP IN HANDHOLE AT THE INTERSECTION OF S. JENTILLY LANE & E. BASELINE ROAD (SW 1/4 CORNER OF THE SW QUARTER OF SECTION 35) ELEVATION = 1180.00' (CITY OF TEMPE NGVD2011 DATUM)

**SITE PARCEL DATA**

COUNTY: MARICOPA  
APN PARCEL NO.: 133-38-005G  
SITE GROSS AREA: 34,331 S.F., 0.7881 AC±  
SITE NET AREA: 34,331 S.F., 0.7881 AC±

**PROJECT INFORMATION**

PROJECT NAME: QUANTUM SURGERY CENTER  
PROJECT DESCRIPTION: NEWLY ELATED SURGICAL PROCEDURE FACILITY AND OFFICES  
SITE ZONING: PCC-2  
CONSTRUCTION TYPE: I/B  
MIXED OCCUPANCIES: A3 / B  
BUILDING AREA: 8,640 SF

**OWNER/DEVELOPER**

LAKESHORE 4611 LLC  
4611 S LAKESHORE DR  
TEMPE, ARIZONA 85282  
(XXX) XXX-XXXX  
CONTACT: XXXXXXXXXXXXXXXX

**DESIGNER**

THE WLB GROUP INC.  
1600 W. BROADWAY RD, STE. 150  
TEMPE, ARIZONA 85282  
(602) 736-1600  
CONTACT: BRAD JUNKER, P.E.



The WLB Group  
**WLB**  
Engineering & Planning & Surveying  
Landscape Architecture & Urban Design  
Offices located in: Tucson, Phoenix, Flagstaff, and Las Vegas, NV  
1600 W. Broadway Rd., Ste. 150  
Tempe, AZ 85282 PH: (480) 736-1600

NO.	REVISION	BY	DATE
PROJECT	QUANTUM SURGERY CENTER CIVIL ENGINEERING PLANS TEMPE, ARIZONA		

**SHEET TITLE**  
PRELIMINARY  
GRADING & DRAINAGE PLAN

DESIGNED	BY	DATE
DRAWN	GJT	
CHECKED	RAMAD	
PROJECT	GJT/SJ	
	220104001	



SHEET 1 OF 1

DS# XXXXXX EN# XXXXXX 4611 S LAKESHORE DRIVE TEMPE, AZ 85282





**REVISIONS**

No.	Description	Date

**DESIGN REVIEW**

DATE: 11/02/2020 PROJECT NUMBER: 2015.00

REVIEWED BY: AR

DATE: 11/02/2020 PROJECT NUMBER: 2015.00

REVIEWED BY: AR

DATE: 11/02/2020 PROJECT NUMBER: 2015.00

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DATE: 11/02/2020 PROJECT NUMBER: 2015.00

REVIEWED BY: AR

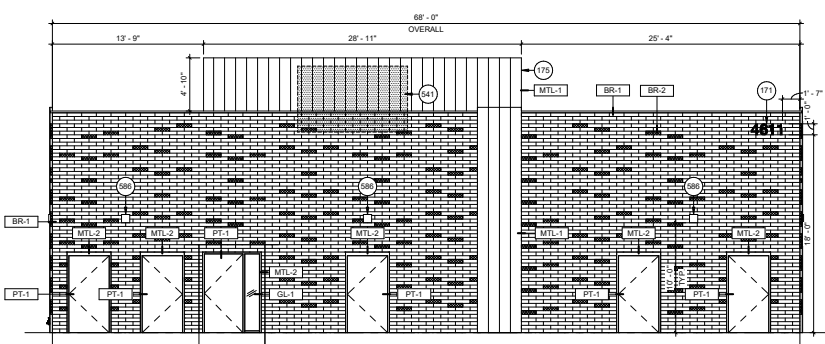
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REVIEWED BY: AR

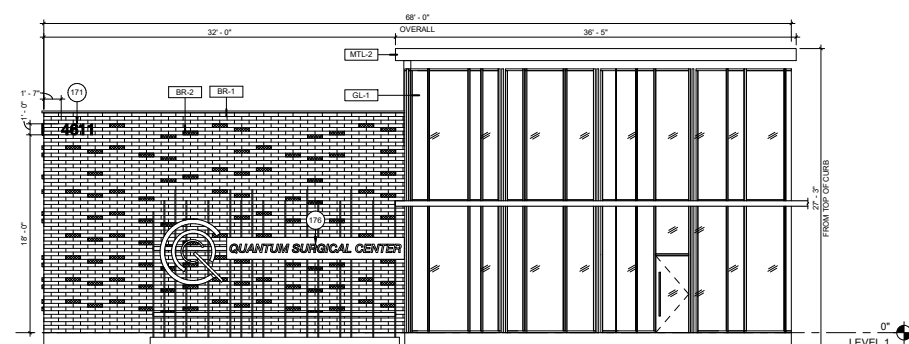
DATE: 11/02/2020 PROJECT NUMBER: 2015.00

REVIEWED BY: AR

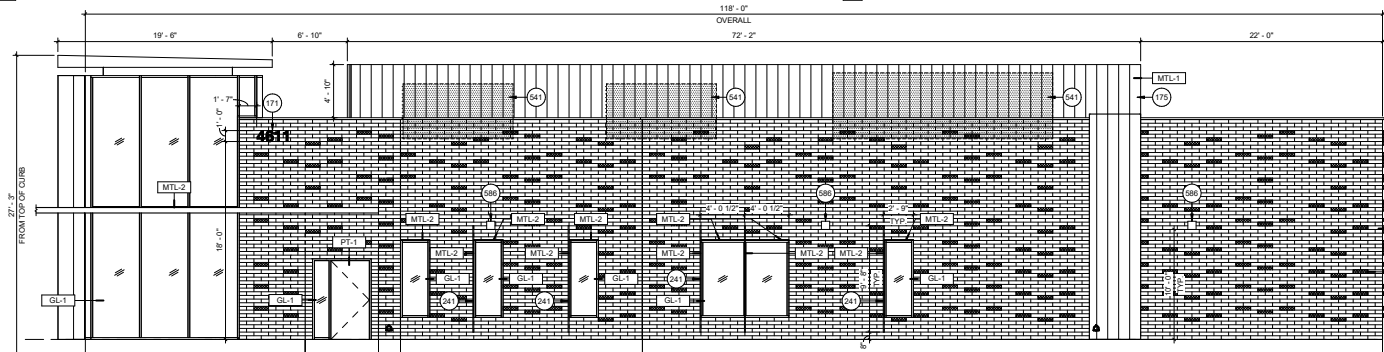
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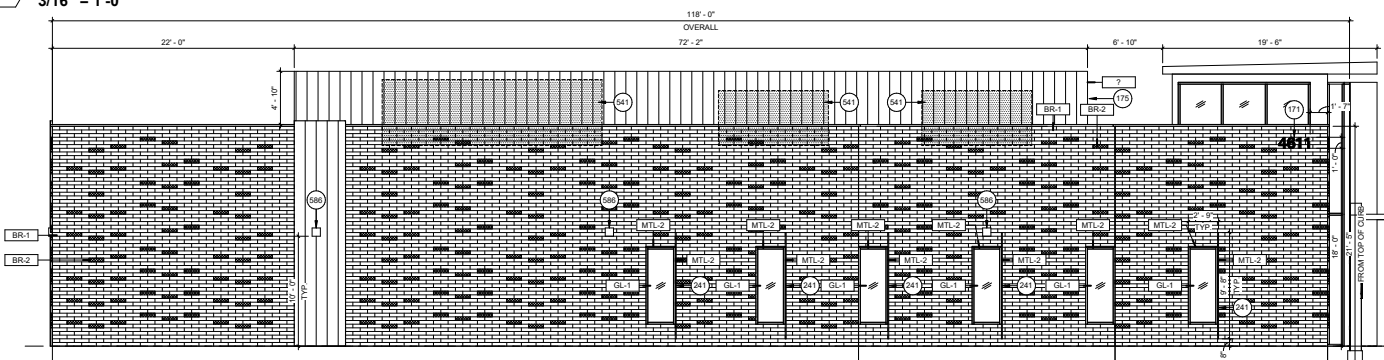
**1 ELEVATION - NORTH**  
3/16" = 1'-0"



**2 ELEVATION - SOUTH**  
3/16" = 1'-0"



**3 ELEVATION - EAST**  
3/16" = 1'-0"



**4 ELEVATION - WEST**  
3/16" = 1'-0"

MATERIALS			
BASIS OF DESIGN			
MARK	DESCRIPTION	MANUF.	COLOR
BR-1	4" x 8" x 16" STRUCTURAL BRICK	SUMMIT BRICK	50% INCA / 50% IRONSPOT
BR-2	4" x 8" x 16" BRICK PROJECTIONS	SUMMIT BRICK	50% INCA / 50% IRONSPOT
GL-1	GLAZING	VITRO SOLARBAN 90	OPTIGRAY
MTL-1	METAL PANEL ROOF, CANOPY, AND SCREEN WALLS	ALUCOBOND	GRAPHITE MICA
MTL-2	METAL SHADE ELEMENTS, MULLIONS, DOOR FRAMES	VARIES	COLOR TO MATCH MTL-1
PT-1	EXTERIOR DOOR PANELS	SHERWIN-WILLIAMS	SW 7593 RUSTIC RED

**KEYNOTE LEGEND**

- 171 BACKLIT BUILDING ADDRESS NUMBERS
- 175 VERTICAL STANDING SEAM METAL MECHANICAL SCREEN WALL
- 176 BACKLIT BUILDING ADDRESS NUMBERS ON VERTICAL 1" THICK STEEL PLATES
- 241 12" DEEP EXTERIOR SUN SHADE DEVICE AT WINDOWS. 1" THICK STEEL PLATE MTL-2 FINISH.
- 541 ROOFTOP MECHANICAL UNIT ON CURB
- 586 WALL MOUNTED LIGHTING FIXTURE

11/2/2020 4:44:20 PM



REVISIONS

No.	Description	Date

DESIGN REVIEW

DATE: 11/02/2020

PROJECT NUMBER: 2015.00

KEYNOTE LEGEND

- 171 BACKLIT BUILDING ADDRESS NUMBERS
- 175 VERTICAL STANDING SEAM METAL MECHANICAL SCREEN WALL
- 176 BACKLIT BUILDING SIGN ON VERTICAL 1" THICK STEEL PLATES
- 241 12" DEEP EXTERIOR SUN SHADE DEVICE AT WINDOWS. 1" THICK STEEL PLATE MTL-2 FINISH.
- 541 ROOFTOP MECHANICAL UNIT ON CURB
- 586 WALL MOUNTED LIGHTING FIXTURE

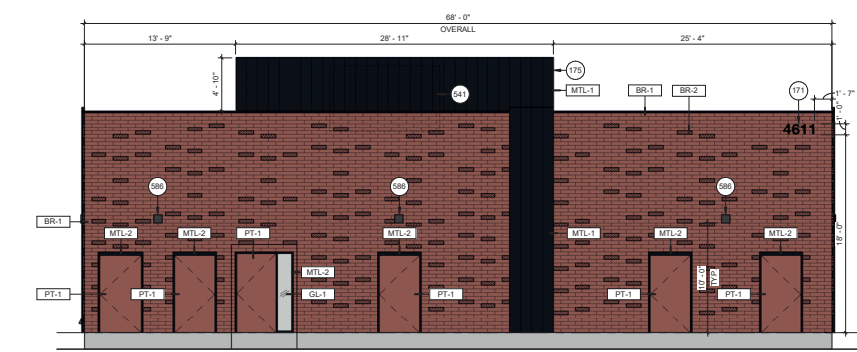
REVISIONS

No.	Description	Date

DESIGN REVIEW

DATE: 11/02/2020

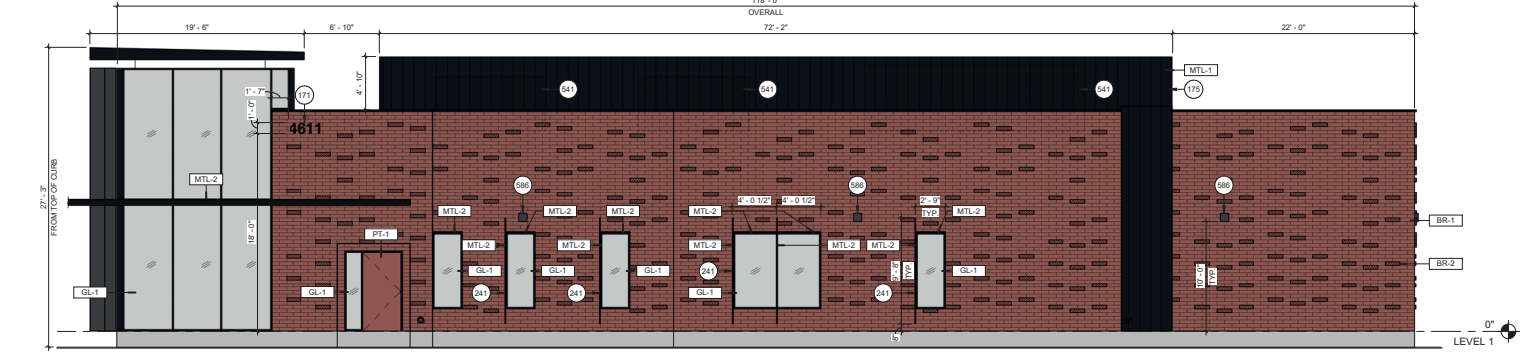
PROJECT NUMBER: 2015.00



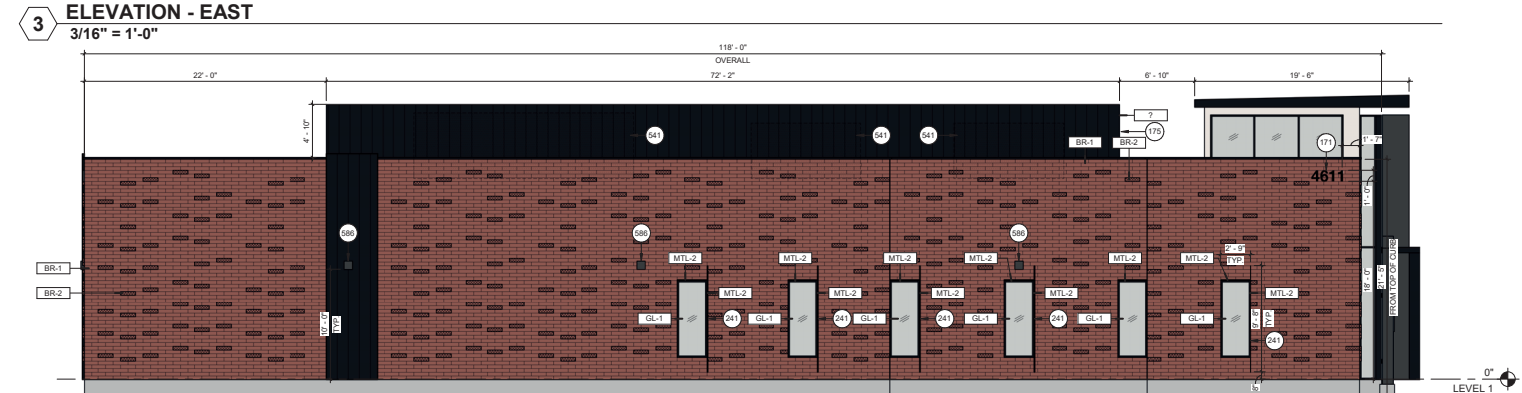
**1 ELEVATION - NORTH**  
3/16" = 1'-0"



**2 ELEVATION - SOUTH**  
3/16" = 1'-0"



**3 ELEVATION - EAST**  
3/16" = 1'-0"



**4 ELEVATION - WEST**  
3/16" = 1'-0"

MATERIALS			
BASIS OF DESIGN			
MARK	DESCRIPTION	MANUF.	COLOR
BR-1	4" x 8" x 16" STRUCTURAL BRICK	SUMMIT BRICK	50% INCA / 50% IRONSPOT
BR-2	4" x 8" x 16" BRICK PROJECTIONS	SUMMIT BRICK	50% INCA / 50% IRONSPOT
GL-1	GLAZING	VITRO SOLARBAN 90	OPTIGRAY
MTL-1	METAL PANEL ROOF, CANOPY, AND SCREEN WALLS	ALUCOBOND	GRAPHITE MICA
MTL-2	METAL SHADE ELEMENTS, MULLIONS, DOOR FRAMES	VARIES	COLOR TO MATCH MTL-1
PT-1	EXTERIOR DOOR PANELS	SHERWIN-WILLIAMS	SW 7593 RUSTIC RED

KEYNOTE LEGEND

- 171 BACKLIT BUILDING ADDRESS NUMBERS
- 175 VERTICAL STANDING SEAM METAL MECHANICAL SCREEN WALL
- 176 BACKLIT BUILDING SIGN ON VERTICAL 1" THICK STEEL PLATES
- 241 12" DEEP EXTERIOR SUN SHADE DEVICE AT WINDOWS. 1" THICK STEEL PLATE MTL-2 FINISH.
- 541 ROOFTOP MECHANICAL UNIT ON CURB
- 586 WALL MOUNTED LIGHTING FIXTURE



REVISIONS

No.	Description	Date

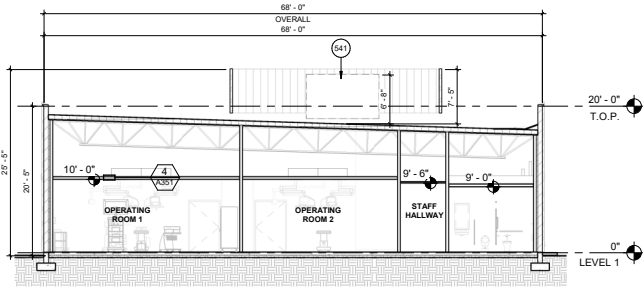
DESIGN REVIEW

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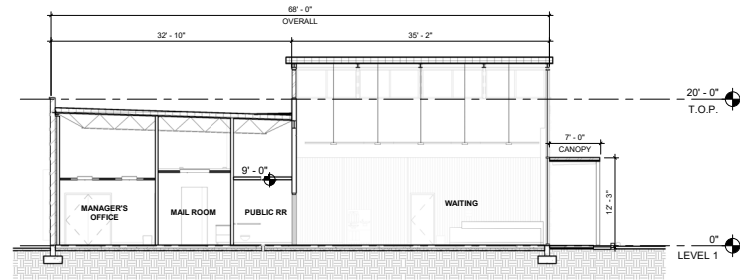
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**BUILDING SECTIONS**

SHEET NUMBER  
**A500**

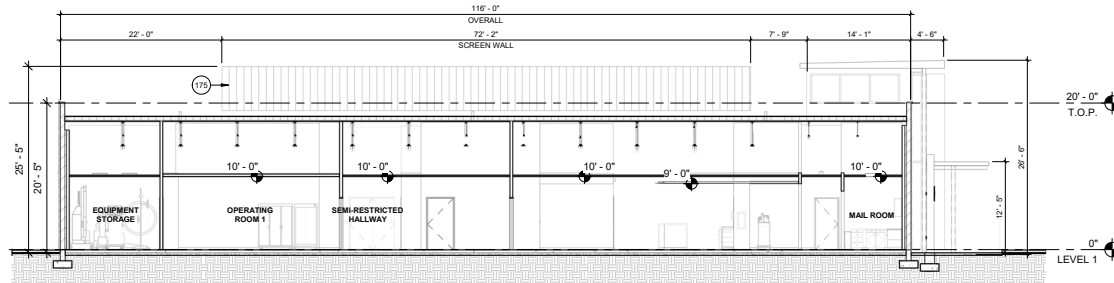
DESIGNED BY: CS	REVIEWED BY: AR
DATE: 11/02/2020	PROJECT NUMBER: 2015.00



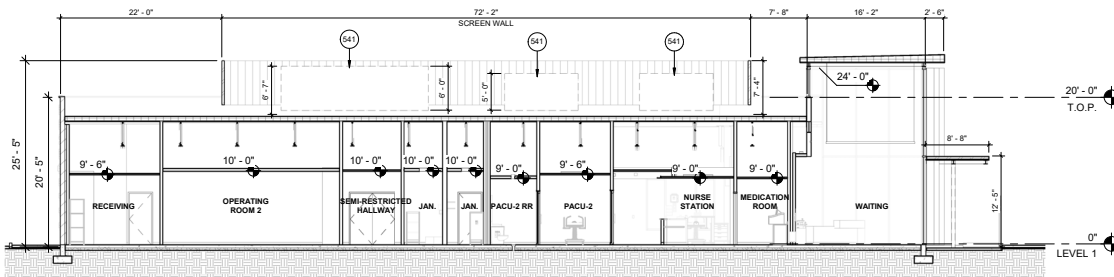
**1** BUILDING SECTION E/W 01  
1/8" = 1'-0"



**2** BUILDING SECTION E/W 02  
1/8" = 1'-0"



**3** BUILDING SECTION N/S 01  
1/8" = 1'-0"



**4** BUILDING SECTION N/S 02  
1/8" = 1'-0"

**KEYNOTE LEGEND**

- 175 VERTICAL STANDING SEAM METAL MECHANICAL SCREEN WALL
- 541 ROOFTOP MECHANICAL UNIT ON CURB



REVISIONS

No.	Description	Date

DESIGN REVIEW

COMPLETED 2015  
DWL ARCHITECTS + PLANNERS, INC.

KEY:

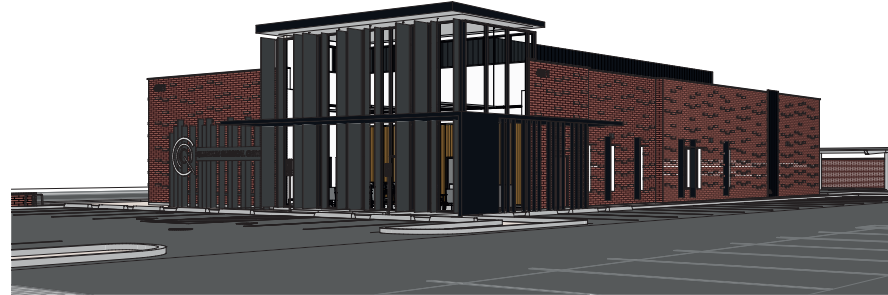
SHEET TITLE  
EXTERIOR VIEWS

SHEET NUMBER  
**A402**

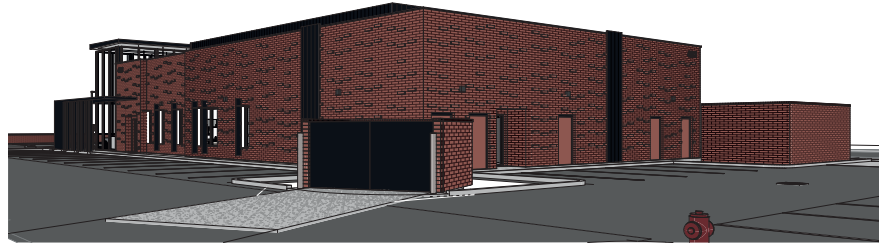
DRAWN BY: CS	REVIEWED BY: AR
DATE: 11/02/2020	PROJECT NUMBER: 2015.00



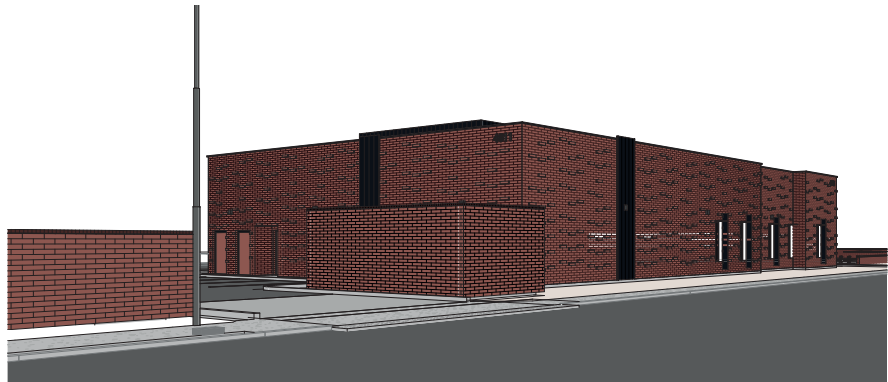
VIEW - SOUTHWEST CORNER



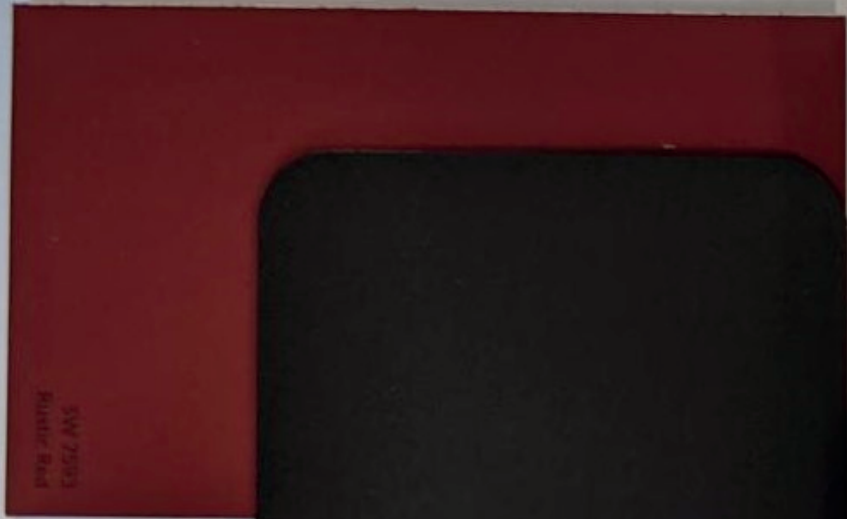
VIEW - SOUTHEAST CORNER



VIEW - NORTHEAST CORNER



VIEW - NORTHWEST CORNER



PT-1



MTL-1 / MTL-2



BR-1 / BR-2



GL-1

SOLARBAN® 90 (2) OPTIGRAY® + Clear Glass Insulating Glass Unit S-56 2/17

VLT	Exterior Reflectance	Interior Reflectance	U-Value Imperial (Winter)		SHGC	LSG
			Air	Argon		
36%	8%	19%	0.29	0.24	0.20	1.80

QUANTUM SURGICAL CENTER  
4611 S LAKESHORE DR. TEMPE, AZ 85282

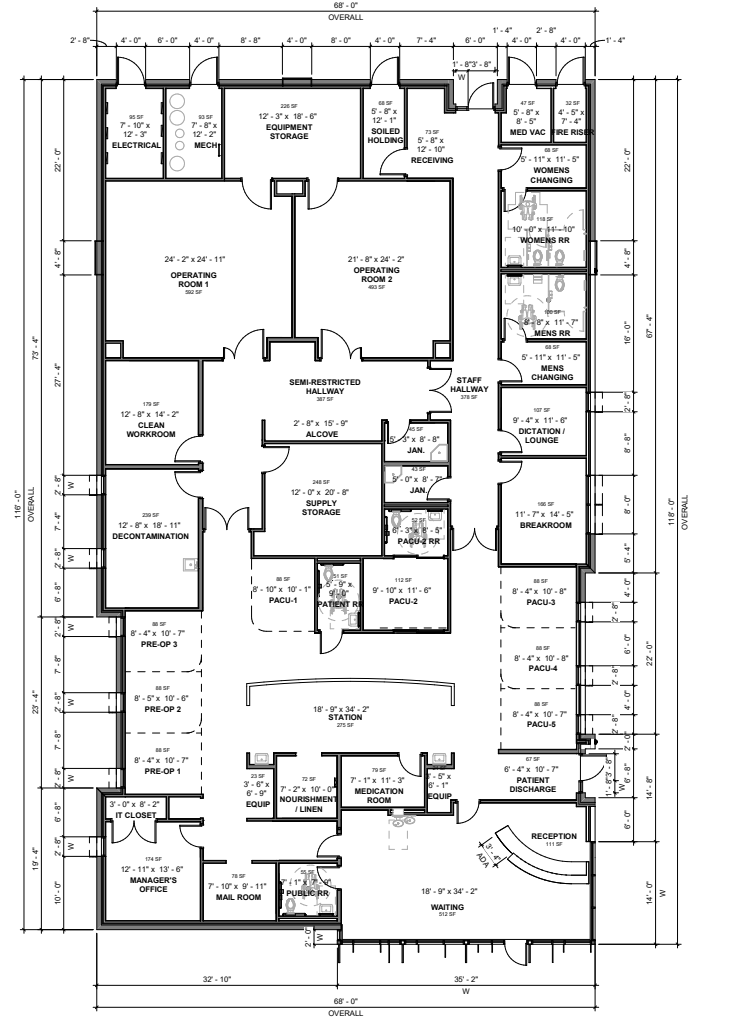
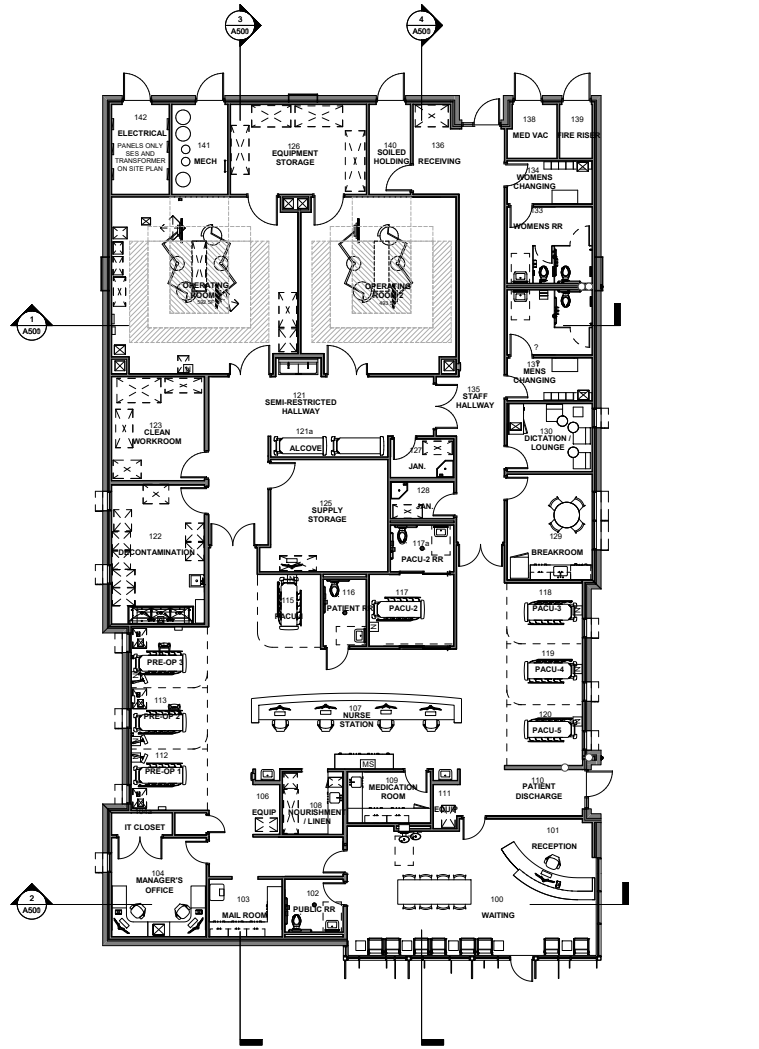
EXTERIOR MATERIALS

09/28/2020

ATTACHMENT 26

**DWL** ARCHITECTS+

11/2/2020 3:48:56 PM



2333 North Central Avenue  
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602.264.9731  
dwlarchitects.com



**STERLING CM**  
**QUANTUM SURGICAL CENTER**  
4611 S. LAKE SHORE DR.  
TEMPE, AZ 85282

REVISIONS		
No.	Description	Date

**DESIGN REVIEW**  
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KEY:

SHEET TITLE	
FLOORPLANS	
SHEET NUMBER	
A210	
DRAWN BY: CS	REVIEWED BY: AR
DATE: 11/02/2020	PROJECT NUMBER: 2015.00



**PARKING CROSS ACCESS PLAN**  
1" = 20'-0"



**PROJECT SITE:**  
4611 S. LAKESHORE DR.

**VEHICLE PARKING:**  
REQUIRED: 49  
PROVIDED: 46

**CALCULATION:**  
SURGICAL CENTER NET SF: 7,345 SF  
(CLINIC) 1 PER 150SF = 49

**3 ADDITIONAL PROVIDED ON ADJACENT PROPERTY PER CC&R - MCR# 132-29**

**ADJACENT PROPERTY:**  
4625 S. LAKESHORE DR.

**VEHICLE PARKING:**  
REQUIRED: 39  
PROVIDED: 43

**CALCULATION:**  
OFFICE SPACE NET SF: 11,532 SF  
(CLINIC) 1 PER 300SF = 39

**4 SURPLUS - 3 TO BE USED BY PROJECT SITE. PARKING REQUIREMENTS**



2333 North Central Avenue  
Phoenix Arizona 85004  
602.264.9731  
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**STERLING CM**  
**QUANTUM SURGICAL CENTER**  
4611 S. LAKESHORE DR.  
TEMPE, AZ 85282

**REVISIONS**

No.	Description	Date

65% SET  
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KEY:

SHEET TITLE:  
**CROSS-ACCESS PARKING**

SHEET NUMBER:  
**A024**

DESIGNED BY: CS	REVIEWED BY: AR
DATE: 11/11/2020	PROJECT NUMBER: 2015.00

11/25/2020 2:00:17 PM

When Recorded Return To:  
Lloyd A. Snock, Jr.  
The Lakes  
6400 S. Lakeshore Drive  
Tempe, AZ. 85283

DECLARATION OF EASEMENTS  
AND  
COVENANTS, CONDITIONS AND RESTRICTIONS

(Lake Country Plaza, Sites E, F, G, H, I, J, K, L & M)

THIS DECLARATION, made on the date hereinafter set forth by LAKE COUNTRY, a joint venture of Dahlberg Industries, an Arizona corporation, and El Paso Development Company, a Delaware corporation, hereinafter referred to as "Declarant".

WITNESSETH:

That Declarant, being the Owner (as defined in Section 1 (d) below) of certain property in Tempe, County of Maricopa, State of Arizona, which is more particularly described as follows and which shall be hereinafter referred to as the "Property":

Tracts A, B and C of Lake Country Estates,  
Unit I, a subdivision recorded in Book 132,  
Page 29, Maricopa County Records,

hereby declares that all of the Property is and shall be held, sold, conveyed, hypothecated, encumbered, leased, occupied, built upon or otherwise used or transferred, in whole or in part, subject to the following covenants, conditions, restrictions, and easements which are for the purpose of protecting the value, desirability and attractiveness of and which shall run with the Property and be binding upon all parties having any right, title or interest in the Property or any part thereof, their heirs, successors and assigns, and shall inure to the benefit of each Owner thereof.

Section 1: Definitions.

(a) "Declarant" shall mean and refer to Lake Country, a joint venture of Dahlberg Industries, an Arizona corporation, and El Paso Development Company, a Delaware corporation, its successors and assigns, if such successors or assigns should acquire more than one Tract from the Declarant for the purpose of development.

(b) "Declaration" shall mean the easements, covenants, conditions and restrictions herein set forth as the same may be amended from time to time.



(c) "Easement Area" shall mean and refer to all roadways, driveways and parking areas on the Property together with all entrances, exits and walkways appurtenant thereto as the same are or may be originally established, created and constructed with the approval of the City of Tempe, Arizona, and as the same may be modified from time to time subject to the terms of this Declaration.

(d) "Owner" shall mean and refer to the record Owner, whether one or more persons or entities, of equitable or beneficial title (or legal title if same has merged) of any Tract which is a part of the Property, including contract buyers, but excluding those having such interest merely as security for the performance of an obligation.

(e) "Property" shall mean and refer to that certain real property described above and more particularly described on Exhibit "A" attached hereto and incorporated herein by this reference.

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(f) "Tract" shall mean and refer to any separate parcel of real property designated as a Tract on the subdivision plat which is or may be recorded with respect to the Property.

Section 2: Maintenance and Landscaping. No Owner shall permit any building, structure or improvement upon his Tract to fall into disrepair and each such building, structure or improvement shall at all times be kept in good condition and repair and adequately painted or otherwise finished by the Owner. Each Owner of a Tract shall landscape his Tract and shall keep all shrubs, trees, grass and plantings of every kind on his Tract neatly trimmed, properly cultivated and free of trash, weeds and other unsightly material.

Section 3: Nuisances. No garbage, rubble or debris of any kind shall be placed or permitted to accumulate upon or

adjacent to the Property, and no odors shall be permitted to arise therefrom, so as to render any portion of the property unsanitary, unsightly, offensive or detrimental to any portion of the Property or to any other property in the vicinity thereof or to its occupants, nor shall any nuisance be permitted to exist or operate upon the Property so as to be offensive or detrimental to any portion of the Property or to any other property in the vicinity thereof or to its occupants.

Section 4: Improvements and Alterations. Following the initial installation and construction of improvements on the Property, as approved by the City of Tempe, Arizona, no improvements, alterations, repairs, excavation or other work may be made, done, removed or destroyed in any way which materially alters the Easement Area or which interferes in any way with the use of the easements established pursuant to Section 6 below, nor shall any portion of the Easement Area be closed, barricaded, terminated, or altered in any way without securing the prior written approval of Owners representing not less than ninety percent (90%) of the Tracts in the Property (except for temporary interruptions in the normal course of maintenance of the Easement Area).

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Section 5: Utility Easement. There is hereby created a blanket easement upon, across, over and under the Property, for ingress, egress, installation, replacing, repairing and maintaining all utility and service lines and systems, including, but not limited to, water, sewer, gas, telephone, electricity, television cable or communication lines and systems. By virtue of this easement, it shall be expressly permissible for the providing utility or service company to install and maintain facilities and equipment on the Property and to affix and maintain wires, circuits and conduits on, in and under the Property. Notwithstanding anything to the contrary

contained in this paragraph, no sewers, electrical lines, water lines, or other utilities or service lines may be installed or relocated on the Property in any location or in any manner which interferes with buildings which shall then exist on the Property, or which interferes with any building "envelope" area as may be designated on a Plat of Survey as a future building site. This easement shall in no way affect any other recorded easement on the Property.

Section 6: Reciprocal Parking and Access Easement.

There is hereby created on and over the Easement Area, for the use and benefit of each Owner and his agents, employees, invitees, licensees and lessees, free of charge, a nonexclusive right, privilege and easement for parking and for ingress, egress and regress for pedestrian and vehicular traffic upon, over and across the Easement Area.

(a) Use of Easement Area. Only those portions of the Easement Area originally designed, improved and constructed for parking, with the approval Unofficial Document City of Tempe, Arizona, may be used for parking. All other portions of the Easement Area may be used only for pedestrian and vehicular ingress, egress and regress.

(b) Maintenance of Easement Area. Except as may be otherwise required or determined by any other document, lease or written agreement entered into with respect to any portion of the Property, each Owner of a Tract which includes a portion of the Easement Area shall at all times continuously maintain said portion of the Easement Area and all improvements and landscaping installed in or upon it, properly cleaned and in good condition and repair at his sole expense.

Section 7: Term and Amendment. The covenants, conditions, restrictions and easements of this Declaration shall run with and bind the land for a term of ninety-nine (99) years from the date

this Declaration is recorded, after which time they shall be automatically extended for successive periods of ten (10) years each unless terminated by a document signed by Owners representing not less than ninety percent (90%) of the Tracts, which document shall be deemed of no force or effect unless recorded within a six (6) month period prior to the expiration of the initial ninety-nine (99) year term or the expiration of any successive ten (10) year term. This Declaration may be amended at any time by an instrument signed by Owners representing not less than ninety percent (90%) of the Tracts. Any amendment must be recorded.

Section 8: Violations and Defaults. Every act or omission whereby any provision of this Declaration is violated in whole or in part is hereby declared to be a nuisance. Any violation of any state, municipal or local law, ordinance or regulation, including zoning laws, pertaining to the ownership, occupation or use of the Property or any portion thereof, is hereby declared to be a violation of this Declaration and subject to the enforcement procedures set forth herein.

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Section 9: Enforcement and Attorneys' Fees. Any Owner shall have the right to enforce by a proceeding at law or in equity, all covenants, conditions, restrictions and easements now and hereafter imposed by the provisions of this Declaration by a proceeding at law or in equity, including, without limitation by a proceeding seeking damages or negative or mandatory injunction relief. The failure by an Owner to enforce any covenant, condition or restriction herein contained shall in no event be deemed a waiver of the right to do so thereafter. Any party defaulting, breaching or violating any provision of this Declaration, shall pay all costs and expenses, including reasonable attorneys' fees and court costs, which may be

incurred in enforcing this Declaration or which may be incurred as a result of the breach hereof.

Section 10: Interpretation. This agreement shall be for the benefit of the Owners and their heirs, successors and assigns, together with their agents, employees, invitees, licensees and lessees, and shall not be for the benefit of any other party. Nothing contained in this Declaration shall be deemed to constitute a gift or dedication of all or any portion of the Property to the general public or for any public use or purpose whatsoever, it being the intention of the Declarant that this Declaration will be strictly construed to effectuate the limited purposes expressed herein.

Section 11: Severability. Invalidation, illegality or unenforceability of any one of these covenants, conditions, restrictions or easement by statute, judgment or court order shall in no way affect the other provisions of this Declaration which shall remain in full force and effect.

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Section 12: Number and Gender. Whenever the context of this Declaration so requires, words used in the masculine gender include the feminine and neuter and words used in the feminine gender include the masculine and neuter. The singular numbers include the plural and the plural the singular.

Section 13: The Declaration. By acceptance of a deed or by acquiring any ownership interest in any of the real property included within this Declaration, each person or entity, for himself or itself, his heirs, personal representatives, successors, transferees and assigns, binds himself, his heirs, personal representatives, successors, transferees and assigns to all of the provisions, covenants, conditions, restrictions and easements now or hereafter imposed by this Declaration and any amendments hereto. In addition, each such person by so doing thereby acknowledges that this Declaration sets forth a general scheme for the improvement and development of the real property covered hereby and thereby

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evidences his interest that all the covenants, conditions, restrictions and easements contained herein shall run with the land and be binding on all subsequent and future Owners, grantees, purchasers, assignees and transferees thereof. Furthermore, each person fully understands and acknowledges that this Declaration shall be mutually beneficial, prohibitive and enforceable by the various subsequent and future Owners.

IN WITNESS WHEREOF, the undersigned has caused this Declaration to be executed this 8 day of June, 1978.

LAKE COUNTRY, a joint venture of Dahlberg Industries, an Arizona corporation, and El Paso Development Company, a Delaware corporation,

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By:

Its:

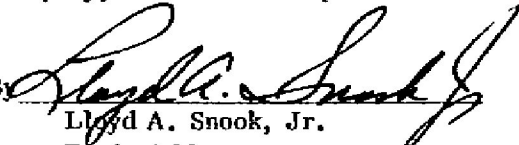
*Lyndell L. Smith*  
Project Manager

DKT 12977Pg1171


evidences his interest that all the covenants, conditions, restrictions and easements contained herein shall run with the land and be binding on all subsequent and future Owners, grantees, purchasers, assignees and transferees thereof. Furthermore, each person fully understands and acknowledges that this Declaration shall be mutually beneficial, prohibitive and enforceable by the various subsequent and future Owners.

IN WITNESS WHEREOF, the undersigned has caused this Declaration to be executed this 8 day of June, 1978

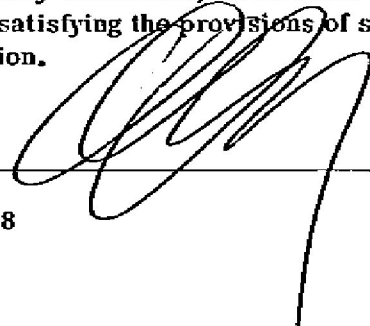
LAKE COUNTRY, a joint venture of  
Dahlberg Industries, an Arizona  
corporation, and El Paso Development  
Company, a Delaware corporation

By   
Lloyd A. Snook, Jr.  
Project Manager

This Declaration contains the Reciprocal Access and Parking Agreement referred to in paragraph 2. of Exhibit "A"-SUPPLEMENT TO TRANSAMERICA TITLE INSURANCE COMPANY ESCROW # 27007029-2 pertaining to Sites I, J, K, L and M, LAKE COUNTRY PLAZA and including Site M-5. By the sig<sup>Unofficial Document</sup> of George S. Calderwood acknowledges acceptance of this Declaration satisfying the provisions of said paragraph 2., and authorizes recordation of the Declaration.

  
George S. Calderwood  
June 8, 1978

This Declaration contains the Reciprocal Access and Parking Agreement referred to in paragraph 2. of TRANSAMERICA TITLE INSURANCE COMPANY Escrow # 27006929-0 pertaining to Sites I, J, K, L and M, LAKE COUNTRY PLAZA, and including Site M-1. By the signing hereof Al Gazley, President of Ed Post Realty-Scottsdale, an Arizona corporation acknowledges acceptance of this Declaration satisfying the provisions of said paragraph 2., and authorizes recordation of the Declaration.

  
Al Gazley  
June 8, 1978

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STATE OF ARIZONA )  
 ) ss.  
County of Maricopa )

On this, the 8 day of June, 1978, before me, the undersigned Notary Public, personally appeared LLOYD A. SNOOK, JR., who acknowledged himself to be the PROJECT MANAGER of LAKE COUNTRY, a joint venture, and that he being authorized so to do, executed the foregoing instrument for the purposes therein contained, by signing the name of the joint venture by himself as the PROJECT MANAGER.

IN WITNESS WHEREOF, I hereunto set my hand and official seal.

Cecilia A Coffman  
Notary Public

My Commission Expires:  
My Commission Expires June 11, 1979

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STATE OF ARIZONA )  
 ) ss.  
County of Maricopa )

On this, the 16<sup>th</sup> day of June, 1978, before me, the undersigned Notary Public, personally appeared George S. Calderwood, who acknowledges himself to be the purchaser of Site M-5, LAKE COUNTRY PLAZA, and that he executed the foregoing instrument for the purposes therein contained,

IN WITNESS WHEREOF, I hereunto set my hand and official seal.

*Cecilia A. Coffman*  
Notary Public

My Commission Expires:  
My Commission Expires June 11, 1979

STATE OF ARIZONA )  
 ) ss.  
County of Maricopa )

On this, the 13<sup>th</sup> day of June, 1978, before me, the undersigned Notary Public, personally appeared Al Gazley, who acknowledged himself to be the President of Ed Post Realty-Scottsdale, an Arizona corporation, and that he as such officer, being authorized so to do, executed the foregoing instrument for the purposes therein contained, by signing the name of the Corporation by himself as such Officer.

IN WITNESS WHEREOF, I hereunto set my hand and official seal.

*John B. [Signature]*  
Notary Public

My Commission Expires:



