



**CITY OF TEMPE
DEVELOPMENT REVIEW COMMISSION**

**Meeting Date: 4/27/2021
Agenda Item: 5**

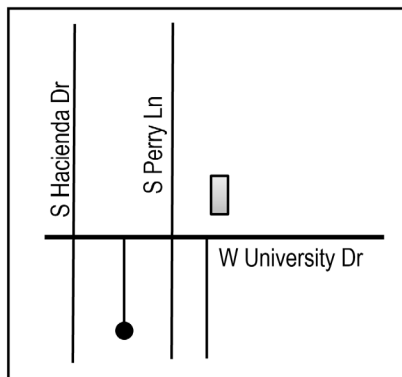
ACTION: Request a Use Permit to allow a retail store within the GID, General Industrial District for **O'REILLY AUTO PARTS**, located at 1920 East University Drive.

FISCAL IMPACT: N/A

RECOMMENDATION: Staff – Approve, subject to conditions

BACKGROUND INFORMATION: O'REILLY AUTO PARTS (PL210035) is requesting a Use Permit to operate an auto parts retail store within the GID, General Industrial District. The main function of the store is to provide retail of auto parts with no auto repair on site. The request includes the following:

ZUP210026 Use Permit to allow retail within GID



Property Owner
Applicant
Zoning District
Suite Area
Vehicle Parking
Bicycle Parking
Hours of Operation

University and Perry, LLC
Griffin Bobbett, Torgerson Design Partners
GID
6,916 s.f.
No increase in demand
No increase in demand
7:30 am – 9 pm, Daily

ATTACHMENTS: Development Project File

STAFF CONTACT(S): Dalton Guerra, Planner I (480) 350-8652

Department Director: Shelly Seyler, Interim Community Development Director
Legal review by: N/A
Prepared by: Dalton Guerra, Planner I
Reviewed by: Steve Abrahamson, Principal Planner

COMMENTS

O'Reilly Auto Parts is an auto parts retailer. There will be no auto repair conducted on site. Retail uses within GID zoning require a Use Permit approval to operate. The previous use of this suite was a restaurant with a parking ratio of 1 space per 75 square feet. The proposed use is retail with a parking ratio of 1 space per 300 square feet. Therefore, there is less parking required for the proposed use and will not increase the demand on site.

PUBLIC INPUT

To date staff has not received any public input.

USE PERMIT

The proposed use requires a Use Permit to operate a retail store within the GID zoning district.

Section 6-308 E Approval criteria for Use Permit (*in italics*):

1. *Any significant increase in vehicular or pedestrian traffic*; the proposed site is an existing commercial building with multiple tenants, and the previous use was a restaurant. Therefore, an increase in traffic is not expected due to this use.
2. *Nuisance arising from the emission of odor, dust, gas, noise, vibration, smoke, heat or glare at a level exceeding that of ambient conditions*; the retail use will be conducted indoors, and vehicle repair is not an offered service on site.
3. *Contribution to the deterioration of the neighborhood or to the downgrading of property values, which is in conflict with the goals, objectives or policies for rehabilitation, redevelopment or conservation as set forth in the city's adopted plans or General Plan*; retail is a permitted use within GID zoning, subject to a Use Permit.
4. *Compatibility with existing surrounding structures and uses*; the proposed location is surrounded by industrial and commercial uses. There are existing commercial uses within the same building of the proposed suite.
5. *Adequate control of disruptive behavior both inside and outside the premises which may create a nuisance to the surrounding area or general public*; a retail store is not expected to create a nuisance to the surrounding area.

REASONS FOR APPROVAL:

Based on the information provided by the applicant, the public input received and the above analysis staff supports approval of the requested Use Permit. This request meets the required criteria and will conform to the conditions.

SHOULD AN AFFIRMATIVE ACTION BE TAKEN ON THIS REQUEST, THE FOLLOWING NUMBERED CONDITIONS OF APPROVAL SHALL APPLY, BUT MAY BE AMENDED BY THE DECISION-MAKING BODY.

CONDITION(S) OF APPROVAL: (Non-standard conditions are identified in bold)

EACH NUMBERED ITEM IS A CONDITION OF APPROVAL. THE DECISION-MAKING BODY MAY MODIFY, DELETE OR ADD TO THESE CONDITIONS.

1. The Use Permit is valid only after a Building Permit has been obtained, the required inspections have been completed and a Final Inspection has been passed. As part of the Building Permit process, on-site storm water retention may be required to be verified or accomplished on this Site.
2. The Use Permit is valid for the plans as submitted within this application. Any additions or modifications may be submitted for review during the building plan check process.

CODE/ORDINANCE REQUIREMENTS:

THE BULLETED ITEMS REFER TO EXISTING CODE OR ORDINANCES THAT PLANNING STAFF OBSERVES ARE PERTINENT TO THIS CASE. THE BULLET ITEMS ARE INCLUDED TO ALERT THE DESIGN TEAM AND ASSIST IN OBTAINING A BUILDING PERMIT AND ARE NOT AN EXHAUSTIVE LIST.

USE PERMIT:

- The Use Permit is valid for O'Reilly Auto Parts and may be transferable to successors in interest through an administrative review with the Community Development Director, or designee.
- The use permit approval shall be void if the use is not commenced or if an application for a building permit has not been submitted, whichever is applicable, within twelve (12) months after the use permit is granted or within the time stipulated by the decision-making body.
- The decision-making body, upon finding that the applicant has not taken corrective actions to resolve issues related to the permit/approval and that a continuation of the permit/approval is not in the interest of the public health, safety and general welfare, can revoke the permit/approval after providing written notice of its intentions to the holder of the permit.
- Specific requirements of the **Zoning and Development Code (ZDC)** are not listed as a condition of approval but will apply to any application. To avoid unnecessary review time and reduce the potential for multiple plan check submittals, become familiar with the ZDC. Access the ZDC through <http://www.tempe.gov/zoning> or purchase from Development Services.
- All business signs shall receive a Sign Permit. Contact sign staff at 480-350-8435.
- Any intensification or expansion of use shall require a new Use Permit.
- All required permits and clearances shall be obtained from the Audit and Licensing Division of the City of Tempe prior to the Use Permit becoming effective.
- All required Federal, State, County, and Municipal permits, licenses, and clearances shall be obtained, or the Use Permit is void.

HISTORY & FACTS:

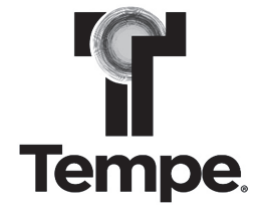
None pertinent to this case.

ZONING AND DEVELOPMENT CODE REFERENCE:

Section 3-302 Permitted Uses in Office/Industrial Districts

Section 4-204 Development Standards for Office/Industrial Districts

Section 6-308 Use Permit



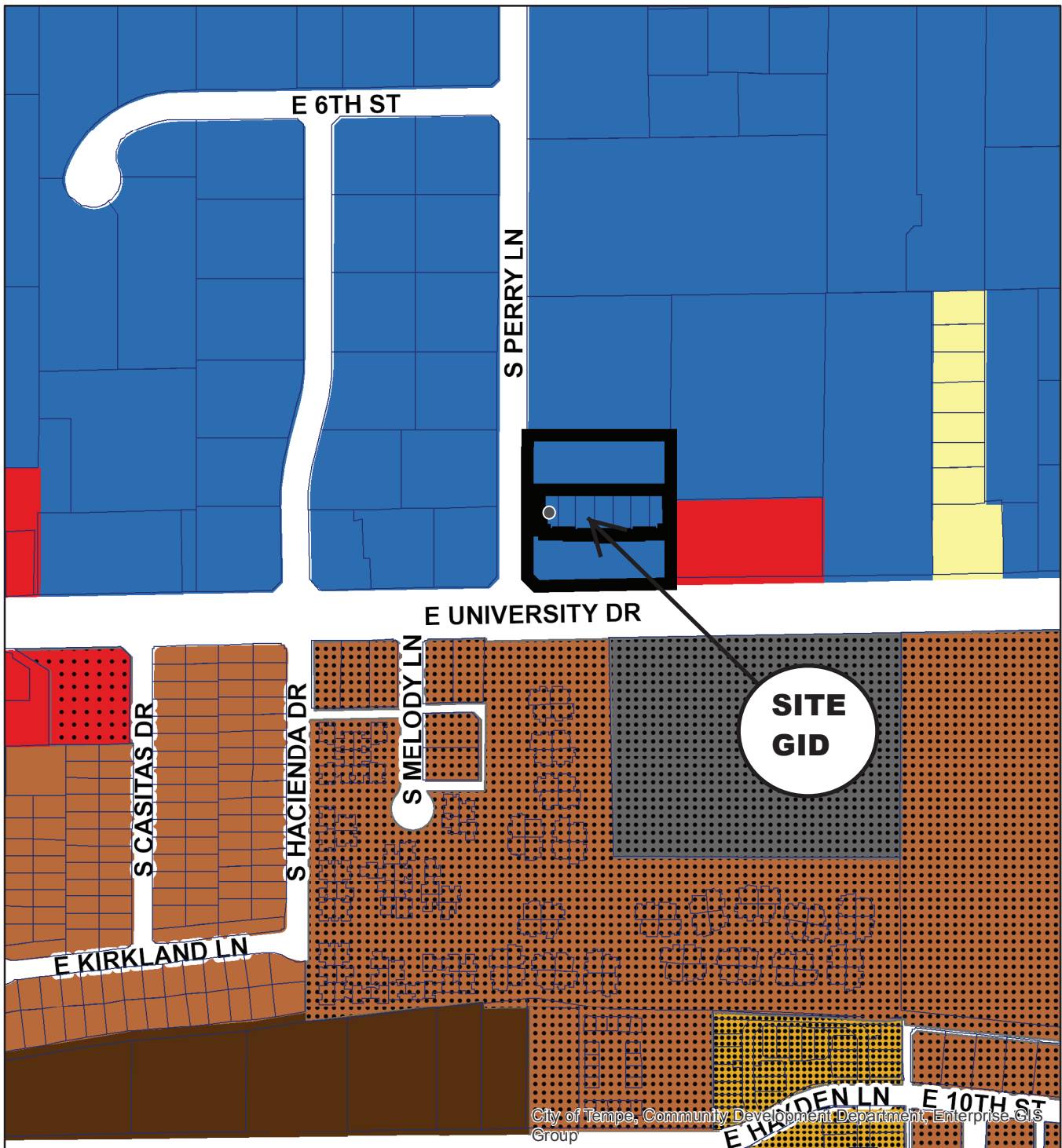
DEVELOPMENT PROJECT FILE
for
O'REILLY AUTO PARTS
(PL210012)










ATTACHMENTS:

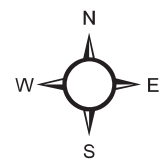
1. Location Map
2. Aerial
3. Letter of Explanation
4. Site Plan
5. Floor Plan
- 6-7. Elevations
- 8-9. Context Photos

O'REILLY AUTO PARTS

PL210035



- | | |
|--|---|
|  General Industrial District (GID) |  Single-Family Residential Planned Area Dev (R1-PAD) |
|  Mixed Use High (MU-4) |  Multi-Family Residential (R-2) |
|  Commercial Shopping and Services (CSS) |  Multi-Family Residential Limited (R-3) |
|  Planned Commercial Center Neighborhood (PCC-1) |  Multi-Family Residential General (R-4) |
|  Agricultural (AG) | |

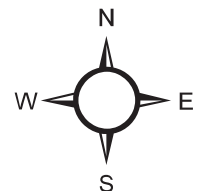


O'REILLY AUTO PARTS

PL210035



Aerial Map



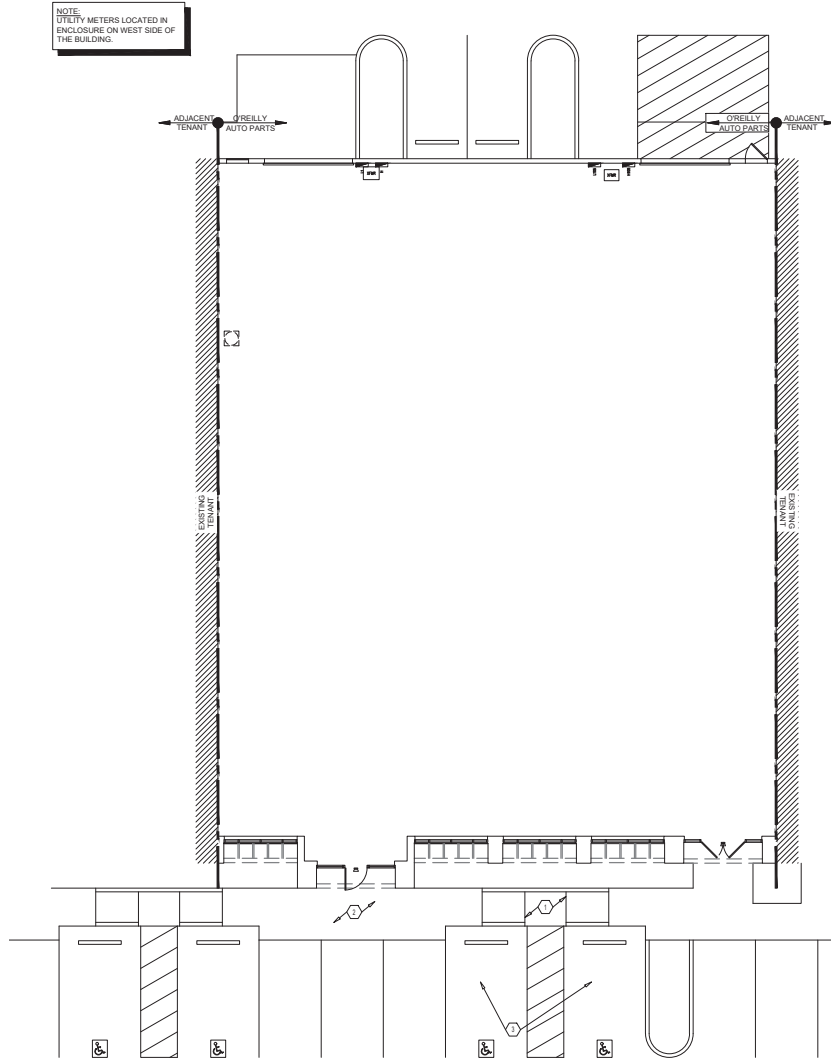
LETTER OF EXPLANATION

TEMPE, AZ

1920 EAST UNIVERSITY DRIVE

PROPOSED USE –
O'REILLY AUTO PARTS STORE
A RETAILER OF AUTOMOTIVE PARTS AND ACCESSORIES
NORMAL BUSINESS HOURS TO BE 7:30 AM TO 9:00 PM

THERE SHOULD NOT BE SIGNIFICANT IMPACT TO THIS SITE FROM THE PROPOSED USE AS IT APPEARS TO HAVE A PREVIOUS RETAIL USE WITH INDUSTRIAL/MANUFACTURING AS A SECONDARY USE.



1 ARCHITECTURAL SITE PLAN
 ASP1 SCALE: 1/8" = 1'-0"



GENERAL SITE NOTES

- (A) A LAND SURVEY HAS NOT BEEN PROVIDED. EXISTING SITE CONDITIONS INDICATED HEREIN ARE DIAGRAMMATIC ONLY AND PROVIDED FOR GENERAL REFERENCE. FIELD VERIFY EXISTING CONDITIONS BY DETAILED INSPECTION PRIOR TO SUBMITTING BID AND BEGINNING CONSTRUCTION. NOTIFY ARCHITECT IF EXISTING CONDITIONS DEVIATE SUBSTANTIALLY FROM THOSE INDICATED HEREIN.
- (B) SITE DIMENSIONS TO FACE OF BUILDING, SIDEWALK, CURB GUTTER LINE, PROPERTY LINE, OR CENTER LINE OF STRIPING UNLESS OTHERWISE NOTED.
- (C) EXISTING CONSTRUCTION TO REMAIN TO BE PROTECTED AS REQUIRED. REPLACE AND/OR REPAIR EXISTING CONSTRUCTION DAMAGED DUE TO CONTRACTOR ACTIVITIES.
- (D) ALL DEMOLITION MATERIALS SHALL BECOME PROPERTY OF CONTRACTOR FOR PROPER DISPOSAL UNLESS OTHERWISE NOTED.
- (E) ACCESSIBLE EXITS AND ACCESSIBLE ROUTES: ALL NEW AND EXISTING EXTERIOR DOOR LANDINGS SHALL BE 5'-0" WIDE MINIMUM WITH OUTSIDE EDGES PERPENDICULAR TO BUILDING LOCATED 2'-0" MINIMUM BEYOND DOOR JAMB STRIKE AND 1'-0" MINIMUM BEYOND DOOR JAMB HINGE. TOP OF LANDING SHALL BE FLUSH WITH FINISH FLOOR AND SLOPE 2% MAXIMUM AWAY FROM BUILDING FOR A MINIMUM DISTANCE OF 5'-0". DESIGNATED ACCESSIBLE ROUTE SIDEWALK OR PAVING SHALL BE FLUSH WITH LANDING AND SLOPE 5% MAXIMUM IN DIRECTION OF TRAVEL WITH 2% MAXIMUM CROSS SLOPE TO ACCESSIBLE PARKING AREA OR PUBLIC WAY. CONTRACTOR SHALL FIELD VERIFY EXISTING ELEVATIONS, GRADES, AND SLOPES PRIOR TO COMMENCING WORK AND NOTIFY ARCHITECT IF NEW OR EXISTING CONDITIONS WILL NOT COMPLY WITH ACCESSIBLE DESIGN CRITERIA. DO NOT PROCEED WITH WORK WITHOUT ARCHITECT'S WRITTEN APPROVAL.
- (F) PROVIDE SMOOTH ELEVATION AND GRADING TRANSITIONS FROM NEW CONSTRUCTION TO EXISTING CONSTRUCTION TO REMAIN.
- (G) SITE WORK IS UNDER LANDLORD SCOPE OF WORK, EXCEPT AS NOTED.
- (H) ANY ADDITIONAL REQUIRED SITE MODIFICATIONS THAT DEVELOP DURING CONSTRUCTION SHALL BE ROUTED THROUGH O'REILLY & THE ADR.
- (I) NO CHANGE TO EXISTING PARKING LAYOUT.
- (L) ALL SITE IS TO REMAIN UNDER LANDLORD SCOPE OF WORK.
- (M) SITE PLAN IS INCLUDED FOR REFERENCE ONLY.
- (N) SITE PLAN IS NOT TO SCALE.
- (O) ANY REQUIRED SITE MODIFICATIONS THAT DEVELOP DURING CONSTRUCTION SHALL BE ROUTED THROUGH O'REILLY & THE ADR.

KEY NOTES

- (V) EXISTING RAMP: NO CHANGE. PROTECT IN PLACE.
- (W) EXISTING SIDEWALK: NO CHANGE. PROTECT IN PLACE.
- (X) EXISTING ADA PARKING: NO CHANGE. PROTECT IN PLACE.

ENVIRONMENTAL GENERAL NOTES

- (A) AN ENVIRONMENTAL ANALYSIS HAS NOT BEEN PERFORMED ON THE EXISTING SITE.
- (B) IF THIS PROJECT CONTAINS HAZARDOUS MATERIALS, CONTRACTOR TO PROVIDE WORK REQUIRED FOR PROPER REMOVAL, HANDLING, AND DISPOSAL PER ENVIRONMENTAL ANALYSIS RECOMMENDATIONS.

CAUTION: INFORMATION ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THEREOF.



PROJECT:
NEW O'REILLY AUTO PARTS STORE
 1920 E UNIVERSITY DRIVE
 TEMPE, AZ 85281

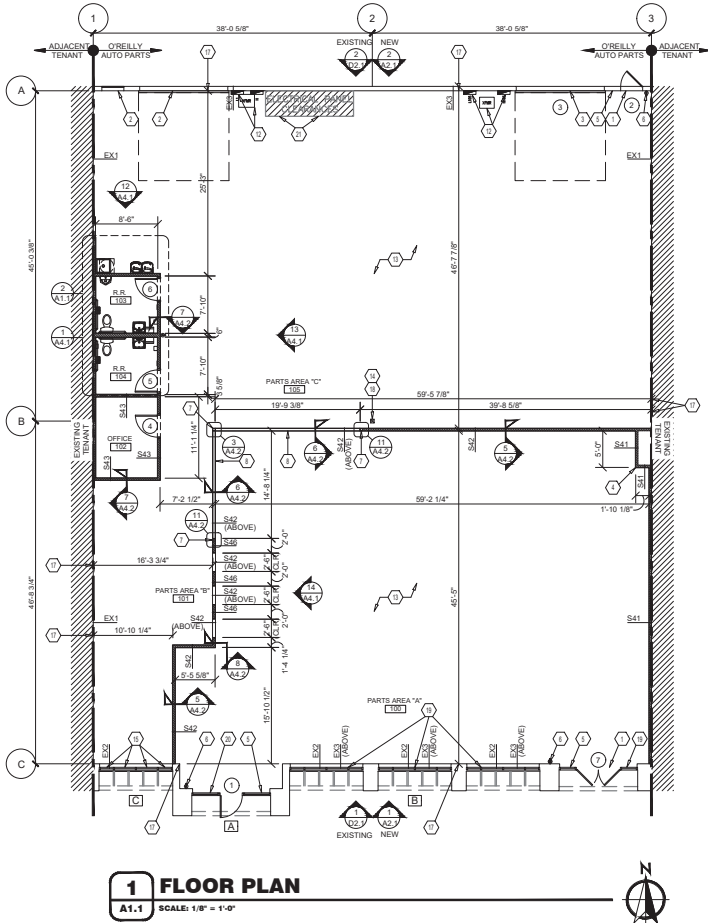
ARCHITECTURAL SITE PLAN

O'Reilly AUTO PARTS

CORPORATE OFFICE
 205 SOUTH PATTERSON
 SPRINGFIELD, MISSOURI 65802
 (417) 868-2674 TELEPHONE

DRAWN BY: NO
 CHECKED BY: KR
 DATE: 02/03/2021
 REVISION:
 PROJECT NUMBER: 20328-TP4
 SHEET NUMBER: ASP1

© COPYRIGHT 2016 - DESIGNS, DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF THE DESIGN PROFESSIONAL. REPRODUCTION PROHIBITED WITHOUT THE EXPRESSED WRITTEN CONSENT OF THE DESIGN PROFESSIONAL.



1 FLOOR PLAN
A1.1 SCALE: 1/8" = 1'-0"

CONCRETE FLOOR LEVELING

PROJECT MANUAL:
REFER TO SECTION 03 54 16 - HYDRAULIC CEMENT UNDERLAYMENT. FOR ADDITIONAL REQUIREMENTS.

MANUFACTURER (OR APPROVED EQUAL):
CTS CEMENT MANUFACTURING
SUITE A
CYPRESS, CALIFORNIA 90630
PHONE: 800-929-3030

PRODUCT:
"CONCRETE LEVELER" ASTM C1708, HYDRAULIC CEMENT BASED SELF LEVELING FLOOR UNDERLAYMENT. APPLIED UP TO 2" THICK AND UP TO 5" THICK WHEN EXTENDED WITH AGGREGATE.

COLOR:
MATCH EXISTING CONCRETE AS CLOSE AS POSSIBLE.

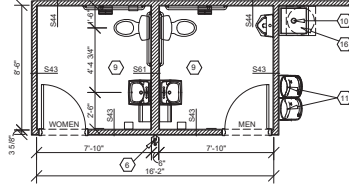
LOCATION:
EXISTING INTERIOR CONCRETE FLOOR SLAB REPAIRS, EXISTING FLOOR SLAB SURFACE DIFFERENTIAL IN HEIGHTS, ETC.

INSTALLATION:
INSTALL PER MANUFACTURER'S SPECIFICATIONS.

SYMBOLS LEGEND

— EXISTING CONSTRUCTION TO REMAIN

— NEW CONSTRUCTION



ENLARGED RESTROOM PLAN
2 A1.1 SCALE: 1/4" = 1'-0"

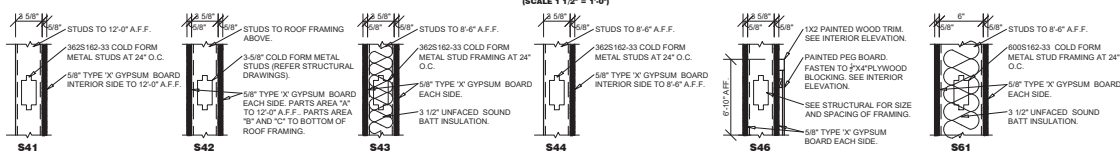
R.R. GENERAL NOTES

- (A) ALL DIMENSIONS SHOWN ARE FROM THE FACE OF EXISTING GYPSUM WALL BOARD OR FRAMING OF NEW METAL STUDS TO FIXTURE CENTERLINE.
- (B) REFER TO SHEET A4.1 FOR RESTROOM ACCESSORY LOCATION.
- (C) REFER TO SHEET A4.1 FOR URINAL & LAVATORY FIXTURE MOUNTING REQUIREMENTS.
- (D) REFER TO SHEET A4.1 FOR ACCESSIBLE WATER CLOSET FIXTURE REQUIREMENTS.
- (E) REFER TO PLUMBING PLANS FOR ADDITIONAL INFORMATION.

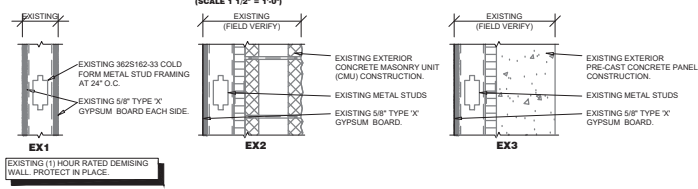
GENERAL NOTES

- (A) REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
- (B) EXISTING CONDITIONS BASED UPON INFORMATION PROVIDED BY OTHERS OR ARCHITECT'S OBSERVATION. FIELD VERIFY EXISTING CONDITIONS BY DETAILED INSPECTION PRIOR TO SUBMITTING BID AND BEGINNING CONSTRUCTION. NOTIFY ARCHITECT IF EXISTING CONDITIONS DEVIATE SUBSTANTIALLY FROM THOSE INDICATED HEREIN.
- (C) EXISTING CONSTRUCTION CLASSIFICATION, UNLESS OTHERWISE INDICATED ON CODE SUMMARY DRAWING. EXISTING CONSTRUCTION MATERIALS ASSUMED TO BE CLASSIFIED AS NON-COMBUSTIBLE IF CONTRACTOR ENCOUNTERS EXISTING MATERIALS CLASSIFIED AS COMBUSTIBLE: NON-FIRE TREATED WOOD, NON-GLASS "A" THERMAL AND ACOUSTICAL INSULATION, NON-ENCAPSULATED FOAM PLASTICS OR KRAFT-FACED INSULATION) OR NON-FIRE RATED GYPSUM BOARD IN REQUIRED FIRE RATED ASSEMBLIES. NOTIFY ARCHITECT IMMEDIATELY FOR ADDITIONAL WORK MODIFICATION REQUIREMENTS OR POTENTIAL BUILDING CODE CONSTRUCTION TYPE RECLASSIFICATION.
- (D) ALL DIMENSIONS TO FINISH FACE OF EXISTING CONSTRUCTION, ROUGH FACE OF NEW FRAMING, NEW CONCRETE, NEW MASONRY OR CENTERLINE OF STRUCTURE, UNLESS OTHERWISE NOTED. COLD FORM METAL STUD INTERIOR PARTITION DIMENSIONS 3/8" UNLESS OTHERWISE INDICATED AND NOT SHOWN FOR CLARITY.
- (E) REFER TO FINISH SCHEDULES FOR ADDITIONAL REQUIREMENTS.
- (F) EXISTING DOOR: EXISTING DOOR TO REMAIN. REPLACE ALL HARDWARE WITH NEW. REFER TO ELEVATION SHEET A2.1 FOR MORE INFORMATION.
- (G) SEAL DOOR: EXISTING DOOR TO REMAIN. REMOVE ALL LOCKING HARDWARE & SEAL SHUT. REFER TO ELEVATION SHEET A2.1 FOR MORE INFORMATION.
- (H) EXISTING OVERHEAD DOOR: EXISTING OVERHEAD DOOR TO REMAIN. REPLACE ALL HARDWARE WITH NEW. REFER TO ELEVATION SHEET A2.1 FOR MORE INFORMATION.
- (I) SHOWROOM CORNER BOX OUT: INSTALL 5/8" FIRE TREATED PLYWOOD BACKING TO BACK SIDE OF STUD INTERIOR FLANGE ON EACH EXPOSED WALL FACE FROM 8'-0" TO 10'-0" A.F.F. FOR INSTALLATION OF SECURITY MIRRORS. REFER TO SHEET A4.2.
- (J) TACTILE EXIT SIGN: TACTILE EXIT SIGN AT EXIT DISCHARGE DOOR STATING "EXIT" WITH BRAILLE LETTERING (GRADE 2 CONTRACTED). SIGN TYPE TO COMPLY WITH ANS I117.1 & MOUNTED AT 60" A.F.F. TO CENTERLINE.
- (K) PORTABLE FIRE EXTINGUISHER: PORTABLE FIRE EXTINGUISHER SURFACE MOUNTED AT 27" A.F.F. TO BOTTOM OF EXTINGUISHER. FIRE EXTINGUISHER SHALL BE UL LISTED, ABC TYPE, WITH 10 LBS. CAPACITY.
- (L) NEW COLD FORMED STEEL BOX COLUMN: NEW COLD FORMED STEEL BOX COLUMN. REFER TO SHEET A4.2 FOR INTERIOR FINISH SCHEDULE.
- (M) NEW COLD FORMED STEEL BOX BEAM/HEADER: NEW COLD FORMED STEEL BOX BEAM/HEADER (ABOVE). REFER TO SHEET A4.2 FOR DETAILS. CONCEAL IN FRAMING. REFER TO SHEET A1.2 FOR INTERIOR FINISH SCHEDULE.
- (N) NEW RESTROOMS: NEW RESTROOMS. INTENT IS TO MINIMIZE NEW CUTS TO EXISTING SLAB FOR PLUMBING. REFER TO MEP/F FOR MORE INFORMATION.
- (O) MOP SINK & EYE STATION: NEW MOP SINK & EYE WASH STATION. REFER TO MEP/F DRAWINGS & INTERIOR ELEVATIONS (A4.1) FOR MORE INFORMATION & DETAILS(S).
- (P) HI/LOW DRINKING FOUNTAIN: NEW HI/LOW DRINKING FOUNTAIN. REFER TO MEP/F DRAWINGS & INTERIOR ELEVATIONS (A4.1) FOR MORE INFORMATION & DETAILS(S).
- (Q) ELECTRICAL PANEL AND TRANSFORMER: EXISTING ELECTRICAL PANEL AND TRANSFORMER. PROTECT IN PLACE. REFER TO MEP/F DRAWINGS FOR MORE INFORMATION.
- (R) NEW ROOF INSULATION: ADD NECESSARY INSULATION TO ENTIRE ROOF TO BRING TO AN R-30 RATING. INSTALL TIGHT TO UNDERSIDE OF ROOF DECK.
- (S) EXISTING STRUCTURAL COLUMNS: EXISTING TO REMAIN. PROTECT IN PLACE. REFER TO A1.2 FOR PAINT PER SCHEDULE.
- (T) NEW TINT TO GLAZING: GLAZING TO RECEIVE NEW TINT. REFER TO ELEVATIONS, AND REFER TO WINDOW NOTES.
- (U) HOT WATER TANK: NEW HOT WATER TANK TO BE INSTALLED. REFER TO MEP/F FOR MORE INFORMATION.
- (V) EXISTING FINISH: DIMENSION TO FACE OF EXISTING FINISH.
- (W) CONCEALED COLUMN: COLUMN IS CURRENTLY CONCEALED IN WALL BEING DEMOLISHED. GC TO FIELD VERIFY EXACT LOCATION OF COLUMN AND NOTIFY ARCHITECT IF THERE ARE INTERFERENCES.
- (X) EXISTING STOREFRONT: TO REMAIN. NO CHANGE.
- (Y) NEW STOREFRONT: NEW STOREFRONT SHALL BE INSTALLED IN EXISTING OPENING. REPLACING MULLIONS, GLAZING, & DOOR. REFER TO ELEVATION SHEET A2.1 FOR MORE INFORMATION.
- (Z) NEW ELECTRICAL PANELS: NEW ELECTRICAL PANELS. SEE ELECTRICAL DRAWINGS FOR MORE INFORMATION.

INTERIOR WALL TYPES



EXTERIOR WALL TYPES



REGISTERED ARCHITECT
JOHN D. TORGERSON
LICENSE NUMBER
02/03/2021

PROJECT OF RECORD:
JOHN TORGERSON
REGISTERED LICENSE NUMBER
70085

NEVER SIGNING THE SEAL OR
AUTHENTICATING THE SEAL ARE
VALID FOR ALL OTHER PLANS, SPECIFICATIONS
OR INSTRUMENTS ARE DECLASSIFIED

TORGERSON
ARCHITECTS, P.C.
1920 E UNIVERSITY DRIVE
TEMPE, AZ 85281
TEL: 480-831-1111
FAX: 480-831-1112

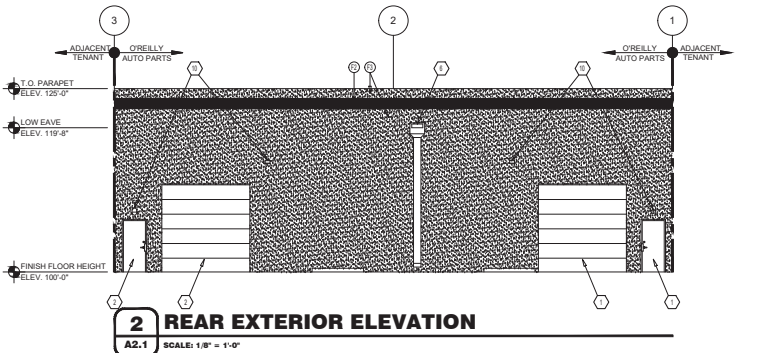
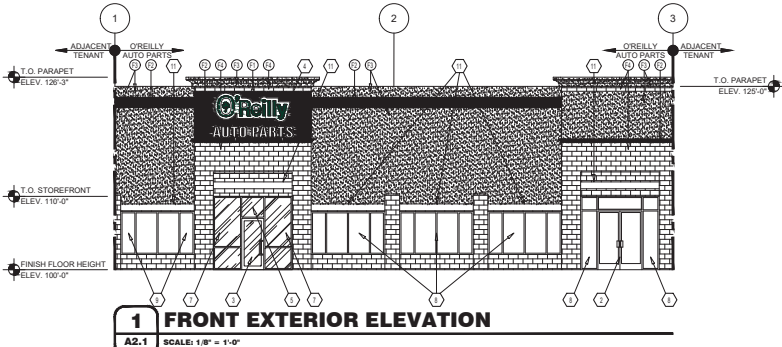
PROJECT:
O'Reilly AUTO PARTS STORE
1920 E UNIVERSITY DRIVE
TEMPE, AZ 85281

FLOOR PLAN

DRAWN BY: NO
CHECKED BY: KR
DATE: 02/03/2021
REVISION:
PROJECT NUMBER:
20328-TP4
SHEET NUMBER:
A1.1

CORPORATE OFFICE:
O'REILLY AUTO PARTS
235 SOUTH PATTERSON
SPRINGFIELD, MISSOURI 65802
(417) 882-2874 TELEPHONE

© COPYRIGHT 2016 - DESIGN, DRAWING AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF THE DESIGN PROFESSIONAL. REPRODUCTION PROHIBITED WITHOUT THE EXPRESSED WRITTEN CONSENT OF THE DESIGN PROFESSIONAL.



EXTERIOR FINISH SCHEDULE

SYMBOL	HATCH	TYPE	COMPANY	COLOR
		STORE FRONT	GC	MATCH EXISTING
		EXTERIOR SOLID METAL DOOR(S)	GC	MATCH EXISTING
		OVERHEAD DOOR	GC	POWER WASH
		METAL TRIM, GUTTERS, & DOWNSPOUT SYSTEM	GC	POWER WASH
(1)		EXISTING EIFS	GC	FIELD PRIME & PAINT "POSITIVE GLEP" SW871 (SEMI-GLOSS)
(2)		EXISTING EIFS	GC	POWER WASH
(3)		EXISTING EIFS	GC	POWER WASH
(4)		CMU	GC	POWER WASH

- ### GENERAL NOTES
- (1) REFER TO PLUMBING, MECHANICAL, AND ELECTRICAL DRAWINGS FOR SYSTEM TYPES AND ADDITIONAL REQUIREMENTS.
 - (2) REFER TO EXTERIOR FINISH SCHEDULE FOR MATERIAL TYPES.
 - (3) EXISTING MASONRY: PREP AND PRIME WALLS AS REQUIRED PER MANUFACTURER'S RECOMMENDATIONS FOR PAINT. TUCK-POINT WEATHERED MASONRY JOINTS. NEW MORTAR JOINTS TO MATCH EXISTING JOINTS IN GOOD ORDER.
 - (4) EXISTING CONDITIONS BASED UPON OBSERVATIONS. FIELD VERIFY EXISTING CONDITIONS BY DETAILED INSPECTION PRIOR TO SUBMITTING BID AND BEGINNING CONSTRUCTION. NOTIFY ARCHITECT IF EXISTING CONDITIONS DEVIATE SUBSTANTIALLY FROM THOSE INDICATED HEREIN.
 - (5) EXISTING CONSTRUCTION TO BE REWORKED AS REQUIRED FOR INSTALLATION OF NEW CONSTRUCTION. FIELD VERIFY SCOPE OF WORK REQUIRED.
 - (6) CONTRACTOR TO SCHEDULE WORK WITH LANDLORD. BUILDING TO BE SECURABLE AFTER BUSINESS HOURS DURING CONSTRUCTION.
 - (7) CONTRACTOR TO MAINTAIN CLEAR UNOBSTRUCTED PATHS OF EGRESS AND EXISTS AT ALL TIMES BUILDING IS OCCUPIED DURING CONSTRUCTION. PROVIDE TEMPORARY EMERGENCIES LIGHTING, EXIT SIGNS AND FIRE EXTINGUISHING SYSTEMS AS REQUIRED.
 - (8) EXISTING CONSTRUCTION TO REMAIN TO BE PROTECTED AS REQUIRED. REMOVE & REPLACE DAMAGED CONSTRUCTION DUE TO CONTRACTOR'S ACTIVITIES.
 - (9) PROVIDE TEMPORARY SHORING OR BRACING OF EXISTING STRUCTURAL SYSTEM AS REQUIRED FOR INSTALLATION OF NEW CONSTRUCTION.
 - (10) PROVIDE TEMPORARY DUST PROTECTION AS REQUIRED.
 - (11) ALL SALVAGE TO CONTRACTOR UNLESS OTHERWISE NOTED.
 - (12) WHEN NECESSARY TO INTERRUPT UTILITY SERVICES, PROVIDE A MINIMUM OF 48 HOURS ADVANCE NOTICE TO THE OWNER. INTERRUPTIONS IN UTILITY SERVICES SHALL BE OF THE SHORTEST POSSIBLE DURATION FOR THE WORK AT HAND & SHALL BE APPROVED IN ADVANCE BY THE OWNER.
 - (13) IF THIS PROJECT CONTAINS HAZARDOUS MATERIALS, CONTRACTOR TO PROVIDE WORK REQUIRED FOR PROPER REMOVAL, HANDLING, & DISPOSAL PER ENVIRONMENTAL ANALYSIS RECOMMENDATIONS.

- ### KEY NOTES
- (1) EXISTING DOOR: TO REMAIN. SEAL SHUT & REMOVE ALL LOCKING HARDWARE.
 - (2) EXISTING DOOR: TO REMAIN. REPLACE ALL HARDWARE WITH NEW.
 - (3) NEW DOOR: NEW DOOR TO BE INSTALLED. REFER TO A2.1 FOR DOOR SCHEDULE & A2.1 FOR FINISH SCHEDULE.
 - (4) NEW OR SIGN: OWNER FURNISHED AND INSTALLED. PROVIDE ROUGH-IN ELECTRICAL. BUILT OUT SIGN AREA TO BE FLUSH. COORDINATE REQUIREMENTS WITH OWNER. REFER TO SGZ.1 FOR ADDITIONAL INFORMATION.
 - (5) ADDRESS NUMBERS: NEW 12" HIGH VINYL NUMBERS. BY G.C. COLOR TO BE WHITE.
 - (6) EXISTING DOWNSPOUTS & SCUPPER: TO REMAIN. UNDER LANDLORD SCOPE.
 - (7) STOREFRONT: NEW STOREFRONT TO BE INSTALLED IN EXISTING OPENING.
 - (8) EXISTING GLAZING: TO REMAIN. NO CHANGE.
 - (9) EXISTING GLAZING: EXISTING GLAZING TO RECEIVE NEW TINT. REFER TO A5.1 GLAZING SCHEDULE FOR MORE INFORMATION.
 - (10) EXISTING LIGHTING: TO REMAIN. NO CHANGE.
 - (11) EXISTING DECORATIVE AWNING: TO REMAIN. NO CHANGE.

REGISTERED ARCHITECT
JOHN D. TORGERSON
7005
02003/2021

PROJECT:
NEW O'REILLY AUTO PARTS STORE
1920 E UNIVERSITY DRIVE
TEMPE, AZ 85281

EXTERIOR ELEVATIONS

O'Reilly AUTO PARTS

CORPORATE OFFICE
203 SOUTH PATTERSON
SPRINGFIELD, MISSOURI 65802
(417) 882-2674 TELEPHONE

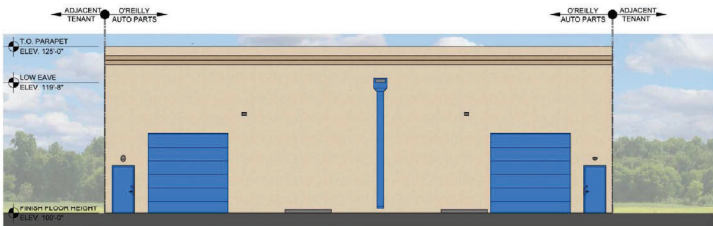
DRAWN BY: NO
CHECKED BY: KR
DATE: 02/03/2021
REVISION:

PROJECT NUMBER:
20328-TP4

SHEET NUMBER:
A2.1









1 FRONT EXTERIOR ELEVATION



2 REAR EXTERIOR ELEVATION

Exterior Finish Legend

	EIFS (Exterior Insulation and Finish System) Sherwin Williams "Positive Red" SW6871
	EIFS (Exterior Insulation and Finish System) Power Wash
	EIFS (Exterior Insulation and Finish System) & Flashing Power Wash
	Concrete Masonry Unit Power Wash
	Egress Doors, Overhead Door, and Frames Power Wash
	Sheet Metal Cap Flashing, Trim, Gutters, and Downspouts Power Wash



©2019 Google

 **BREWERY**

1920

111

Life Safer