

**CITY OF TEMPE
DEVELOPMENT REVIEW COMMISSION**

**Meeting Date: 4/27/2021
Agenda Item: 6**

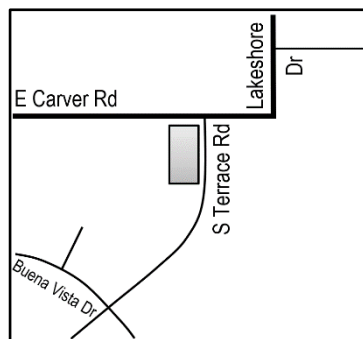
ACTION: Request a Use Permit to allow a second story addition (sun deck above RV garage) for THE CONNACHER RESIDENCE, located at 1077 E Carver Road. The applicant is Terry S. Connacher.

FISCAL IMPACT: N/A

RECOMMENDATION: Staff – Approve, subject to conditions

BACKGROUND INFORMATION: THE CONNACHER RESIDENCE (PL210051) is a single-family residence located on the southwest corner of East Carver Road and South Terrace Road in the AG, Agricultural District. The applicant, Terry S. Connacher, plans to construct an attached 1,012 square-foot RV garage with a 400 square-foot second story sundeck. The top of parapet measures 19'-10" from finished grade and the top of rail of the sundeck will measure 21'-4". The materials and finishes will match the existing house. The request includes the following:

ZUP210025 Use Permit to allow a second story addition (sun deck above RV garage).



Property Owner	Terry S. and Lisa A. Connacher
Applicant	Terry S. Connacher
Zoning District	AG
Site Area	42,018 s.f. / 0.96 ac
Building Area	6,975 s.f.
Lot Coverage	16.6% (25% max. required)
Building Height	19'-10" (30'-0" max. required)
Building Setbacks	73'-6" side, 25'-2" street side, 96'-0" rear (20'-0", 35'-0", 35'-0" min. required)
Vehicle Parking	5 spaces (2 min. required)

ATTACHMENTS: Development Project File

STAFF CONTACT(S): Lee Jimenez, Senior Planner (480) 350-8486

Department Director: Shelly Seyler, Interim Community Development Director

Legal review by: N/A

Prepared by: Lee Jimenez, Senior Planner

Reviewed by: Steve Abrahamson, Principal Planner

COMMENTS

THE CONNACHER RESIDENCE (PL210051) is a corner lot that is adjacent to a key lot to the south. Therefore, the required street side yard setback which is twenty-five (25) feet in the AG District, shall be increased by ten (10) additional feet. However, the Hearing Officer approved a Variance for THE CONNACHER RESIDENCE on January 6, 2004 to reduce the required street side yard setback of a corner lot adjacent to a key lot from 35 feet to 25 feet to allow a home addition and garage. The RV garage portion of the Variance approval was never constructed; however, the Variance remains valid.

PUBLIC INPUT

No public comments have been received by staff as of the publishing date of the staff summary report. The applicant informed all adjacent neighbors, including the neighbor across Terrace Road to the east, about the project, and all had no concerns.

USE PERMIT

The proposed use and design requires a Use Permit for any single story, single-family residence to add, expand, or rebuild for a second story.

Section 6-308(E) Approval criteria for Use Permit (*in italics*):

1. *Any significant increase in vehicular or pedestrian traffic*; the proposed use and design is intended for a single-family residential use and is not expected to increase vehicular or pedestrian traffic.
2. *Nuisance arising from the emission of odor, dust, gas, noise, vibration, smoke, heat or glare at a level exceeding that of ambient conditions*; the proposed use and design is intended for a single-family residential use and is not expected to generate emissions that would otherwise create a nuisance to the surrounding area.
3. *Contribution to the deterioration of the neighborhood or to the downgrading of property values, which is in conflict with the goals, objectives or policies for rehabilitation, redevelopment or conservation as set forth in the city's adopted plans or General Plan*; the proposed use and design will add value to the property and will not conflict with the goals and objectives of City adopted plans and the General Plan.
4. *Compatibility with existing surrounding structures and uses*; the proposed use and design is compatible with existing surrounding structures and uses. The sundeck is setback approximately 170'-0" from the north property line, 54'-0" from the east property line, 96'-0" from the south property line, and 73'-6" from the west property line. There are two (2) existing elevated decks located nearby at 1229 East Secretariat Drive and 8517 South Terrace Road among other two-story homes located throughout the surrounding area.
5. *Adequate control of disruptive behavior both inside and outside the premises which may create a nuisance to the surrounding area or general public*; the proposed use and design is intended for a single-family residential use and is not expected to create disruptive behavior.

REASONS FOR APPROVAL:

Based on the information provided by the applicant and the above analysis staff supports the requested Use Permit. This request meets the required criteria and will conform to the conditions.

SHOULD AN AFFIRMATIVE ACTION BE TAKEN ON THIS REQUEST, THE FOLLOWING NUMBERED CONDITIONS OF APPROVAL SHALL APPLY, BUT MAY BE AMENDED BY THE DECISION-MAKING BODY.

CONDITION(S) OF APPROVAL: (Non-standard conditions are identified in bold)

EACH NUMBERED ITEM IS A CONDITION OF APPROVAL. THE DECISION-MAKING BODY MAY MODIFY, DELETE OR ADD TO THESE CONDITIONS.

1. The Use Permit is valid only after a Building Permit has been obtained, the required inspections have been completed, and a Final Inspection has been passed. As part of the Building Permit process, on-site storm water retention may be required to be verified or accomplished on this Site.

2. The Use Permit is valid for the plans as submitted within this application. Any additions or modifications may be submitted for review during the building plan check process.

CODE/ORDINANCE REQUIREMENTS:

THE BULLETED ITEMS REFER TO EXISTING CODE OR ORDINANCES THAT PLANNING STAFF OBSERVES ARE PERTINENT TO THIS CASE. THE BULLET ITEMS ARE INCLUDED TO ALERT THE DESIGN TEAM AND ASSIST IN OBTAINING A BUILDING PERMIT AND ARE NOT AN EXHAUSTIVE LIST.

USE PERMIT:

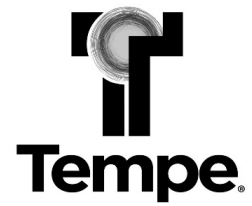
- The use permit approval shall be void if the use is not commenced or if an application for a building permit has not been submitted, whichever is applicable, within twelve (12) months after the use permit is granted or within the time stipulated by the decision-making body.
- The decision-making body, upon finding that the applicant has not taken corrective actions to resolve issues related to the permit/approval and that a continuation of the permit/approval is not in the interest of the public health, safety and general welfare, can revoke the permit/approval after providing written notice of its intentions to the holder of the permit.
- Specific requirements of the **Zoning and Development Code (ZDC)** are not listed as a condition of approval but will apply to any application. To avoid unnecessary review time and reduce the potential for multiple plan check submittals, become familiar with the ZDC. Access the ZDC through <http://www.tempe.gov/zoning> or purchase from Development Services.
- Any intensification or expansion of use shall require a new Use Permit.

HISTORY & FACTS:

- | | |
|-----------------|---|
| 1992 | Single-family residence constructed. |
| January 6, 2004 | Hearing Officer approved a Variance to reduce the east side yard setback from 35 feet to 25 feet to allow a home addition and garage for the CONNACHER RESIDENCE (PL030833), located at 1077 East Carver Road in the AG, Agricultural District. |

ZONING AND DEVELOPMENT CODE REFERENCE:

- [Section 3-102, Permitted Uses in Residential Districts](#)
- [Section 3-420, Single-Family Residential Second Story Addition or Rebuild](#)
- [Section 4-202, Development Standards for Residential Districts](#)
- [Section 6-308, Use Permit](#)



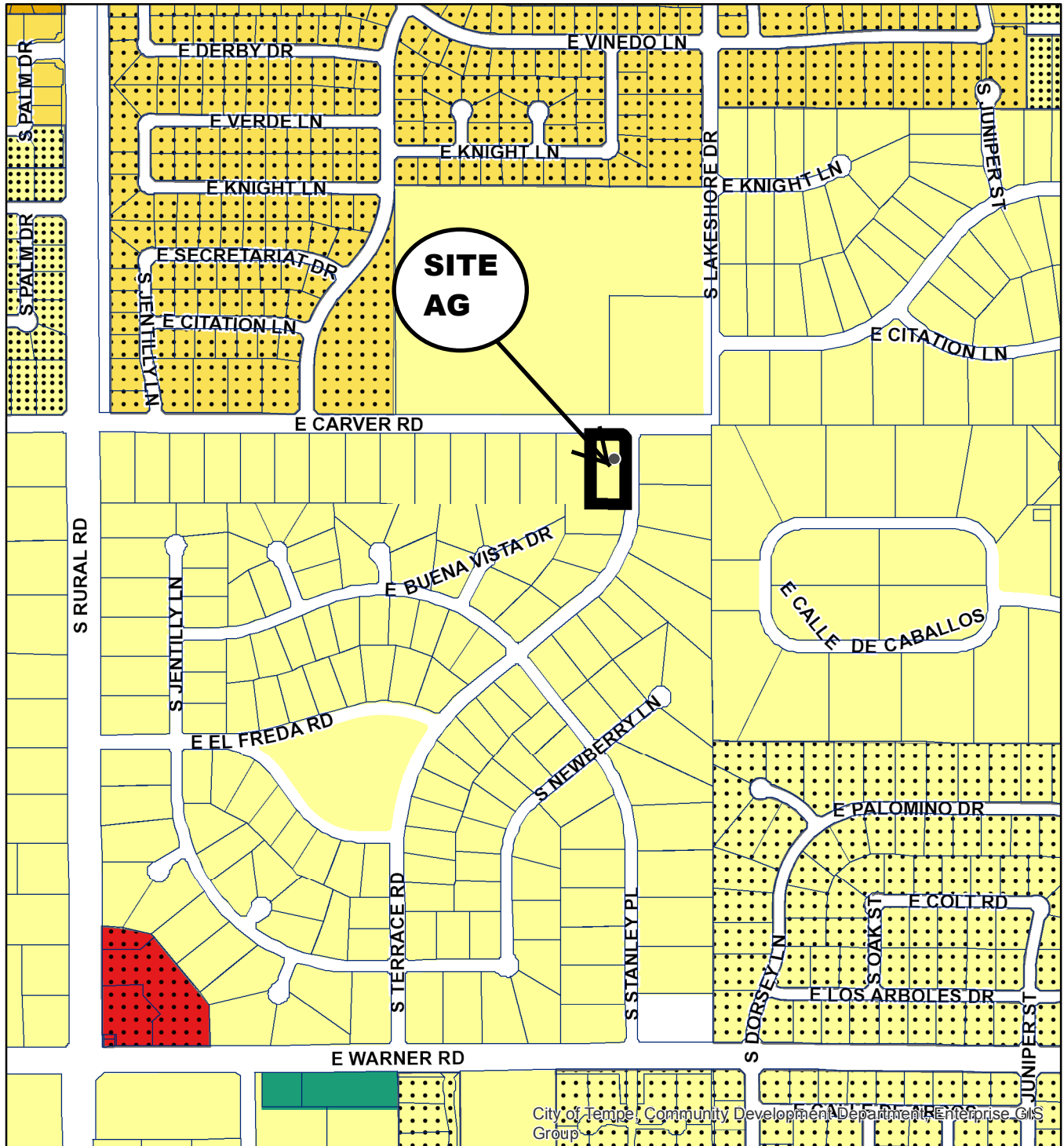
DEVELOPMENT PROJECT FILE
for
THE CONNACHER RESIDENCE
(PL210051)










ATTACHMENTS:

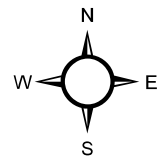
1. Location Map
2. Aerial
3. Letter of Explanation
4. Site Plan
- 5-6. Blackline Elevations
- 7-8. Floor Plan
- 9-14. Site Context Photos

CONNACHER RESIDENCE

PL210051



- | | |
|--|--|
|  Planned Commercial Center Neighborhood (PCC-1) |  Single-Family Residential (R1-8) |
|  Residential/Office (RO) |  Single-Family Residential (R1-7) |
|  Agricultural (AG) |  Single-Family Residential (R1-6) |
|  Single-Family Residential (R1-15) |  Single-Family Residential (R1-5) |
|  Single-Family Residential (R1-10) | |

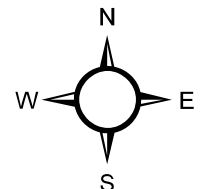


CONNACHER RESIDENCE

PL210051



Aerial Map



Letter of Explanation

**RV Garage and Sun Deck Addition/Alteration to the Residence of Mr. & Mrs. Connacher
1077 E. Carver Rd, Tempe AZ 85284**

Project Goals and Objectives: - Obtain use permit to allow a sun deck addition at the roof-level of new RV garage, part of a single-level single-family residence.

Proposed design takes advantage of setback variance granted in 2004 which reduced the required street side setback from 35' to 25' for the entire stretch of the street side and has been approved by the city during the preliminary doc check for the new RV garage.


- Provide elevated location to better enjoy views of the sunsets and monsoon activity.

Primary use:

- Provide place to relax and enjoy sunset views

Potential impacts to surrounding properties:

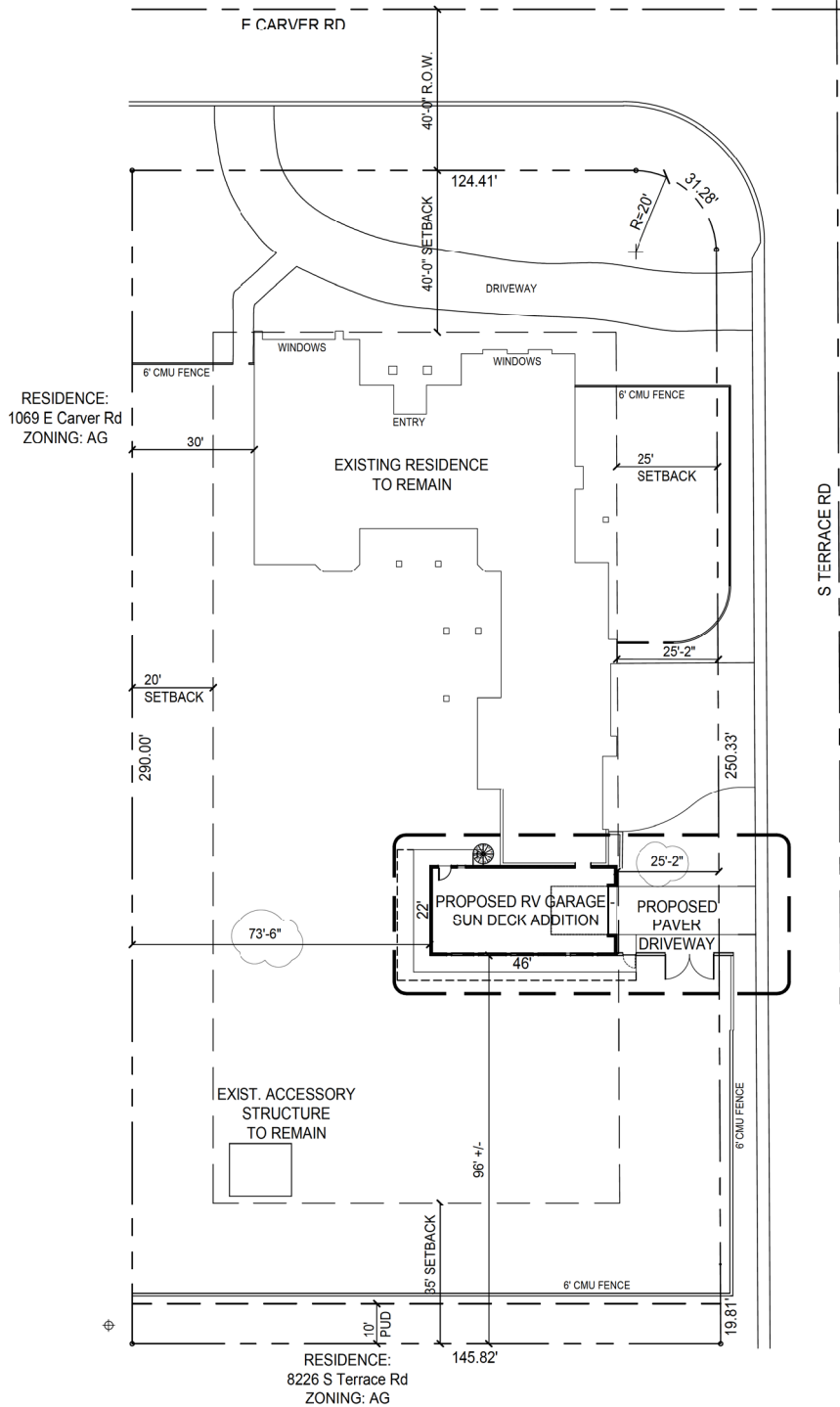
- None identified. Elevated deck will not directly overlook any existing properties or create privacy concerns. See context photos that show that the view in any direction does not look into neighbor's windows or view into back yards. Primary view direction is to the West where property line is >60ft. away and fences are chain link/horse fence.
- a) No impact to vehicular or pedestrian traffic
 - b) No nuisance from odors, dust, gas, etc.
 - c) No deterioration of the neighborhood property values or conflicts with goals, objectives or policies of the city's General Plan – see point d).
 - d) Not in conflict with surrounding structures or general uses.
 - a. Consistent with large elevated deck under construction at 1229 E Secretariat Dr. that includes fireplace and other amenities.
 - b. Consistent with elevated deck at 8517 S. Terrace Rd.
 - c. Consistent with multiple second story homes throughout the local neighborhoods.
 - e) For personal use only, will not contribute to disruptive behavior or create a nuisance.



Homeowner, Terry S. Connacher

24 Mar 2021
Date

MIDDLE SCHOOL - ELEMENTARY SCHOOL
1050 & 1100 E Carver Rd
ZONING: AG



RESIDENCE:
1069 E Carver Rd
ZONING: AG

RESIDENCE:
8211 S Terrace Rd
ZONING: AG

Contact:
Terry Connacher
480 502-0058
t.connacher@cox.net

Project:
RV Garage - Roof Sun Deck Addition /
Alteration
1077 E Carver Rd
Tempe, Arizona 85283

Deed Number: 040015886
Lat/Long: 33.341402, -111.921223
S/T/R: 14 1S 4E
Zoning: AG (no proposed change)
MCR #: 146-17
Subdivision: Buena Vista Ranchos
Lot #: 96
APN: 301-51-112

Net Site Area: 42,018 SF, 0.9646 acre

Total building area:
Existing 3,712 SF livable
2,251 SF garage/storage
5,963 SF total

Proposed 1,012 SF garage/storage
400 SF sun deck
1,412 SF total

Square footage: 7,375 SF

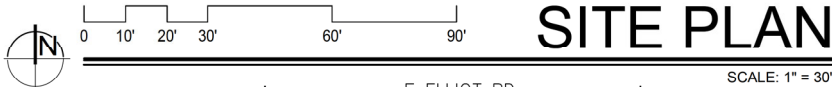
Density: 1

List of proposed uses: a single
residential dwelling of 7,375 SF total

Lot Coverage per New Garage addition
and Existing Residence:
6,975 SF x 100 / 42,036 SF Lot Size =
16.6 % (Max Lot Coverage = 25%)

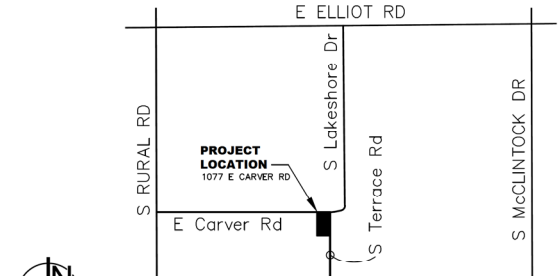
Building Code Data:

Construction Type is V-B
Bldg Height: 25' actual, 30' allowed
Occupancy Classification is R-3
Sprinklers / Fire Alarms are not provided



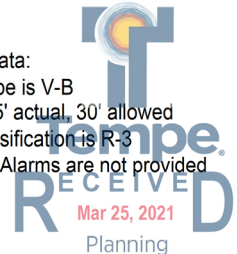
SITE PLAN

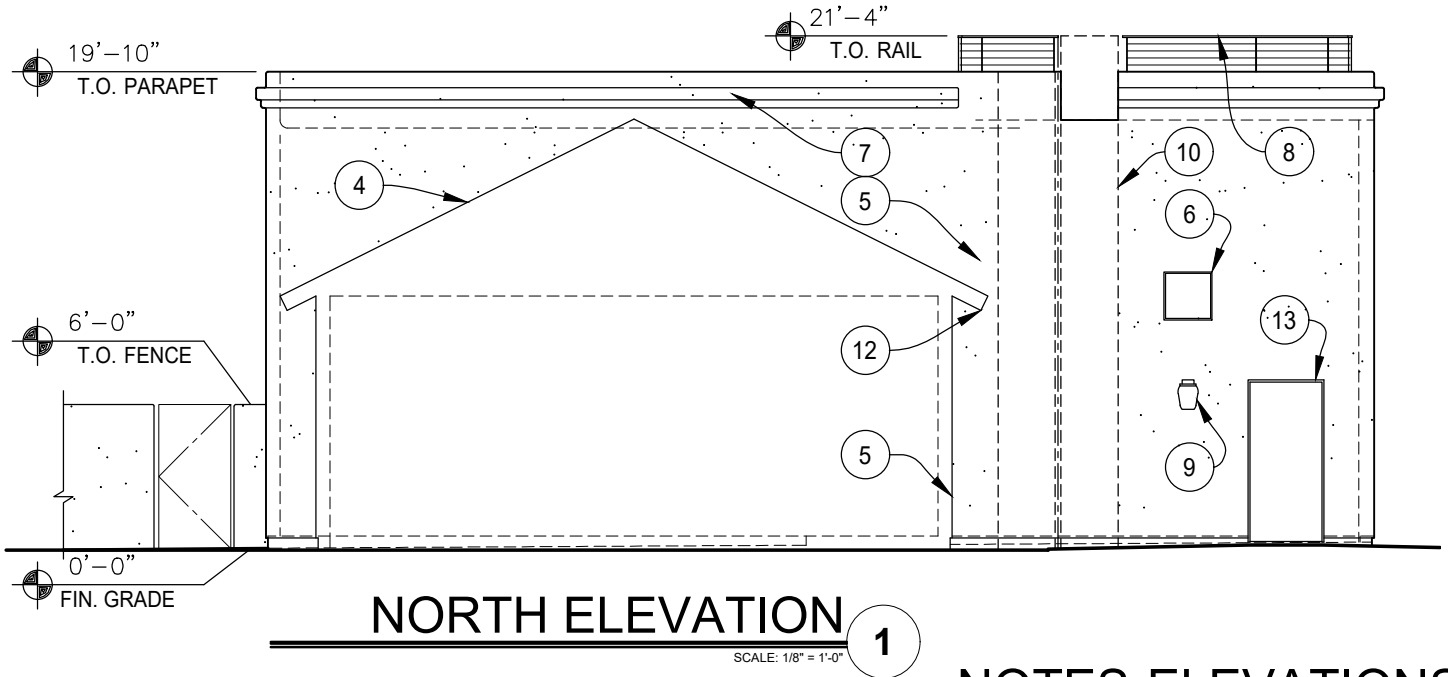
SCALE: 1" = 30'



VICINITY MAP

ATTACHMENT 4
NO SCALE

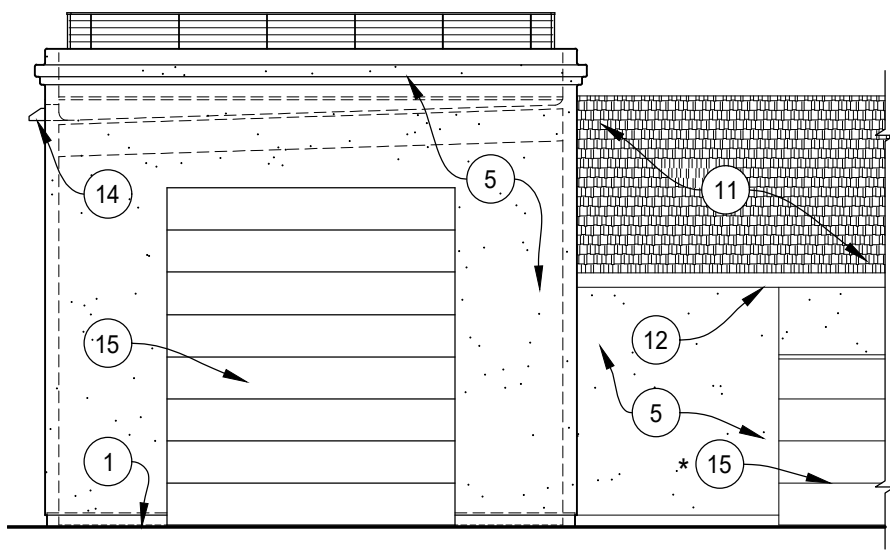




NORTH ELEVATION 1
SCALE: 1/8" = 1'-0"

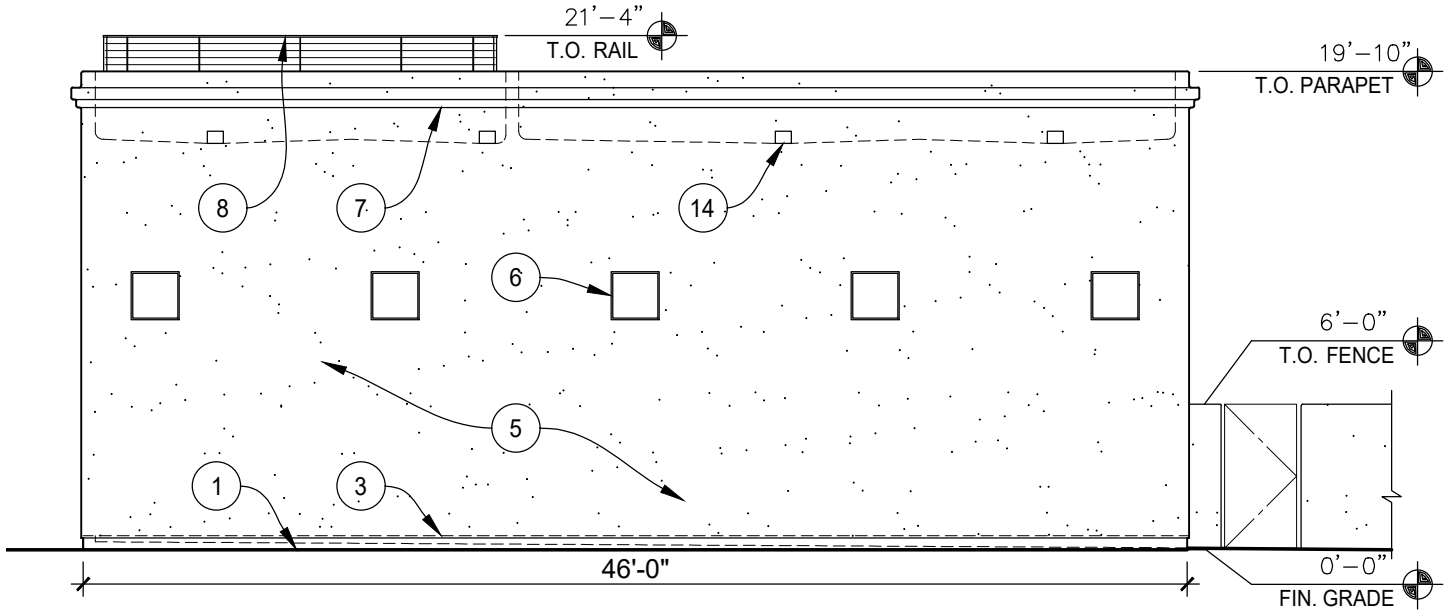
NOTES-ELEVATIONS

1. FINISHED GRADE.
2. 3 1/2" CONCRETE SLAB ON GRADE.
3. DASHED LINE OF FINISHED FLOOR.
4. ROOF LINE OF EXISTING RESIDENCE (GARAGE), TO REMAIN.
5. WESTERN 1-KOTE EXTERIOR FINISH & INSULATION SYSTEM. MATCH EXISTING TEXTURE AND COLOR.
6. FIXED WINDOW. FIBERGLASS FRAME w/ 3/4" DBL-PANE.
7. STUCCO DECORATIVE BAND TO MATCH EXISTING RESIDENCE.
8. METAL GUARDRAIL AND SUPPORTS. WITH S.S. CABLE SYSTEM.
9. WALL-MOUNT LIGHT FIXTURE.
10. SPIRAL STAIR.
11. EXISTING CONCRETE TILE ROOFING.
12. EXISTING ROOF FASCIA.
13. HINGED DOOR. FIBERGLASS FACE SHEETS.
14. THRU-WALL SCUPPER.
15. SEGMENTED GARAGE DOOR. (* = EXISTING)



EAST ELEVATION 2
SCALE: 1/8" = 1'-0"





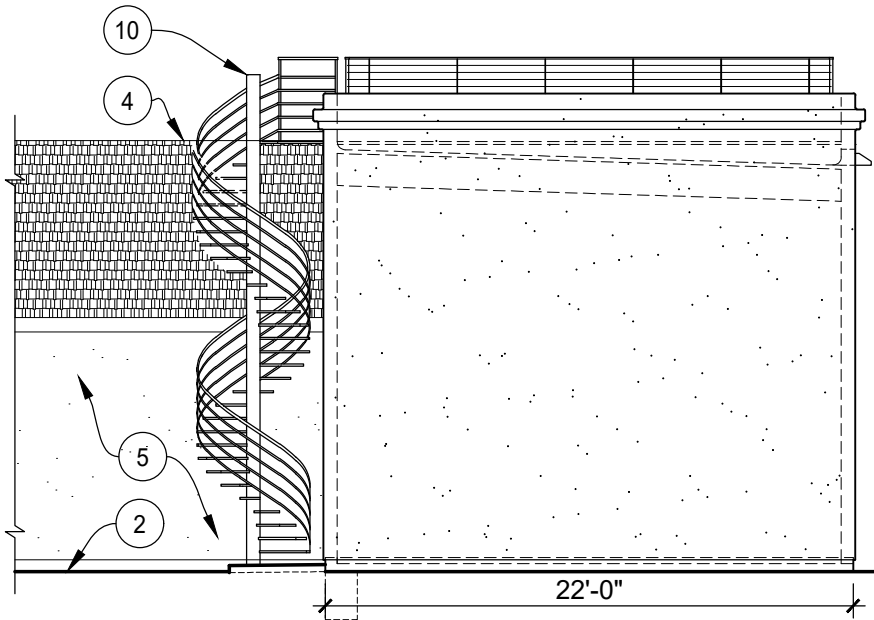
SOUTH ELEVATION

3

SCALE: 1/8" = 1'-0"

NOTES-ELEVATIONS

1. FINISHED GRADE.
2. 3 1/2" CONCRETE SLAB ON GRADE.
3. DASHED LINE OF FINISHED FLOOR.
4. ROOF LINE OF EXISTING RESIDENCE (GARAGE), TO REMAIN.
5. WESTERN 1-KOTE EXTERIOR FINISH & INSULATION SYSTEM. MATCH EXISTING TEXTURE AND COLOR.
6. FIXED WINDOW. FIBERGLASS FRAME w/ 3/4" DBL-PANE.
7. STUCCO DECORATIVE BAND TO MATCH EXISTING RESIDENCE.
8. METAL GUARDRAIL AND SUPPORTS. WITH S.S. CABLE SYSTEM.
9. WALL-MOUNT LIGHT FIXTURE.
10. SPIRAL STAIR.
11. EXISTING CONCRETE TILE ROOFING.
12. EXISTING ROOF FASCIA.
13. HINGED DOOR. FIBERGLASS FACE SHEETS.
14. THRU-WALL SCUPPER.
15. SEGMENTED GARAGE DOOR.



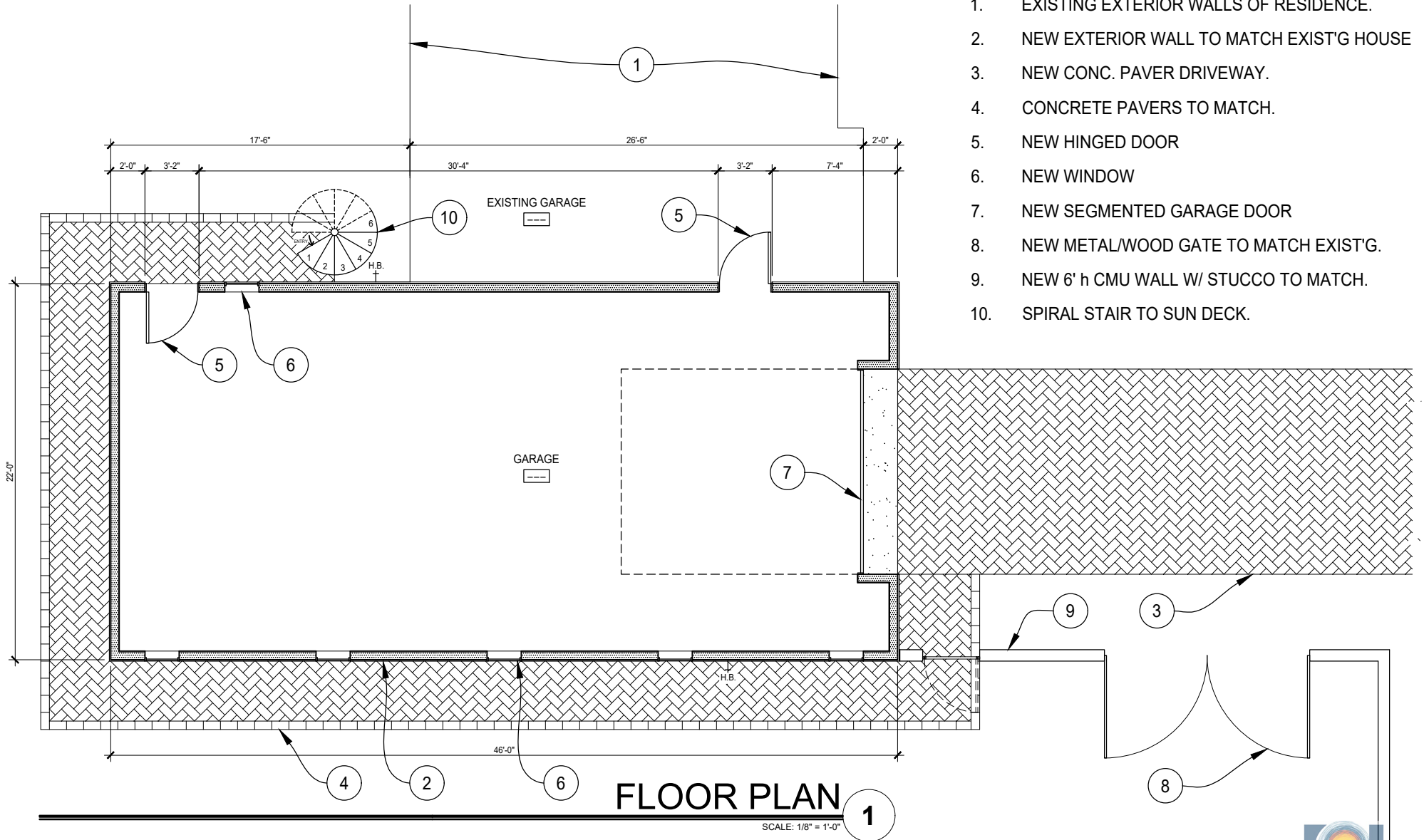
WEST SECTION

4

SCALE: 1/8" = 1'-0"

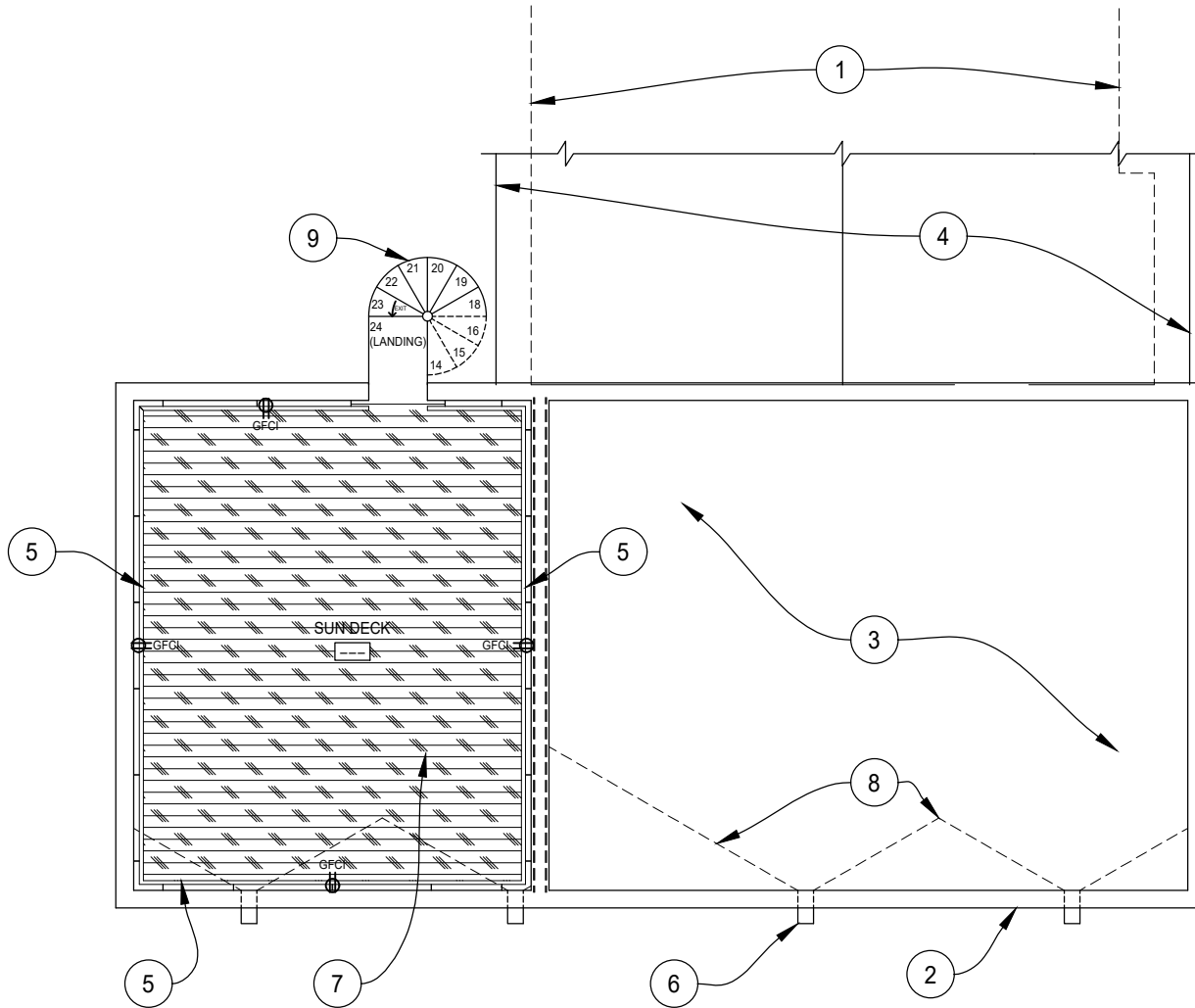
NOTES - FLR PLAN

1. EXISTING EXTERIOR WALLS OF RESIDENCE.
2. NEW EXTERIOR WALL TO MATCH EXIST'G HOUSE
3. NEW CONC. PAVER DRIVEWAY.
4. CONCRETE PAVERS TO MATCH.
5. NEW HINGED DOOR
6. NEW WINDOW
7. NEW SEGMENTED GARAGE DOOR
8. NEW METAL/WOOD GATE TO MATCH EXIST'G.
9. NEW 6' h CMU WALL W/ STUCCO TO MATCH.
10. SPIRAL STAIR TO SUN DECK.



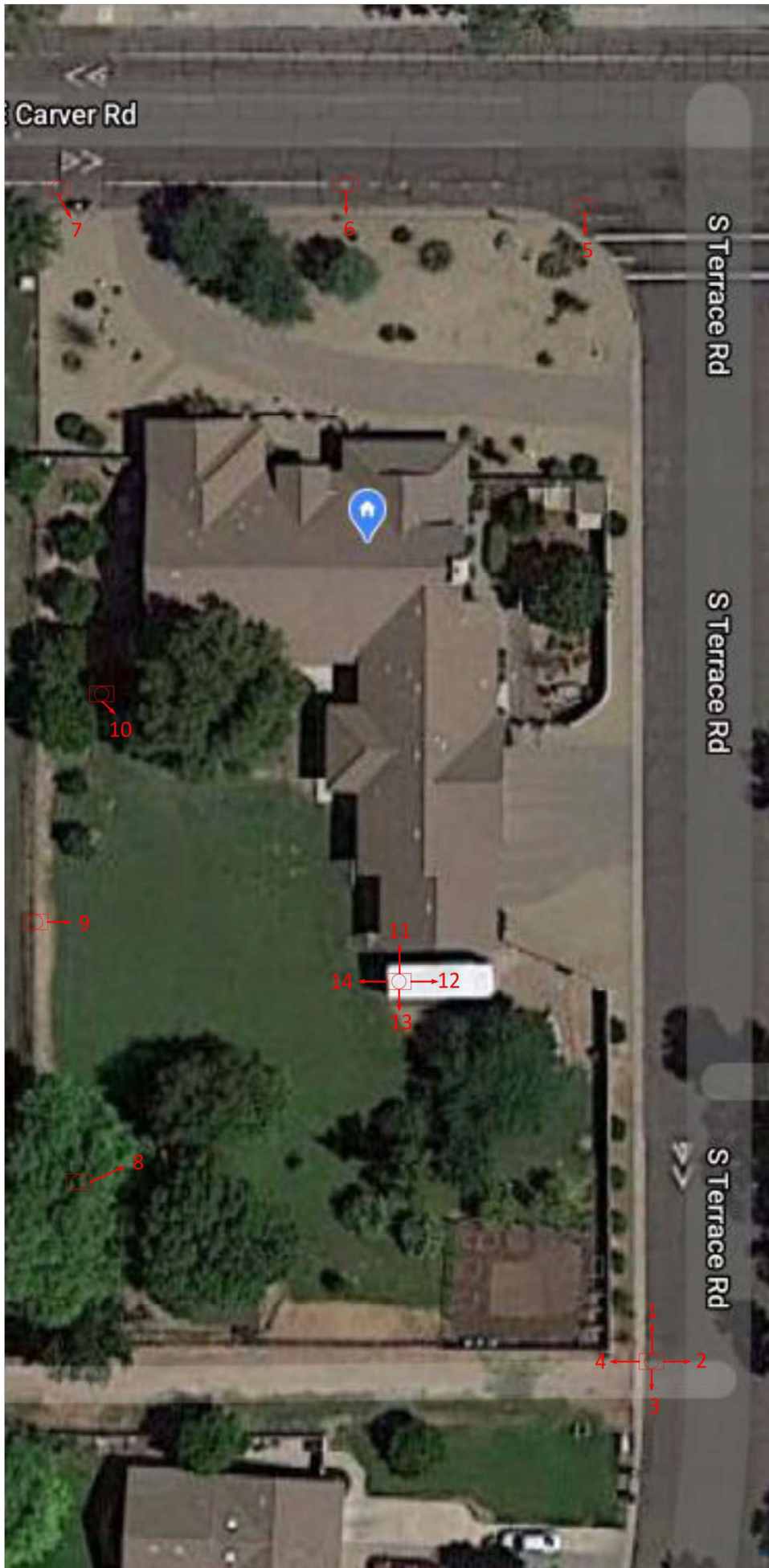
NOTES - PLAN

1. EXISTING EXTERIOR WALL, BELOW.
2. NEW EXTERIOR WALL w/ METAL CAP.
3. LOW SLOPE FOAM ROOFING (WHITE).
4. EXISTING CONC. TILE ROOFING.
5. METAL GUARDRAIL AND SUPPORTS w/ S.S. CABLE SYSTEM (PAINT TO MATCH EXISTING TRIM).
6. THRU WALL SCUPPER (PAINT TO MATCH EXISTING TRIM).
7. WOOD DECK (Use: 1 x 6 EPAY OR KEBONY).
8. SLOPE ROOF TO DRAIN.
9. SPIRAL STAIR TO SUN DECK.



SUN DECK & ROOF PLAN 2

SCALE: 1/8" = 1'-0"



RV Garage - Roof Sun Deck Addition /
Alteration ATTACHMENT 9
1077 E Carver Rd
Tempe, Arizona 85283



Name: Photo1



Name: Photo2



Name: Photo3



Name: Photo4



Name: Photo5



Name: Photo6



Name: Photo7



Name: Photo8



Name: Photo9



Name: Photo10



Name: Photo11



Name: Photo12



Name: Photo11-12-13



Name: Photo13-14-11

ATTACHMENT 13



Name: Photo13



Name: Photo14
ATTACHMENT 14