

**CITY OF TEMPE
DEVELOPMENT REVIEW COMMISSION**

**Meeting Date: 10/12/2021
Agenda Item: 4**

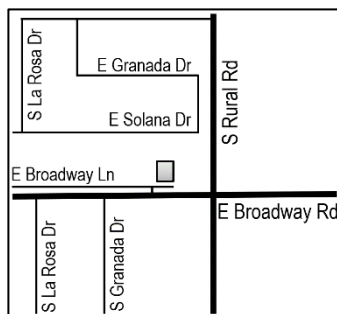
ACTION: Request two (2) Use Permits to allow a second story addition to an existing single-level single family residence, and to increase the maximum height of wall/fencing within the required front yard setback from four (4) feet up to six (6) feet for THE PENDERGRAFT RESIDENCE, located at 726 East Broadway Lane. The applicant is Marc Pendergraft.

FISCAL IMPACT: N/A

RECOMMENDATION: Staff – Approve, subject to conditions

BACKGROUND INFORMATION: THE PEDERGRAFT RESIDENCE (PL210120) is located north of East Broadway Road between South Rural Road and South Granada Drive on Lot 137 of the University Heights subdivision in the R1-6, Single-Family Residential District. The applicant, Mark Pendergraft, is proposing an 1,100 s.f. second story addition and a 228 s.f. second story deck above the western third of the existing house, and a new concrete masonry unit and wrought iron view fence with a swinging pedestrian gate and sliding vehicular gate along the front property line. The project scope includes a conversion of the existing carport to a garage, and a new swimming pool along with new landscaping and hardscaping. The request includes the following:

- ZUP210039 Use Permit to allow a second story addition to a single-level, single-family residence.
- ZUP210047 Use Permit to increase the maximum height of wall/fencing within the required front yard setback from four (4) feet up to six (6) feet.



Property Owner	MAAB LLC
Applicant	Marc Pendergraft
Zoning District	R1-6
Site Area	7,344 s.f.
Existing Building Area	2,170 s.f.
Second Story Addition	1,113 s.f. livable area and 228 s.f. outdoor deck
Garage Addition	454 s.f.
Proposed Building Area	3,737 s.f.
Lot Coverage	36% (45% max. allowed)
Building Height	23'-0" (30'-0" max. allowed)
Building Setbacks	20'-0" front, 10'-9" east side, 5'-0" west side, 19'-5" rear (20', 5', 5', 15' min. required)
Vehicle Parking	2 spaces (2 min. required)
Bicycle Parking	2 spaces (0 min. required)

ATTACHMENTS: Development Project File

STAFF CONTACT(S): Lee Jimenez, Senior Planner (480) 350-8486

Department Director: Shelly Seyler, Interim Community Development Director
Legal review by: N/A
Prepared by: Lee Jimenez, Senior Planner
Reviewed by: Steve Abrahamson, Principal Planner

COMMENTS

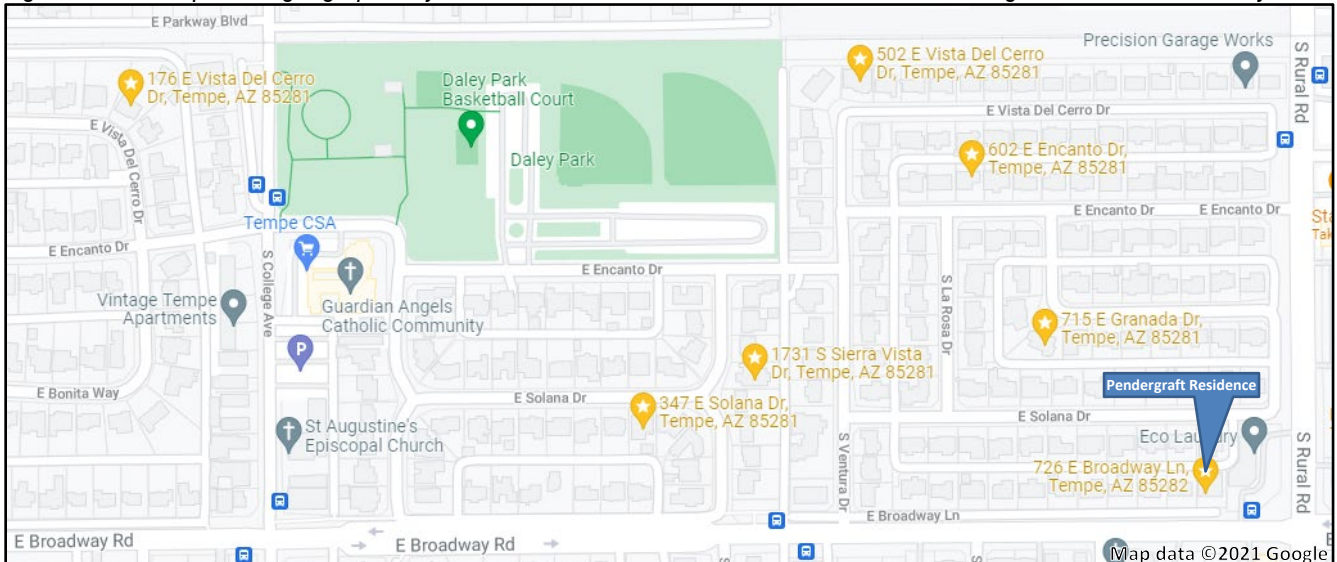
The existing house consists of three (3) bedrooms and two and a half (2-½) bathrooms with a two (2) vehicle carport. The house will consist of six (6) bedrooms and three and a quarter (3-¼) bathrooms with a two (2) car garage, a pool, an outdoor shower, and new front yard wall/fencing after the second story addition and renovations. The second story will provide additional livable space consisting of two (2) bedrooms, each with a private bathroom, a second laundry room, a loft, and a deck.

The project scope originally included a conversion of the carport into livable space which would have required a use permit request to locate required parking on the driveway; however, staff recommended keeping the carport area for parking when considering the lack of on-street parking for guest parking. The applicant acknowledged the recommendation and instead proposes a conversion of the carport into a two-car garage.

The following list consist of lots from the surrounding area that either have a modern design and/or a second story use:

- 1731 South Sierra Vista Drive (modern design and second story)
- 602 East Encanto Drive (modern design)
- 715 East Granada Drive (modern design)
- 347 East Solana Drive (modern design)
- 176 East Vista Del Cerro Drive (second story)
- 502 East Vista Del Cerro Drive (modern design and second story)

Figure 1: The map below geographically shows location of lots that either have a modern design and/or a second story use



PUBLIC INPUT

- A neighborhood meeting is not required for the use permit requests.
- No public comments have been received by staff as of the publishing date of this staff summary report.

USE PERMITS

The proposed design requires two (2) Use Permits to allow a second story addition to a single story, single-family residence, and to increase the maximum height of wall/fencing within the required front yard setback from four (4) feet up to six (6) feet, in the R1-6, Single-Family Residential District. For all heights above four (4) feet, the Use Permit shall demonstrate that a natural surveillance to the street will be maintained by incorporating openings, providing transparent materials, or varying height/materials.

Section 6-308(E) Approval criteria for Use Permit (*in italics*):

1. *Any significant increase in vehicular or pedestrian traffic*; the proposed wall/fencing height is not expected to increase vehicular or pedestrian traffic. However, the second story addition might increase traffic but not at a significant enough level. The single-family residence requires two (2) off-street parking spaces which will be provided in the new garage (previously a carport) with two (2) additional guest spaces provided on the driveway. Additionally, one (1) on-street parking space is located along the street front and is available for use.
2. *Nuisance arising from the emission of odor, dust, gas, noise, vibration, smoke, heat or glare at a level exceeding that of ambient conditions*; the wall/fencing height plus the nature of a single-family residence second story addition is not expected to generate emissions that would otherwise exceed ambient conditions and cause a nuisance. Both the wall/fencing and the addition are intended for a single-family use.
3. *Contribution to the deterioration of the neighborhood or to the downgrading of property values, which is in conflict with the goals, objectives or policies for rehabilitation, redevelopment or conservation as set forth in the city's adopted plans or General Plan*; the wall/fencing height and the second story addition are not in conflict with the City's General Plan and are likely to increase the property value and positively impact nearby property values.
4. *Compatibility with existing surrounding structures and uses*; several examples of modernly designed homes and two-story homes are located nearby. The wall/fencing design is complimentary to the proposed home renovation and second story addition; the height is appropriate given the property's close proximity to an arterial roadway along the front and adjacency to retail shopping uses to the east and across Broadway Road to the south.
5. *Adequate control of disruptive behavior both inside and outside the premises which may create a nuisance to the surrounding area or general public*; the wall/fencing height and the nature of a single-family second story addition are intended for a single-family use and are not expected to cause disruptive behavior that would otherwise create a nuisance to the surrounding area or general public.

REASONS FOR APPROVAL:

Based on the information provided by the applicant, the public input received, and the above analysis staff supports approval of the requested Use Permits. The requests meet the required criteria and will conform to the conditions.

SHOULD AN AFFIRMATIVE ACTION BE TAKEN ON THIS REQUEST, THE FOLLOWING NUMBERED CONDITIONS OF APPROVAL SHALL APPLY, BUT MAY BE AMENDED BY THE DECISION-MAKING BODY.

CONDITION(S) OF APPROVAL: (Non-standard conditions are identified in bold)

EACH NUMBERED ITEM IS A CONDITION OF APPROVAL. THE DECISION-MAKING BODY MAY MODIFY, DELETE OR ADD TO THESE CONDITIONS.

1. The Use Permits are valid only after a Building Permit has been obtained, the required inspections have been completed and a Final Inspection has been passed. As part of the Building Permit process, on-site storm water retention may be required to be verified or accomplished on this Site.
2. The Use Permits are valid for the plans as submitted within this application. Any additions or modifications may be submitted for review during the building plan check process.

CODE/ORDINANCE REQUIREMENTS:

THE BULLETED ITEMS REFER TO EXISTING CODE OR ORDINANCES THAT PLANNING STAFF OBSERVES ARE PERTINENT TO THIS CASE. THE BULLET ITEMS ARE INCLUDED TO ALERT THE DESIGN TEAM AND ASSIST IN OBTAINING A BUILDING PERMIT AND ARE NOT AN EXHAUSTIVE LIST.

USE PERMIT:

- The use permit approval shall be void if the use is not commenced or if an application for a building permit has not been submitted, whichever is applicable, within twelve (12) months after the use permit is granted or within the time stipulated by the decision-making body.

- The decision-making body, upon finding that the applicant has not taken corrective actions to resolve issues related to the permit/approval and that a continuation of the permit/approval is not in the interest of the public health, safety and general welfare, can revoke the permit/approval after providing written notice of its intentions to the holder of the permit.
- Specific requirements of the **Zoning and Development Code (ZDC)** are not listed as a condition of approval but will apply to any application. To avoid unnecessary review time and reduce the potential for multiple plan check submittals, become familiar with the ZDC. Access the ZDC through <http://www.tempe.gov/zoning> or purchase from Development Services.
- Any intensification or expansion of uses shall require a new Use Permit.

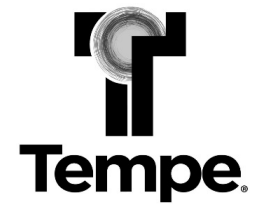
HISTORY & FACTS:

1960 Single story single-family house constructed.

December 19, 1987 Zoning Ordinance amended to require use permits for single-family residential second story additions or rebuilds.

ZONING AND DEVELOPMENT CODE REFERENCE:

- [Section 3-102, Permitted Uses in Residential Districts](#)
- [Section 3-420, Single-Family Residential Second Story Addition or Rebuild](#)
- [Section 4-202, Development Standards for Residential Districts](#)
- [Section 4-706, Screens, Walls and Access Control Landscapes](#)
- [Section 6-308, Use Permit](#)



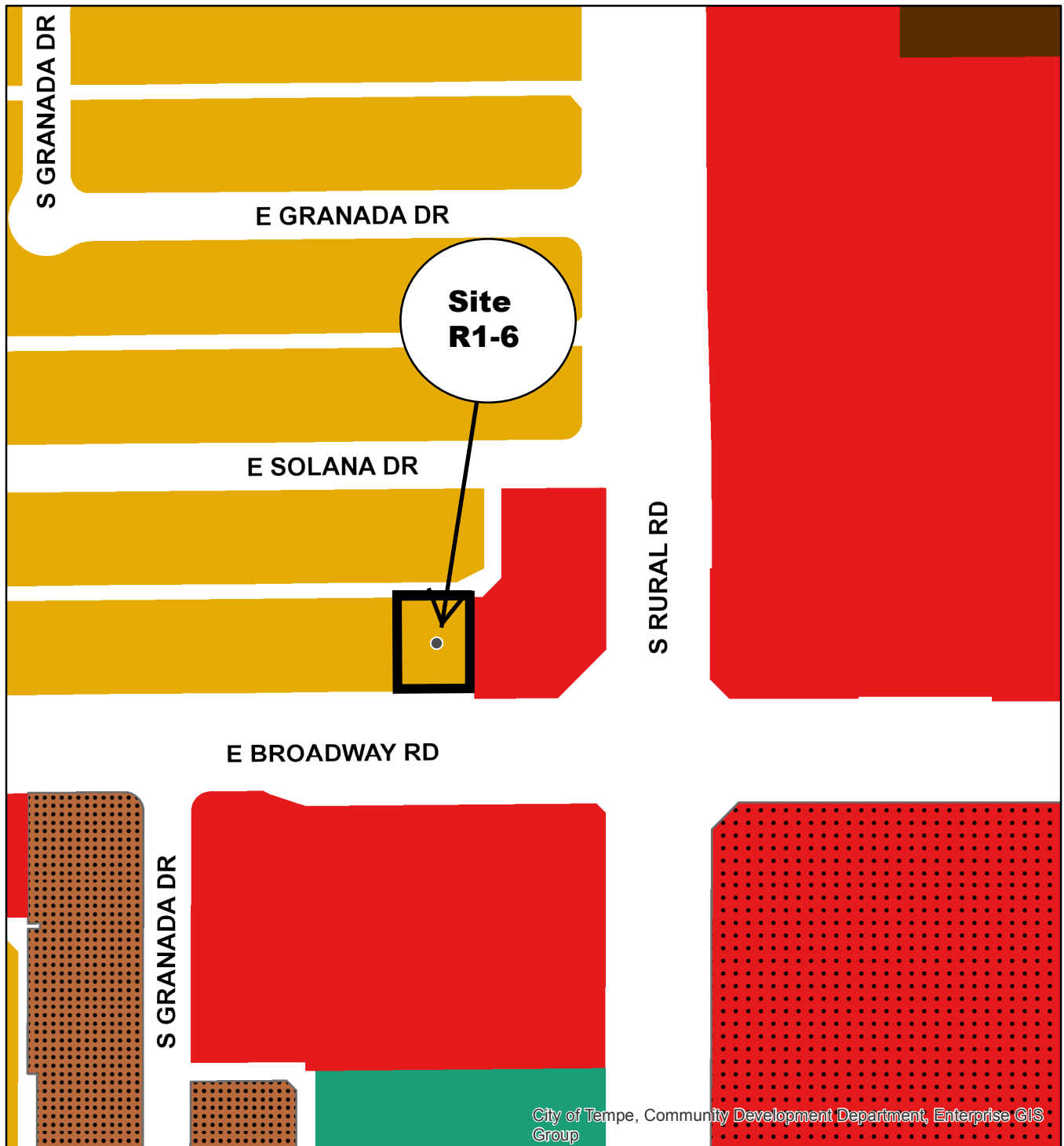
DEVELOPMENT PROJECT FILE
for
THE PENDERGRAFT RESIDENCE
(PL210120)

ATTACHMENTS:







1. Location Map
2. Aerial
- 3-4. Letter of Explanation
5. Existing Site Plan
6. Proposed Site Plan
7. Existing Floor Plan
- 8-9. Proposed Floor Plan
- 10-11. Proposed and Existing Building Elevations
- 12-13. Proposed Wall/Fence Details

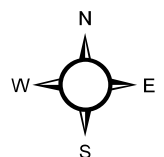
Pendergraft Residence

PL210120



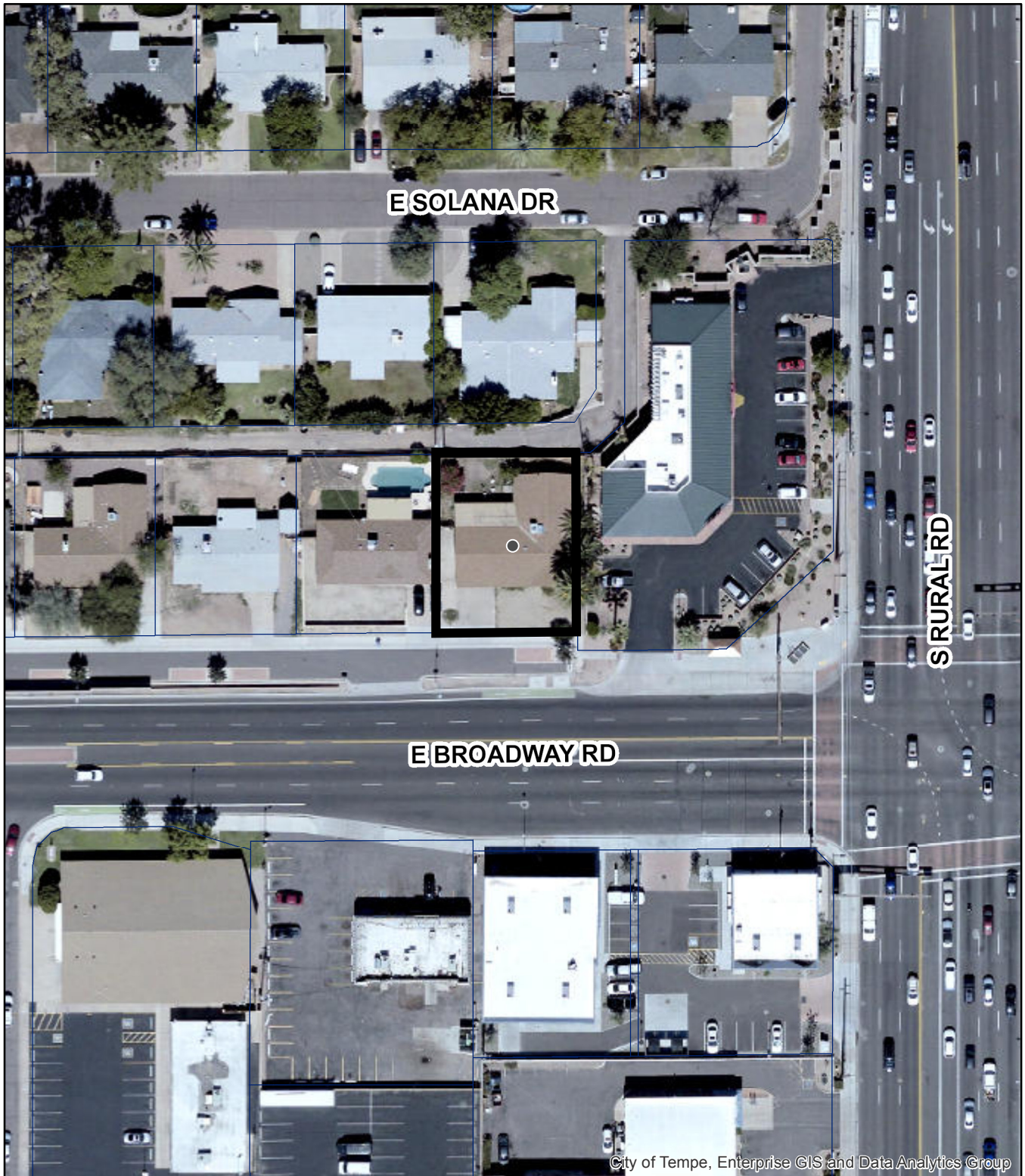
City of Tempe, Community Development Department, Enterprise GIS Group

- | | | | |
|---|--|---|--|
|  | Commercial Shopping and Services (CSS) |  | Single-Family Residential (R1-6) |
|  | Planned Commercial Center Neighborhood (PCC-1) |  | Multi-Family Residential Limited (R-3) |
|  | Residential/Office (RO) |  | Multi-Family Residential General (R-4) |



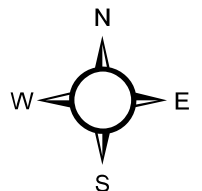
The Pendergraft Residence

PL210120



City of Tempe, Enterprise GIS and Data Analytics Group

Aerial Map



9/17/21

To: City of Tempe
Community Development Department
31 East 5th Street, Garden Level
Tempe, Arizona 85282

Re: **Letter of Explanation – Requested Use Permits (PL210120)**
726 E Broadway Lane, Tempe, Arizona

To whom it may concern:

As the owner / developer of the property located at 726 E Broadway Lane. I am submitting my Letter of Explanation for the Use Permits I am requesting and that are required for this application.

Use Permit No. 1 is for a proposed second-floor addition that provides 1,188 square feet of livable space. This proposed addition will provide 2 new bedrooms each with full bathrooms, a laundry room, home office area, along with a covered exterior balcony. The proposed second floor addition will meet all the local building and zoning codes.

This property is zoned R1-6 and allowable building height for this property in this zone is 30-FT. I am proposing a final building height of 22'-9". There will be no request to change or modify the existing building setbacks and the proposed lot coverage with this application is 35.2% where 45% is permitted.

During the planning stages of this project, we were very sensitive and aware that the building design would need to be carefully evaluated. Our goal has always been to provide an architectural design that would complement the existing neighborhood. The building design would also capture the modern elements of current materials. Over the course of our design / development period, we spent time visiting and reviewing several examples of two-story residences within the surrounding neighborhood. We found many examples of modern architecture that guided us to the design we are proposing. We also researched the history of this area and found out that University Heights was built around 1952 to 1960. The design for this area was impeccable for that era. The intent of this proposed design is simplicity using metal and masonry blocks compared to stucco & king brick to reflect common design in this neighborhood in 1959. The proposed design is both visually attractive and in line to transitions principles.

Examples of modern architecture and two-story houses within the surround neighborhood utilizing some of the building material and elements we are proposing are listed below.

- 1) 1731 S Sierra vista Dr. Tempe AZ 85281
- 2) 602 E Encanto Dr Tempe AZ 85281
- 3) 2046 S College Ave Tempe AZ 85282

- 4) 140 W Cottage Ln Tempe AZ 85282
- 5) 715 E Granada Dr Tempe AZ 85281
- 6) 347 E Solana Dr Tempe AZ 85281
- 7) 90 W Cottage Ln Tempe AZ 85282
- 8) 176 E Vista del Cerro Dr Tempe 85281
- 9) 502 E Vista Del Cerro Dr Tempe AZ 85281

Use Permit No. 2 is for a decorative privacy and security fence along the front of the property creating a courtyard. This decorative fence has been designed so not to obstruct a clear vision to the street and sidewalk. The design of this fence is a combination of staggered heights of masonry columns, masonry knee walls with architectural screen (wrought iron) fence panels. The maximum height of this privacy fence is 6-FT tall.

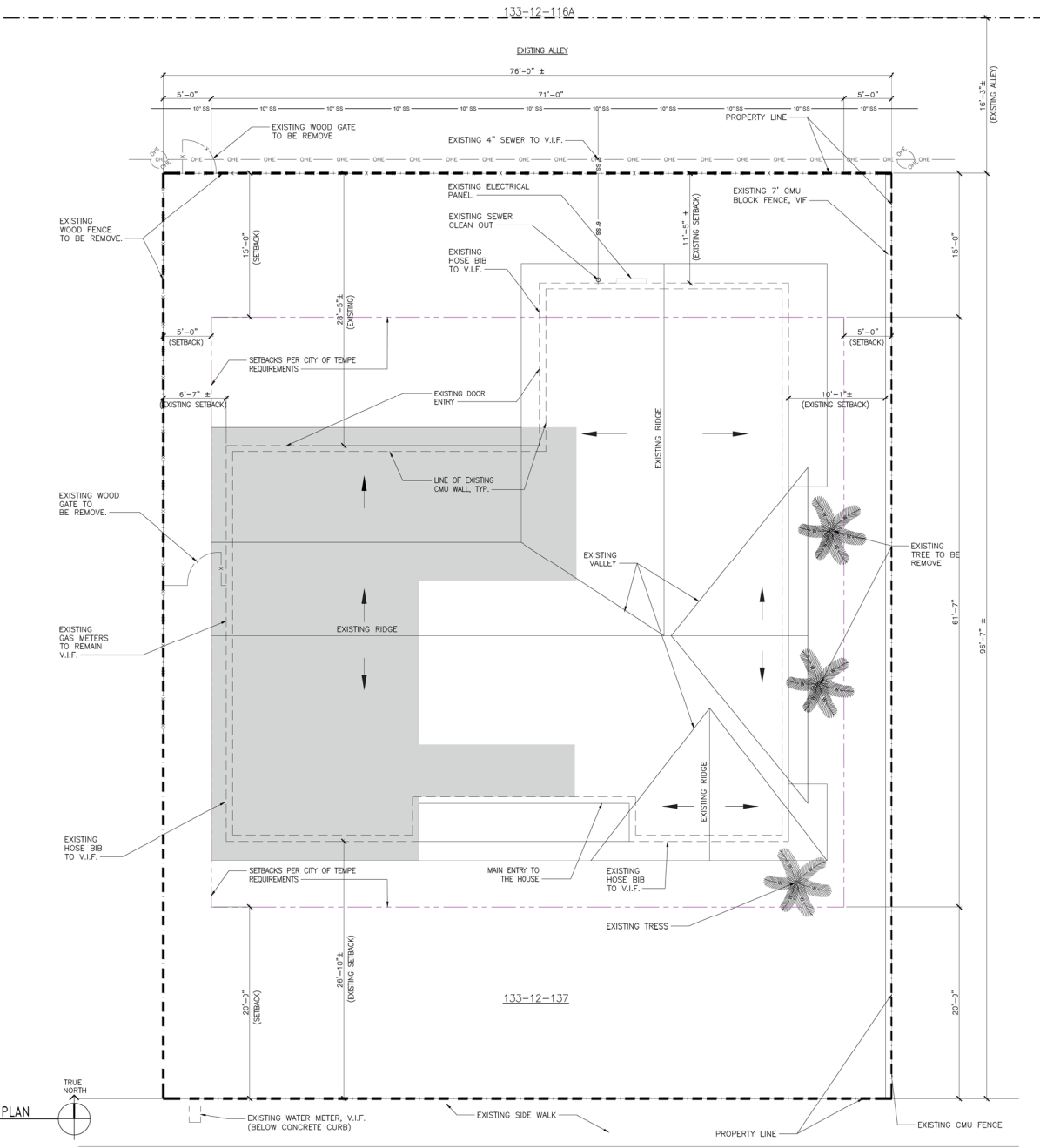
After detailed analysis of the adjacent area surrounding the property. There will be no significant vehicular or pedestrian traffic impact with our proposed application that includes a request for 2 Use Permits. There will be no nuisance arising from the emission of odor, dust, gas, noise, vibration, smoke, heat, or glare exceeding that of ambient level shall occur due to both the proposed second-floor addition along with the privacy fence being proposed.

Our request for these 2 Use Permit proposals shall contribute to increasing both the property values and architectural appearance of the existing neighborhood. Our request is in harmony with the goals, objectives, and policies of the city's adopted plans for the General Plan.

Thank you for your consideration.

Respectfully,

Marc Pendergraft
MAAB LLC
7411 W Boston St. Ste 1
Chandler, AZ 85226
480-703-7936
maabllc@yahoo.com



EXTEND OF DEMOLITION

LINE OF SETBACKS SECTION 4-202 DEVELOPMENT STANDARD FOR RESIDENTIAL DISTRICTS (PER TABLE 4-202A)

REMARKS:
 CONTRACTOR SHALL CONFER SCOPE OF WORK PRIOR TO CONSTRUCTION. NOTIFY OWNER/ARCHITECT OF ANY DISCREPANCIES.
 MODIFY EXISTING LIGHTING, ELECTRICAL & MECHANICAL SYSTEMS TO ACCOMMODATE NEW WORK AND TO COMPLY WITH ALL BUILDING CODE REQUIREMENTS.
 ALL EQUIPMENTS, FIXTURES, LANDSCAPING DESIGN AND SECTIONS ARE SUBJECT TO APPROVAL BY OWNER AND SUBSTITUTIONS.
 REFER TO SHEET A1.1 FOR ALTERATION WORK AND RELATED NOTES.

Q STUDIO llc
 41706 N SAUK DRIVE
 QUEEN CREEK, AZ 85140
 PH: (480) 323-4061

REVISIONS:

No.	DATE	BY	REVISIONS
1	08.23.21	J.D.	LAND USED PERMIT-STAFF COMMENT & RESPONSE
2	09.17.21	J.D.	LAND USED PERMIT-STAFF COMMENT & RESPONSE
3			
4			
5			
6			
7			
8			

PROJECT NAME & ADDRESS:
 MAAB LLC
 726 E Broadway Ln
 Tempe AZ 85282

SHEET
 BUILDING SITE PLAN
 EXISTING

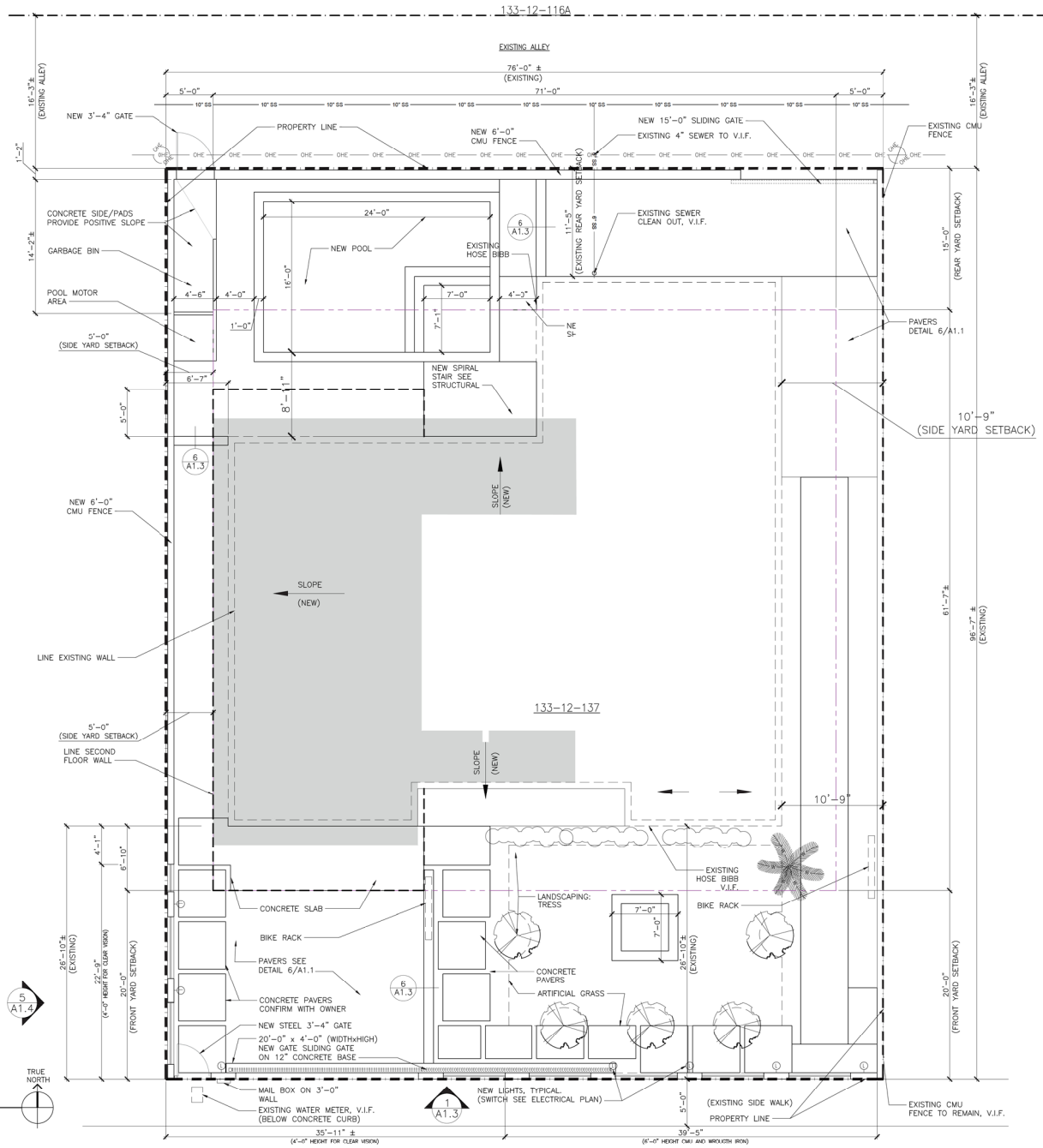
011021
 A1.1 DRAWN: AS CHECKED: AS DATE: 03-30-21
 A1.1 SITE PLAN

NOTE:
 THIS DRAWING HAS BEEN PREPARED BASED ON FIELD MEASUREMENTS TAKEN FROM FINISHED SURFACES, WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, Q STUDIO, LLC ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THIS DRAWING OR FOR THE CONSEQUENCES OR OMISSIONS THAT MAY HAVE BEEN INCORPORATED INTO IT AS A RESULT OF INCONSISTENCIES IN THE BUILT CONDITIONS OR OTHER CIRCUMSTANCES OUTSIDE THE CONTROL OF THE CONSULTANT. THOSE RELYING ON THIS DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY.

© 202 ADDRESS: 726 E Broadway Ln Tempe AZ 85282

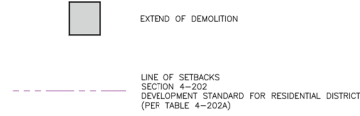
BUILDING SITE PLAN
 SCALE: 3/16"=1'-0"





BUILDING SITE NOTES:

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE PLANS AND WITH CODE COMPLIANCE WITH CITY OF TEMPE.
- THE LOCATIONS OF ALL AERIAL AND UNDERGROUND UTILITY FACILITIES ARE APPROVED OR MAY NOT BE INDICATED IN THESE PLANS. UNDERGROUND FACILITIES, WHETHER INDICATED OR NOT, SHALL BE LOCATED PRIOR TO CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL EXISTING UTILITIES, PAVEMENT AND OTHER IMPROVEMENTS. ANY DAMAGE TO EXISTING UTILITIES AND/OR PAVED STREETS CAUSED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL CALL FOR THE EXISTING UTILITY LOCATION STAKES 48 HOURS PRIOR TO DIGGING. CALL LOCATING SERVICE AND ALL APPLICABLE UTILITY COMPANIES AS NECESSARY.
- MECHANICAL, ELECTRICAL, AND ARCHITECTURAL ELEMENTS SHOWN ON THE CIVIL PLANS ARE FOR INFORMATION ONLY. REFER TO THE APPROPRIATE DISCIPLINE DRAWINGS FOR DETAILS OF THESE ITEMS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INCORPORATING ALL REQUIRED EMBEDDED ITEMS AND OPENINGS WHETHER OR NOT SHOWN ON BUILDING SITE PLAN.
- ALL DEBRIS RESULTING FROM CONSTRUCTION OPERATIONS SHALL BE HAULED OFF-SITE AND DISPOSED OF PROPERLY AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL FURNISH AND MAINTAIN ALL NECESSARY BARRICADES, WARNING SIGNS, LIGHTS AND FLAGMEN AS PER THE CITY OF TEMPE PUBLIC WORKS REQUIREMENTS. COST SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT.
- PROTECT BY WHATEVER MEANS REQUIRED ALL WROUGHT IRONS, SIGNS, STRUCTURES, DRIVEWAYS, SIDEWALKS, STREETS, BUSHES, TREES, ETC. WHICH ARE NOT DESIGNATED FOR REMOVAL OR ARE OUTSIDE THE LIMITS OF CONSTRUCTION.
- PROVIDE POSITIVE DRAINAGE AT ALL TIMES WITHIN THE CONSTRUCTION AREA. DO NOT ALLOW WATER TO POND IN EXCAVATION AREAS, AND MAINTAIN ALL EXISTING DRAINAGE PATTERNS.
- ALL EXISTING UTILITIES AND SERVICE LINES SHALL BE KEPT IN SERVICE AT ALL TIMES DURING CONSTRUCTION OF THIS PROJECT, UNLESS OTHERWISE AUTHORIZED BY OWNER.
- THE CONTRACTOR SHALL ADJUST TO GRADE ALL WATER AND GAS VALVE BOXES AND MANHOLES THAT FALL WITHIN THE LIMITS OF THIS CONTRACT. THE CONTRACTOR SHALL KEEP ALL SAID WATER, GAS AND EXISTING SEWERS AND THEIR APPURTENANCES FREE OF DEBRIS AND OPERABLE AT ALL TIMES DURING CONSTRUCTION.
- A DIAMOND EDGE SAW BLADE SHALL BE USED FOR CUTTING ALL REQUIRED PAVEMENT REMOVAL.
- THE CONTRACTOR SHALL CONSTRUCT ALL PAVEMENTS TO CONFORM WITH THE CORRECT LINES, AND FINISHED GRADES AS INDICATED ON THE PLANS. NO PONDING OF WATER WILL BE ALLOWED.
- THE CONTRACTOR SHALL PAY ALL PERMIT AND OTHER ASSOCIATED FEES REQUIRED BY LOCAL, STATE AND FEDERAL AGENCIES.
- ALL DIMENSIONS ARE MEASURED FROM BACK OF CURB OR AS INDICATED.
- CONTRACTOR SHALL SEED, FERTILIZE AND MULCH ALL DISTURBED AREAS. CONTRACTOR SHALL COORDINATE WITH OWNER ON PLACEMENT OF SOIL AROUND BUILDING ENTRANCES AND SIDEWALKS.
- CONTRACTOR SHALL REMOVE AND/OR RELOCATE ALL ITEMS NECESSARY TO ACCOMMODATE THE PROPOSED IMPROVEMENTS WHETHER SPECIFICALLY CALLED OUT BY NOTE OR NOT.



NOTE:

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REMARKS:

CONTRACTOR SHALL OBTAIN SCOPED OF WORK FROM THE CONSTRUCTION DEPARTMENT PRIOR TO CONSTRUCTION.
 CONTRACTOR TO COORDINATE ALL WORK WITH ALL LOCAL, STATE AND FEDERAL AGENCIES.
 SEE STRUCTURAL SHEET FOR EXTEND OF WORK.
 MOODY DUSTING, ELECTRICAL & MECHANICAL SYSTEMS TO ACCOMMODATE NEW WORK AND TO COMPLY WITH ALL BUILDING CODE REQUIREMENTS.
 ALL ELEMENTS, FEATURES, LANDSCAPING DESIGN AND DETAILS ARE SUBJECT TO APPROVAL BY OWNER OR SUBSTITUTION.
 REFER TO SHEET A2.1, A3.1 & A4.1 FOR ALTERATION WORK AND RELATED NOTES.

Q STUDIO llc
 41706 N SALEM DRIVE
 GREEN GLEN, AZ 85114
 PH: (480) 329-4061

REVISIONS:

NO.	DATE	BY	REVISION
1	08/23/21	JD	LAND USED PERMIT-STAFF COMMENT & RESPONSE
2	09/17/21	JD	LAND USED PERMIT-STAFF COMMENT & RESPONSE
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726 E Broadway Ln
 Tempe AZ 85282

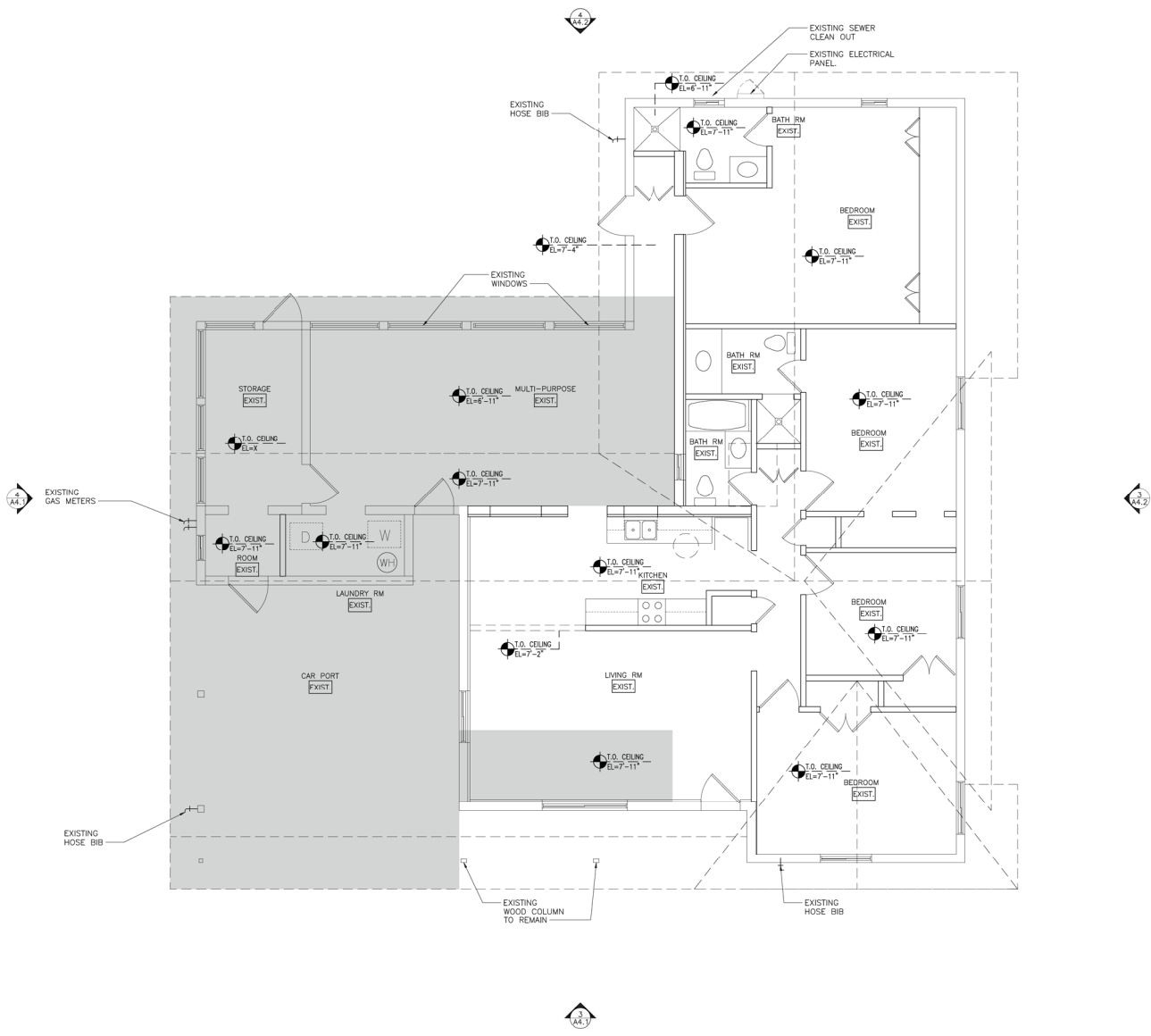
SHEET
 BUILDING SITE PLAN
 ALTERATION

011021

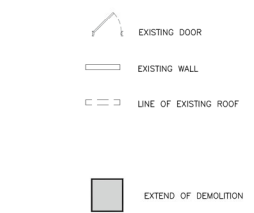
A1.2
 DRAWN: AS
 CHECKED: AS
 03-30-21 DATE:
 A1.1 SITE PLAN

202 ADDRESS: 726 E Broadway Ln Tempe AZ 85282

BUILDING SITE PLAN
 SCALE: 3/16"=1'-0"



EXISTING FLOOR PLAN
SCALE: 1/4"=1'-0"



LEGEND

REMARKS:
 CONSULTOR SHALL OBTAIN SCOPE OF WORK PERMITS TO CONSTRUCT. REFER TO SPECIFICATIONS AND SCHEDULES FOR ALL REQUIREMENTS.
 SEE STRUCTURAL SHEET FOR DETAILS OF WORK.
 MANY EXISTING LEAKING SEWER AND WASTEWATER SYSTEMS TO BE REMOVED AND NEW SYSTEMS TO BE INSTALLED IN ACCORDANCE WITH BUILDING CODE REQUIREMENTS.
 REFER TO SHEET A2.1 FOR ALTERNATE WORK AND RELATED NOTES.

QSTUDIO llc
 41706 N SAUK DRIVE
 QUEENY CREEK, AZ 85140
 PH: (480) 329-4061

REVISIONS:

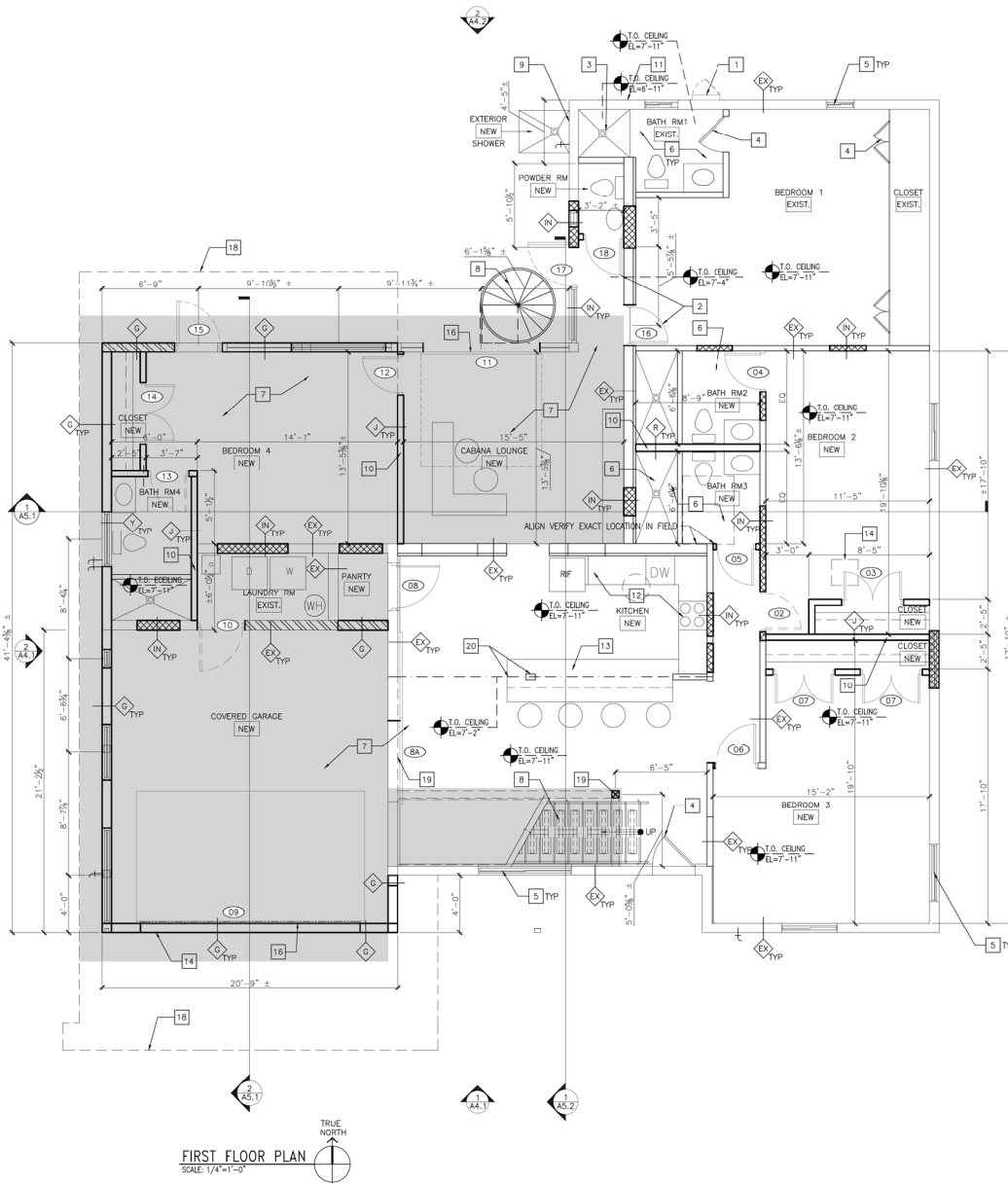
No.	DATE	BY	REVISIONS
1	08/21/21	JLD	LAND USED PERMIT- STAFF COMMENT & RESPONSE

PROJECT NAME & ADDRESS:
 MAAB LLC
 726 E Broadway Ln
 Tempe AZ 85282

EXISTING FLOOR PLAN

011021
 A2.1 DRAWN:
 AS CHECKED:
 03-30-21 DATE:
 A2.1 FLOOR PLAN

NOTE:
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FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"

NOTE:

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- EXISTING DOOR TO REMAIN.
- NEW DOOR SEE SCHEDULE
- EXISTING WALL, CMU/KING BRICK WALL TO REMAIN
- EXISTING WALL (FIELD VERIFY)
- INFILL OPENING MATCH ADJACENT WALL ASSEMBLY (FIELD VERIFY)
- 3-5/8" WOOD STUDS AT 24" O.C. WITH SINGLE LAYER 5/8" G.W.B. EACH SIDE, UNFACED R-13 BATT INSULATION TO EXISTING STRUCTURE/CEILING ABOVE. PROVIDE M.R. G.W.B. PER NOTE 10
- 8" CMU WALL PER STRUCTURAL DRAWINGS. FIRE-RESISTANCE RATED UL ASSEMBLY PER NOTE 11.
- 6" WOOD STUDS AT 24" O.C. WITH 5/8" MOISTURE RESISTANT (M.R.) G.W.B. EACH SIDE, UNFACED R-13 BATT INSULATION TO EXISTING STRUCTURE/CEILING ABOVE. PROVIDE M.R. G.W.B. PER NOTE 10
- Z-FURRING CHANNELS SPACED 24" O.C. WITH INSULATION PER WALL TYPE NOTES. CHANNEL DEPTH TO MATCH INSULATIONS THICKNESS.
- EXTEND OF DEMOLITION

TYPICAL WALL TYPE LIST

- 1. EXISTING 100 AMP SINGLE PHASE ELECTRICAL PANEL.
- 2. NEW DOOR AND FIELD PAINT TO MATCH ADJACENT WALL FINISH ARE SUBJECT TO APPROVAL BY OWNER
- 3. NEW TEMPERED GLASS SHOWER SURROUND WITH DOORS
- 4. EXISTING DOORS TO REMAIN, FIELD PAINT TO MATCH ADJACENT WALL AND ARE SUBJECT TO APPROVAL BY OWNER
- 5. EXISTING WINDOWS TO REMAIN AS IS. (TYP)
- 6. IF RE-USING EXISTING CEILING, REPLACE DAMAGED AS REQUIRED, AND ARE SUBJECT TO APPROVAL BY OWNER
- 7. 4" CONCRETE SLAB OVER EXISTING CONCRETE. ALSO WITH MAIN HOUSE EXISTING ELEVATION, VERIFY EXACT LOCATION IN FIELD
- 8. NEW STAR SEE SHEET A6.4 AND STRUCTURAL.
- 9. OUTDOOR SHOWER WITH CURTAIN, FLOOR DRAIN, FRP WALL
- 10. EXTEND ALL SOUND RATED PARTITIONS TO THE STRUCTURE ABOVE AS INDICATED ON THE DRAWINGS TO PREVENT SOUND TRANSMISSION. FURNISH 4-1/4" DENSITY CLASS FIBER INSULATION SHAPED TO FIT THE VOID ABOVE THE WHERE AIR-BORNE SOUND CAN PENETRATE SPACES.
- 11. NEW SUB PANEL UPGRADE BREAKER, LOCATION TBD.
- 12. NEW KITCHEN CABINET AND EQUIPMENTS COORDINATE WITH OWNER.
- 13. NEW COUNTERTOP COORDINATE WITH OWNER
- 14. EXISTING CEILING/ROOF ACCESS TO REMAIN.
- 15. WALL BIKE RACK BY OWNER
- 16. MINIMUM CLEAR HEIGHT IN CABANA LOUNGE SHALL BE EQUAL OR GREATER THAN THE TALLEST OVERHEAD DOOR.
- 17. NOT USED.
- 18. LINE OF SECOND FLOOR ABOVE
- 19. NEW COLUMN AND OPENING SEE STRUCTURAL
- 20. EXISTING STRUCTURE TO REMAIN, VERIFY EXACT LOCATION IN FIELD

PLAN NOTES

- A. PARTITION AND WALLS
 - 1. DIMENSIONS ARE TO [FACE OF STUD], FACE OF CMU, FACE OF EXISTING FINISH, OR CENTER LINE OF COLUMNS UNLESS SHOWN OR NOTED OTHERWISE.
 - 2. PARTITIONS SHALL BE 3-5/8 INCH WOOD STUDS AT 16 INCHES INTERIOR AND 5-5/8 INCH WOOD STUDS AT 16 INCHES ON EXTERIOR (SEE STRUCTURAL) CENTER WITH GYPSUM WALLBOARD, UNLESS NOTED OTHERWISE.
 - 3. THICKNESS OF CONCRETE MASONRY UNITS (CMU) AND LIGHTWEIGHT MASONRY UNITS (LWU) PARTITIONS IS NOMINAL
 - 4. EXTERNAL CORNERS OF BLOCK WALLS AND PARTITIONS SHALL BE BULLGROUDED.
 - 5. ALL PARTITIONS SHALL EXTEND FROM FLOOR TO STRUCTURE ABOVE EXCEPT WHERE NOTED OR SHOWN OTHERWISE.
 - 6. CONTROL JOINTS SHALL BE PROVIDED ABOVE DOORS AT EACH SIDE IN STUD AND OWB PARTITIONS
 - 7. EXPANSION JOINTS IN FINISHED AREAS EXPOSED TO VIEW SHALL BE COVERED WITH EXPANSION JOINT COVERS APPROPRIATE FOR FINISHED SURFACES WHETHER FLOOR, CEILING, WALL OR JUNCTIONS THEREOF.
 - 8. VERIFY OPENINGS FOR PIPES AND DUCTS WITH MECHANICAL DRAWINGS AND PROVIDE AS REQUIRED. ALL OPENINGS MORE THAN 16 INCHES WIDE IN CONCRETE MASONRY PARTITIONS SHALL HAVE LINTELS AS SCHEDULED ON THE STRUCTURAL DRAWINGS.
 - 9. ALL WALLS, U.N.O., TO RECEIVE 5/8" GYP BOARD, FASTEN TO WALL PER CODE REQUIREMENTS. STAGGER BOARD JOINTS. TAPE AND FINISH 80/20 SMOOTH.
 - 10. WATER-RESISTANT GYPSUM WALL BOARD TO BE USED AT WET LOCATIONS (VERIFY LOCATIONS BASED ON PLUMBING WALLS AND PLUMBING FIXTURES AS SHOWN ON THE BUILDING FLOOR PLANS.)
 - 11. 5 1/2 INCHES EQUIVALENT THICKNESS - 2 HOURS FIRE-RESISTANCE RATING (MAX) PER IBC CHAPTER 7.
- B. DOORS AND FRAMES
 - 1. WHERE LABELED DOORS ARE SCHEDULED, PROVIDE LABELS ON DOORS AND FRAMES
 - 2. CAULK AROUND WOOD/METAL FRAMES UNLESS NOTED OTHERWISE.
 - 3. HOLLOW METAL FRAMES SHALL BE ANCHORED TO THE STRUCTURAL FLOOR WITH A MINIMUM OF TWO (2) ANCHOR BOLTS.
 - 4. HOLLOW METALS FRAMES IN MASONRY WALLS SHALL BE FILLED WITH GROUT.
 - 5. DOOR TYPES AND SIZES ARE SHOWN ON A7.1 SHEET
- C. MISCELLANEOUS
 - 1. ALL WALL, FILING CASEWORK, GRAB BARS, DOOR HARDWARE AND EQUIPMENT ATTACHED TO WALLS SHALL BE ANCHORED TO 2 X 4 WOOD BLOCKING ANCHORED BETWEEN STUDS UNLESS OTHERWISE INDICATED. BLOCKING SHALL BE EQUIPMENT AND LOCATED BOTH AT BOTTOM AND TOP OF COMPONENT.

REVISIONS:

NO.	DATE	DESCRIPTION

Q STUDIO llc
41706 N SAUK DRIVE
QUEEN CREEK AZ 85140
PH: (480) 323-4061

REVISIONS:

NO.	DATE	DESCRIPTION
1	08/23/21	ISSUED PERMIT-STAFF COMMENT & RESPONSE
2	09/11/21	ISSUED PERMIT-STAFF COMMENT & RESPONSE
3		
4		
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9		
10		

PROJECT NAME & ADDRESS:
MAAB LLC

726 E Broadway Ln
Tempe AZ 85282

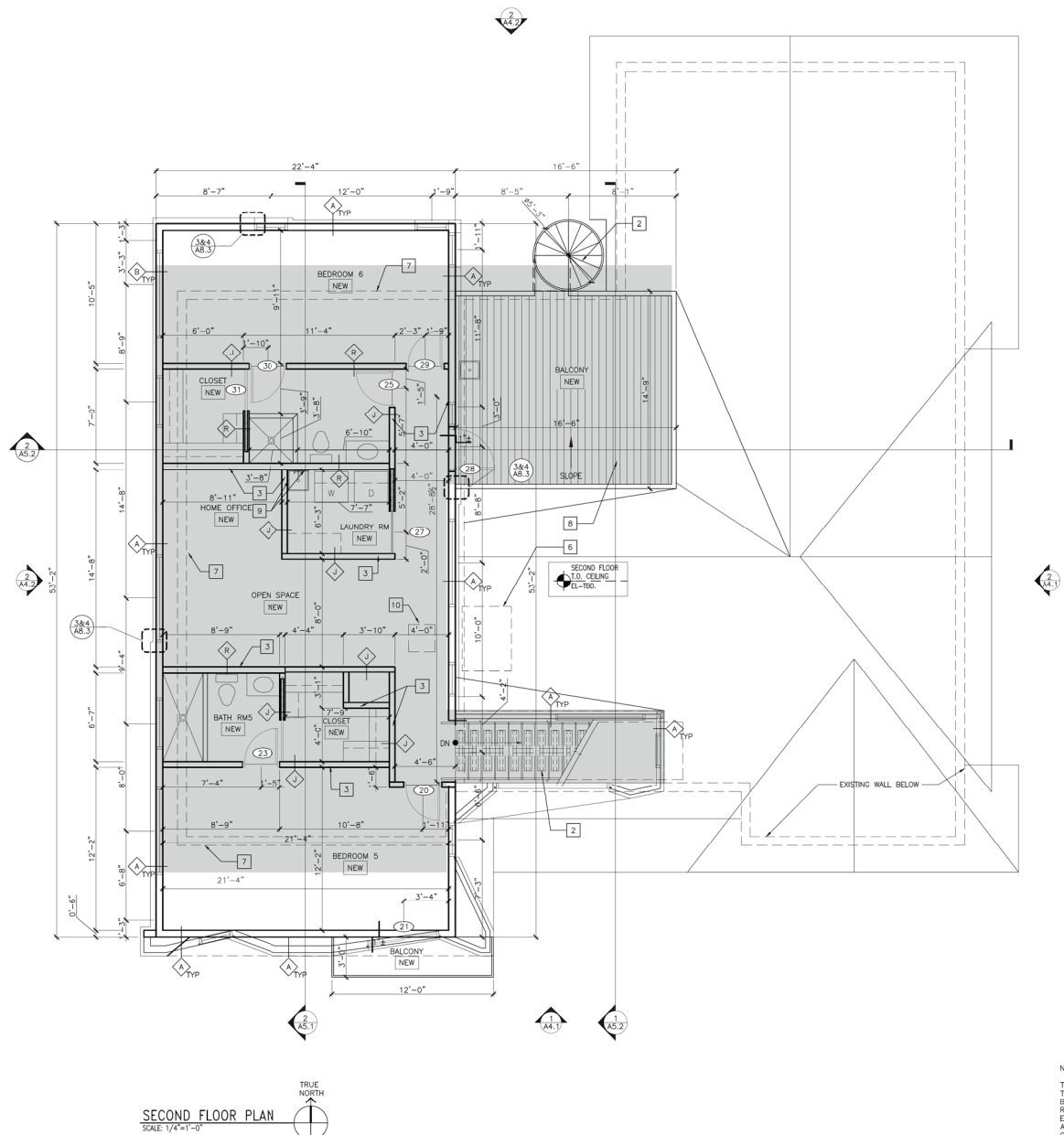
FIRST FLOOR PLAN

011021

AW3 DRAWN: AS
03-30-21 CHECKED: DATE:

GENERAL NOTES

A2-1 FLOOR PLAN



SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"

NOTE:
THIS DRAWING HAS BEEN PREPARED BASED ON FIELD MEASUREMENTS TAKEN FROM FINISHED SURFACES. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, Q STUDIO, LLC ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THIS DRAWING OR FOR THE ERRORS OR OMISSIONS THAT MAY HAVE BEEN INCORPORATED INTO IT AS A RESULT OF INCONSISTENCIES IN THE BUILT CONDITIONS OR OTHER CIRCUMSTANCES OUTSIDE THE CONTROL OF THE CONSULTANT. THOSE RELYING ON THIS DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY.

1. NEW TEMPERED GLASS SHOWER SURROUND WITH DOORS
2. NEW STAR SEE SHEET A6.4 AND STRUCTURAL.
3. EXTEND ALL SOUND RATED PARTITIONS TO THE STRUCTURE ABOVE AS INDICATED ON THE DRAWINGS TO PREVENT SOUND TRANSMISSION. FURNISH 4-1/4 POUNDS DENSITY GLASS FIBER INSULATION SHAPED TO FIT THE VOID ABOVE THE WHERE AIR-BORNE SOUND CAN PENETRATE SPACES.
4. NEW SLAB PANEL UPGRADE BREAKER, LOCATION TBD.
5. NEW MILLWORK CABINET AND EQUIPMENTS COORDINATE WITH OWNER.
6. NEW HVAC UNIT SEE MECHANICAL PLAN
7. LINE OF WALL BELOW
8. WATER PROOF AND NON-SLIP WOOD DECK
9. 48"W X 48"T F.R.P. PANEL APPLIED OVER WALL FINISH
10. 2'X2' CEILING ACCESS PER CODE REQUIREMENTS.

REMARKS:
CONTRACTOR SHALL OBTAIN SCOPE OF WORK FROM THE CONSULTANT. NOTIFY IMMEDIATELY IF ANY DISCREPANCIES.
SEE STRUCTURAL SHEET FOR COLUMN/BEAM LOCATIONS.
ALL DOOR AND WINDOW DIMENSIONS ARE TO CENTER OF FLOOR OPENING.
REFER TO SHEET A2.1 FOR DOOR TYPES AND BURST RATES.
REFER TO SHEET A2.1 & A2.1 FOR WINDOW TYPES, FINISH SCHEDULE, AND RELATED NOTES.
VERIFY EXISTING ELECTRICAL & MECHANICAL SYSTEMS TO ACCOMMODATE NEW WORK AND TO COMPLY WITH ALL BUILDING CODE REQUIREMENTS.
ALL EQUIPMENTS, MILLWORK CABINETS, FIXTURES, SECTIONS ARE SUBJECT TO APPROVAL BY OWNER NO SUBSTITUTIONS.

- A. PARTITION AND WALLS
1. DIMENSIONS ARE TO [FACE OF STUD.] FACE OF CMU, FACE OF EXISTING FINISH, OR CENTER LINE OF COLUMNS UNLESS SHOWN OR NOTED OTHERWISE.
 2. PARTITIONS SHALL BE 3-5/8 INCH WOOD STUDS AT 16 INCHES INTERIOR AND 5-5/8 & 7-5/8 INCH WOOD STUDS AT 16 INCHES ON EXTERIOR (SEE STRUCTURAL) CENTER WITH GYPSUM WALLBOARD, UNLESS NOTED OTHERWISE.
 3. THICKNESS OF CONCRETE MASONRY UNITS (CMU) AND LIGHTWEIGHT MASONRY UNITS (CMU) PARTITIONS IS NOMINAL UNLESS OTHERWISE NOTED.
 4. EXTERNAL CORNERS OF BLOCK WALLS AND PARTITIONS SHALL BE BULLNOSED.
 5. ALL PARTITIONS SHALL EXTEND FROM FLOOR TO STRUCTURE ABOVE EXCEPT WHERE NOTED OR SHOWN OTHERWISE.
 6. CONTROL JOINTS SHALL BE PROVIDED ABOVE DOORS AT EACH SIDE IN STUD AND CWB PARTITIONS.
 7. EXPANSION JOINTS IN FINISHED AREAS EXPOSED TO VIEW SHALL BE COVERED WITH EXPANSION JOINT COVERS APPROPRIATE FOR FINISHED SURFACES WHETHER FLOOR, CEILING, WALL, OR JUNCTIONS THEREOF.
 8. VERIFY OPENINGS FOR PIPES AND DUCTS WITH MECHANICAL DRAWINGS AND PROVIDE AS REQUIRED. ALL OPENINGS MORE THAN 16 INCHES WIDE IN CONCRETE MASONRY PARTITIONS SHALL HAVE LUNETS AS SCHEDULED ON THE STRUCTURAL DRAWINGS.
 9. ALL WALLS, U.I.N.O., TO RECEIVE 5/8" GYP. BOARD. FASTEN TO WALL PER CODE REQUIREMENTS. STAGGER BOARD JOINTS. TAPE AND FINISH 80/20 SMOOTH.
 10. WATER-RESISTANT GYPSUM WALL BOARD TO BE USED AT WET LOCATIONS (VERIFY LOCATIONS BASED ON PLUMBING WALLS AND PLUMBING FIXTURES AS SHOWN ON THE BUILDING FLOOR PLANS.)
 11. 5 1/2 INCHES EQUIVALENT THICKNESS - 2 HOURS FIRE-RESISTANCE RATING (MAX) PER IBC CHAPTER 7.

REVISIONS:
Q STUDIO llc
4706 N SAUK DRIVE
QUEEN CREEK, AZ 85140
PH: (480) 329-4061

- DOORS AND FRAMES
1. WHERE LABELED DOORS ARE SCHEDULED, PROVIDE LABELS ON DOORS AND FRAMES.
 2. CAULK AROUND WOOD/METAL FRAMES UNLESS NOTED OTHERWISE.
 3. HOLLOW METAL FRAMES SHALL BE ANCHORED TO THE STRUCTURAL FLOOR WITH A MINIMUM OF TWO (2) ANCHOR BOLTS.
- C. MISCELLANEOUS
1. ALL WALL HUNG CASEWORK, GRAB BARS, DOOR HARDWARE AND EQUIPMENT ATTACHED TO WALLS SHALL BE ANCHORED TO 2 X 4 WOOD BLOCKING ANCHORED BETWEEN STUDS UNLESS OTHERWISE INDICATED. BLOCKING SHALL BE CONTINUOUS AND LOCATED BOTH AT BOTTOM AND TOP OF EQUIPMENT.

GENERAL NOTES

- NEW DOOR SEE SCHEDULE
- 6" WOOD STUDS PER STRUCTURAL DRAWINGS (16" O.C. MAX) WITH INSULATION AND VAPOR/AIR BARRIERS PER WALL TYPE NOTES
- 8" WOOD STUDS PER STRUCTURAL DRAWINGS (16" O.C. MAX) WITH INSULATION AND VAPOR/AIR BARRIERS PER WALL TYPE NOTES
- 3-5/8" WOOD STUDS AT 24" O.C. WITH SINGLE LAYER 5/8" G.W.B. EACH SIDE; UNFACED R-13 BATT INSULATION TO EXISTING STRUCTURE/CEILING ABOVE; PROVIDE M.R. G.W.B. PER NOTE 10
- 6" WOOD STUDS AT 24" O.C. WITH 5/8" MOISTURE RESISTANT (M.R.) G.W.B. EACH SIDE; UNFACED R-13 BATT INSULATION TO EXISTING STRUCTURE/CEILING ABOVE; PROVIDE M.R. G.W.B. PER NOTE 10

EXTEND OF DEMOLITION BELOW FIRST FLOOR

TYPICAL WALL TYPE LIST

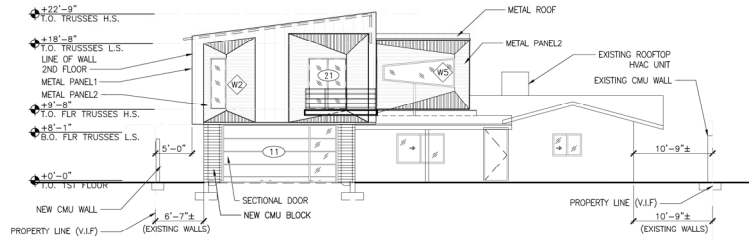
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2	09/17/21	JD	LAND USED PERMIT-STAFF COMMENT & RESPONSE
3			
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5			
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7			
8			

PROJECT NAME & ADDRESS:
MAAB LLC
726 E Broadway Ln
Tempe AZ 85282

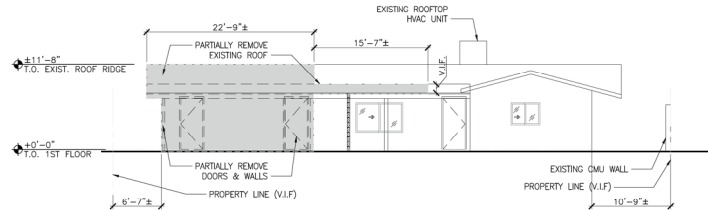
SECOND FLOOR PLAN

011021	DATE:
A2.4	CHECKED:
03-30-21	DATE:
A2.1 FLOOR PLAN	

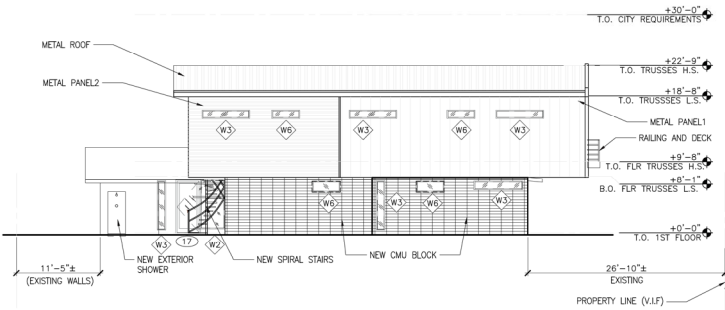
±30'-0"
T.O. CITY REQUIREMENTS



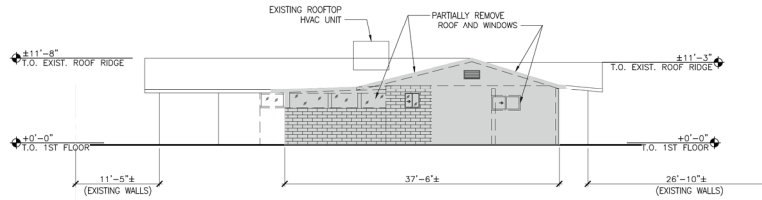
NEW FRONT ELEVATION (SOUTH)
SEE ENLARGED PLAN 3/A4.3 (SOUTH)
1 A4.1 SCALE: 1/8"=1'-0"



EXISTING FRONT ELEVATION (SOUTH)
3 A4.1 SCALE: 1/8"=1'-0"



NEW LEFT ELEVATION (WEST)
2 A4.1 SCALE: 3/16"=1'-0"



EXISTING LEFT ELEVATION (WEST)
4 A4.1 SCALE: 3/16"=1'-0"

EXTEND OF DEMOLITION



EXISTING FRONT (SOUTH-1)
1.1 SCALE: N.T.S.



EXISTING FRONT (SOUTH-2)
1.2 SCALE: N.T.S.



EXISTING LEFT SIDE (WEST-1)
4.1 SCALE: N.T.S.

NOTE:
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REMARKS:

CONTRACTOR SHALL CONFIRM SCOPE OF WORK PRIOR TO CONSTRUCTION. VERIFY DIMENSIONS OF ALL DISCREPANCIES.

SEE STRUCTURAL SHEET FOR EXTEND OF WORK.

ALL DOOR AND WINDOW DIMENSIONS ARE TO CENTER OF OPENING.

REFER TO SHEET A4.1 FOR DOOR TYPES AND RELATED NOTES.

REFER TO SHEET A4.2 & A4.1 FOR WINDOW TYPES, FINISH SCHEDULE, AND RELATED NOTES.

WORK BEING PERFORMED: ELECTRICAL & MECHANICAL SYSTEMS TO ACCOMMODATE NEW WORK AND TO COMPLY WITH ALL BUILDING CODE REQUIREMENTS.

ALL EQUIPMENT, FINISHES AND FINISHES SELECTIONS ARE SUBJECT TO APPROVAL BY OWNER'S ARCHITECT.

Q STUDIO llc

41706 N SALK DRIVE
QUEEN CREEK, AZ 85140
PH: (480) 329-4061

REVISIONS:

DATE: 03/30/21
BY: JG
REVISIONS:
NO. DATE DESCRIPTION
1 03/30/21 LAND USED PERMIT-STAFF COMMENT & RESPONSE
2 03/30/21 LAND USED PERMIT-STAFF COMMENT & RESPONSE

PROJECT NAME & ADDRESS:
MAAB LLC

726 E Broadway Ln
Tempe AZ 85282

SHEET

BUILDING ELEVATIONS

011021

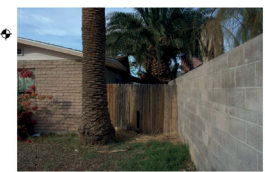
A4.1
DRAWN: JG
CHECKED: JB
DATE: 03-30-21

NOTE:
 THIS DRAWING HAS BEEN PREPARED BASED ON FIELD MEASUREMENTS TAKEN FROM FINISHED SURFACES. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, Q STUDIO, LLC ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THIS DRAWING OR FOR THE ERRORS OR OMISSIONS THAT MAY HAVE BEEN INCORPORATED INTO IT AS A RESULT OF INCONSISTENCIES IN THE BUILT CONDITIONS OR OTHER CIRCUMSTANCES OUTSIDE THE CONTROL OF THE CONSULTANT. THOSE RELYING ON THIS DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY.

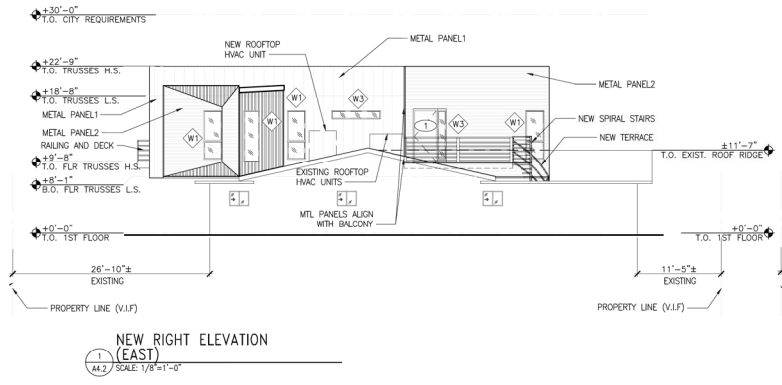


REMARKS:

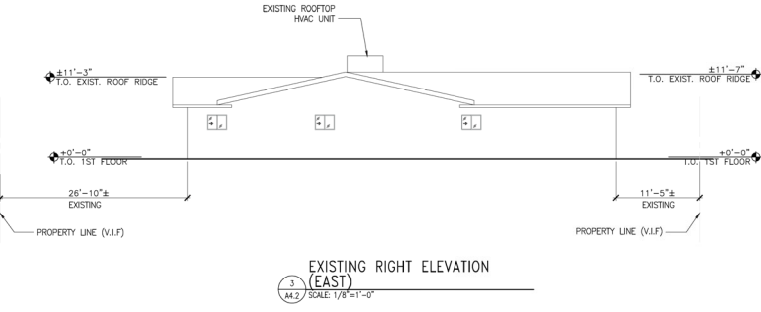
CONTRACTOR SHALL OBTAIN SCHEDULE OF WORK PRIOR TO CONSTRUCTION. NOTIFY OWNER/ARCHITECT OF ANY DISCREPANCIES.
 SEE STRUCTURAL SHEET FOR LOCATION OF WALL.
 ALL DOOR AND WINDOW DIMENSIONS ARE TO CENTERLINE OF ROUGH OPENING.
 REFER TO SHEET #11 FOR DOOR TYPES AND RELATED NOTES.
 REFER TO SHEET #12 & #13 FOR WINDOW TYPES, PANEL SCHEDULE AND RELATED NOTES.
 VERIFY EXISTING LEADING, ELECTRICAL & MECHANICAL SYSTEMS TO ACCOMMODATE NEW WORK AND TO COMPLY WITH ALL BUILDING CODE REQUIREMENTS.
 ALL EQUIPMENTS, FINISHES AND MATERIALS SELECTIONS ARE SUBJECT TO APPROVAL BY OWNER. NO SUBSTITUTIONS.



Q STUDIO llc
 41706 N SALIX DRIVE
 QUEEN CREEK, AZ 85140
 PH: (480) 329-4061

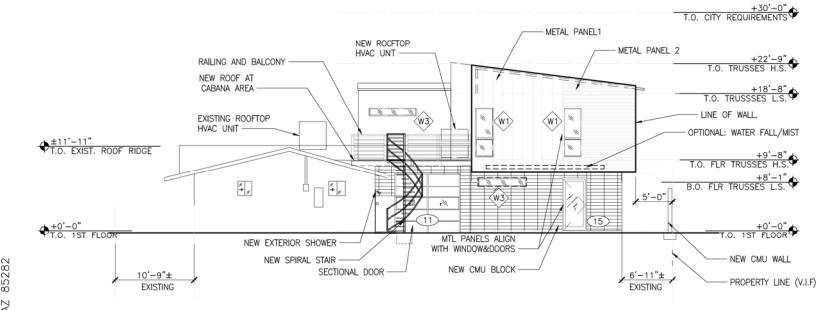


1
 NEW RIGHT ELEVATION (EAST)
 SCALE: 1/8"=1'-0"

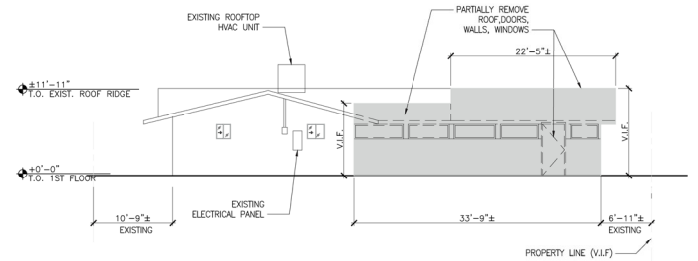


3
 EXISTING RIGHT ELEVATION (EAST)
 SCALE: 1/8"=1'-0"

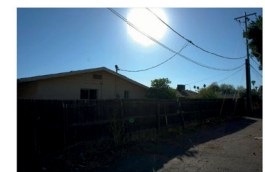
1
 EXISTING RIGHT (EAST)
 SCALE: N.T.S.



2
 NEW REAR ELEVATION (NORTH)
 SCALE: 3/16"=1'-0"



4
 NEW REAR ELEVATION (NORTH)
 SCALE: 3/16"=1'-0"



1
 EXISTING REAR SIDE (NORTH)
 SCALE: N.T.S.

REVISIONS:

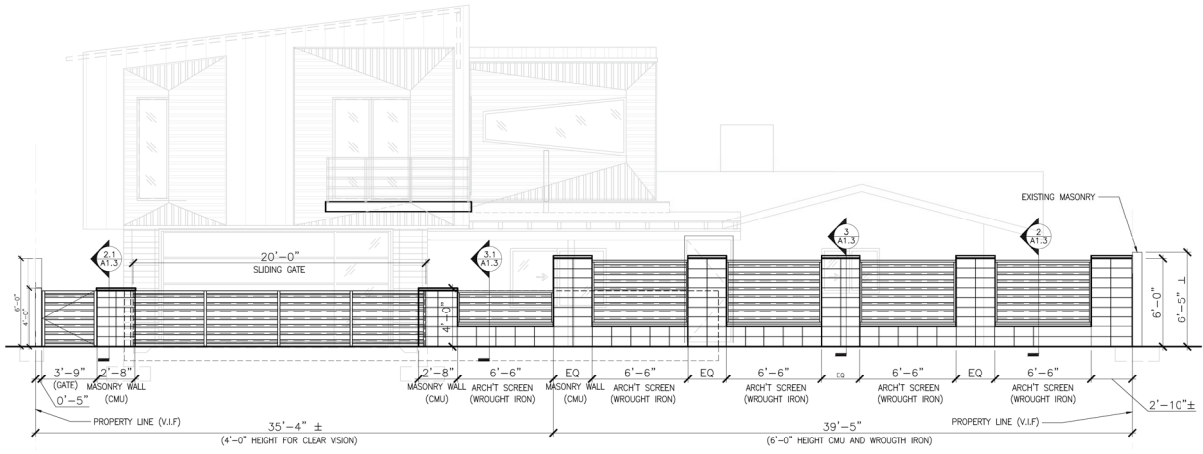
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2	09/17/21	JD	USED PERMIT - STAFF COMMENT & RESPONSE

PROJECT NAME & ADDRESS:
 MAAB LLC
 726 E Broadway Ln
 Tempe AZ 85282

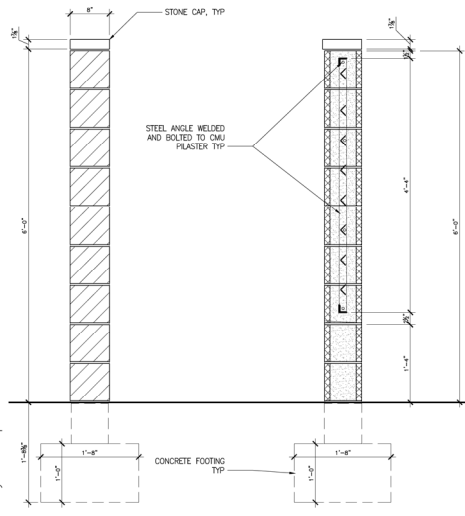
BUILDING ELEVATIONS

011021
 A4.2
 DRAWN: JB
 CHECKED: JB
 DATE: 08/30/21

© 202 ADDRESS: 726 E Broadway Ln Tempe AZ 85282

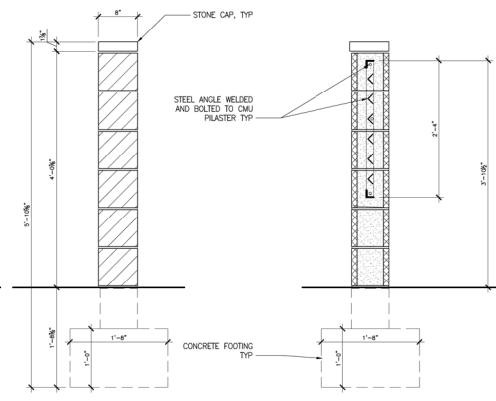


1 FRONT ELEVATION
A1.3 SCALE: 1/4"=1'-0"



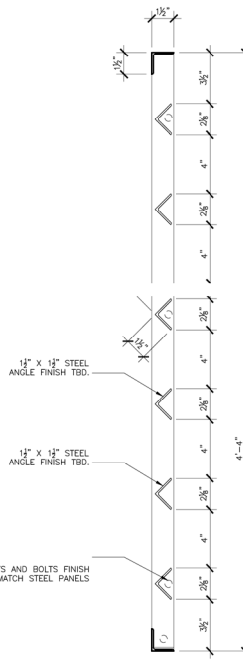
2 SECTION
SCALE: 1 1/2"=1'-0"

3 SECTION
SCALE: 1 1/2"=1'-0"

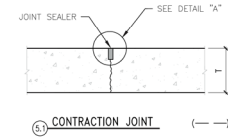


3 SECTION
SCALE: 1 1/2"=1'-0"

4 SECTION
SCALE: 1 1/2"=1'-0"

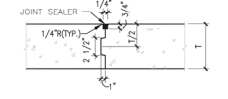


4 DETAIL
SCALE: 3"=1'-0"

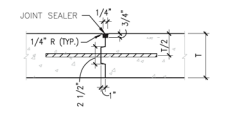


5.1 CONTRACTION JOINT

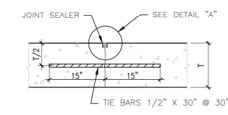
MAX. CONTRACTION JOINT SPACING:
TRANS. - 1'
LONG. - 1'



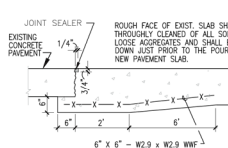
5.2 KEYED CONSTRUCTION JOINT



5.3 LONGITUDINAL CONST. JOINT
AT CENTER LINE OF DRIVES ONLY



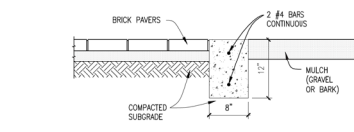
5.4 LONGITUDINAL JOINT



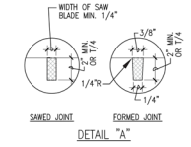
5.5 CONTRACTION JOINT AT EXISTING PAVEMENT

NOTE:
T =
=

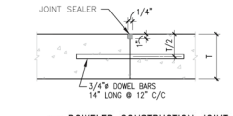
5 CONCRETE PAVEMENT JOINT DETAILS
A1.3 SCALE: NO SCALE



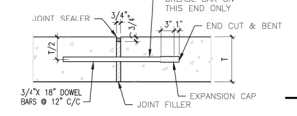
6 CONCRETE EDGE STRIP
A1.3 SCALE: NO SCALE



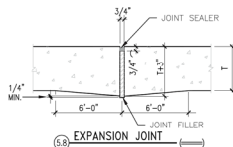
6.1 SAWED JOINT



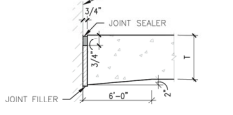
6.2 DOWELED CONSTRUCTION JOINT



6.3 EXPANSION JOINT



6.4 EXPANSION JOINT



6.5 EXPANSION JOINT

ROUGH FACE OF EXIST. SLAB SHALL BE THOROUGHLY CLEANED OF ALL SOIL AND LOOSE AGGREGATES AND SHALL BE WET DOWN JUST PRIOR TO THE POURING OF NEW PAVEMENT SLAB.

REMARKS:

CONTRACTOR SHALL CONFORM SCOPE OF WORK FROM TO CONSTRUCTION PERMIT AND PROJECT AT ALL DISCREPANCIES.
CONTRACTOR TO COORDINATE ALL WORK WITH ALL EXISTING PRIOR TO CONSTRUCTION.
SEE STRUCTURAL SHEET FOR DRAIN OF WORK.
MOODY DRAINING LIGHTING, ELECTRICAL & MECHANICAL SYSTEMS TO ACCOMMODATE NEW WORK AND TO COMPLY WITH ALL BUILDING CODE REQUIREMENTS.
ALL EQUIPMENTS, PIPES, UNDERCAYING DESIGN AND SELECTING ARE SUBJECT TO APPROVAL BY OWNER NO SUBSTITUTIONS.
REFER TO SHEET A2.1 FOR ALTERATION WORK AND RELATED NOTES.

Q STUDIO llc
4706 N SAUK DRIVE
QUEEN CREEK, AZ 85140
PH: (480) 329-4061

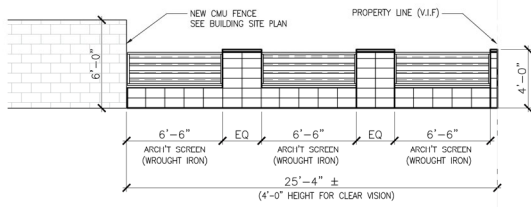
REVISIONS:

NO.	DATE	REVISIONS	BY	CHKD.
1	08.23.21	ISSUED PERMIT-STAFF COMMENT & RESPONSE	J.D.	
2	09.17.21	ISSUED PERMIT-STAFF COMMENT & RESPONSE	J.D.	
3				
4				
5				
6				
7				
8				

PROJECT NAME & ADDRESS:
MAAB LLC
726 E Broadway Ln
Tempe AZ 85282

SITE DETAILS

011021	
A1.3	DRAWN: AS 08-30-21
DATE: A1.1 SITE PLAN	



1 PARTIAL WEST ELEVATION
A1.4 SCALE: 1/4"=1'-0"

REMARKS:

CONTRACTOR SHALL CONFIRM SCOPE OF WORK PRIOR TO CONSTRUCTION. ANY CHANGES MUST BE SUBJECT TO APPROVAL BY OWNER. NO SUBSTITUTIONS.

CONTRACTOR TO COORDINATE ALL WORK WITH ALL OCCUPANCY PRIOR TO CONSTRUCTION.

SEE STRUCTURAL SHEET FOR DETAILED WORK.

MOODY DESIGN LIGHTING, ELECTRICAL & MECHANICAL SYSTEMS TO ACCOMMODATE NEW WORK AND TO COMPLY WITH ALL BUILDING CODE REQUIREMENTS.

ALL EQUIPMENTS, FIXTURES, LANDSCAPING DESIGN AND SELECTING ARE SUBJECT TO APPROVAL BY OWNER. NO SUBSTITUTIONS.

REFER TO SHEET A2.1 FOR ALTERATION WORK AND RELATED NOTES.

Q STUDIO llc

41706 N SALEX DRIVE
QUEEN CREEK, AZ 85140
PH: (480) 329-4061

REVISIONS:

No.	DATE	REVISIONS
1	08.23.21	ISSUED PERMIT-STAFF COMMENT & RESPONSE
2	09.17.21	ISSUED PERMIT-STAFF COMMENT & RESPONSE
3		
4		
5		
6		
7		
8		

PROJECT NAME & ADDRESS:
MAAB LLC

726 E Broadway Ln
Tempe AZ 85282

SHEET

SITE DETAILS

011021

A1.4
DRAWN: AB
CHECKED: AB
DATE: 03-30-21

A1.1 SITE PLAN