

**CITY OF TEMPE
DEVELOPMENT REVIEW COMMISSION**

**Meeting Date: 01/25/2021
Agenda Item: 3**

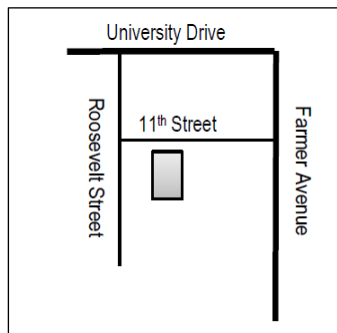
ACTION: Request a Use Permit to allow the required parking within the front yard setback.

FISCAL IMPACT: N/A

RECOMMENDATION: Staff – Approve, subject to conditions

BACKGROUND INFORMATION: BARTOW RESIDENCE (PL210358), the applicant, has enclosed the carport and built a front patio area with a privacy wall which has removed the required parking outside of the front yard setback. The request includes the following:

ZUP210095 Use Permit to allow the required parking within the front yard setback.



Property Owner	Brian Bartow
Applicant	Brian Bartow
Zoning District	R1-6
Site Area	7,980 s.f.
Building Area	1,370 s.f.
Lot Coverage	18% (45% max. required)
Building Setbacks	20' front, 5' sides, 15' rear (required)
Vehicle Parking	2 spaces (1 min. required)

ATTACHMENTS: Development Project File

STAFF CONTACT(S): Lily Drosos, Planner I (480) 350-8245

Department Director: Shelly Seyler, Interim Community Development Director
 Legal review by: N/A
 Prepared by: Lily Drosos, Planner I
 Reviewed by: Steve Abrahamson, Principal Planner

COMMENTS

The Bartow Residence is located on the south side of University Drive, east of Roosevelt Street, and west of Farmer Avenue. The applicants were granted building permits to enclose the carport and are now seeking a use permit to relocate the required parking within the front yard setback.

PUBLIC INPUT

Since the writing of this report, two public comments have been received.

One comment was of interest and the other was in support of the request.

USE PERMIT

The proposed use requires a Use Permit to allow the required parking within the front yard setback in the R1-6.

Section 6-308 E Approval criteria for Use Permit (*in italics*):

1. *Any significant increase in vehicular or pedestrian traffic; moving the required parking from the carport to the driveway is not expected to increase traffic.*
2. *Nuisance arising from the emission of odor, dust, gas, noise, vibration, smoke, heat or glare at a level exceeding that of ambient conditions; there are no anticipated nuisances from the proposed use.*
3. *Contribution to the deterioration of the neighborhood or to the downgrading of property values, which is in conflict with the goals, objectives or policies for rehabilitation, redevelopment or conservation as set forth in the city's adopted plans or General Plan; required parking within the front yard setback is a permitted use subject to a Use Permit.*
4. *Compatibility with existing surrounding structures and uses; the use is compatible with the existing surroundings.*
5. *Adequate control of disruptive behavior both inside and outside the premises which may create a nuisance to the surrounding area or general public; parking on the driveway is not expected to cause disruptive behavior.*

REASONS FOR APPROVAL:

Based on the information provided by the applicant, the public input received and the above analysis staff supports approval of the requested Use Permit. This request meets the required criteria and will conform to the conditions.

SHOULD AN AFFIRMATIVE ACTION BE TAKEN ON THIS REQUEST, THE FOLLOWING NUMBERED CONDITIONS OF APPROVAL SHALL APPLY, BUT MAY BE AMENDED BY THE DECISION-MAKING BODY.

CONDITION(S) OF APPROVAL: (Non-standard conditions are identified in bold)

EACH NUMBERED ITEM IS A CONDITION OF APPROVAL. THE DECISION-MAKING BODY MAY MODIFY, DELETE OR ADD TO THESE CONDITIONS.

1. The Use Permit is valid only after a Building Permit has been obtained, the required inspections have been completed and a Final Inspection has been passed. As part of the Building Permit process, on-site storm water retention may be required to be verified or accomplished on this Site.

CODE/ORDINANCE REQUIREMENTS:

THE BULLETED ITEMS REFER TO EXISTING CODE OR ORDINANCES THAT PLANNING STAFF OBSERVES ARE PERTINENT TO THIS CASE. THE BULLET ITEMS ARE INCLUDED TO ALERT THE DESIGN TEAM AND ASSIST IN OBTAINING A BUILDING PERMIT AND ARE NOT AN EXHAUSTIVE LIST.

USE PERMIT:

- The use permit approval shall be void if the use is not commenced or if an application for a building permit has not been submitted, whichever is applicable, within twelve (12) months after the use permit is granted or within the time stipulated by the decision-making body.

- The decision-making body, upon finding that the applicant has not taken corrective actions to resolve issues related to the permit/approval and that a continuation of the permit/approval is not in the interest of the public health, safety and general welfare, can revoke the permit/approval after providing written notice of its intentions to the holder of the permit.
- Specific requirements of the **Zoning and Development Code (ZDC)** are not listed as a condition of approval but will apply to any application. To avoid unnecessary review time and reduce the potential for multiple plan check submittals, become familiar with the ZDC. Access the ZDC through <http://www.tempe.gov/zoning> or purchase from Development Services.
- Any intensification or expansion of use shall require a new Use Permit.
- All required Federal, State, County, and Municipal permits, licenses, and clearances shall be obtained, or the Use Permit is void.

HISTORY & FACTS:

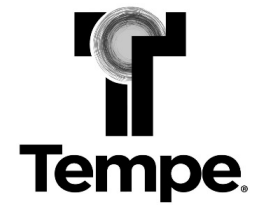
None pertinent to this request.

ZONING AND DEVELOPMENT CODE REFERENCE:

Section 3-102 Permitted Uses in Residential Districts

Section 4-202 Development Standards for Residential Districts

Section 6-308 Use Permit

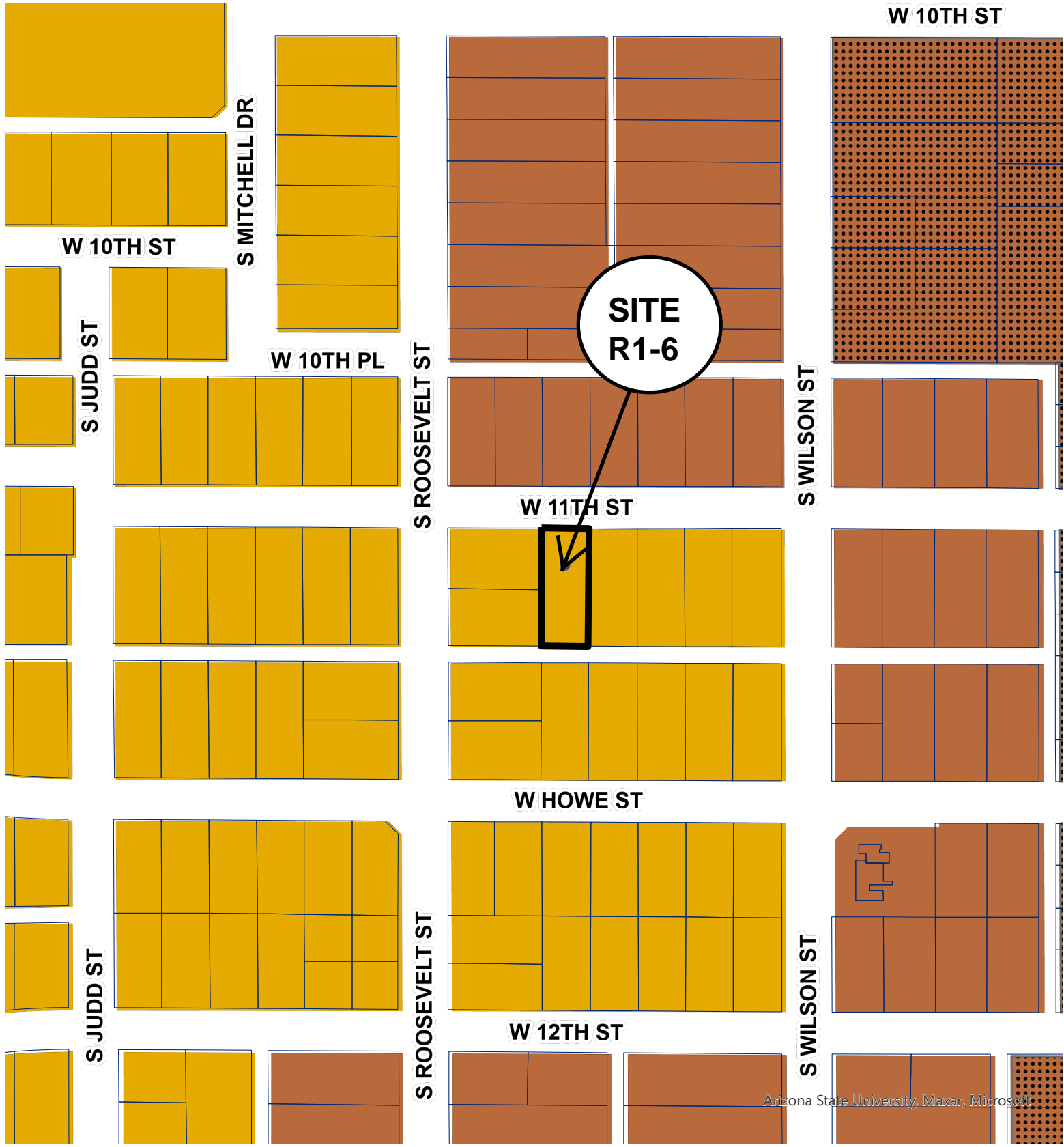





DEVELOPMENT PROJECT FILE
for
THE BARTOW RESIDENCE
(PL210358)

ATTACHMENTS:

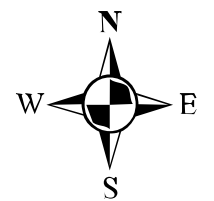
1. Location Map
2. Aerial
3. Letter of Explanation
- 4-5. Site Plans
6. Floor Plan
- 7-8. Elevations
- 9-10. Site Context Photos

BARTOW RESIDENCE



-  Single-Family Residential (R1-6)
-  Multi-Family Residential (R-2)
-  Multi-Family Residential Limited (R-3)

Arizona State University, Maxar, Microsoft

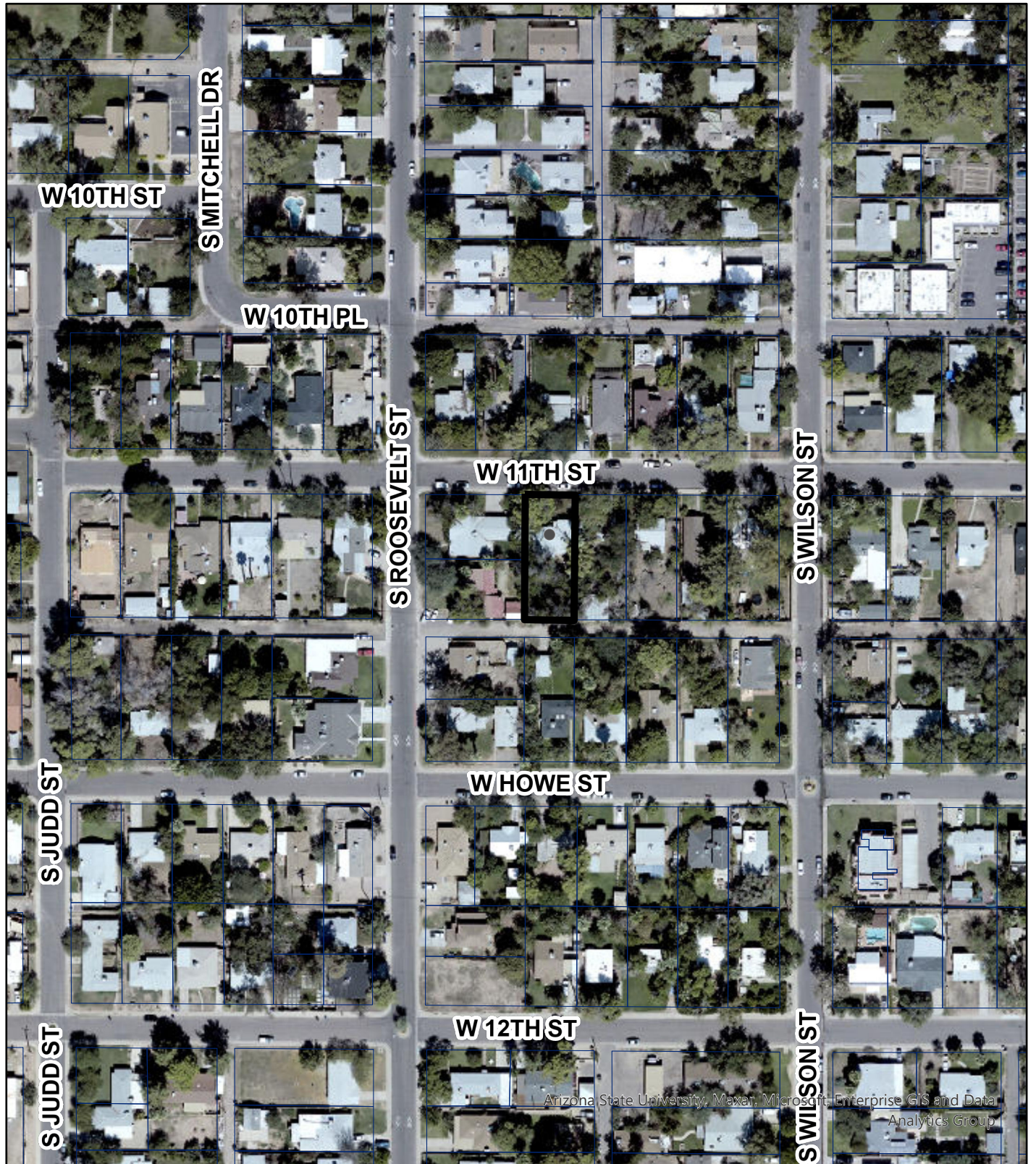




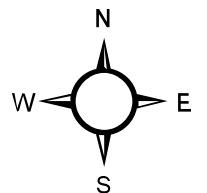
Tempe.

PL210358

BARTOW RESIDENCE



Aerial Map



Use permit

Hello, my name is Brian, I am submitting for a use permit for the ability to park in the front of our new home located at 517 W 11th street, Tempe, AZ.

My wife Carrie and I got married in October and we have been both saving as much possible at our full time employment at Banner University as Physical therapists to create a home for our new lives together.

When the opportunity came available in late 2020 to put an offer on the 517 W 11th house, we immediately acted, as we decided that we wanted to make Tempe our new place of residence.

Since acquiring the property in Jan 2021, despite being new to the Tempe area, we have met most of our neighbors and feel welcomed already during the remodeling process. We love the neighborhood vibe with kids riding bikes, people walking their dogs, and gatherings in the front patios with friends and family. All of these activities really appealed to us.

The condition of the home was outdated with leaky plumbing, no air conditioning (swap cooler only), old electrical with fuses in the wall, dirt driveway, and years of dead overgrowth from irrigated landscaping. Although we wanted to move in right away, we decided for the safety of our family, that we would need to remodel the home first.

We designed a plan to restore the home while keeping the 1948 cottage style and charm. We wanted to optimize the front yard with adding a porch and add small square footage to accommodate for our new family.

In order to keep cost low but meet these goals, we decided to close in the carport, reinforce the original structure, and re-utilize material (including existing block and lumber) to build a front patio area with a privacy wall.

The yard has been heavily landscaped, cleaned, and graded in order to restore and return the irrigated lot to proper functioning condition which was neglected from the prior owner.

We have also since got together with our surrounding 3 neighbors and completed a re-fence around the entire yard and alley way replacing the old chain link / rotting wood fence with new block. Everyone participated together to help construct the block fence and it now safely allows all neighbors to enjoy their yards. On the interior, we consulted with engineers to structurally reinforce the building to increase the safety and longevity of the home while also updating all the systems.

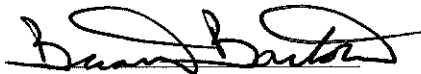
The main reason that we are requesting the use permit is that we were not aware that we couldn't park in our front driveway after enclosing the carport. On the original drawing set our draftsman placed the parking through the alley for this reason. We believe that parking on our property will help alleviate the street congestion and vehicular traffic. We would like to add the concrete ribbon style drive way for two parking spots to give a cottage style vibe while maximizing our landscape.

All of these changes we have done since acquiring the property, along with the use permit, will absolutely help reduce deterioration of the home, decrease vehicular traffic, minimize dust, improve the charm of the neighborhood, blend with the surrounding homes, and properly irrigate the property as originally designed.

We've included in our application all the requested items, in addition of visual graphics from a computer generated elevation with parking for this proposed use permit.

Over the last year, we have met with various City of Tempe officials to conform to the standards requested. We are simply requesting the permission to park in the original previous dirt drive way, only this time it will now be on a paved and finished landscape. We hope that with your help, we can improve our neighborhood and create a parking solution for our family.

Sincerely,



Brian Bartow, Home owner

12-2-21
Date

PROJECT INFORMATION

JURISDICTION:
 CITY OF TEMPE
 TEMPE CITY HALL
 31 E 5TH ST.
 TEMPE, AZ 85281
 PHONE (480) 350-8331

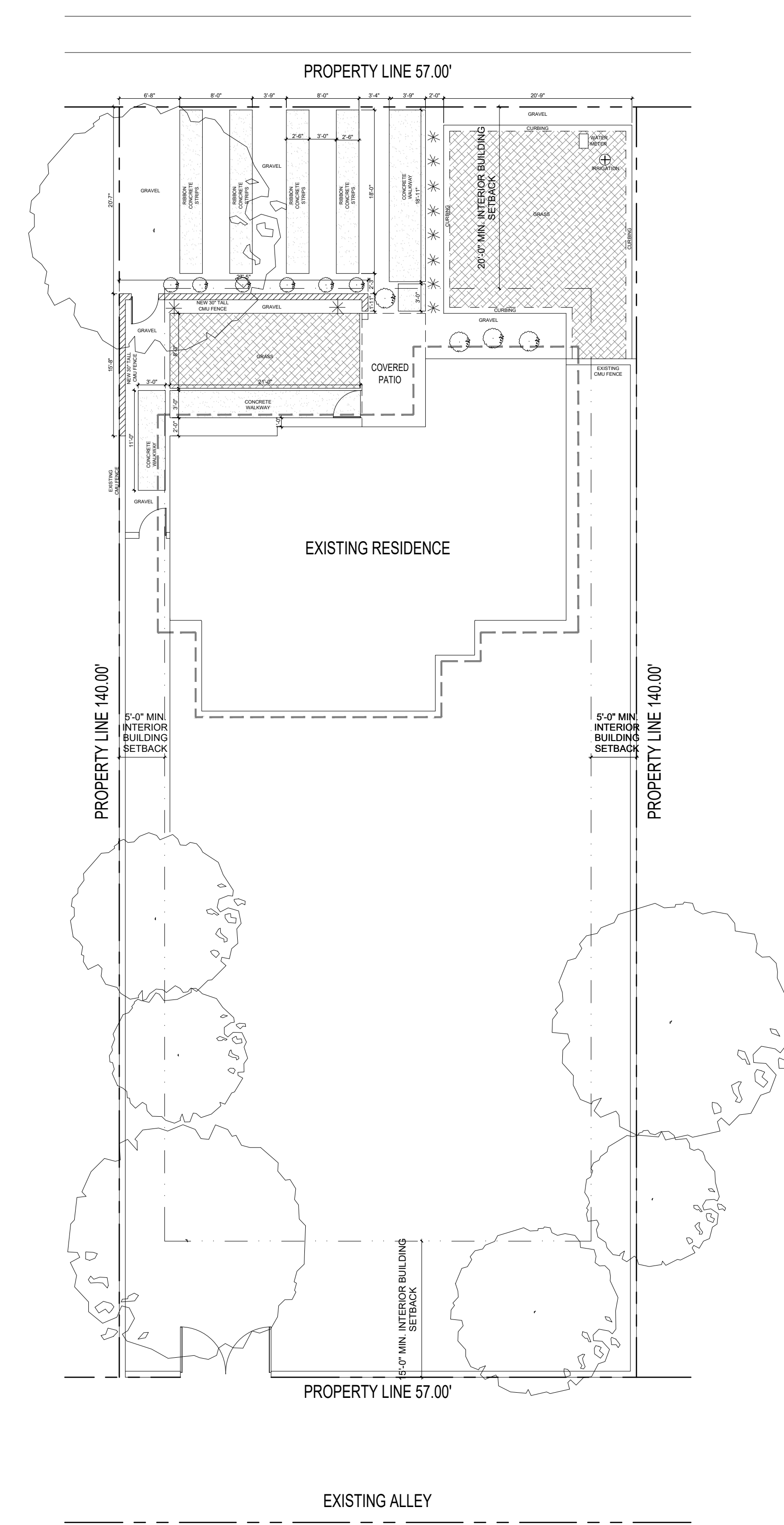
PROJECT:
 517 W 11TH ST
 TEMPE 85281

JURISDICTION: TEMPE
S/T/R: 21 1N 4E
APN: 124-70-089
ZONING: R1-6
LOT#: 28
PLC: 0131
SUBDIVISION: VAL VERDE PLAT 2

OWNER:
 BRIAN BARTOW
 517 W 11TH ST
 TEMPE 85281

DESIGNER:
 MONICA PEREZ
 monica@drattr.com
 602-579-0055

CODES:
 2018 INTERNATIONAL RESIDENTIAL CODE
 2018 INTERNATIONAL PLUMBING CODE
 2018 INTERNATIONAL MECHANICAL CODE
 2018 INTERNATIONAL ENERGY CONSERVATION CODE
 2018 INTERNATIONAL EXISTING BUILDING CODE
 2017 NATIONAL ELECTRIC CODE



VICINITY MAP



drattr LLC
 monica@drattr.com
 602.579.0055
 ARCHITECTURAL SERVICES
 DESIGN / SPACE PLANNING / SURVEYS
 CONSTRUCTION DOCUMENTS / PERMITTING

11TH STREET RESIDENCE
 517 W 11TH ST
 TEMPE 85281

DRAWN BY: M. PEREZ
CHECKED BY: M. PEREZ
ISSUE DATE: 05.05.2021

NO.	REVISION:	DATE:
1	CLIENT COMMENTS / COORDINATION	06.09.2021

A1.0
 GENERAL NOTES / PROJECT INFO /
 SITE PLAN / VICINITY MAP

GENERAL NOTES

GENERAL NOTES AND PROJECT REQUIREMENTS

CONTRACTOR SHALL BECOME FAMILIAR WITH OWNERS REQUIREMENTS PRIOR TO BIDDING AND SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THESE REQUIREMENTS.

CONTRACTOR ACKNOWLEDGES AND UNDERSTANDS THAT THE CONTRACT DOCUMENTS MAY REPRESENT IMPERFECT DATA AND MAY CONTAIN ERRORS, OMISSIONS, CONFLICTS, INCONSISTENCIES, CODE VIOLATIONS AND IMPROPER USE OF MATERIALS. SUCH DEFICIENCIES WILL BE CORRECTED WHEN IDENTIFIED. CONTRACTOR AGREES TO CAREFULLY STUDY AND COMPARE THE INDIVIDUAL CONTRACT DOCUMENTS AND REPORT AT ONCE IN WRITING TO THE OWNER ANY DEFICIENCIES THAT MAY BE DISCOVERED. CONTRACTOR FURTHER AGREES TO REQUIRE EACH SUBCONTRACTOR TO LIKEWISE STUDY THE DOCUMENTS AND REPORT AT ONCE ANY DEFICIENCIES DISCOVERED.

ITEMS NOT INDICATED IN THESE DOCUMENTS THAT CAN BE LEGITIMATELY AND REASONABLY INFERRED TO COMPLETE THE WORK AT HAND SHALL BE FURNISHED BY THE CONTRACTOR AS THOUGH IT WERE DETAILED HEREIN.

CONTRACTOR SHALL VISIT THE JOB SITE PRIOR TO BIDDING AND SHALL BECOME FAMILIAR WITH EXISTING CONDITIONS AND SHALL NOTIFY ARCHITECT OF ANY / ALL DISCREPANCIES BETWEEN THESE PLANS AND EXISTING CONDITIONS.

CONTRACTOR WILL INSPECT THE PROJECT SITE TO CHECK EXISTING WORKING CONDITIONS. SHOULD CONTRACTOR FIND CONDITIONS WHICH HE BELIEVES WOULD IMPEDE HIS WORK, SUCH CONDITIONS MUST BE REPORTED IMMEDIATELY TO THE DESIGNER AND / OR OWNER PRIOR TO START OF CONSTRUCTION WITH FOLLOW-UP IN WRITING WITHIN TWO (2) WORKING DAYS. FAILURE TO SO WILL CONSTITUTE NOTICE THAT CONTRACTOR IS FULLY SATISFIED WITH THE EXISTING CONDITIONS AND THAT HE INTENDS TO PERFORM HIS OBLIGATIONS WITH NO ALLOWANCE EITHER IN TIME OR MONEY FOR ANY IMPEDIMENTS TO HIS WORK.

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN FIELD IF DIMENSIONAL ERROR OCCURS OR CONDITION NOT COVERED IN THE DRAWINGS IS ENCOUNTERED. CONTRACTOR SHALL NOTIFY THE DESIGNER AND / OR OWNER BEFORE COMMENCING THAT PORTION OF THE WORK.

DIMENSIONS TAKE PRECEDENCE OVER SCALE ON CONSTRUCTION DOCUMENTS.

SUPPLIERS AND CONTRACTORS SHALL ENSURE THAT ALL FEDERAL AND / OR LOCAL CODE STANDARDS ARE MET IN EQUIPMENT AND / OR MATERIALS SUPPLIED AND INSTALLED. SUPPLIERS AND CONTRACTORS SHALL NOT SCALE DRAWINGS. IF A DIMENSION IS NOT PROVIDED, CONTACT THE DESIGNER AND / OR OWNER PRIOR TO PROCEEDING. LOCAL AND CODE STANDARDS THAT ARE REASONABLY IMPLIED ON THE DRAWINGS AND NOT MET BY EITHER THE SUPPLIERS AND / OR CONTRACTOR SHALL BE CORRECTED BY THE SUPPLIER AND / OR CONTRACTOR AT NO COST TO THE OWNER.

CONTRACTOR SHALL RESOLVE ALL REPORTED DEFICIENCIES WITH OWNER PRIOR TO AWARDED ANY SUBCONTRACTS OR STARTING ANY WORK WITH THE CONTRACTOR'S OWN EMPLOYEES. IF ANY DEFICIENCIES CAN NOT BE RESOLVED BY THE CONTRACTOR WITHOUT ADDITIONAL TIME OR ADDITIONAL EXPENSE, THE CONTRACTOR SHALL SO INFORM THE OWNER IN WRITING. ANY WORK PERFORMED PRIOR TO RECEIPT OF INSTRUCTION FROM THE OWNER WILL BE DONE AT THE CONTRACTOR'S OWN RISK.

THIS DOCUMENT SET SHALL BE ISSUED TO ALL PARTIES IN ITS ENTIRETY PER THE SHEET INDEX. CONTRACTOR SHALL ENSURE THAT ALL SUBCONTRACTORS HAVE REVIEWED THE ENTIRE DOCUMENT SET FOR THEIR RESPONSIBILITIES AND THAT NO PARTIAL SETS HAVE BEEN ISSUED. ANY DISCREPANCIES THAT ARISE SHALL BE THE FULL RESPONSIBILITY OF THE GENERAL CONTRACTOR TO REMEDY IN RELATION TO SCHEDULE AND COST IMPACTS.

CONTRACTOR SHALL SUPERVISE AND DIRECT WORK, USING HIS BEST SKILL AND ATTENTION. HE SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION AND / OR INSTALLATION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF WORK UNDER THE CONTRACT.

ALL WORK SHALL COMPLY WITH ALL APPLICABLE STATE AND LOCAL CODES AND ORDINANCES.

ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED, ERECTED, USED, CLEANED AND CONDITIONED IN ACCORDANCE WITH THE MANUFACTURERS' WRITTEN SPECIFICATIONS OR INSTRUCTIONS UNLESS HEREIN AFTER SPECIFIED TO THE CONTRARY.

ALL WORK SHALL BE EXECUTED IN A NEAT AND WORKMAN LIKE MANNER ACCEPTABLE TO OWNER.

WHEN WORK NOT SPECIFICALLY CALLED OUT IS REQUIRED TO COMPLETE THE PROJECT, IT SHALL BE PROVIDED AND BE OF THE BEST MATERIALS AND WORKMANSHIP.

CONTRACTOR SHALL GUARANTEE ALL WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION (IN WRITING).

UNLESS OTHERWISE SPECIFICALLY NOTED, CONTRACTOR SHALL PROVIDE AND PAY FOR ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, CONSTRUCTION EQUIPMENT AND MACHINERY, TRANSPORTATION, AND OTHER FACILITIES AND SERVICES NECESSARY FOR PROPER EXECUTION AND COMPLETION OF THE WORK.

THE OWNER SHALL PAY ALL FEES FOR PERMITS, ETC., NECESSARY FOR PROPER COMPLETION OF THE WORK UNLESS OTHERWISE INFORMED.

CONTRACTOR SHALL REVIEW THE FINAL FINISH SAMPLES FOR THE PROJECT WITH THE OWNER PRIOR TO INSTALLATION.

CONTRACTOR WARRANTS TO THE OWNER AND THE ARCHITECT THAT ALL MATERIALS AND EQUIPMENT FURNISHED UNDER THIS CONTRACT WILL BE NEW UNLESS OTHERWISE SPECIFIED, AND THAT ALL WORK WILL BE GOOD QUALITY, FREE FROM FAULTS AND DEFECTS AND IN CONFORMANCE WITH THE CONSTRUCTION DOCUMENTS. ALL WORK NOT SO CONFORMING TO THESE STANDARDS MAY BE CONSIDERED DEFECTIVE. IT IS UNDERSTOOD THAT NO INFERIOR OR NON-COMFORMING WORK OR MATERIALS WILL BE ACCEPTED WHEN DISCOVERED AT THE TIME THEY ARE INCORPORATED IN THE WORK OR AT ANY TIME BEFORE OR AFTER THE FINAL ACCEPTANCE IF REQUIRED BY THE OWNER. THE CONTRACTOR SHALL FURNISH SATISFACTORY EVIDENCE AS TO THE KIND AND QUALITY OF MATERIALS AND EQUIPMENT.

THE WARRANTIES AND GUARANTEES PROVIDED IN THE CONSTRUCTION DOCUMENTS SHALL BE IN ADDITION TO AND NOT IN LIMITATION OF ANY OTHER WARRANTY OR GUARANTY OR REMEDY REQUIRED BY LAW.

CONTRACTOR SHALL PROVIDE PROPER SHORING AND DISCONNECTION OF ANY / ALL UTILITIES AS REQUIRED BEFORE ANY DEMOLITION.

CONTRACTOR SHALL PATCH, REPAIR, REPLACE AND FINISH ANY FLOOR, WALL AND / OR CEILING TO MATCH ADJACENT AS REQUIRED DUE TO ANY DEMOLITION.

ALL MILLWORK ITEMS SHALL BE CONSTRUCTED PER A.W.I. SPECIFICATIONS FOR PREMIUM GRADE.

OWNER ASSUMES CONTRACTOR HAS INCLUDED IN HIS BID THE HIGHEST QUALITY AND GREATEST QUALITY FOR PURPOSE OF RESOLVING CONFLICTS IN THE CONSTRUCTION DOCUMENTS WHICH ARE IMPLIED OR UNDEFINED.

IT IS CONTRACTOR'S RESPONSIBILITY TO COORDINATE, LOCATE, AND CONFIRM THE LOCATION OF ALL SERVICES, UNDERGROUND, OVERHEAD PLUMBING AND ELECTRICAL SUB-UPS.

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FINAL INSPECTIONS AND PROVIDE THE OWNER WITH THE CERTIFICATE OF OCCUPANCY.

ALL GLASS AND GLAZING SHALL WITH IBC CHAPTER 24. SAFETY GLAZING SHALL COMPLY WITH CPSC TITLE 16 CFR PART 1201.

GLASS IN HAZARDOUS LOCATIONS AS DEFINED AND DESCRIBED IN IBC SECTION 2406.3 SHALL BE TEMPERED OR SAFETY GLAZING.

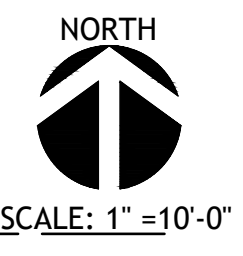
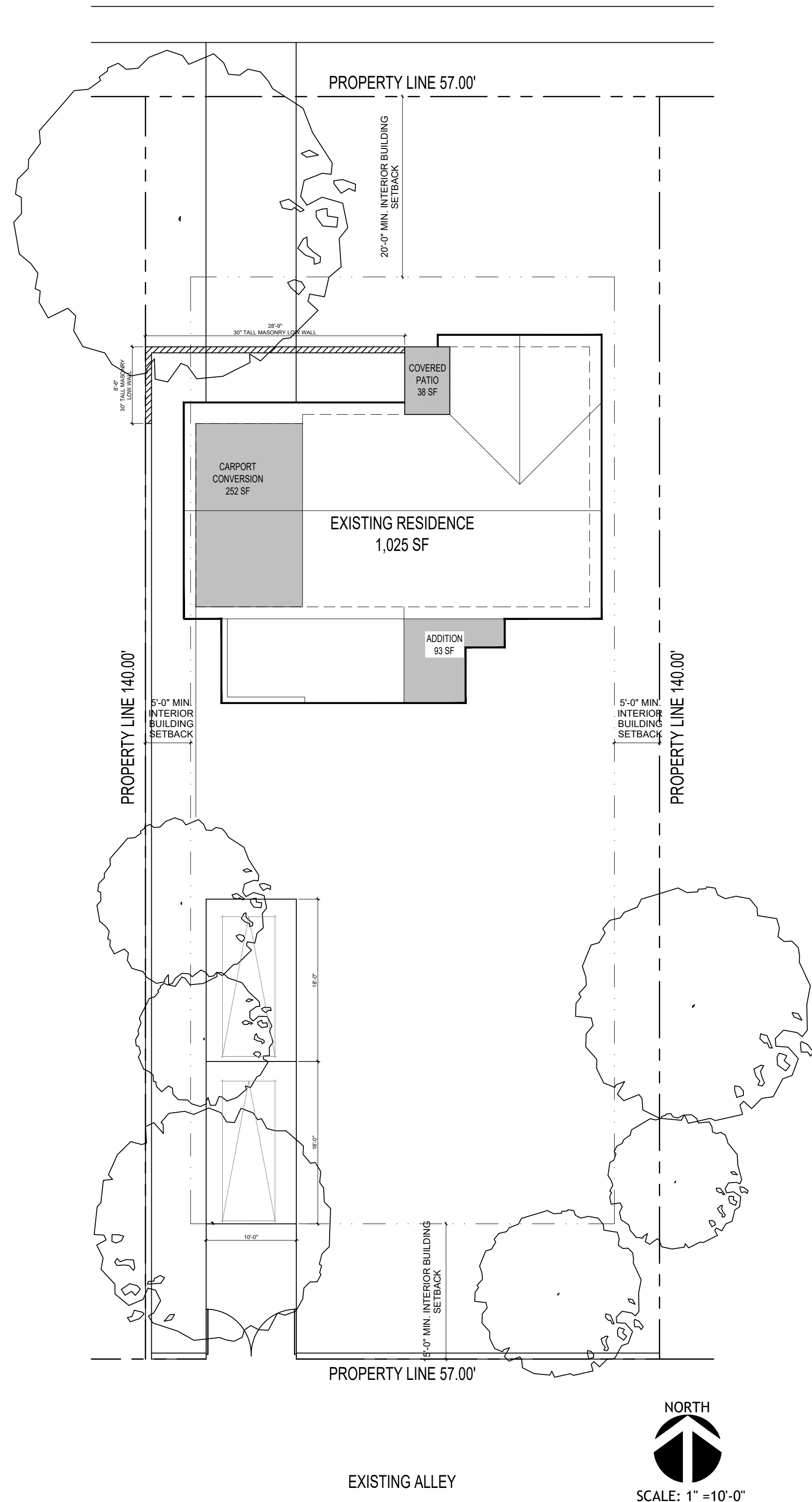
CALL ARIZONA BLUE STAKE TWO DAYS BEFORE YOU DIG IT
1-800-STAKE-IT
STATEWIDE 1-800-782-5348
MARICOPA COUNTY 602-263-1100
MORE INFORMATION AT WWW.BSINC.COM

REVIEWED FOR CODE COMPLIANCE
CITY OF TEMPE, ARIZONA
COMMUNITY DEVELOPMENT DEPT

for S. Secondary
BUILDING DIVISION 07/06/2021 DATE

PLANNING DIVISION 07/06/2021 DATE

PERMIT NUMBER(S): CS-BP210598 As Noted
11th-street-Permit_REV



SITE PLAN

VICINITY MAP

PROJECT INFORMATION

JURISDICTION:
CITY OF TEMPE
TEMPE CITY HALL
31 E 5TH ST
TEMPE, AZ 85281
PHONE (480) 350-8331

PROJECT:
517 W 11TH ST
TEMPE 85281

JURISDICTION: TEMPE
S/T/R: 21 1N 4E
APN: 124-70-089
ZONING: R1-6
LOT#: 28
PUC: 0131
SUBDIVISION: VAL VERDE PLAT 2

OWNER:
BRIAN BARTOW
517 W 11TH ST
TEMPE 85281

DESIGNER:
MONICA PEREZ
monica@drattr.com
602-579-0055

PROJECT SCOPE:
1,025 SF RESIDENTIAL REMODEL, 252 SF CARPORT TO LIVABLE CONVERSION, 93 SF LIVABLE ADDITION AND 38 SF COVERED PATIO AT ENTRANCE. SCOPE TO INCLUDE MECHANICAL, ELECTRICAL, PLUMBING AND STRUCTURAL.

CODES:

2018 INTERNATIONAL RESIDENTIAL CODE
2018 INTERNATIONAL PLUMBING CODE
2018 INTERNATIONAL MECHANICAL CODE
2018 INTERNATIONAL ENERGY CONSERVATION CODE
2018 INTERNATIONAL EXISTING BUILDING CODE
2017 NATIONAL ELECTRIC CODE

BUILDING CALCULATIONS:

LOT SIZE	7,980 S.F.
EXISTING LIVABLE	1,025 S.F.
EXISTING CARPORT TO LIVABLE CONVERSION	252 S.F.
PROPOSED LIVABLE ADDITION	93 S.F.
TOTAL EXISTING LIVABLE AREA	1,370 S.F.
PROPOSED COVERED PATIO	38 S.F.
TOTAL LOT COVERAGE	1,408 S.F.
1,408 SF / 7,980 SF = 18% < 40%	
TOTAL LOT COVERAGE	18 %

ENERGY CODE COMPLIANCE -- CLIMATE ZONE 2-B

PRESCRIPTIVE METHOD :

WINDOWS U-FACTOR	0.40 MAX.
WINDOWS S.H.G.C.	0.25 MAX.
SKYLIGHT U-FACTOR	0.65 MAX.
WOOD FRAME CAVITY INSULATION	R-13 MIN.
CEILING / ATTIC INSULATION	R-38 MIN.
A/C DUCT INSULATION	R-8 MIN.
HOT WATER PIPING	R-3 MIN.
A/C PROGRAMMABLE THERMOSTAT	YES

DRAWING INDEX

A1.0	GENERAL NOTES / PROJECT INFO / SITE PLAN / VICINITY MAP
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A6.0	DETAILS
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S0.1	GENERAL STRUCTURAL NOTES
S1.0	TYPICAL DETAILS
S1.1	TYPICAL DETAILS
S2.0	FOUNDATION PLAN
S2.1	ROOF FRAMING PLAN
S3.0	FOUNDATION DETAILS
S4.0	ROOF FRAMING DETAILS
M1.0	MECHANICAL SPECIFICATIONS
M2.0	MECHANICAL PLAN
E1.0	ELECTRICAL SPECIFICATIONS / PLANS
P1.0	PLUMBING SPECIFICATION / DETAILS

drattr LLC
monica@drattr.com
602.579.0055

ARCHITECTURAL SERVICES
DESIGN / SPACE PLANNING / SURVEYS
CONSTRUCTION DOCUMENTS / PERMITTING



11TH STREET RESIDENCE

517 W 11TH ST
TEMPE 85281

CITY OF TEMPE
DEVELOPMENT
SERVICES
REVIEWED FOR
CODE COMPLIANCE

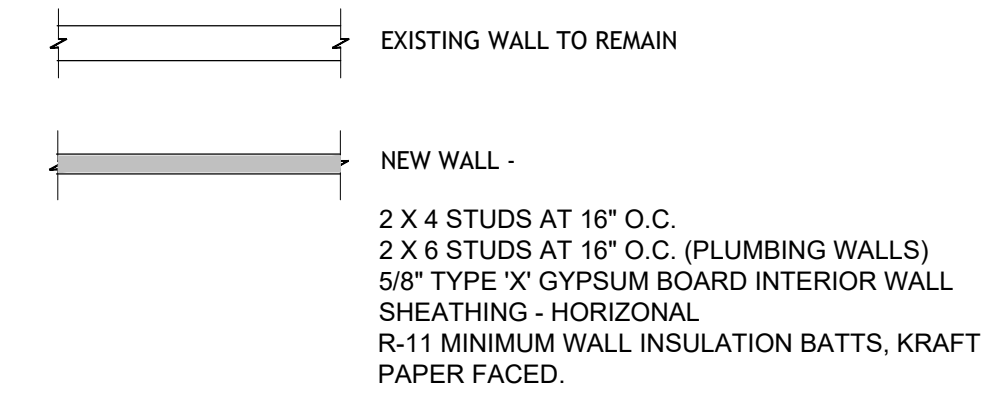
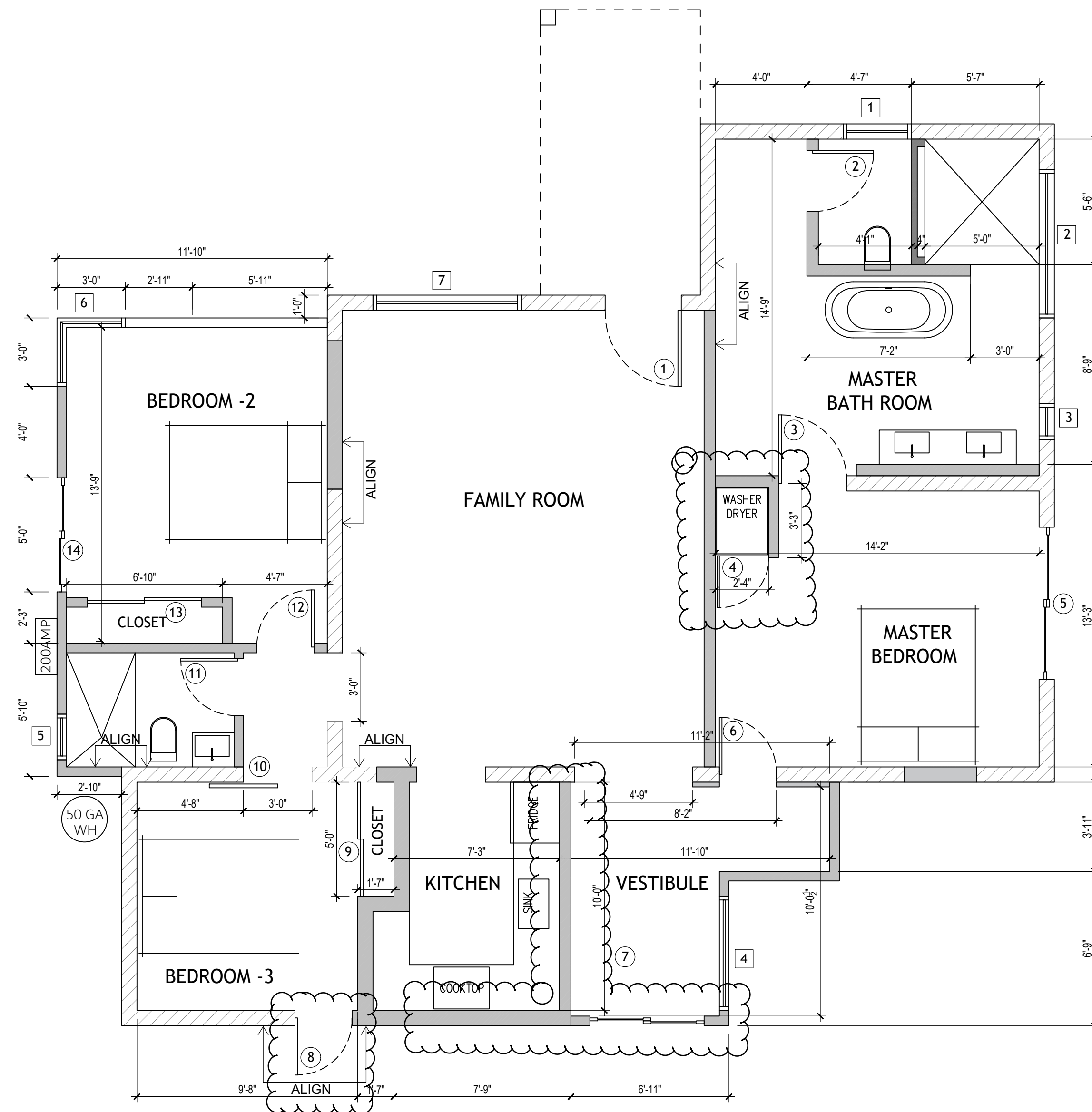
DRAWN BY: M. PEREZ
CHECKED BY: M. PEREZ
ISSUE DATE: 05.05.2021

NO:	1	REVISION:	CLIENT COMMENTS / COORDINATION
DATE:	06.09.2021		

A1.0
GENERAL NOTES / PROJECT INFO /
SITE PLAN / VICINITY MAP



APPROVAL STAMP



WALL TYPES

MARK	TYPE	QTY.	DIMENSIONS	MATERIAL	NOTES	LOCATION
1	NEW, DOUBLE HUNG	1	3'-0" X 4'-4"	ALUMINUM	NEW WIN.	MASTER BATHROOM
2	NEW, SLIDER	1	6'-6" X 4'-0"	ALUMINUM	NEW WIN.	MASTER BATHROOM
3	NEW, DOUBLE HUNG	1	1'-7" X 3'-0"	ALUMINUM	NEW WIN.	MASTER BATHROOM
4	NEW, FIXED	1	5'-0" X 5'-6"	ALUMINUM	NEW WIN.	VESTIBULE
5	NEW, SLIDER	1	2'-0" X 5'-6"	ALUMINUM	NEW WIN.	BATHROOM
6	NEW, FIXED, CORNER	1	3'-0" X 3'-0" X 6'-8"	ALUMINUM	NEW WIN.	BEDROOM - 2
7	NEW, SLIDER	1	6'-2" X 3'-8"	ALUMINUM	NEW WIN.	LIVING ROOM

MARK	TYPE	QTY.	DIMENSIONS	MATERIAL	LOCATION
1	NEW, SINGLE	1	3'-0" X 6'-8"	WOOD	FRONT ENTRANCE
2	NEW, SINGLE	1	3'-0" X 6'-8"	WOOD	MASTER BATHROOM
3	NEW, SINGLE	1	2'-6" X 6'-8"	WOOD	MASTER BATHROOM
4	NEW, DOUBLE	1	2'-6" X 6'-8"	WOOD	LAUNDRY CLOSET
5	NEW, 2 PANEL SLIDER	1	6'-6" X 6'-8"	ALUMINUM	BEDROOM - 3
6	NEW, SINGLE	1	2'-6" X 6'-8"	WOOD	MASTER BEDROOM
7	NEW, SINGLE	1	3'-0" X 6'-8"	WOOD	REAR DOOR
8	NEW, SINGLE	1	2'-6" X 6'-8"	ALUMINUM	BEDROOM- 3
9	NEW, 2 PANEL SLIDER	1	5'-0" X 6'-8"	WOOD	BEDROOM -3
10	NEW, POCKET DOOR	1	2'-6" X 6'-8"	WOOD	BEDROOM -3
11	NEW, SINGLE	1	3'-0" X 6'-8"	WOOD	BATHROOM
12	NEW, SINGLE	1	2'-6" X 6'-8"	WOOD	BEDROOM- 2
13	NEW, 2 PANEL SLIDER	1	5'-0" X 6'-8"	WOOD	BEDROOM- 2
14	NEW, 2 PANEL SLIDER	1	5'-0" X 6'-8"	ALUMINUM	BEDROOM- 2

CONTRACTOR TO VERIFY DOORS/WINDOW SIZES PRIOR TO ORDERING

11TH STREET RESIDENCE
 517 W 11TH ST
 TEMPE 85281

CITY OF TEMPE
 DEVELOPMENT SERVICES
 REVIEWED FOR CODE COMPLIANCE

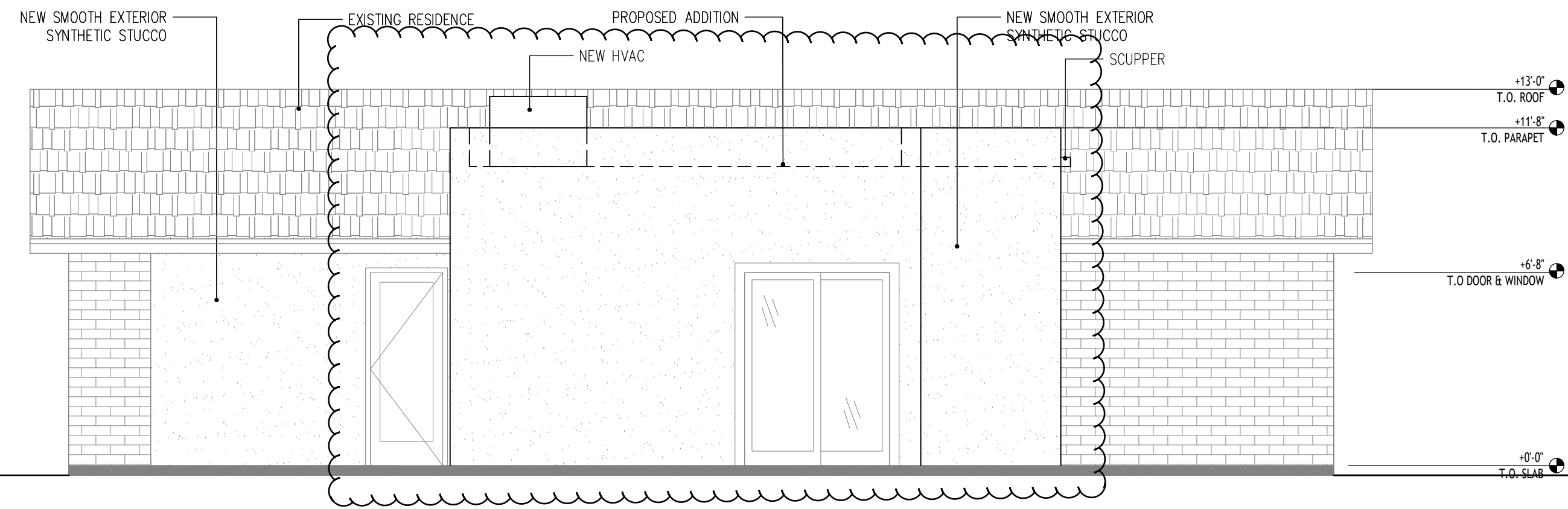
DRAWN BY: M. PEREZ
 CHECKED BY: M. PEREZ
 ISSUE DATE: 05.05.2021

NO.	REVISION	DATE
1	CLIENT COMMENTS / COORDINATION	06.09.2021

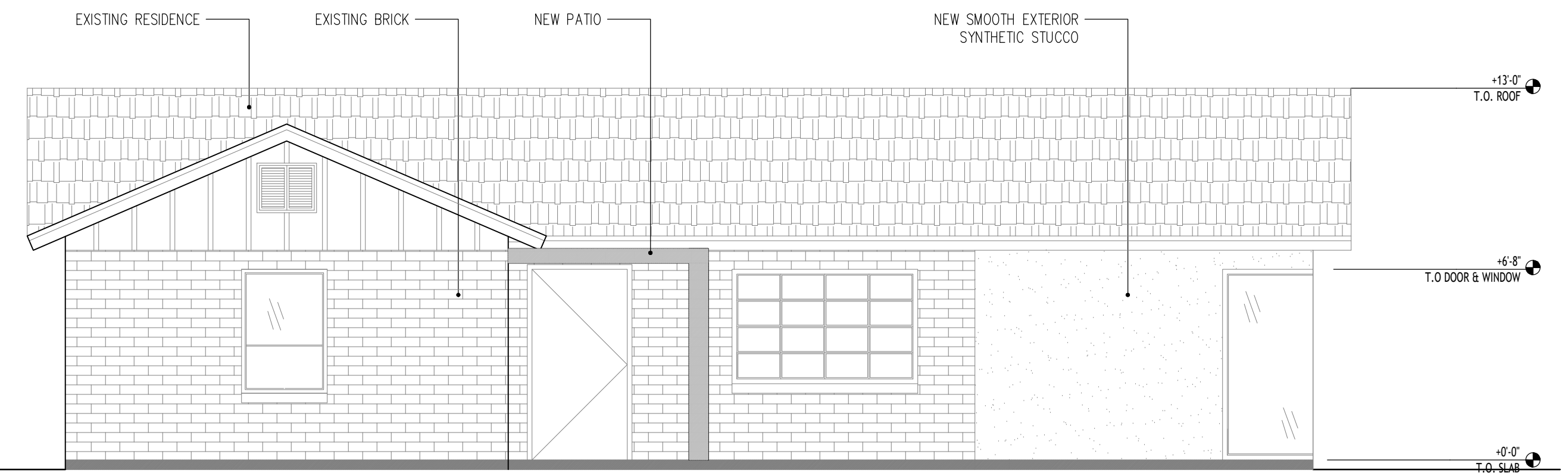
MAIN HOUSE FLOOR PLAN
 SCALE: 1/4" = 1'-0"

APPROVAL STAMP

A3.0
 EXISTING FLOOR PLANS

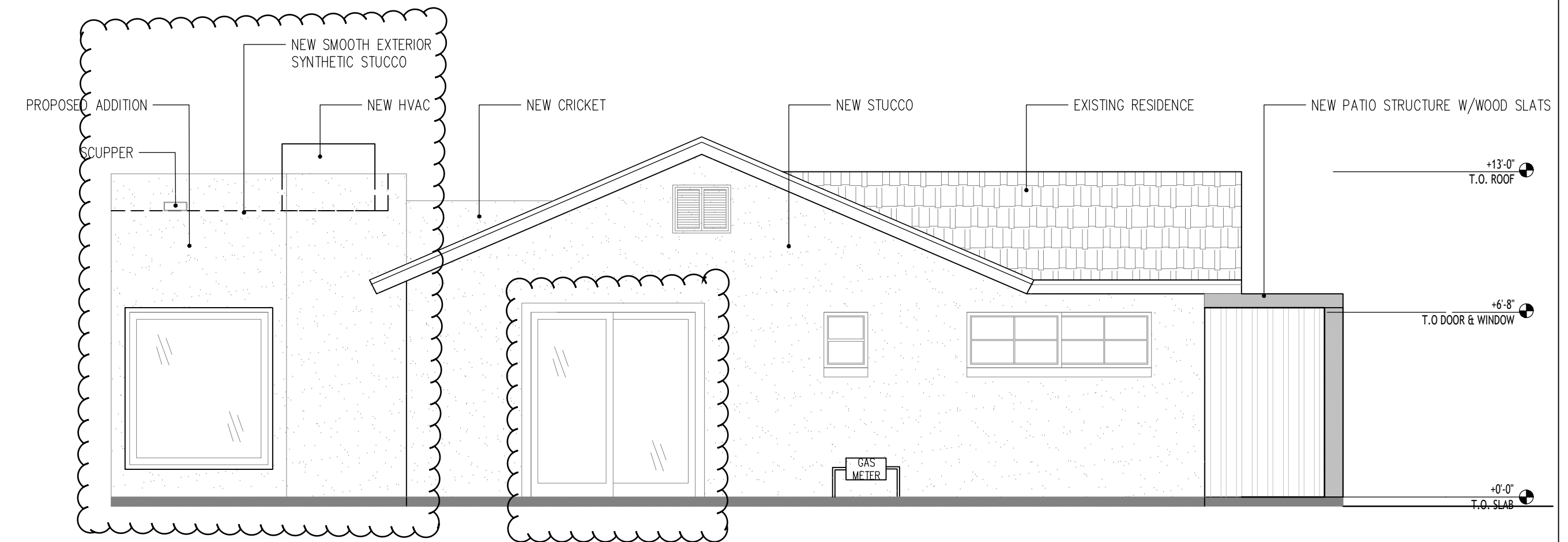


3 - SOUTH ELEVATION 1/4"=1'-0"

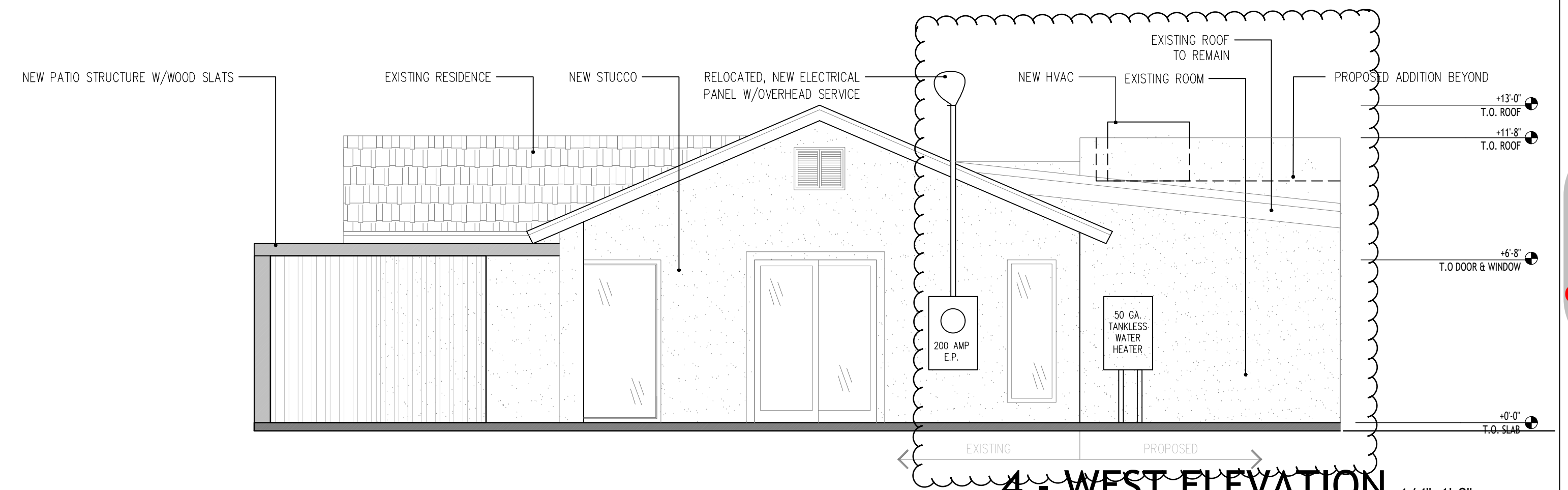


1 - NORTH ELEVATION 1/4"=1'-0"

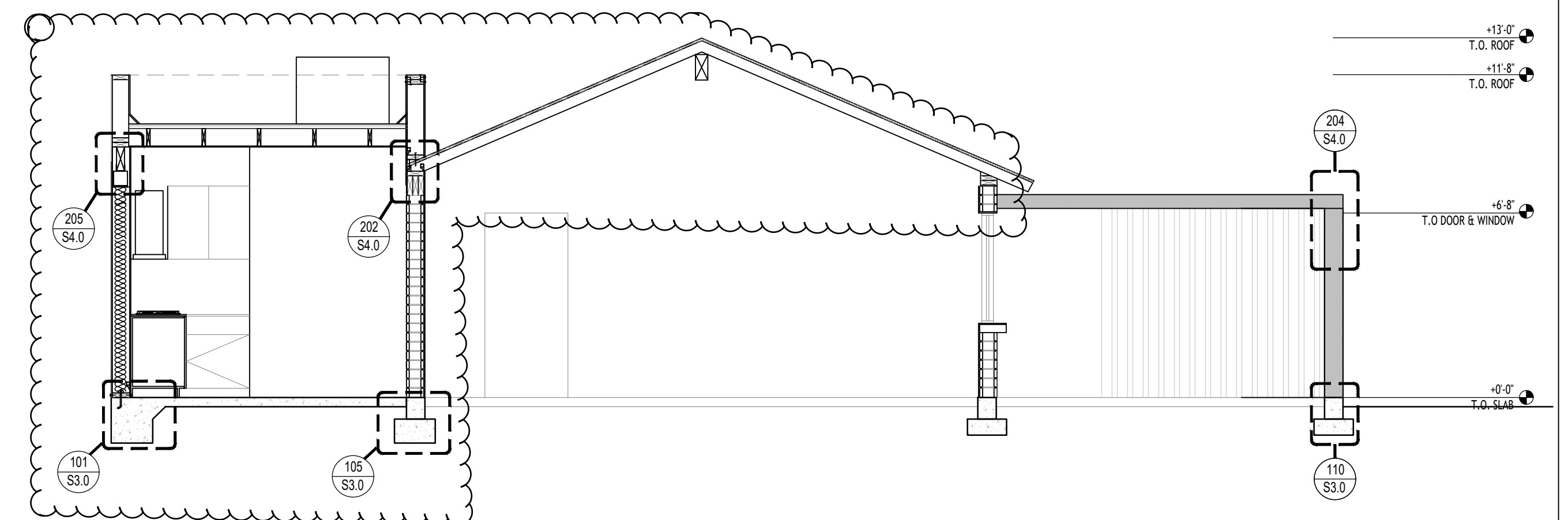
Provide secondary scupper per IRC 903.4



2 - EAST ELEVATION 1/4"=1'-0"



4 - WEST ELEVATION 1/4"=1'-0"



5 - BUILDING SECTION 1/4"=1'-0"

11TH STREET RESIDENCE

517 W 11TH ST
 TEMPE 85281

CITY OF TEMPE
 DEVELOPMENT
 SERVICES
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A4.0
 EXTERIOR ELEVATIONS

