

**CITY OF TEMPE  
DEVELOPMENT REVIEW COMMISSION**

**Meeting Date: 02/08/2022  
Agenda Item: 4**

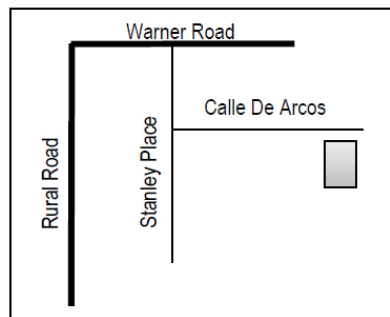
**ACTION:** Request a Use Permit Standard to reduce the west side yard setback from fifteen (15) feet to twelve (12) feet for the **TELIDIS RESIDENCE**, located at 1225 East Warner Road #22. The applicant is Alexander Telidis. **(PL210384)**

**FISCAL IMPACT:** N/A

**RECOMMENDATION:** Staff – Approve, subject to conditions

**BACKGROUND INFORMATION:** THE TELIDIS RESIDENCE (PL210384) is a single-family home located on Lot 22 of the Wingfoot subdivision in the R1-15 subdivision. The applicant is requesting a Use Permit Standard to reduce the west side yard setback from 15 feet to 12 feet for the purpose of constructing a new two-car garage that will be attached to the home. The garage addition will conform with all development standards in the R1-15 zoning district. The request includes the following:

ZUP220001 Use Permit Standard to reduce the west side yard setback from fifteen (15) feet to twelve (12) feet.



Property Owner	Alexander Telidis
Applicant	Alexander Telidis
Zoning District	R1-15
Site Area	29,852 s.f.
Building Area (existing/proposed)	5,078 s.f. / 5,683 s.f.
Lot Coverage (existing/proposed)	17.01% / 19.04% (45% max. required)
Building Height	12' (30' maximum allowed)
Building Setbacks	61' 2" front, 24' 4" west side, 17' 1" east side, 60' rear, (35' front, 15' sides, 30' rear min. required)

**ATTACHMENTS:** Development Project File

**STAFF CONTACT(S):** Lily Drosos, Planner I (480) 350-8245

Department Director: Shelly Seyler, Interim Community Development Director  
Legal review by: N/A  
Prepared by: Lily Drosos, Planner I  
Reviewed by: Steve Abrahamson, Principal Planner

## COMMENTS

THE TELIDIS RESIDENCE (PL210384) is located in the Wingfoot subdivision, south of Warner Road, east of Rural Road, and west of McClintock Drive. The proposed garage addition will add 605 square feet to the total building area. This includes space for two vehicles, storage space, and an outdoor shower and restroom that is accessible from the backyard.

## PUBLIC INPUT

Since the writing of this report, no public comments have been received.

## USE PERMIT STANDARD

The proposed garage addition requires a Use Permit Standard to reduce the west side yard setback from fifteen (15) feet to twelve (12) feet within the R1-15 zoning district. The Use Permit Standard allows a 20% deviation from the development standards.

Section 6-308 E Approval criteria for Use Permit (*in italics*):

1. *Any significant increase in vehicular or pedestrian traffic*; vehicular and pedestrian traffic in adjacent areas are not expected to change or be adversely affected.
2. *Nuisance arising from the emission of odor, dust, gas, noise, vibration, smoke, heat or glare at a level exceeding that of ambient conditions*; no nuisances are expected to arise as a result of this request.
3. *Contribution to the deterioration of the neighborhood or to the downgrading of property values, which is in conflict with the goals, objectives or policies for rehabilitation, redevelopment or conservation as set forth in the city's adopted plans or General Plan*; reducing the west side yard setback is not expected to contribute to the deterioration of the neighborhood or downgrading of property values.
4. *Compatibility with existing surrounding structures and uses*; the new garage style and appearance will conform to others in the neighborhood.
5. *Adequate control of disruptive behavior both inside and outside the premises which may create a nuisance to the surrounding area or general public*; parking in the new garage will minimize potentially disruptive vehicle sounds, which will eliminate nuisances.

## REASONS FOR APPROVAL:

Based on the information provided by the applicant, the public input received and the above analysis staff supports approval of the requested Use Permit Standard. This request meets the required criteria and will conform to the conditions.

## SHOULD AN AFFIRMATIVE ACTION BE TAKEN ON THIS REQUEST, THE FOLLOWING NUMBERED CONDITIONS OF APPROVAL SHALL APPLY, BUT MAY BE AMENDED BY THE DECISION-MAKING BODY.

### CONDITION(S) OF APPROVAL: (Non-standard conditions are identified in bold)

EACH NUMBERED ITEM IS A CONDITION OF APPROVAL. THE DECISION-MAKING BODY MAY MODIFY, DELETE OR ADD TO THESE CONDITIONS.

1. The Use Permit Standard or valid only after a Building Permit has been obtained, the required inspections have been completed and a Final Inspection has been passed. As part of the Building Permit process, on-site storm water retention may be required to be verified or accomplished on this Site.
2. The Use Permit Standard is valid for the plans as submitted within this application. Any additions or modifications may be submitted for review during the building plan check process.
3. **Architectural approval shall be obtained by the Wingfoot Homeowners Association prior to submitting for a building permit application.**

**CODE/ORDINANCE REQUIREMENTS:**

THE BULLETED ITEMS REFER TO EXISTING CODE OR ORDINANCES THAT PLANNING STAFF OBSERVES ARE PERTINENT TO THIS CASE. THE BULLET ITEMS ARE INCLUDED TO ALERT THE DESIGN TEAM AND ASSIST IN OBTAINING A BUILDING PERMIT AND ARE NOT AN EXHAUSTIVE LIST.

**HISTORY & FACTS:**

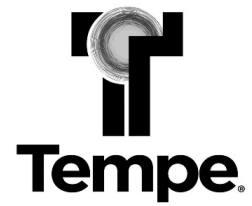
None pertinent to this request.

**ZONING AND DEVELOPMENT CODE REFERENCE:**

Section 3-102 Permitted Uses in Residential Districts

Section 4-201A Use Permit Standard

Section 4-202 Development Standards for Residential Districts



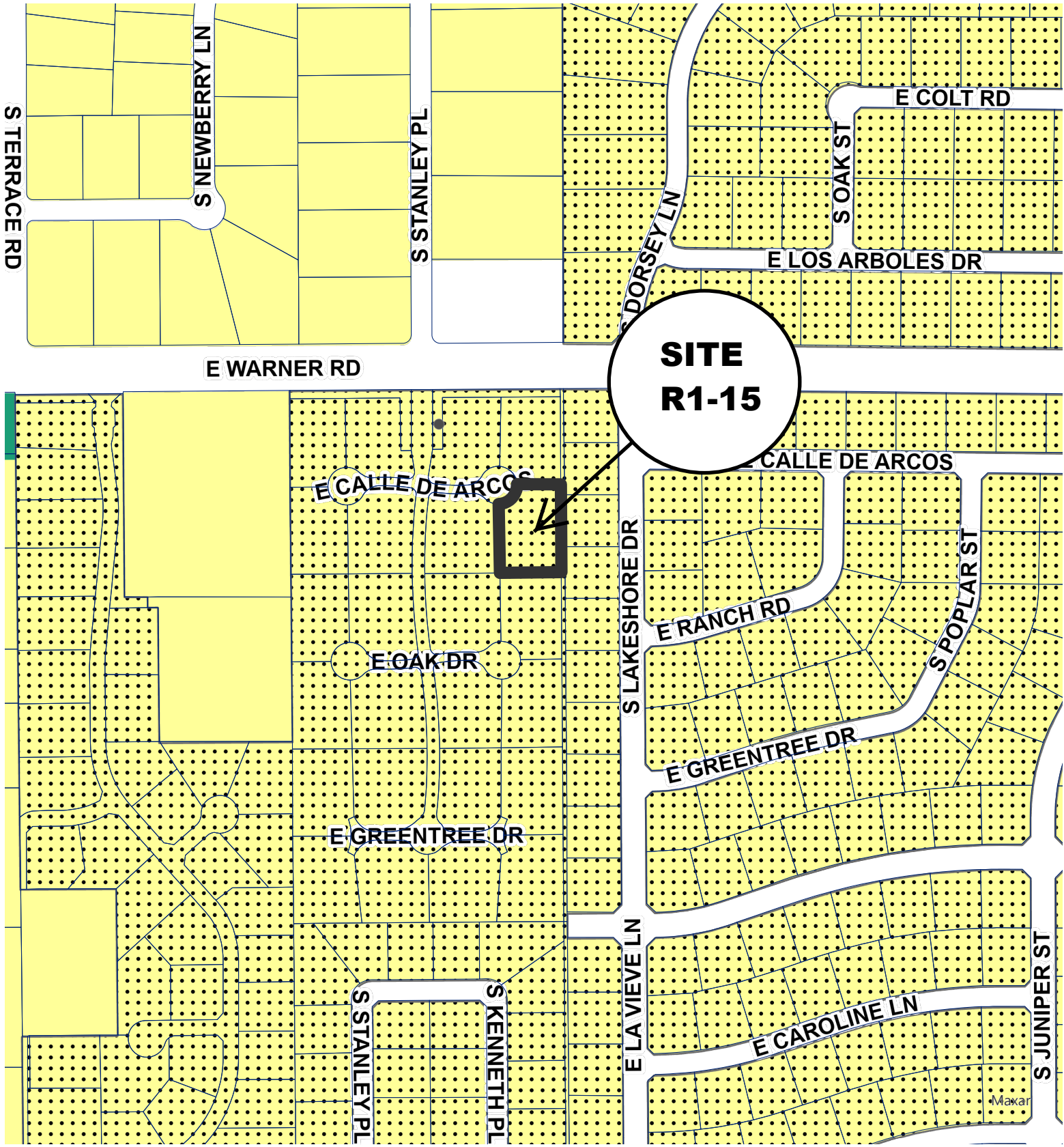
**DEVELOPMENT PROJECT FILE**  
for  
**TELIDIS RESIDENCE**  
**(PL210384)**

**ATTACHMENTS:**

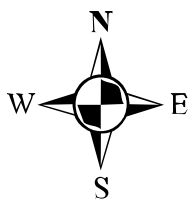
1. Location Map
2. Aerial
- 3-4. Letter of Explanation
5. Site Plan
6. Floor Plan
7. Elevations
- 8-12. Site Context Photos

# TELIDIS RESIDENCE

PL210384



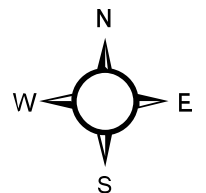
- Residential/Office (RO)
- Agricultural (AG)
- Single-Family Residential (R1-15)



# TELIDIS RESIDENCE



## Aerial Map



Alexander & Ashley Telidis  
1225 E. Warner Road, #22, Tempe, AZ 85284

December 17, 2021

City of Tempe  
Community Development Department  
31 East 5<sup>th</sup> Street, Garden Level  
Tempe, Arizona 85281

RE: Use Permit or Use Permit Standard Application  
Letter of Explanation

To Whom It May Concern:

Project goals and objectives: Pursuant to the zoning code Use Permit Standard 20% rule, we are seeking to reduce the setback on the west side of our property from fifteen (15) feet to twelve (12) feet to accommodate a new garage addition to our home.

Subject property information: Owners: Alexander and Ashley Telidis  
Address: 1225 E. Warner Road, #22, Tempe, AZ 85284  
Property type: Single family home  
Neighborhood: Wingfoot Homeowner's Association

There is currently a one car garage on the property and looking to add an additional two car garage to accommodate vehicles. Given the placement of the existing house on the lot, the front right corner of the new garage would slightly overlap the existing fifteen-foot (15') setback.

Approval of the requested twelve-foot setback will not be detrimental to persons residing or working in the vicinity, to adjacent properties, to the neighborhood, or the public welfare in general and conforms to the Zoning and Development Code Criteria Section 6-308(E), with regard to and for the following reasons:

*A. "Any significant vehicular or pedestrian traffic in adjacent areas;":* Current vehicular and pedestrian traffic in *adjacent* areas will not change or be adversely affected.

*B. "Nuisance arising from the emission of odor, dust, gas, noise, vibration, smoke, heat or glare at a level exceeding that of ambient conditions;":* No nuisances will arise as a result of this request. We are currently parking our cars in the existing driveway and the new garage will enable us to remove the cars from the sight of our neighbors.

*C. "Contribution to the deterioration of the neighborhood or to the downgrading of property values, which is conflict with the goals, objectives or policies of the city's adopted plans for General Plan;":* Approval of our request will increase property values overall. It will also provide an additional benefit by allowing us to move our current trash and recycling containers to a location on the east side of the new garage so they will no longer be visible.

D. "Compatibility with existing surrounding structures and uses;": The new garage style and appearance will conform to others in our neighborhood and will increase neighborhood property values.

E. "Adequate control of disruptive behavior both inside and outside the premises, which may create a nuisance to the surrounding area or general public." Because we currently park our vehicles outside, parking our vehicles in the new garage will minimize potentially disruptive vehicle sounds, increase neighborhood aesthetics, and provide a secure location for our vehicles, resulting in enhanced public welfare overall.

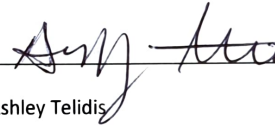
We have spoken to our next-door neighbor whose property is closest to the requested setback location, as well as the Wingfoot Homeowner's Association Board, and they have stated support for our request. We are also aware that at least one other home in the Wingfoot Homeowner's Association recently received a similar setback approval from the City of Tempe. Therefore, we respectfully request approval to reduce the setback on our property by three (3) feet.

Sincerely,



Alexander Telidis

AND



Ashley Telidis





#	REVISIONS	DATE

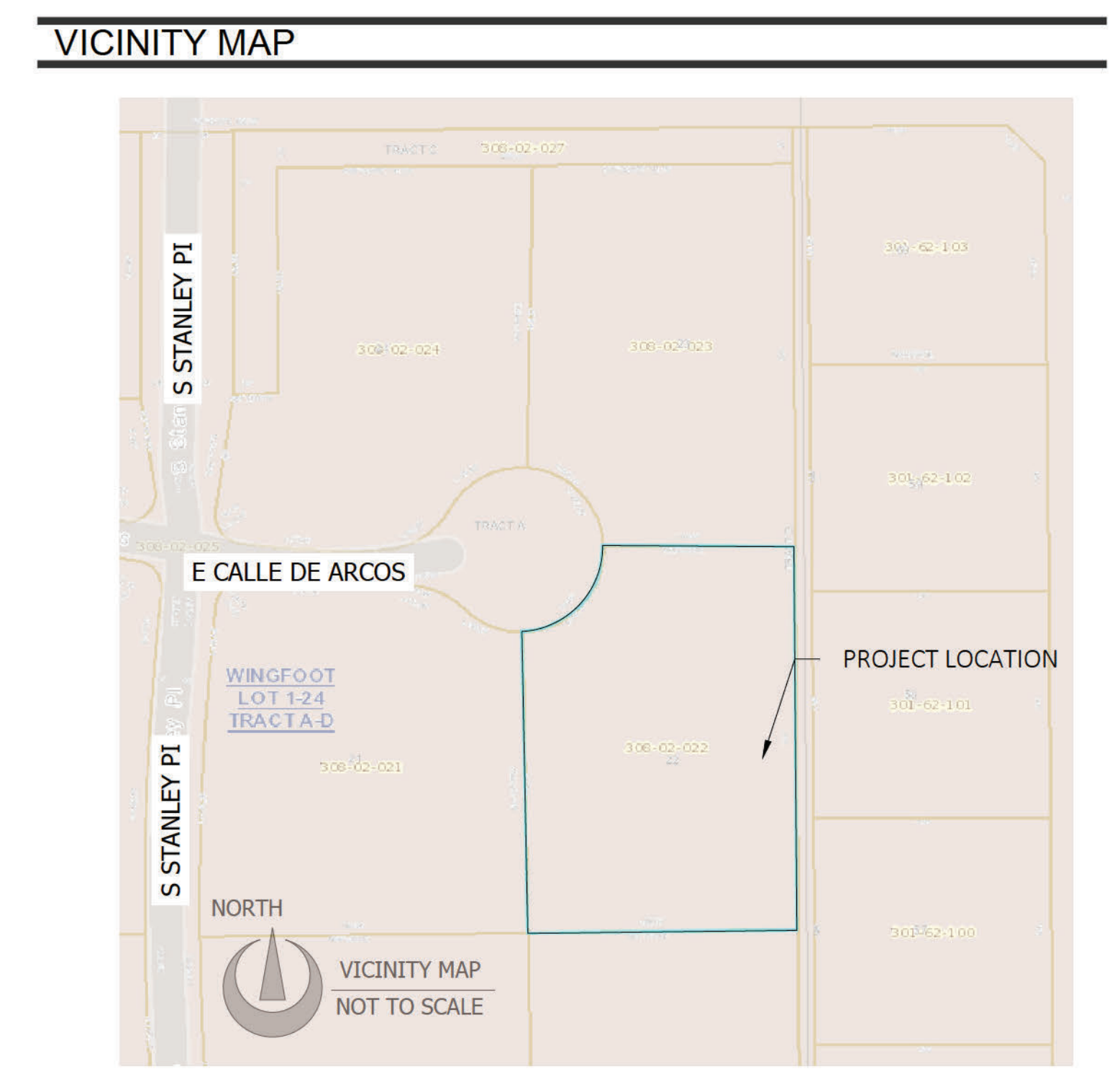
**TELIDIS RESIDENCE**  
**1225 E WARNER RD**  
 TEMPE, AZ. 85284

DRAWN BY: ProCaDesign	
CONTACT # www.procadesign.net	
(602) 606-2885	
angelica@procadesign.com	
DATE:	09/07/2020
SCALE:	PER PLAN
SHEET:	<b>A0</b>

PROJECT DESCRIPTION		
EXISTING SINGLE FAMILY RESIDENCE(SFR) TO BUILD NEW TWO CAR GARAGE AND REMODEL THE EXISTING GARAGE.		
OWNER		
TELIDIS ALEXANDER/ASHLEY		
PROJECT INFORMATION		
PROJECT ADDRESS:	1225 E WARNER RD 22 TEMPE 85284	
ZONING:	R1-15	
JURISDICTION:	TEMPE	
SECTION T.R.:	23 1S 4E	
LOT.:	22	
PARCEL #:	308-02-022	
CONSTRUCTION YEAR:	1989	
AREA KEY NOTES	AREA SQ FT	
① EXISTING RESIDENCE LIVABLE TO REMAIN INTACT	4757	SQ. FT.
② EXISTING GARAGE TO BE REMODEL	321	SQ. FT.
NEW ADDITION		
③ PROPOSED NEW GARAGE ADDITION	605	SQ. FT.
TOTAL AREAS		
LIVABLE	4757	SQ. FT.
NON LIVABLE	926	SQ. FT.
TOTAL (LIVABLE+ NOT LIVABLE)	5,683	SQ. FT.
LOT SIZE	29,852	SQ. FT.
LOT COVERAGE	19.04	%
MAX LOT COVERAGE	45	%

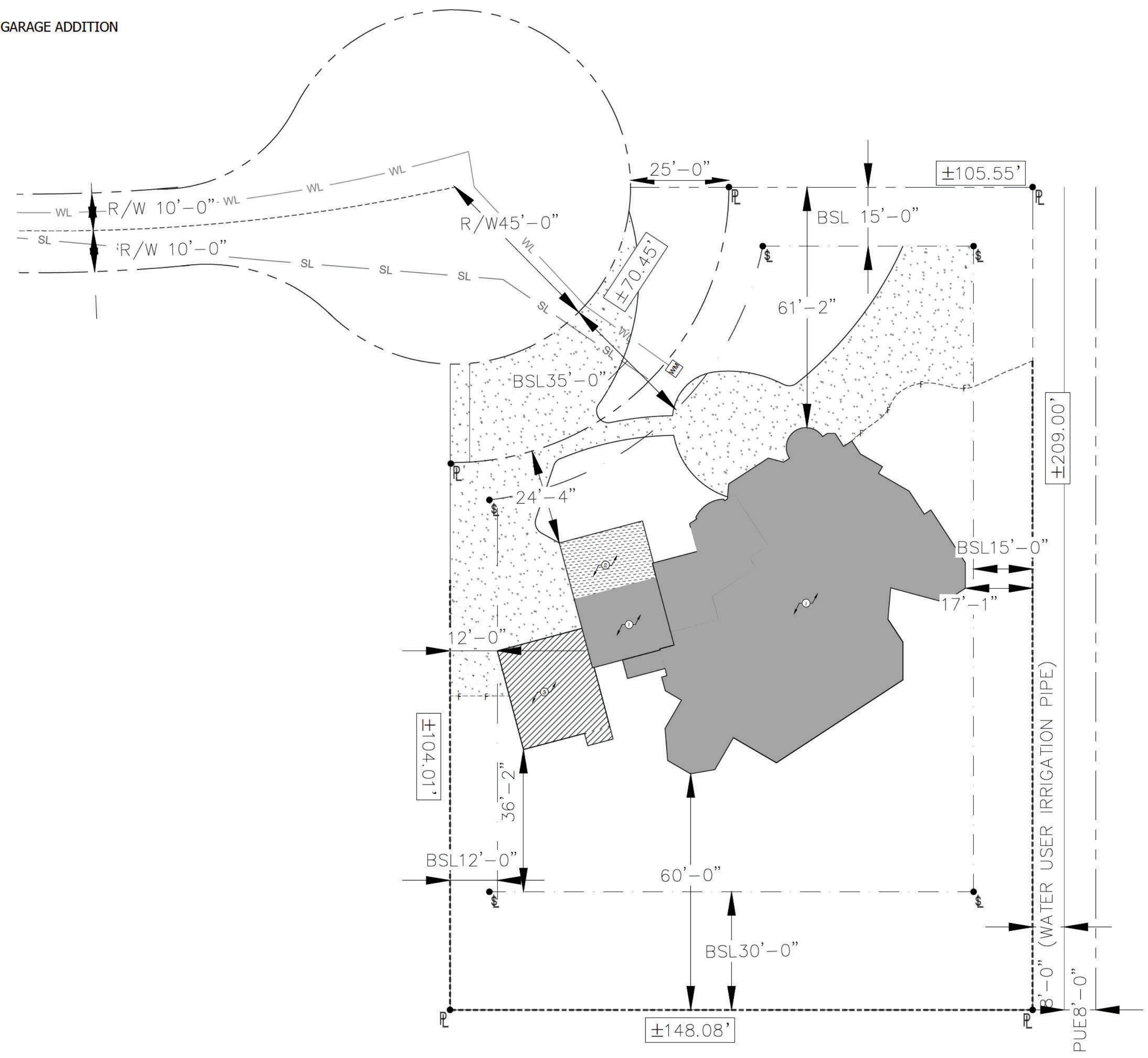
NOTE: THE CALCULATION OF THE LOT COVERAGE WAS CARRIED OUT BY TAKING THE TOTAL OF THE LIVABLE AND THE NON-LIVABLE

**NOTE**  
 NOTE: SITE PLAN DIMENSIONS ARE OBTAINED FROM COUNTY ASSESSOR'S WEBSITE AND ARE TO BE USED AS A POINT OF REFERENCE ONLY. FOR EXACT DIMENSIONS, PLEASE CONTACT A REGISTERED SURVEYOR. PROCADESIGN SHOULD NOT BE HELD LIABLE IF THE DIMENSIONS FOUND ON COUNTY ASSESSOR'S WEBSITE ARE INACCURATE, IT IS THE RESPONSIBILITY OF THE OWNER/CONTRACTOR TO GET A SURVEY OF THE PROPERTY.



LEGEND		(NOT ALL USED)	
	CONCRETE AREA.		WATER METER
	PROPERTY LINE.		EXISTING SIDEWALK
	SET BACK LINE.		ASPHALT PAVING
	CENTRAL LINE		PUBLIC UTILITY EASEMENT
	OVERHANG		BUILDING SETBACK LINE
	WATER LINE		FINISH FLOOR ELEVATION
	SEWER LINE		COP BRASS CAP
	GAS LINE		PROPERTY CORNER
	FIBER CABLE		ASSESSOR PARCEL NUMBER
	OVERHANG ELECTRIC		MARICOPA COUNTY RECORDS
	UNDERGROUND ELECTRIC		CITY OF MARICOPA COUNTY
	BARB WIRE FENCE		BACK OF SIDEWALK
	BLOCK WALL		BACK OF CURB
	GAS VALVE		LIP OF GUTTER
	SANITARY SEWER MANHOLE		RIGHT OF WAY
	RIGHT-OF-WAY LINE		TELEPHONE PEDESTAL
	FOUND 1/2" REBAR W/ CAP, AZLS #59124, OR AS NOTED		WATER VALVE
	FOUND BRASS CAP FLUSH		GAS TEST
	UTILITY POLE		GATE
	GUY ANCHOR		
	ELECTRIC METER		

	EXISTING RESIDENCE LIVABLE TO REMAIN INTACT
	EXISTING GARAGE TO BE REMODEL
	PROPOSED GARAGE ADDITION



Call at least two full working days before you begin excavation.

**ARIZONA 811**  
 Arizona Blue Stake, Inc.

Dial 8-1-1 or 1-800-STAKE-IT (782-5348)  
 In Maricopa County: (602) 263-1100

**SITE PLAN**  
 SCALE: 1" = 20'-0"

**NOTE FOR STUDS AND WALLS**

- 2X6 @ 16" O.C. EXTERIOR WALLS
- 2X6 @ 16" O.C. EXTERIOR WALLS ON GARAGE
- 2X4 @ 24" O.C. INTERIOR NON-BEARING WALLS
- 2X6 @ 24" O.C. INTERIOR PLUMBING WALLS
- 2X6 @ 16" O.C. EXTERIOR PLUMBING WALLS

**GENERAL NOTES:**

- A. DIMENSION OF FLOOR PLAN ARE SHOWN TO FACE OF STUD TYPICALLY. CONTRACTOR TO VERIFY ROUGH OPENINGS REQUIREMENTS OF ALL DOOR AND WINDOWS UNITS PRIOR TO START OF CONSTRUCTION. CEILINGS AND WALLS SHALL BE ONE LAYER 1/2 INCH GYP BOARD, GARAGE WALLS TO SHALL BE 5/8 INCH GYP BOARD.
- B. ALL EXTERIOR AND ENTRY DOORS TO BE SOLID CORE 1 3/4 INCH THICK.
- C. ALL INTERIOR DOOR TO BE HOLLOW CORE 1 3/8 INCH THICK (REFER PLAN FOR SIZE)
- D. ALL CEILING PER SECTION AND ELEVATION.
- E. ALL EXTERIOR WALLS AROUND LIVABLE FLOOR SPACE, WALL BETWEEN GARAGE AND LIVABLE FLOOR SPACE SHALL RECEIVE MINIMUM R-13 INSULATION IN 2X4 WALLS AND R-19 IN 2X6 WALLS.
- F. ALL DOORS AND WINDOWS GLAZING SHALL MEET THE REQUIREMENT OF THE 2012 IRC.
- G. SHOWER AREA WALL SHALL BE FINISHED WITH APPROVED 'CEMENT', 'FIBER-CEMENT', OR 'GLASS MAT GYPSUM'.
- H. COORDINATE CLOSET ROD AND SHELF WITH BUILDER.
- I. REFER TO STRUCTURAL PLAN (PAGE S-F-1) FOR MATERIAL SPECIFICATIONS.
- J. REFER TO PLUMBING PLAN FOR PLUMBING FIXTURES CALCULATIONS.
- K. REFER TO ELECTRICAL PLAN FOR OUTLETS SWITCHES AND LIGHTS LOCATIONS.
- L. REFER TO MECHANICAL PLAN FOR ALL DUCT LOCATIONS AND SPECIFICATIONS OF A/C WORK.
- M. REFER TO ELEVATIONS AND SECTIONS PLAN FOR SOFFIT HEIGHTS HEADER HEIGHTS AND SLOPES.
- N. CENTER-LINE OF WATER CLOSET SHALL BE A MINIMUM OF 15" FROM ANY VERTICAL SURFACE OR FIXTURE.
- O. CONCRETE PAD TO SEAT MECHANIC EQUIPMENT
- P. FLAT ARCH SOFFIT SPRING POINT @ +85", TOP OF ARCH @ +97".
- Q. DRYER VENT V.T.R. TO COMPLY WITH CURRENT CODES.
- R. EMERGENCY & RESCUE OPENINGS AT SLEEPING AREAS: NET CLEAR OPENING: 5.7 SQ. FT. MIN.; NET CLEAR OPENING HEIGHT: 24" MIN.; NET CLEAR OPENING WIDTH: 20" MIN.; WINDOW SILL HEIGHT 44" MAX. ABOVE THE FLOOR. (BASED ON R310.21-R310.2.2)
- S. WALL AND CEILING FINISHES SHALL HAVE A FLAME SPREAD INDEX OF NOT GREATER THAN 200.
- T. WALL AND CEILING FINISHES SHALL HAVE A SMOKE-DEVELOPED INDEX OF NOT GREATER THAN 450.
- U. FLAME SPREAD INDEX SHALL NOT EXCEED 25 AND SMOKE DEVELOPED INDEX SHALL NOT EXCEED 450 FOR INSULATION






**ENERGY EFFICIENCY**

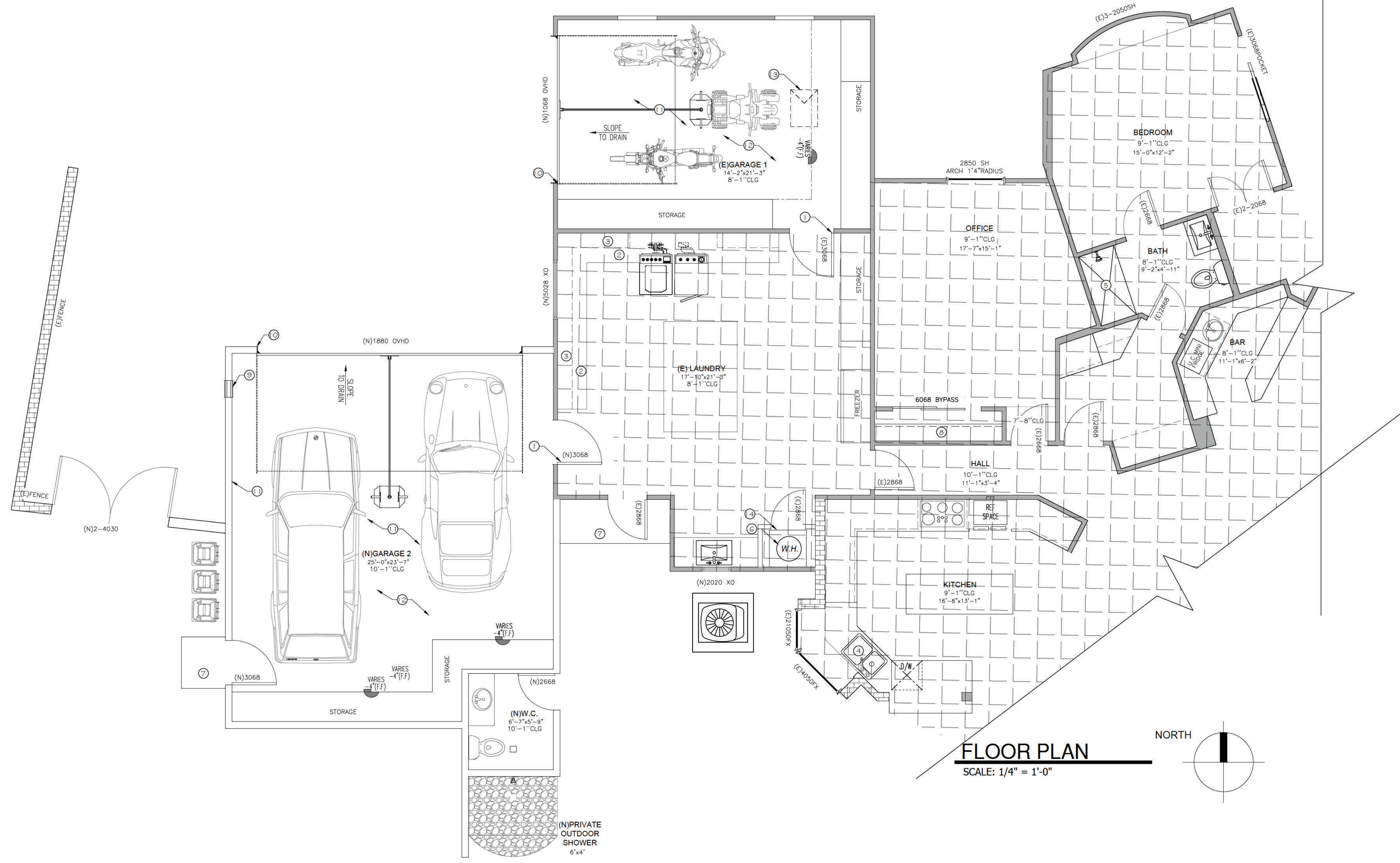
ENVELOPED AREAS SHALL COMPLY WITH THE FOLLOWINGS: FENESTRATION=0.40 MAX U-FACTOR, 0.25 MAX SHGC. MIN R-13 AT FRAME WALLS AND FLOORS R-6 @ MASS WALL, R-38 CEILINGS. DUCT INSULATION LOCATED OUTSIDE THE BUILDING ENVELOPE REQUIRES MINIMUM R-8 AND R-6 WHEN LOCATED IN FLOOR JOISTS. MINIMIZE AIR LEAKAGE.

**KEY NOTES:**

1. 20 MIN FIRE RATED 1 3/8" THICK S.C. DOOR WITH SELF CLOSING DEVICE, TIGHT FITTING GASKET AND SWEEP. PER R302.2.1.
2. EXISTING STANDARD BASE CABINETS.
3. EXISTING STANDARD UPPER CABINETS
4. EXISTING DOUBLE SINK W/ GARBAGE DISPOSAL
5. EXISTING SHOWER W/ TEMP. GLASS ENCLOSURE AND TILE SURROUNDS, TO A HEIGHT OF 6 FEET ABOVE THE FLOOR. TEMPERED (IRC R307.2).
6. EXISTING GAS TANKLESS WATER HEATER - USE NON RIGID CONNECTIONS. INSTALL P & T RELIEF VALVE PIPED TO OUTSIDE OF DWELLING. SEE GEN PLUMBING NOTES. 30" HIGH PLATFORM FOR WATER HEATER.
7. PROVIDE A MINIMUM CONCRETE LANDING IN EACH OUTER DOOR (BY CODE I.C.C. E.S.R. R311.4.3). THE WIDTH OF EACH LANDING WILL NOT BE LESS THAN THE DOOR SERVED. THE LANDINGS SHOULD HAVE A DIMENSION OF NOT LESS THAN 36 INCHES (914 MM) MEASURED IN THE TRAVEL ADDRESS. THE ROPE OUTSIDE THE LANDINGS WILL NOT EXCEED / VERTICAL UNIT IN 12 HORIZONTAL UNITS (2 PERCENT), BY CODE ICR R311.3).
8. EXISTING (5) 16" D SHELVES
9. (2) 14"x8" COMB. AIR VENTS. 12" ABOVE FLOOR @ 12" BELOW CEILING.
10. GARAGE DOOR WITH GASKETS ALL AROUND AND GARAGE DOOR OPENER.
11. 5/8" 1-HR FIRE-RATED GYP. BOARD ON GARAGE WALLS AND CEILING
12. GARAGE FLOOR SURFACE SHALL BE OF APPROVED NON-COMBUSTIBLE MATERIAL (BASED IRC R309.1)
13. EXISTING ATTIC ACCESS-PROVIDE 30" HEADROOM AT ALL ACCESS LOCATIONS A.H.U. LOCATED IN ATTIC SPACE (VERIFY LOCATION). INSULATE AND WEATHER STRIP. SEE IRC M1305.1.2
14. EXISTING PROVIDE NON-COMBUSTIBLE PLATFORM 24"x24" x 18" ABOVE FINISH FLOOR FOR WATER HEATER

**LEGEND:**

-  BLOCK WALL TO REMAIN
-  EXISTING WOOD WALL TO REMAIN
-  EXISTING AREAS TO REMAIN INTACT
-  SOFFIT
-  NEW WOOD WALL
- (E) EXISTING
- (N) NEW



**FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



REVISIONS	DATE
#	

**TELIDIS RESIDENCE**  
**1225 E WARNER RD**  
TEMPE, AZ. 85284

DRAWN BY:  
**ProCaDesign**

CONTACT #  
www.procadesign.net  
(602) 606-2885  
angelica@procadesign.com

DATE:  
09/07/2020



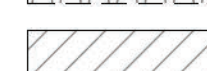
SCALE:  
PER PLAN

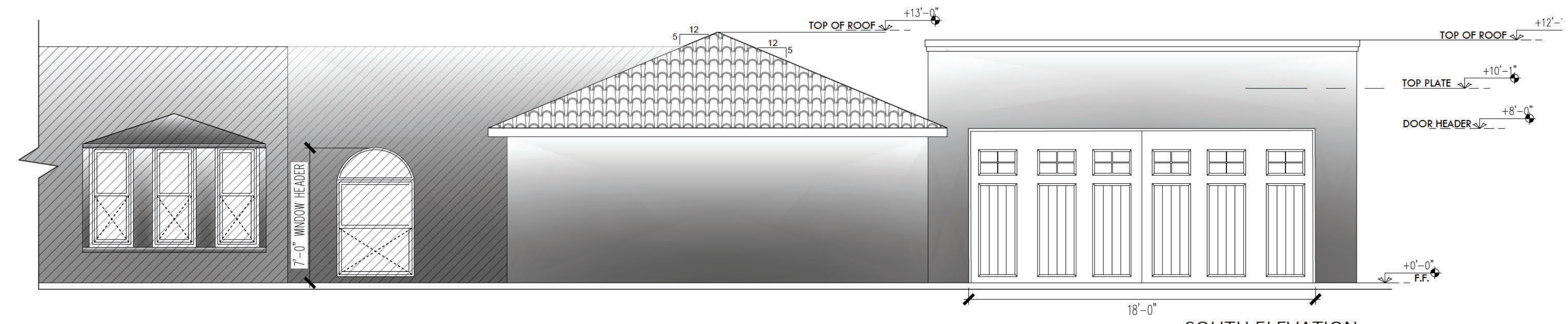
SHEET:  
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**ELEVATION GENERAL NOTES**

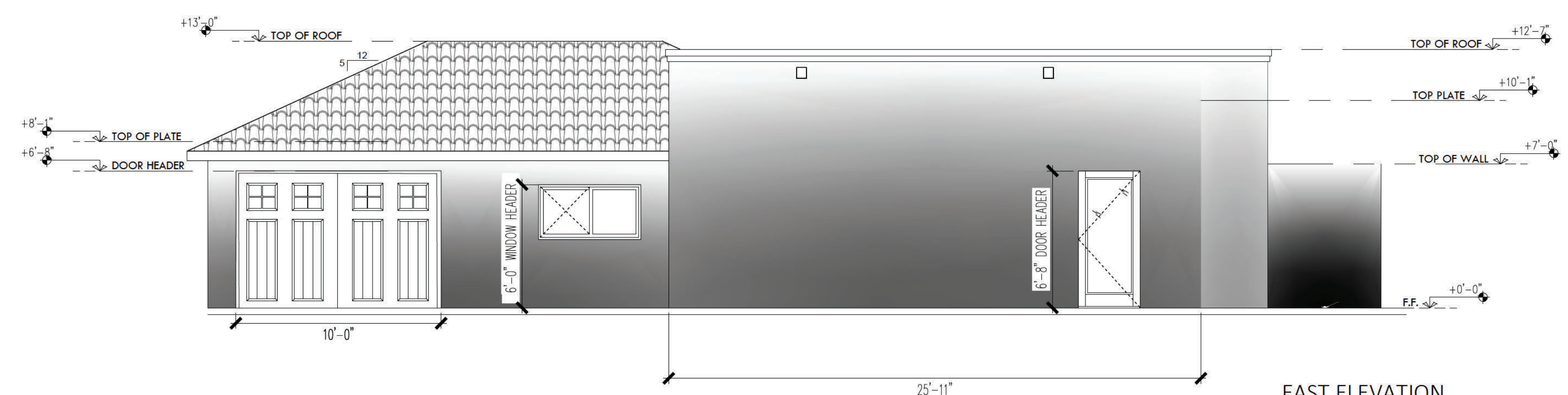
- A. ONE(1) COAT STUCCO SYSTEM (ESR-2323) OVER 1" GA SELF-FURRED WOVEN WIRE FABRIC OVER 1" SUBSTRATE (AS LISTED BELOW) OVER 1-GRADE "D" BUILDING PAPER(U.N.O) SUBSTRATE:
  - 1) FROM TOP OF SLAB TO ROOF PLATE LINE 1" EXPANDED POLYSTYRENE
  - 2) ABOVE TOP PLATE:1" INSULATIONS FOAM BOARD,EXCEPTIONS:AT OPTIONAL CATHEDRAL INSULATION,1" EXPANDED POLYSTYRENE SHALL BE USED AT ALL CONDITIONED AREAS BELOW AND ABOVE TOP PLATE.
- B. MAG ONE-COAT STUCCO COMPLIANCE PROGRAM, ALL ONE-COAT STUCCO SYSTEMS SHALL BE APPLIED BY MANUFACTURERS APPROVED INSTALLERS. AN APPROVED WEATHER-RESISTIVE BARRIER SHALL BE INSTALLED OVER ALL FRAMING AND WOOD BASED SHEATHING.
- C. PROVIDE (2) LAYER 30# FELT FLASHING AT ALL HEADS, JAMBS, AND SILLS OF WINDOWS AND DOOR OPENINGS. REFER TO TYPICAL DETAIL OF WINDOW FLASHING
- D. PROVIDE CONTINUOUS SEALANT BEAD WHERE STUCCO ABUTS WINDOWS AND DOORS FRAME SO AS TO PROVIDE A WEATHER RESISTIVE BARRIER.REFER TO TYPICAL DETAIL OF WINDOW FLASHING.
- E. PROVIDE CONT. 26 GA. G.I. WEEP SCREENED, WITH 3-1/2" VERTICAL NAILING FLANGE AT +4" ABOVE FINISH GRADE.
- F. MECHANICAL EQUIPMENT TO BE SCREENED BY WALL +1'-0" ABOVE HIGHEST MECHANICAL EQUIPMENT.
- G. TILE ROOF SYSTEM PER (ICC.ESR 4395).
- H. FOAM ROOF SYSTEM PER ICC ESR 2298
- I. ONE(1) COAT STUCCO SYSTEM (ESR-2323) PAINTED WITH "FEATHER DOWN BY BENJAMIN MOORE"
- J. MATCH THE NEW PARAPET WALL HEIGHT TO THE EXISTING PARAPET HEIGHT

**LEGEND**

-  STUCCO SYSTEM ESR 2323
-  TILE ROOF SYSTEM PER (ICC.ESR 4395).
-  EXISTING AREA NOT PART OF THIS PROJECT



**SOUTH ELEVATION**  
 SCALE: 1/4" = 1'-0"



**EAST ELEVATION**  
 SCALE: 1/4" = 1'-0"

#	REVISIONS	DATE

**TELIDIS RESIDENCE**  
 1225 E WARNER RD  
 TEMPE, AZ. 85284

DRAWN BY:  
 ProCADesign  
 CONTACT #  
 www.procadesign.net  
 (602) 606-2885  
 angelica@procadesign.com  
 DATE:  
 09/07/2020  
 SCALE:  
 PER PLAN  
 SHEET:  
**A2**



#1 NW  
Corner

#2 NE  
Corner

#4 SW  
Corner

#3 SE  
Corner



#1 Northwest Corner Facing South



#1 Northwest Corner Facing East



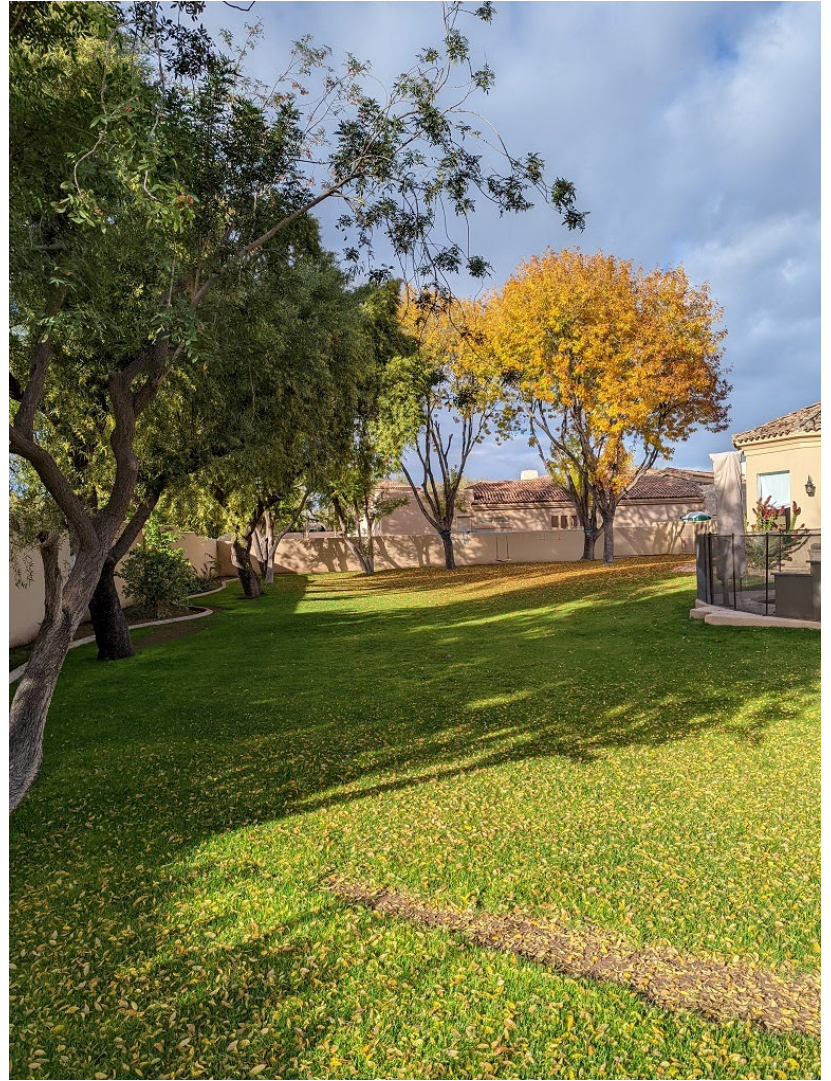
#2 Northeast Corner Facing West



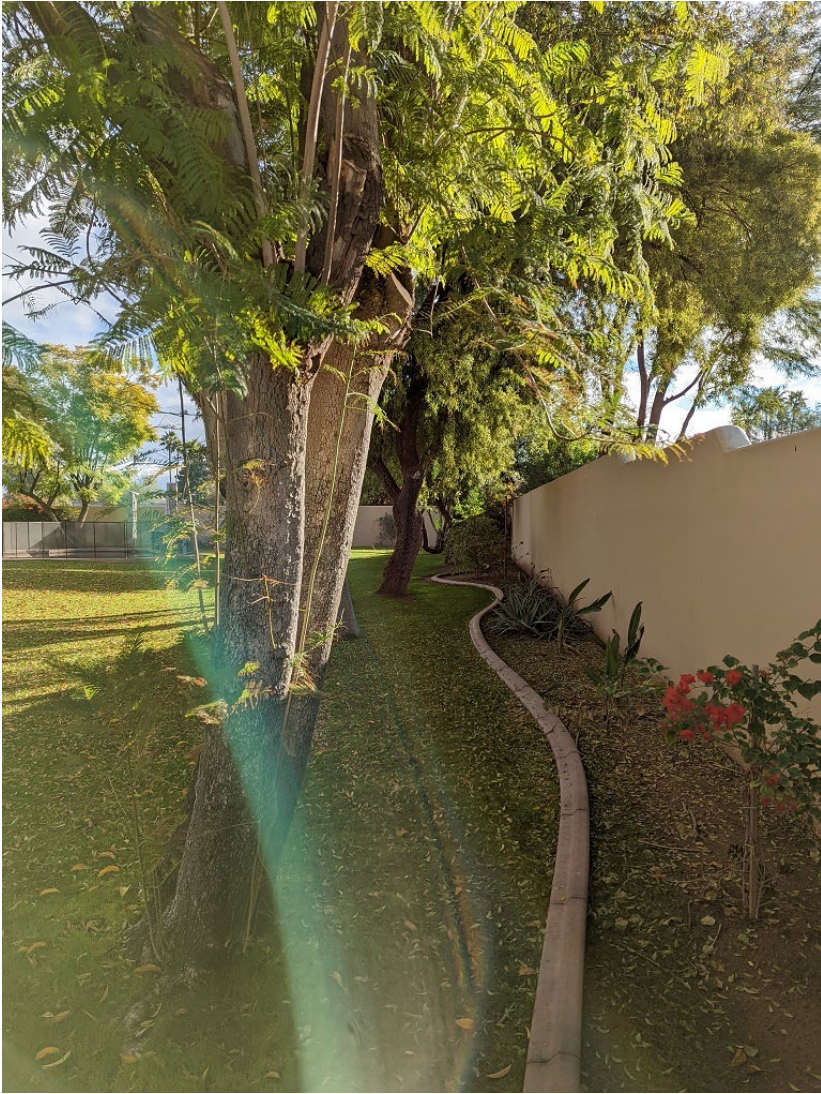
#2 Northeast Corner Facing South



#3 Southeast Corner Facing North



#3 Southeast Corner Facing West



#4 Southwest Corner Facing East



#4 Southwest Corner Facing North