

**CITY OF TEMPE
DEVELOPMENT REVIEW COMMISSION**

**Meeting Date: 3/22/2022
Agenda Item: 7**

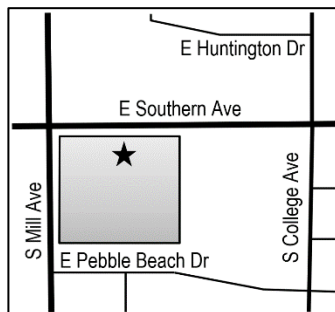
ACTION: Request a Use Permit to allow entertainment as an accessory use (live bands, DJs, karaoke, acoustic performances, and open mic) for TEMPE EATS, located at 85 East Southern Avenue. The applicant is Tempe Eats, LLC.

FISCAL IMPACT: N/A

RECOMMENDATION: Staff – Approve, subject to conditions

BACKGROUND INFORMATION: TEMPE EATS (PL210162) is a food hall style restaurant proposed in an adaptively reused pad building at Valley Fair Shopping Center, located on the southeast corner of East Southern Avenue and South Mill Avenue in the CSS, Commercial Shopping and Services District. The Development Review Commission approved a Use Permit for TEMPE EATS to allow a restaurant with a drive-through on July 27, 2021. The Community Development Department administratively approved a Shared Parking Analysis for TEMPE EATS on July 20, 2021, and a Minor Development Review for minor site, landscape, and elevation modifications on September 30, 2021. At this time, TEMPE EATS is now requesting a Use Permit to allow entertainment as an accessory use which will consist of live bands, DJs, karaoke, acoustic performances, and open mic. All performances will be conducted in the interior of the building. The request includes the following:

ZUP220012 Use Permit to allow entertainment as an accessory use (live bands, DJs, karaoke, acoustic performances, and open mic).



Property Owner	South Mill, LLC / EC Valley Fair Refi 2016, LLC
Applicant	Ramiel Le Febvre, Andrews Design Group, Inc.
Zoning District	CSS
Site Area	329,183 s.f.
Total Building Area	90,166 s.f.
Pad Building Area	5,507 s.f.
Lot Coverage	3.6% (50% max. required)
Landscape Coverage	9% (6% min. required per Variance granted on 4/13/1988)
Building Height	24' (35' maximum allowed)
Building Setbacks	52' front, 91' east side, 154' west side, 321' street side, 417' rear (0', 0', 0', 0', 10' min. required)
Vehicle Parking	458 spaces (454 min. required per shared parking model)
Bicycle Parking	52 spaces (43 min. required)
Hours of Operation	10:30am to 10pm, Sun-Thu; 11am to 12am, Fri-Sat

ATTACHMENTS: Development Project File

STAFF CONTACT(S): Lee Jimenez, Senior Planner (480) 350-8486

Department Director: Shelly Seyler, Interim Community Development Director
Legal review by: N/A
Prepared by: Lee Jimenez, Senior Planner
Reviewed by: Steve Abrahamson, Principal Planner

COMMENTS

This site is located between East Southern Avenue, East Pebble Beach Drive, South College Avenue, and South Mill Avenue.

PUBLIC INPUT

A neighborhood meeting is not required for this Use Permit Request. Staff has not received any public comments as of the publishing date of this staff summary report.

POLICE INPUT

A security plan will be required.

USE PERMIT

The proposed use requires a Use Permit to allow entertainment as an accessory use (live bands, DJs, karaoke, acoustic performances, and open mic) in the CSS, Commercial, Shopping and Services District.

Section 6-308(E) Approval criteria for Use Permit (*in italics*):

1. *Any significant increase in vehicular or pedestrian traffic*; the proposed use is considered an accessory to the primary restaurant use and is not expected to increase vehicular or pedestrian traffic.
2. *Nuisance arising from the emission of odor, dust, gas, noise, vibration, smoke, heat or glare at a level exceeding that of ambient conditions*; the proposed use will only be conducted inside the building and is not expected to generate emissions beyond ambient conditions that would otherwise cause a nuisance to the surrounding area.
3. *Contribution to the deterioration of the neighborhood or to the downgrading of property values, which is in conflict with the goals, objectives or policies for rehabilitation, redevelopment or conservation as set forth in the city's adopted plans or General Plan*; the proposed use will enhance the ambiance of the restaurant use and positively impact the shopping center by creating a destination for dining, enjoyment, and community outreach.
4. *Compatibility with existing surrounding structures and uses*; the proposed use is compatible with the restaurant use as well as other retail and service uses provided at the shopping center.
5. *Adequate control of disruptive behavior both inside and outside the premises which may create a nuisance to the surrounding area or general public*; the business plans to train staff to deal with any potential disruptive behavior and has been in communication with Tempe Police Crime Prevention Unit to discuss security plans that may be required for any special events in the future.

REASONS FOR APPROVAL:

Based on the information provided by the applicant, the public input received and the above analysis staff supports approval of the requested Use Permit. This request meets the required criteria and will conform to the conditions.

SHOULD AN AFFIRMATIVE ACTION BE TAKEN ON THIS REQUEST, THE FOLLOWING NUMBERED CONDITIONS OF APPROVAL SHALL APPLY, BUT MAY BE AMENDED BY THE DECISION-MAKING BODY.

CONDITION(S) OF APPROVAL:

EACH NUMBERED ITEM IS A CONDITION OF APPROVAL. THE DECISION-MAKING BODY MAY MODIFY, DELETE OR ADD TO THESE CONDITIONS.

1. The Use Permit is valid only after a Building Permit has been obtained, the required inspections have been completed and a Final Inspection has been passed. As part of the Building Permit process, on-site storm water retention may be required to be verified or accomplished on this Site.
2. The Use Permit is valid for the plans as submitted within this application. Any additions or modifications may be submitted for review during the building plan check process.
3. Entertainment shall only take place inside the building. No entertainment will be allowed outside the building.

4. Entertainment shall begin no earlier than seven o'clock in the morning (7:00 a.m.), daily, and cease no later than midnight (12:00 a.m.) Sunday through Wednesday, and two o'clock in the morning (2:00 a.m.) Friday and Saturday.
5. The applicant shall contact the City of Tempe Crime Prevention Unit for a security plan within 30 days of this approval. Contact (480) 858-6409 before April 21, 2022.

CODE/ORDINANCE REQUIREMENTS:

THE BULLETED ITEMS REFER TO EXISTING CODE OR ORDINANCES THAT PLANNING STAFF OBSERVES ARE PERTINENT TO THIS CASE. THE BULLET ITEMS ARE INCLUDED TO ALERT THE DESIGN TEAM AND ASSIST IN OBTAINING A BUILDING PERMIT AND ARE NOT AN EXHAUSTIVE LIST.

USE PERMIT:

- The Use Permit is valid for TEMPE EATS and may be transferable to successors in interest through an administrative review with the Community Development Director, or designee.
- The use permit approval shall be void if the use is not commenced or if an application for a building permit has not been submitted, whichever is applicable, within twelve (12) months after the use permit is granted or within the time stipulated by the decision-making body.
- The decision-making body, upon finding that the applicant has not taken corrective actions to resolve issues related to the permit/approval and that a continuation of the permit/approval is not in the interest of the public health, safety and general welfare, can revoke the permit/approval after providing written notice of its intentions to the holder of the permit.
- Specific requirements of the **Zoning and Development Code (ZDC)** are not listed as a condition of approval but will apply to any application. To avoid unnecessary review time and reduce the potential for multiple plan check submittals, become familiar with the ZDC. Access the ZDC through <http://www.tempe.gov/zoning> or purchase from Development Services.
- Any intensification or expansion of use shall require a new Use Permit.
- All required permits and clearances shall be obtained from the Audit and Licensing Division of the City of Tempe prior to the Use Permit becoming effective.
- All required Federal, State, County, and Municipal permits, licenses, and clearances shall be obtained, or the Use Permit is void.
- Music, sound, or live entertainment shall not violate the City of Tempe Noise Ordinance.

HISTORY & FACTS:

- | | |
|-------------------|---|
| December 13, 1963 | Building Safety Department passed the final inspection for a PAD building, located at 125 East Southern Avenue. |
| April 2, 1973 | Design Review Board approved the building addition (840 s.f. canopy & 842 s.f. addition), sign, and landscaping for FIRST NATIONAL BANK BUILDING (DR-72.180) located at 125 East Southern Avenue, in the C-2 District. |
| April 13, 1988 | <p>Planning & Zoning Commission approved the following for VALLEY FAIR SHOPPING CENTER (SIP-88.14), located at the SEC of Mill and Southern Avenues:</p> <ol style="list-style-type: none"> a. Waive required 6' masonry screen wall and landscape strip between service and residential uses on the south property line. b. Reduce required on-site landscaping from 10% to 6%. c. Waive required landscape islands at the ends of certain rows of parking. d. Waive required screening of mechanical and storage equipment on site. |
| October 29, 1993 | City Council approved the following for VALLEY FAIR SHOPPING CENTER (SIP-93.51), located at 7 East Southern Avenue in the C-2 District: |

Use Permits:

- a. Allow parking to be provided based on demand.
- b. Allow a health club (34,273 s.f.).

Variance:

- c. Allow a center with less than 100,000 total gross floor area to provide parking based on demand.

September 22, 2009	Development Services Department staff approved shared parking analysis for VALLEY FAIR SHOPPING CENTER (PL090337), located at 5 East Southern Avenue in the CSS, Commercial Shopping & Services District.
June 6, 2017	Hearing Officer approved a use permit to allow a restaurant with a drive-through for VALLEY FAIR SHOPPING CENTER – PAD B (PL170111), located at 125 East Southern Avenue in the CSS, Commercial Shopping & Services District.
August 24, 2017	Community Development Department administratively approved a Shared Parking Analysis for VALLEY FAIR SHOPPING CENTER – PAD B (PL170111), located at 125 East Southern Avenue in the CSS, Commercial Shopping & Services District.
October 2, 2017	Community Development Department administratively approved a Development Plan Review to allow minor site and elevation modifications for VALLEY FAIR SHOPPING CENTER – PAD B (PL170111), located at 125 East Southern Avenue in the CSS, Commercial Shopping & Services District.
August 7, 2018	Hearing Officer approved a use permit to allow a restaurant with a drive-through for VALLEY FAIR SHOPPING CENTER – PAD B (PL180193), located at 125 East Southern Avenue in the CSS, Commercial Shopping & Services District.
July 20, 2021	Community Development Department administratively approved a Shared Parking Analysis for TEMPE EATS (PL210162), located at 85 East Southern Avenue in the CSS, Commercial Shopping & Services District.
July 27, 2021	Development Review Commission approved a Use Permit to allow a restaurant with a drive-through for TEMPE EATS (PL210162), located at 85 East Southern Avenue in the CSS, Commercial Shopping & Services District.
September 30, 2021	Community Development Department administratively approved a Development Plan Review consisting of minor site, landscape, and elevation modifications for TEMPE EATS (PL210162), located at 85 East Southern Avenue in the CSS, Commercial Shopping & Services District.

ZONING AND DEVELOPMENT CODE REFERENCE:

[Section 3-202, Permitted Uses in Commercial and Mixed-Use Districts](#)

[Section 3-408, Drive-Through Facilities](#)

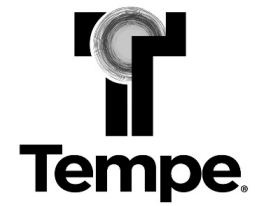
[Section 4-203, Development Standards for Commercial and Mixed-Use Districts](#)

[Section 4-603\(E\), Parking Standards Applicable in the Adaptive Reuse Program](#)

[Section 4-704\(F\), Adaptive Reuse Program](#)

[Section 6-308, Use Permit](#)

[Section 6-314, Adaptive Reuse Program](#)



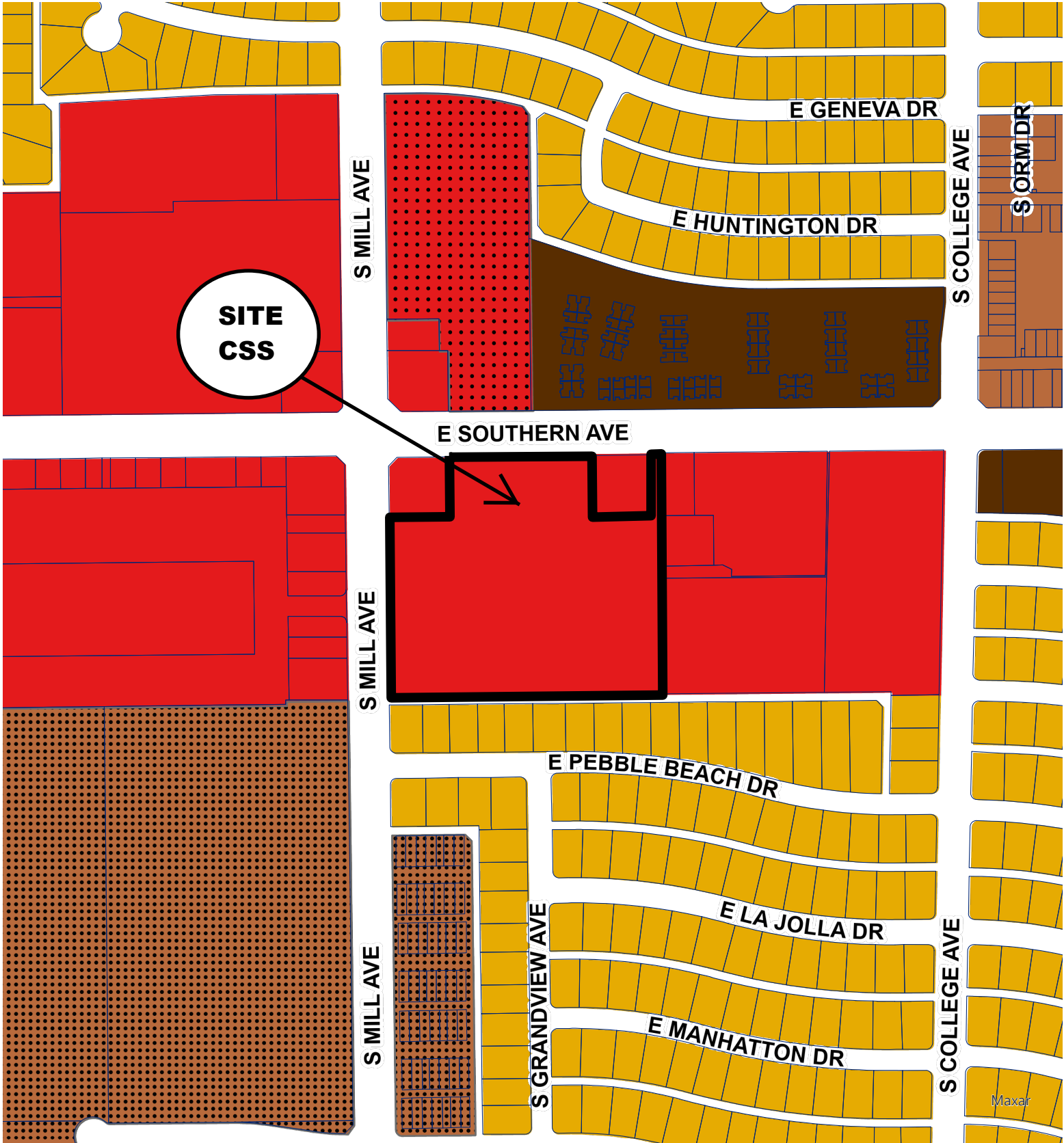
DEVELOPMENT PROJECT FILE

for
TEMPE EATS
(PL210162)

ATTACHMENTS:

1. Location Map
2. Aerial
3. Letter of Explanation
4. Site Plan
5. Floor Plan
- 6-7. Building Elevations
- 8-10. Floor Plan

TEMPE EATS



- Commercial Shopping and Services (CSS)
- Planned Commercial Center Neighborhood (PCC-1)
- Single-Family Residential (R1-6)
- Multi-Family Residential (R-2)
- Multi-Family Residential Limited (R-3)
- Multi-Family Residential General (R-4)

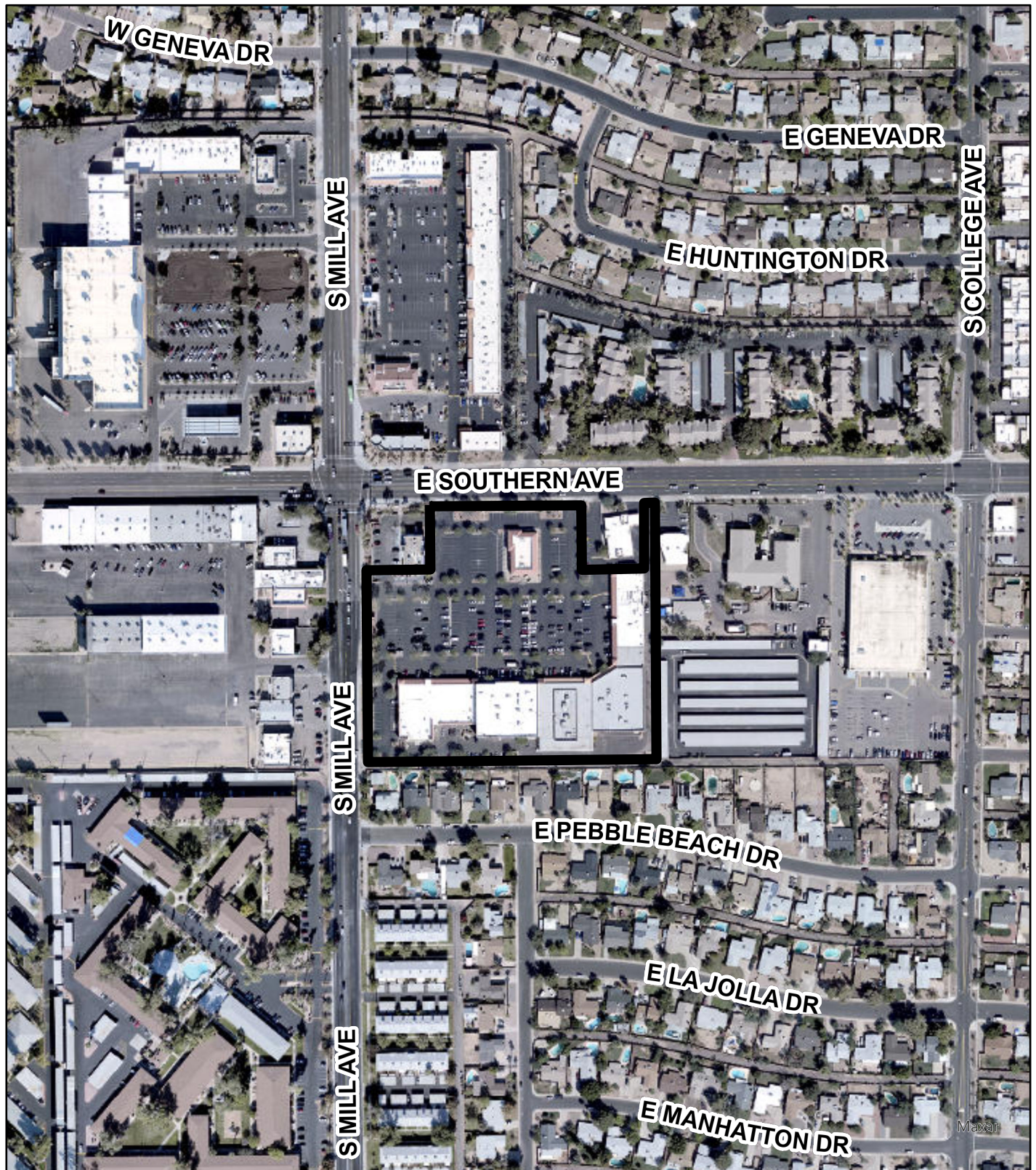




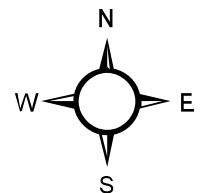
Tempe

PL210162

TEMPE EATS



Aerial Map





Tempe Eats
Letter of Explanation for Live Entertainment Use Permit

January 7, 2022

Tempe Eats LLC is applying for a live entertainment use permit at 85 E Southern Ave, Tempe, AZ 85282.

Tempe Eats is taking over space that has been vacant for many years, that was previously a pet supply store and before that an auto parts store, which have both gone out of business. We are bringing to the neighborhood an exciting new food hall that will have eight restaurants and three bars. The idea is that you can take a lap and see what you're craving the most that day... Will it be Spanish tapas? Wagyu burger? Sushi? Or its fusion cousin, the sushi burrito? Or homemade pasta? Then, once the foodie in you has made a selection, it's time to quench your thirst. Shall it be a cold brew Vietnamese coffee? Something from our wine bar? Craft beer from our tap wall? Or a handcrafted cocktail from our full bar? There's something for everyone to enjoy together in a social setting, including two dog-friendly patios.

To complement our unique variety of food and beverage choices, we would like to add live entertainment.

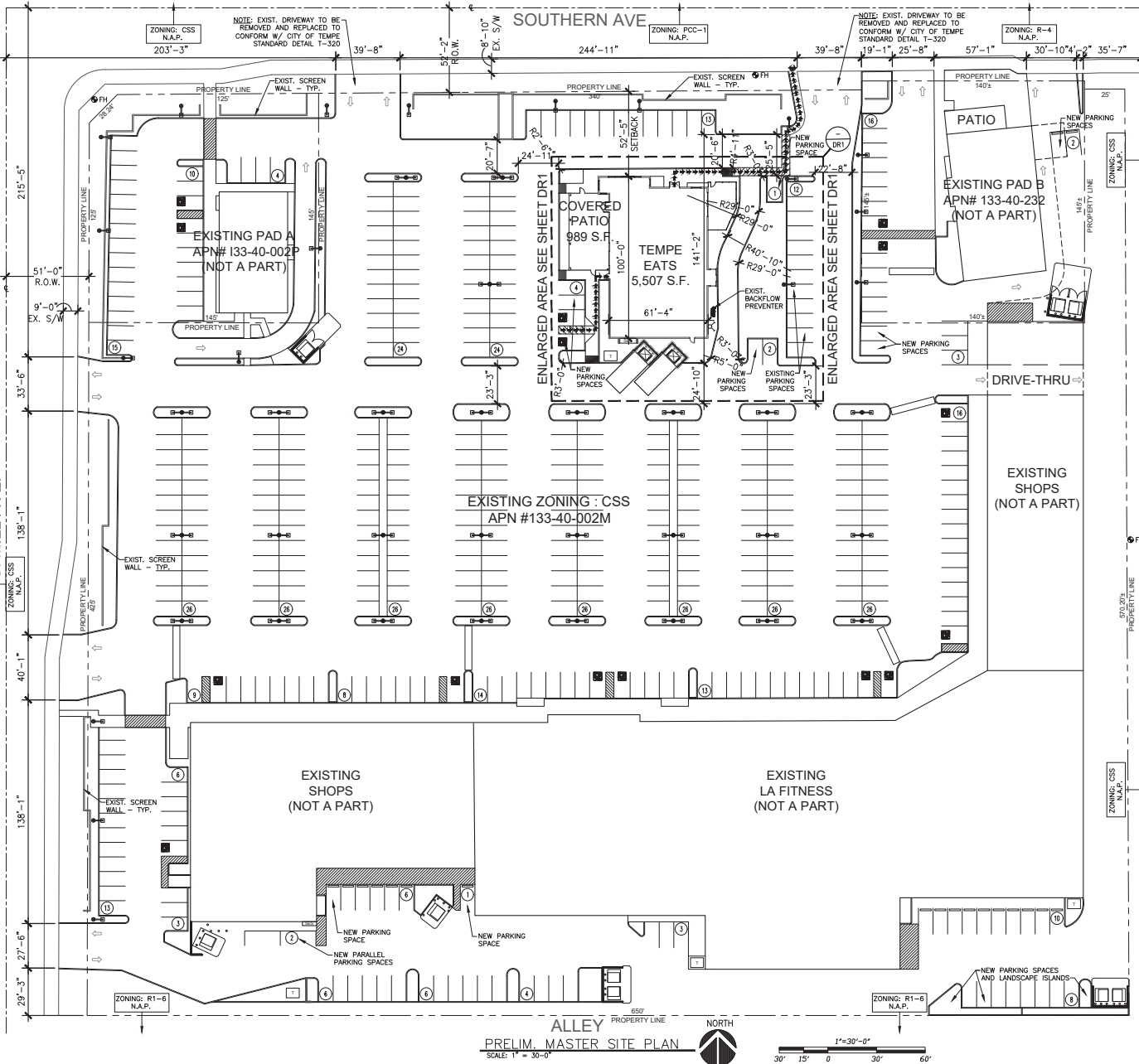
This may include:

- Live bands
- DJs
- Karaoke
- Acoustic performances
- Open mic events or trivia night
- Community fundraisers

This will improve the ambiance of the restaurant. The addition of live entertainment will enhance its draw as a destination for dining, enjoyment, and community outreach. The initial operating hours will be 10:30AM to 10 pm Sunday through Thursday and 11AM to midnight on Friday & Saturday. We anticipate adding weekend brunch in a future phase. We estimate that we will have 70 employees. There will be enough seating for 201 patrons. Tempe Eats will affect the surrounding area by creating new jobs, attracting more customers and more tenants to the shopping center, and giving back to the community, making it a more desirable area to live, work, and play. We also have extensive remodeling planned, including two patios, a mural, and vibrant landscaping. The attached site plan indicates where the live entertainment would be set up. We have adequate parking and it will not affect vehicular or pedestrian traffic. We will ensure that the staff is trained to deal with any potential disruptive behavior both inside and outside the premises, to avoid being a nuisance to the surrounding area or general public. We have met with several members of Tempe Police to discuss security plans that may be needed for any special events in the future.

Cheers,

Teresa Nguyen
Founder & Managing Member



LEGEND:

- EXISTING PROPERTY LINE
- ⊕ EXISTING FIRE HYDRANT
- ⊕ EXISTING FIRE DEPARTMENT CONNECTION
- ⊕ EXISTING LIGHT POLE
- ⊕ EXISTING TRANSFORMER
- ⊕ NO. OF PARKING SPACES
- ⊕ ACCESSIBLE PATH
- EXISTING ZONING LINE

PROJECT TEAM:

ARCHITECT: ANDREWS DESIGN GROUP, INC.
 1095 W. RIO SALADO PKWY.
 SUITE 203
 TEMPE, ARIZONA 85281
 PHONE: (480) 894-3478
 FAX: (480) 894-4013
 CONTACT: DONALD A. ANDREWS
 E-MAIL: don@adgrch.net

MANAGEMENT/LANDOR:
 BULLVAARD INVESTMENT GROUP
 11645 WILSHIRE BOULEVARD,
 SUITE 90
 LOS ANGELES, CA 90025
 PHONE: (818) 862-5700
 CONTACT: SAMANTHA HATTECK
 E-MAIL: shattek@boulvardia.com

PROJECT SITE DATA:

PROJECT LOCATION: S.E.C. OF MILL AVE & SOUTHERN AVE.
 PROJECT ADDRESS: 85 E. SOUTHERN AVE.
 TEMPE, AZ 85282
 PROJECT NAME: TEMPE EATS
 PROJECT DESCRIPTION: NEW 5,507 S.F. RESTAURANT BUILDING INCLUDING NEW PARKING AND 10'-0" W/ WINDOW, NEW TRASH ENCLOSURE, DRIVE AISLES TO REMAIN

PARCEL: 133-40-002M
 LEGAL DESCRIPTION: S34 T1N R4E
 NET SITE AREA: 329,183 S.F. (47.55 AC)
 GROSS SITE AREA: 406,265 S.F. (49.33 AC)
 LOT COVERAGE: 5,507 S.F./ 329,183 S.F. = 1.67%

EXISTING/PROPOSED ZONING: CSS GENERAL COMMERCIAL
 GENERAL PLAN PROJECTED LAND USE: GENERAL PLAN PROJECTED RESIDENTIAL DENSITY: 16-25 D.U./ACRE
 BUILDING CONSTRUCTION: VB - FULLY SPRINKLERED
 BUILDING HEIGHT: 24' FEET
 PROPOSED BUILDING HEIGHT: ±24'-0" FEET / 1 STORY
 PROPOSED BUILDING AREA: 5,507 S.F. (EXISTING TO REMAIN)
 SITE LANDSCAPE AREA REQUIRED: 53,306 S.F. (15%)
 SITE LANDSCAPE AREA PROVIDED (EXIST. SITE): 30,715 S.F. (9%)
 ROW LANDSCAPING: 9,196 S.F. (EXIST.)

PARKING REQUIRED: RESTAURANT
 INDOOR: 1/75 @ 5,507/75 = 74 P.S.
 OUTDOOR: NO PARKING FIRST 300ft.
 TOTAL: 1/150 @ 689 = 5 P.S.
 = 79 P.S.

PARKING SPACES REQUIRED (PER SHARED PARKING ANALYSIS) : 445
 PARKING PROVIDED: EXISTING PARKING: 455 P.S.
 - DEMOLISHED PARKING: 17 P.S.
 = TOTAL EXISTING TO REMAIN: 438 P.S.
 + PROPOSED ADDED PARKING: 23 P.S.
 = TOTAL PROPOSED PARKING: 461 P.S.
 (INCL. 2 ACCESSIBLE P.S.)
 STANDARD PARKING SIZE 9'x16'
 PARALLEL PARKING SIZE 8'x22'
 ACCESSIBLE SPACE 10'x16'

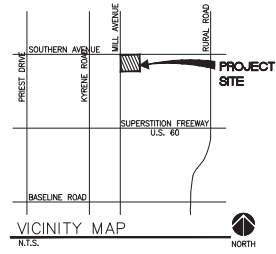
BICYCLE PARKING SPACES REQUIRED: 44 EXIST. + 8 PROPOSED = 52
 BICYCLE PARKING SPACES PROVIDED: 44 EXIST. + 8 PROPOSED = 52

NOTE: THIS DRAWING WAS PREPARED WITHOUT THE BENEFIT OF AN ALTA SURVEY, NOR TOPOGRAPHIC INFORMATION. ONCE SAID PLANS ARE PREPARED AND FURNISHED, FURTHER ADDITIONS SUCH AS EASEMENT LOCATIONS, AND OTHER MODIFICATIONS MAY BE REQUIRED TO REFLECT ACCURATE SITE CONDITIONS. ADG, INC. DOES NOT GUARANTEE THE ACCURACY OF THIS SITE PLAN UNTIL AN ALTA W/ TOPO HAS BEEN FURNISHED.

GENERAL NOTE

1. ALL EXISTING BROKEN, OR OUT OF GRADE CURB AND SIDEWALK ON THE PROJECT SITE WILL NEED TO BE REPLACED, AS WELL AS ANY NEW CURB OR SIDEWALK DAMAGED DURING CONSTRUCTION.

- GENERAL NOTES:**
- A. REFER TO CIVIL AND LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
 - B. DEVELOPMENT AND USE OF THIS SITE WILL CONFORM TO ALL APPLICABLE CODES AND ORDINANCES.
 - C. REFER TO SHEET A&1-A&3.2 FOR SITE DETAILS.
 - D. ALL NEW OR RELOCATED UTILITIES SHALL BE PLACED UNDERGROUND UNLESS NOTED OTHERWISE.
 - E. ALL SERVICE AREAS SHALL BE SCREENED TO CONCEAL TRASH CONTAINERS, LOADING DOCKS, TRANSFORMERS, BACKFLOW PREVENTORS, AND OTHER MECHANICAL OR ELECTRICAL EQUIPMENT FROM EYE LEVEL ADJACENT TO ALL PUBLIC STREETS OR AS REQUIRED BY LOCAL MUNICIPALITY.
 - F. REPLACE ANY EXISTING, BROKEN OR OUT-OF-GRADE CURB AND SIDEWALK ON THIS PROJECT AS WELL ANY CURB OR SIDEWALK OR PARKING DAMAGED DURING CONSTRUCTION.
 - G. COORDINATE ALL SITE LIGHTING WITH PHOTOMETRIC PLAN AND ELECTRICAL PLANS. ALL LIGHTING SHALL CONFORM TO ARIZONA DARK SKY ORDINANCE.
 - H. ALL BUILDING AND MONUMENT SIGNAGE UNDER SEPARATE PERMIT ARCHITECTURAL BASES ARE SHOWN IN THIS PROJECT SET FOR CONTRACTIBILITY.
 - I. THE ARCHITECT ASSUMES THE GENERAL CONTRACTOR HAS INCLUDED IN HIS BID/PROPOS THE HIGHEST QUALITY AND GREATEST QUANTITY FOR THE PURPOSE OF RESOLVING ANY CONFLICTS IN THE CONSTRUCTION DOCUMENTS WHICH ARE IMPLIED OR UNDEFINED.
 - J. ALL RAMP SURFACES SHALL MEET ADA ACCESSIBILITY GUIDELINES (ADAG) STANDARDS: 2% MAX. CROSS SLOPES, AND 1:21 MAXIMUM LONGITUDINAL SLOPES.
 - K. UPDATE ALL EXISTING OFF-SITE IMPROVEMENTS (SIDEWALKS, CURB RAMP AND DRIVEWAYS) TO CURRENT ADA GUIDELINES.
 - L. CURB AND DUSTPROOF ALL DRIVES AND PARKING PER SECTION 702 OF THE ZONING ORDINANCES.
- ADA NOTES:**
- A. ADA WIDTH- CLEAR WIDTH OF THE ACCESSIBLE ROUTE SHALL BE A MINIMUM OF 36 INCHES, EXCEPT AT DOORS, WHERE THE ACCESSIBLE ROUTE IS 200 FT. OR MORE PROVIDE A PASSING SPACE MEASURING A MINIMUM 60 INCHES BY 60 INCHES.
 - B. ADA SURFACE TEXTURE OF THE ACCESSIBLE ROUTE MUST ALWAYS BE STABLE, FIRM AND SLIP RESISTANT SURFACES. IRREGULAR SURFACES SUCH AS COBBLESTONE AND SIMILAR UNDEVEN BRICK OR CONCRETE PAVERS, STAMPED CONCRETE SURFACES ARE NOT ACCEPTABLE. EXCEPT COBBLESTONE, BRICK, CONCRETE PAVERS, STAMPED CONCRETE MAY BE APPLIED WHERE GROOVES OR JOINTS DO NOT EXCEED 1/4" INCH DEPTH.
 - C. ADA SLOPE: SHALL NOT EXCEED THE FOLLOWING: SIDEWALK 1:20 (5%), CROSS SLOPE 1:50 (2%), RAMP 1:12 (8.3%).
 - D. ADA HANDRAILS: IF A RAMP HAS A RISER GREATER THAN 6 INCHES OR A HORIZONTAL PROTECTION GREATER THAN 6 FT., HANDRAILS ARE NOT REQUIRED ON CURB RAMPS.



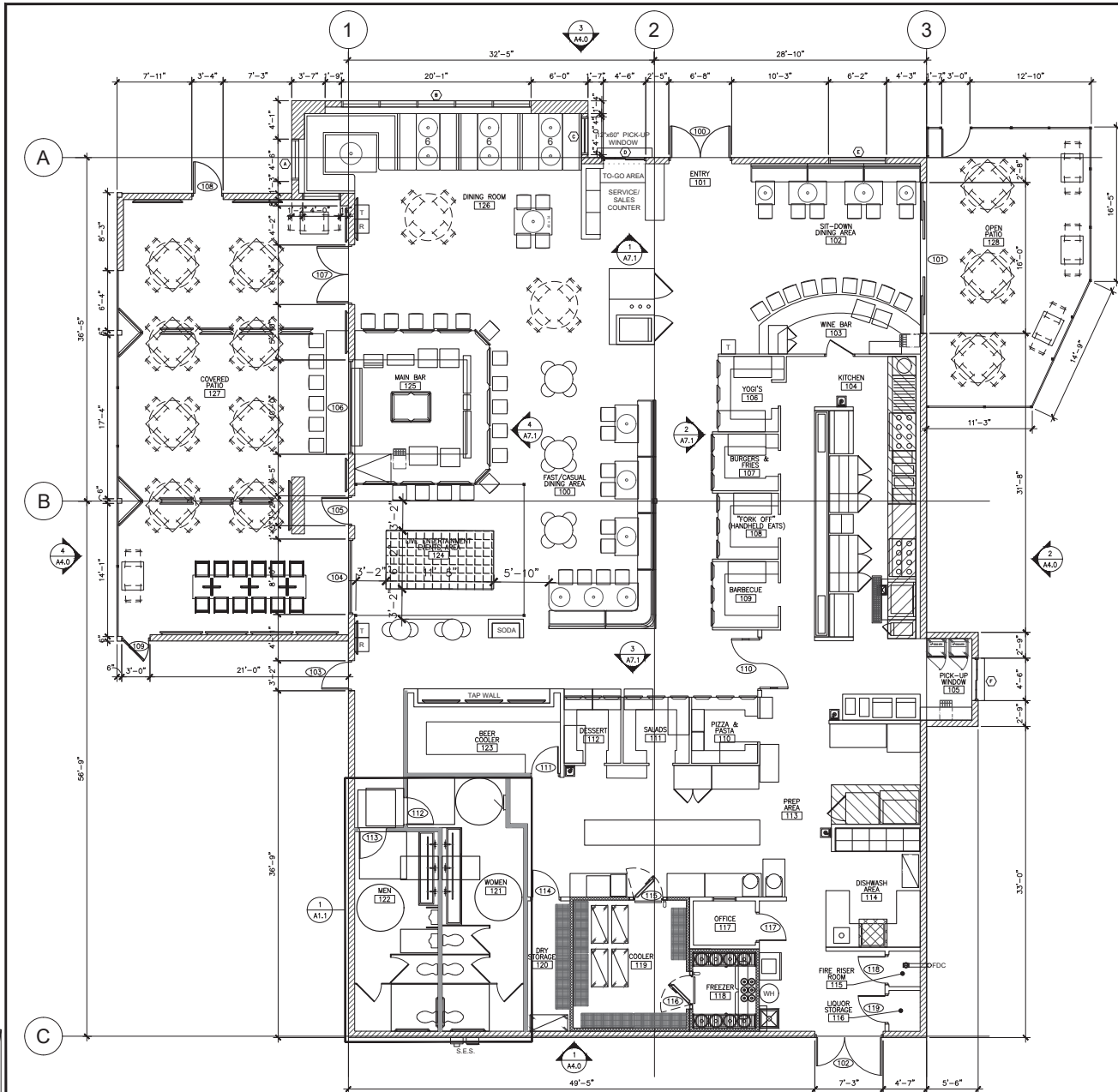
ADG **Andrews Design Group, Inc.** PRELIMINARY MASTER SITE PLAN

ARCHITECTURE PLANNING INTERIORS PROJECT MANAGEMENT

SOUTHERN + MILL PAD 'A' - 'TEMPE EATS'
 85 E. SOUTHERN AVE.
 TEMPE, ARIZONA 85282

1095 W. RIO SALADO PKWY., SUITE 203 TEMPE, AZ 85281

DATE: 03/19/2021

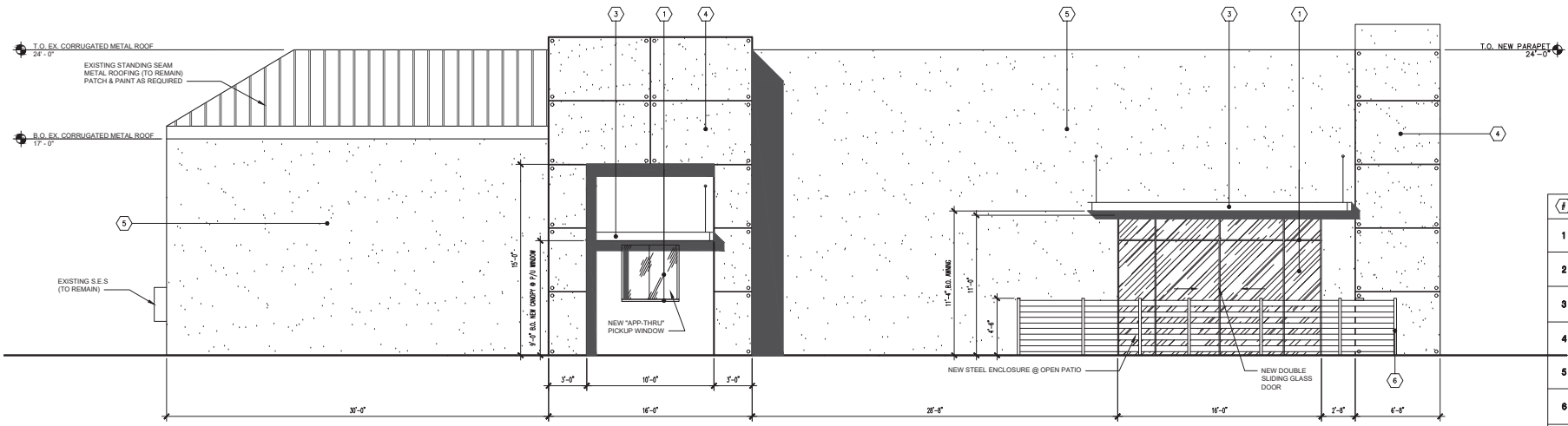


FLOOR PLAN
SCALE 3/8" = 1'-0"

KEY NOTES	GENERAL NOTES								
<ol style="list-style-type: none"> EXTERIOR WALL SEE WALL LEGEND INTERIOR WALL, SEE WALL LEGEND ENTRY DOOR, SEE DOOR SCHEDULE TUBE STEEL COLUMN, SEE STRUCTURAL DRAWINGS RAILING SEE BUILDING ELEVATIONS SHEET A4.0 & A4.1 DOOR CLEARANCE MOP SINK ROLL-UP DOOR BAR SEE ENLARGE PLAN ON SHEET A1.1 INTERIOR DOOR SEE DOOR SCHEDULE FIRE RISER, SEE PLUMBING PLANS FDC APPROVED WILL BE MOUNTED AT 7'-0" FIRE ALARM PANEL WILL BE INSTALLED INSIDE THE RISER ROOM FURNITURE, PER INTERIOR PLANS ROOF LADDER AND ROOF ACCESS FLOOR DRAINS LOCATIONS SEE PLUMBING HOOD ABOVE SEE MECHANICAL PLANS ADA ACCESSIBLE PATH 36" WIDE ROOF DRAINS, G.C. TO VERIFY FINAL LOCATION OF ROOF DRAINS STEEL TRELLIS WITH CORRUGATED METAL ROOF, SEE ELEVATIONS, SHEET A4.0& A4.1 KITCHEN EQUIPMENT, SEE SHEET EXITING DOOR AND FRAMING SEE DOOR SCHEDULE 22. KNOX-LOCK SAFE 	<ol style="list-style-type: none"> ALL INTERIOR DIMENSIONS ARE FINISH FACE TO FINISH FACE. REFER TO SHEET A7.0 FOR DOOR TYPE. REFER TO SHEET A7.0 FOR ROOM FINISH SCHEDULE. ALL BUILDING ENTRANCES SHALL BE ACCESSIBLE PER CHAPTER 11 OF THE 2015 IBC AND 2010 ADA. HEIGHT OF ALL SWITCHES, RECEPTACLES, AND ENVIRONMENTAL CONTROLS SHALL COMPLY WITH CHAPTER 11 OF THE 2015 IBC AND 2010 ADA. REFER TO ENLARGED FLOOR PLANS FOR ALL DETAIL CUTS AND WALL TYPES, U.N.O. REFER TO MECHANICAL, PLUMBING, ELECTRICAL PLANS FOR ADDITIONAL INFORMATION. ALL FINISHES AND FINISH MATERIALS, COLORS OR TEXTURES SHALL BE VERIFIED BY ARCHITECT PRIOR TO INSTALLATION, FABRICATION OR ORDERING. G.C. SHALL CAULK AND SEAL ALL EXPANSION JOINTS AT ALL INTERIOR CONCRETE FLOORS AND MASONRY WALLS PRIOR TO PLACEMENT OF FINISHED FLOORING. ALL EXPOSED UNFINISHED METAL, WOOD, PLASTIC, CONDUITS AND UNFINISHED MATERIALS SHALL BE PAINTED TO MATCH ADJACENT WALL COLOR. ALL ITEMS SUCH AS LIGHT SWITCHES, FIRE EXTINGUISHERS, FIRE ALARM PULLS AND OTHER ITEMS SHALL BE LOCATED WITHIN 2'-4" OF DOOR FRAME, COORDINATE WITH FIRE MARSHALL PRIOR TO INSTALLATION WHERE APPLICABLE. ALL BLOCKING TO BE FIRE RETARDANT 2X MATERIAL AND INSTALLED AS INDICATED OR REQUIRED. THE ARCHITECT ASSUMES THE GENERAL CONTRACTOR HAS INCLUDED PRICING THE HIGHEST QUALITY AND GREATEST QUANTITY FOR THE PURPOSE OF RESOLVING ANY CONFLICTS IN THE CONSTRUCTION DOCUMENTS WHICH ARE IMPLIED OR UNDEFINED. ALL WALL MOUNTED SHELVING WILL REQUIRED BLOCKING FOR INSTALLATION. ALL ELECTRICAL ALONG THE 2-HR FIRE RATED WALL TO BE SURFACE MOUNTED. 								
	<p>WALL LEGEND</p> <ol style="list-style-type: none"> EXTERIOR 2x8 WOOD STUD WALL @16" O.C. INTERIOR SIDE 5/8" PLYWOOD SEE EXTERIOR BUILDING ELEVATION. INTERIOR 2x4 WOOD STUD WALL @16" O.C. WITH 5/8" GYP. BS. EACH SIDE. BUILT TO BOTTOM OF DECK. PREP, PRIME AND PAINT PER FINISH SCHEDULE. INTERIOR 2x6 WOOD STUD WALL @16" O.C. WITH 5/8" GYP. BS. EACH SIDE. BUILT TO BOTTOM OF DECK. PREP, PRIME AND PAINT PER FINISH SCHEDULE. INTERIOR 2x6 WOOD STUD WALL AT 16" O.C. TO B.O. DECK WITH FINISH OVER 1/2" PLYWOOD EACH SIDE. PREP, PRIME AND PAINT PER FINISH SCHEDULE. INTERIOR 2x6 WOOD STUD AT 16" O.C. TO B.O. DECK WITH FINISH OVER PREP, PRIME AND PAINT PER FINISH SCHEDULE. INTERIOR 6" METAL STUDS AT 16" O.C. TO B.O. DECK WITH FINISH OVER 1/2" PLYWOOD EACH SIDE TO 6" ABOVE CEILING. TAPE, TEXTURE AND PAINT PER FINISH SCHEDULE. INTERIOR 2x6 WOOD STUD @16" O.C. WALL WITH 5/8" GYP. BS. BOTH SIDE TO 4'-0". PREP, PRIME AND PAINT PER FINISH SCHEDULE. INTERIOR 2x6 WOOD STUD WALL @16" O.C. WITH BRICK VENER ON BOTH SIDES. 								
	<p>NO. DATE: REVISION:</p> <table border="1"> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> </table>								
	<p>TEMPLE EATS 85 EAST SOUTHERN AVENUE TEMPE, ARIZONA 85282</p>								
	<p>SINGLE LOCATION ENT.</p>								
	<p>FLOOR PLAN LIVE ENTERTAINMENT</p>								
	<p>PRELIMINARY: NOT FOR CONSTRUCTION OR RECORDING</p>								
	<p>ADG Job No: A3120 Sheet No: A10 Date: 12/02/21 Draw: EV Checked: DA</p>								

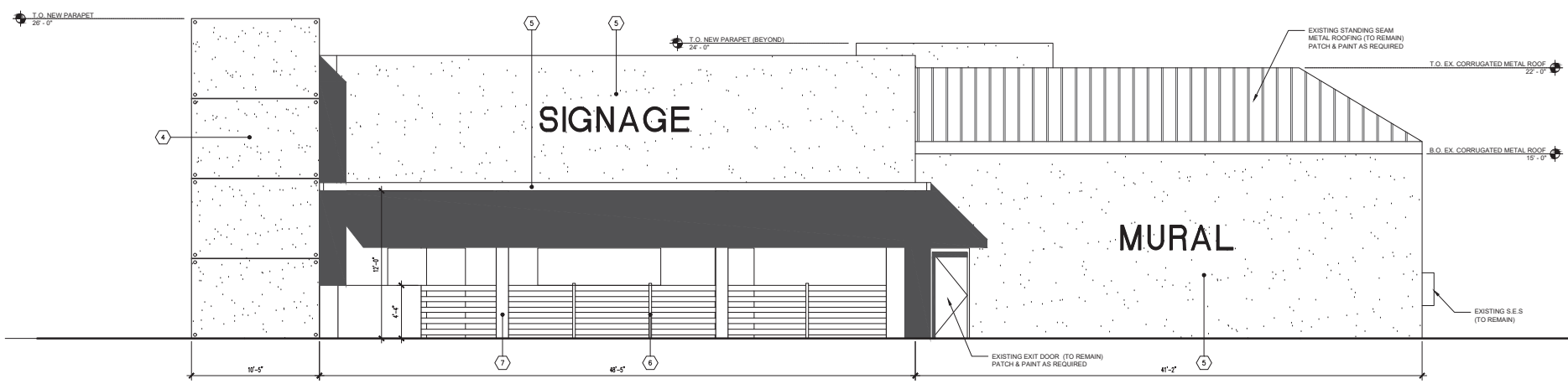


ANDREWS DESIGN GROUP, INC.
1005 W. INDIANLAKEWAY, SUITE 203, TEMPE, AZ 85281
PH: 480.834.6745



EAST ELEVATION
SCALE 1/4" = 1'-0"

#	MATERIALS KEYNOTES
1	NEW GLAZING / STOREFRONT MANUFACTURER TBD COLOR: TBD
2	NEW ENTRY DOORS W/ NEW FRAMING + HARDWARE MANUFACTURER TBD COLOR: TBD
3	NEW METAL AWNINGS / CANOPIES MANUFACTURER TBD COLOR: TBD
4	NEW 'DIMPLED' EPS WALL PANELS SENERGY WALL SYSTEMS COLOR: TBD
5	NEW STUCCO FINE FINISH MANUFACTURER TBD COLOR: TBD
6	NEW STEEL ENCLOSURE W/ GATE + PATIOS MANUFACTURER TBD COLOR: TBD
7	NEW STEEL POSTS + PATIO MANUFACTURER TBD COLOR: TBD
8	



WEST ELEVATION
SCALE 1/4" = 1'-0"

ADQ A3120

ADG Andrews Design Group, Inc.

PRELIM. EXTERIOR ELEVATIONS

SOUTHERN + MILL PAD 'A' - 'TEMPE EATS'
85 E. SOUTHERN AVE.
TEMPE, ARIZONA 85282

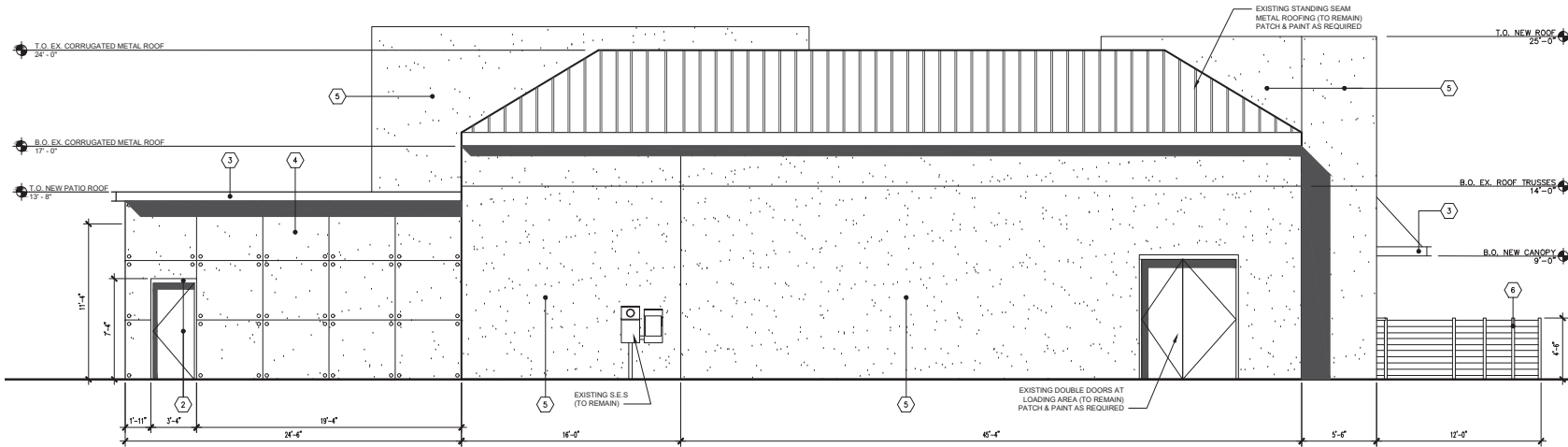
No.	DATE	REVISIONS

DR3.1

ARCHITECTURE PLANNING INTERIORS PROJECT MANAGEMENT

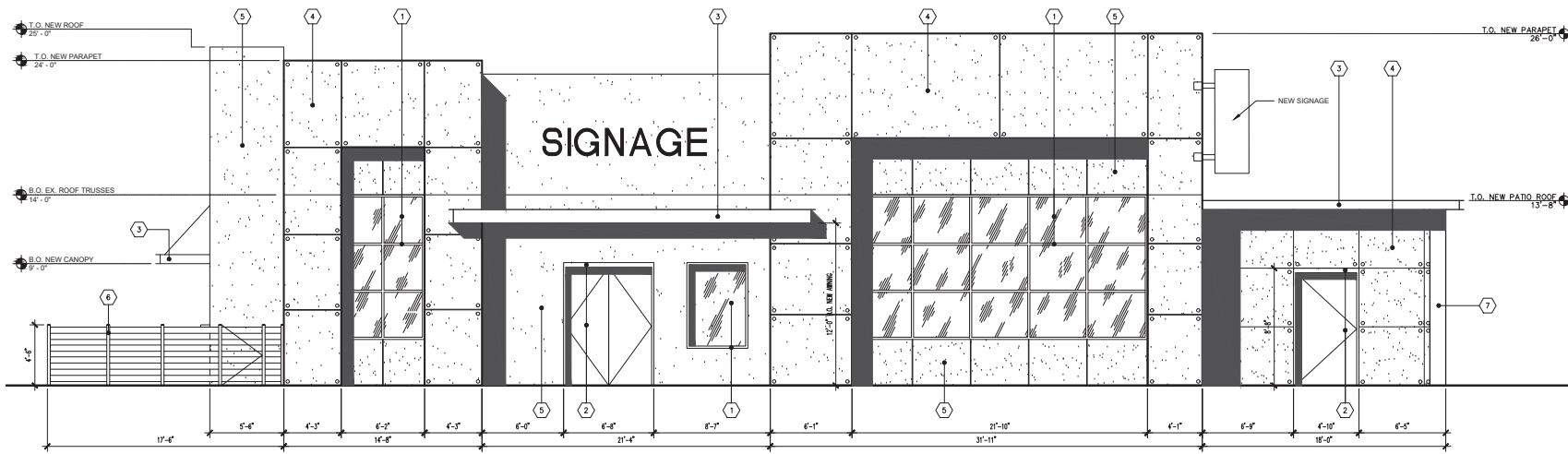
1085 W. RIO SALADO PKWY, SUITE 203 TEMPE, AZ 85281

DATE: 06/16/2021



SOUTH ELEVATION
SCALE 1/4" = 1'-0"

① MATERIALS KEYNOTES	
1	NEW GLAZING / STOREFRONT MANUFACTURER TBD COLOR TBD
2	NEW ENTRY DOORS W/ NEW FRAMING + HARDWARE MANUFACTURER TBD COLOR TBD
3	NEW METAL AWNINGS / CANOPIES MANUFACTURER TBD COLOR TBD
4	NEW 'DIPLED' EPS WALL PANELS ENERGY WALL SYSTEMS COLOR TBD
5	NEW STUCCO FINE FINISH MANUFACTURER TBD COLOR TBD
6	NEW STEEL ENCLOSURE W/ GATE + PATIOS MANUFACTURER TBD COLOR TBD
7	NEW STEEL POSTS + PATIO MANUFACTURER TBD COLOR TBD
8	



NORTH ELEVATION
SCALE 1/4" = 1'-0"

ADG Andrews Design Group, Inc.

PRELIM. EXTERIOR ELEVATIONS

SOUTHERN + MILL PAD 'A' - 'TEMPE EATS'
85 E. SOUTHERN AVE.
TEMPE, ARIZONA 85282

ADQ A3120

No.	DATE	REVISIONS



DR3

ARCHITECTURE PLANNING INTERIORS PROJECT MANAGEMENT

1085 W. RIO SALADO PKWY, SUITE 203 TEMPE, AZ 85281

DATE: 01/27/2021



Site Context Photos





