

**CITY OF TEMPE
DEVELOPMENT REVIEW COMMISSION**

**Meeting Date: 05/24/2022
Agenda Item: 4**

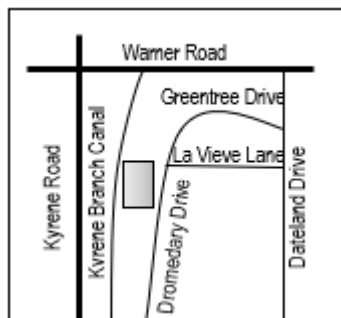
ACTION: Request a Use Permit Standard to increase the maximum building height for a detached accessory building for the **TURLEY RESIDENCE**, located at 9108 South Dromedary Drive. The applicant is Thomas Turley.

FISCAL IMPACT: N/A

RECOMMENDATION: Staff – Approve, subject to conditions

BACKGROUND INFORMATION: The **TURLEY RESIDENCE (PL210359)** is located on Lot 19 of the Duskfire Unit Two subdivision in the R1-15, Single-Family Residential District. The request includes the following:

ZUP220009 Use Permit Standard to increase the maximum building height for a detached accessory building.



Property Owner	Turley Revocable Living Trust
Applicant	Thomas Turley
Zoning District	R1-15
Site Area	20,334 s.f.
Building Area (existing)	2,554 s.f.
Building Area (proposed addition)	1,155 s.f.
Lot Coverage (proposed)	18% (45% max. allowed)
Building Height	19'-8" (30' max. allowed with Use Permit Standard)
Accessory Building Setbacks	9'-1" side, 26'-9" rear (9" min. required)
Vehicle Parking	6 spaces (2 min. required)

ATTACHMENTS: Development Project File

STAFF CONTACT(S): Lily Drosos, Planner I (480) 350-8245

Department Director: Shelly Seyler, Interim Community Development Director
 Legal review by: N/A
 Prepared by: Lily Drosos, Planner I
 Reviewed by: Steve Abrahamson, Principal Planner

COMMENTS

The TURLEY RESIDENCE is located east of Kyrene and south of Warner Roads within the Duskfire Unit 2 subdivision. The property is zoned R1-15 and is adjacent to other R1-15 zoned properties to the north, south, and west, and the GID zoning district to the east. The applicant is proposing a detached accessory building which will provide a total of 1,155 square feet of building area for a 19'-8" detached garage.

PUBLIC INPUT

As of the publishing date of this report, no public input has been received by staff.

USE PERMIT STANDARD

The proposed use requires a Use Permit Standard to exceed the 15 feet maximum allowed building height for a detached accessory building within the R1-15, Single-Family Residential District.

Section 6-308(E) Approval criteria for Use Permit (*in italics*):

1. *Any significant increase in vehicular or pedestrian traffic*; the proposed use and design of the detached accessory building is not expected to cause an increase in vehicular or pedestrian traffic as the use is intended only for the single-family residence.
2. *Nuisance arising from the emission of odor, dust, gas, noise, vibration, smoke, heat or glare at a level exceeding that of ambient conditions*; the detached accessory building is intended for the single-family residence and is not expected to create any nuisances to the surrounding area.
3. *Contribution to the deterioration of the neighborhood or to the downgrading of property values, which is in conflict with the goals, objectives or policies for rehabilitation, redevelopment or conservation as set forth in the city's adopted plans or General Plan*; the proposed use and design of the detached accessory building is expected to increase the value of the property.
4. *Compatibility with existing surrounding structures and uses*; the detached accessory structure is compatible with the existing surrounding structures as the properties adjacent to the TURLEY RESIDENCE have detached garages and have building heights in excess of 15 feet.
5. *Adequate control of disruptive behavior both inside and outside the premises which may create a nuisance to the surrounding area or general public*; the detached accessory building is intended to be used by the primary residence, therefore, disruptive behavior is expected.

REASONS FOR APPROVAL:

Based on the information provided by the applicant, the public input received and the above analysis staff supports approval of the requested Use Permit Standard. This request meets the required criteria and will conform to the conditions.

SHOULD AN AFFIRMATIVE ACTION BE TAKEN ON THIS REQUEST, THE FOLLOWING NUMBERED CONDITIONS OF APPROVAL SHALL APPLY, BUT MAY BE AMENDED BY THE DECISION-MAKING BODY.

CONDITION(S) OF APPROVAL:

EACH NUMBERED ITEM IS A CONDITION OF APPROVAL. THE DECISION-MAKING BODY MAY MODIFY, DELETE OR ADD TO THESE CONDITIONS.

1. The Use Permit Standard is valid only after a Building Permit has been obtained, the required inspections have been completed and a Final Inspection has been passed. As part of the Building Permit process, on-site storm water retention may be required to be verified or accomplished on this Site.
2. The Use Permit Standard is valid for the plans as submitted within this application. Any additions or modifications may be submitted for review during the building plan check process.

CODE/ORDINANCE REQUIREMENTS:

THE BULLETED ITEMS REFER TO EXISTING CODE OR ORDINANCES THAT PLANNING STAFF OBSERVES ARE PERTINENT TO THIS CASE. THE BULLET ITEMS ARE INCLUDED TO ALERT THE DESIGN TEAM AND ASSIST IN OBTAINING A BUILDING PERMIT AND ARE NOT AN EXHAUSTIVE LIST.

- The use permit approval shall be void if the use is not commenced or if an application for a building permit has not been submitted, whichever is applicable, within twelve (12) months after the use permit is granted or within the time stipulated by the decision-making body.
- Specific requirements of the **Zoning and Development Code (ZDC)** are not listed as a condition of approval but will apply to any application. To avoid unnecessary review time and reduce the potential for multiple plan check submittals, become familiar with the ZDC. Access the ZDC through <http://www.tempe.gov/zoning> or purchase from Development Services.
- Any intensification or expansion of use shall require a new Use Permit.

HISTORY & FACTS

1987 A single-family residence was built.

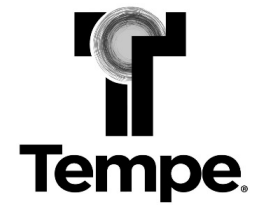
ZONING AND DEVELOPMENT CODE REFERENCE:

[Section 3-102, Permitted Uses in Residential Districts](#)

[Section 3-401, Accessory Buildings, Uses and Structures](#)

[Section 4-201\(A\), Use Permit Standard](#)

[Section 4-202, Development Standards for Residential Districts](#)

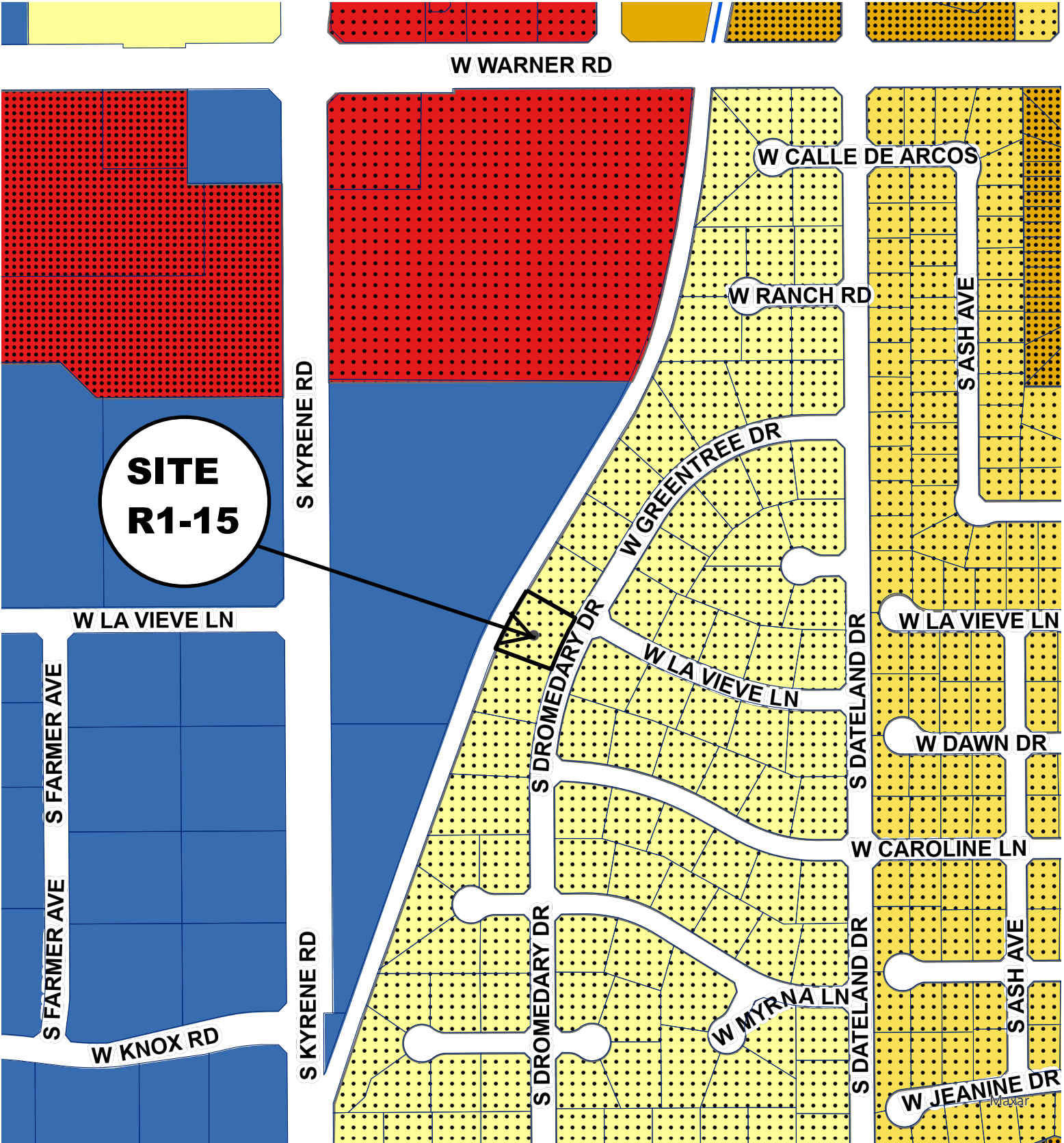


DEVELOPMENT PROJECT FILE
for
TURLEY RESIDENCE
(PL210359)

ATTACHMENTS:

1. Location Map
2. Aerial Map
3. Letter of Explanation
5. Site Plan
6. Survey
7. Floor Plan
8. Building Elevations
9. Building Sections
10. Context Photos

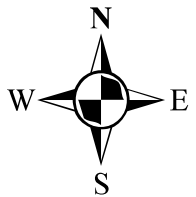
THE TURLEY RESIDENCE



- General Industrial District (GID)
- Planned Commercial Center Neighborhood (PCC-1)
- Planned Commercial Center General (PCC-2)
- Agricultural (AG)
- Single-Family Residential (R1-15)
- Single-Family Residential (R1-7)
- Single-Family Residential (R1-6)

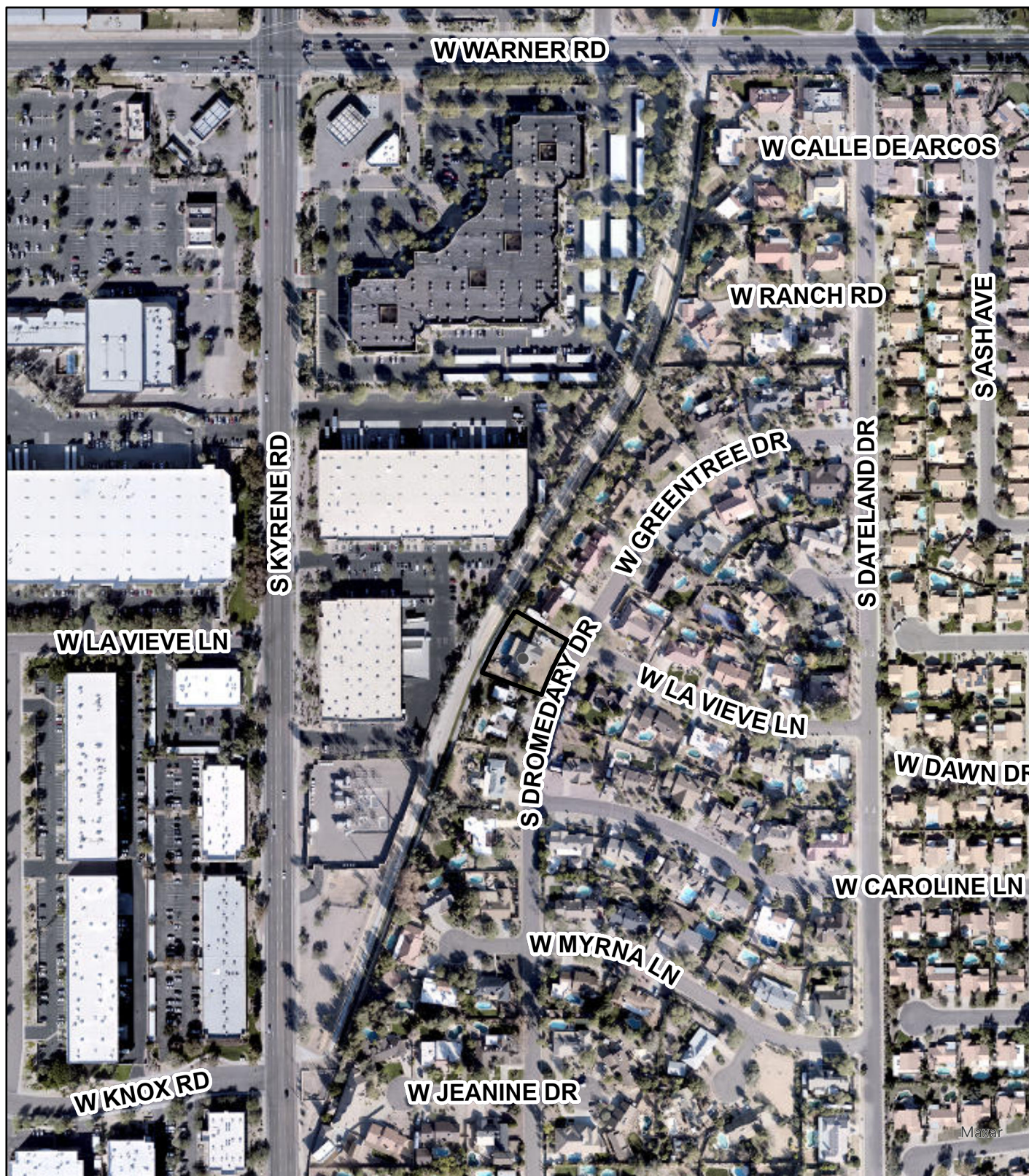
- Single-Family Residential (R1-4)
- Override 1
- Twelve Point**
- CenterlineSubType**
- ADOT
- Canal

- Monument
- Private
- Railroad
- Street
- <all other values>
- Zoning District**
- Light Industrial District (LID)

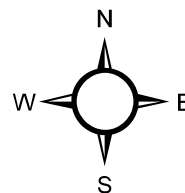


THE TURLEY RESIDENCE

PL210359



Aerial Map



April 13, 2022

City of Tempe Planning Review

To whom it may concern,

I have submitted the application and plans hoping to get the permit to have a garage built. It will be a detached garage as you can see by the plans. I am sending an updated plan that has the height you have requested on the site plan A3.1. I am also addressing the questions you had.

- a. The detached garage will not impact any vehicle or pedestrian traffic.
- b. There will be no nuisance arising from the emission of any odor, dust, gas, noise, vibration, smoke, heat, or glare. The garage is wood frame and tile roof.
- c. The structure will increase the values in the neighborhood. There will be no downgrade in any property values.
- d. Both existing neighbors have detached garages.
- e. There will no disruptive behavior, the detached garage will be used for storage of my boat.

Should you have further questions please let me know.

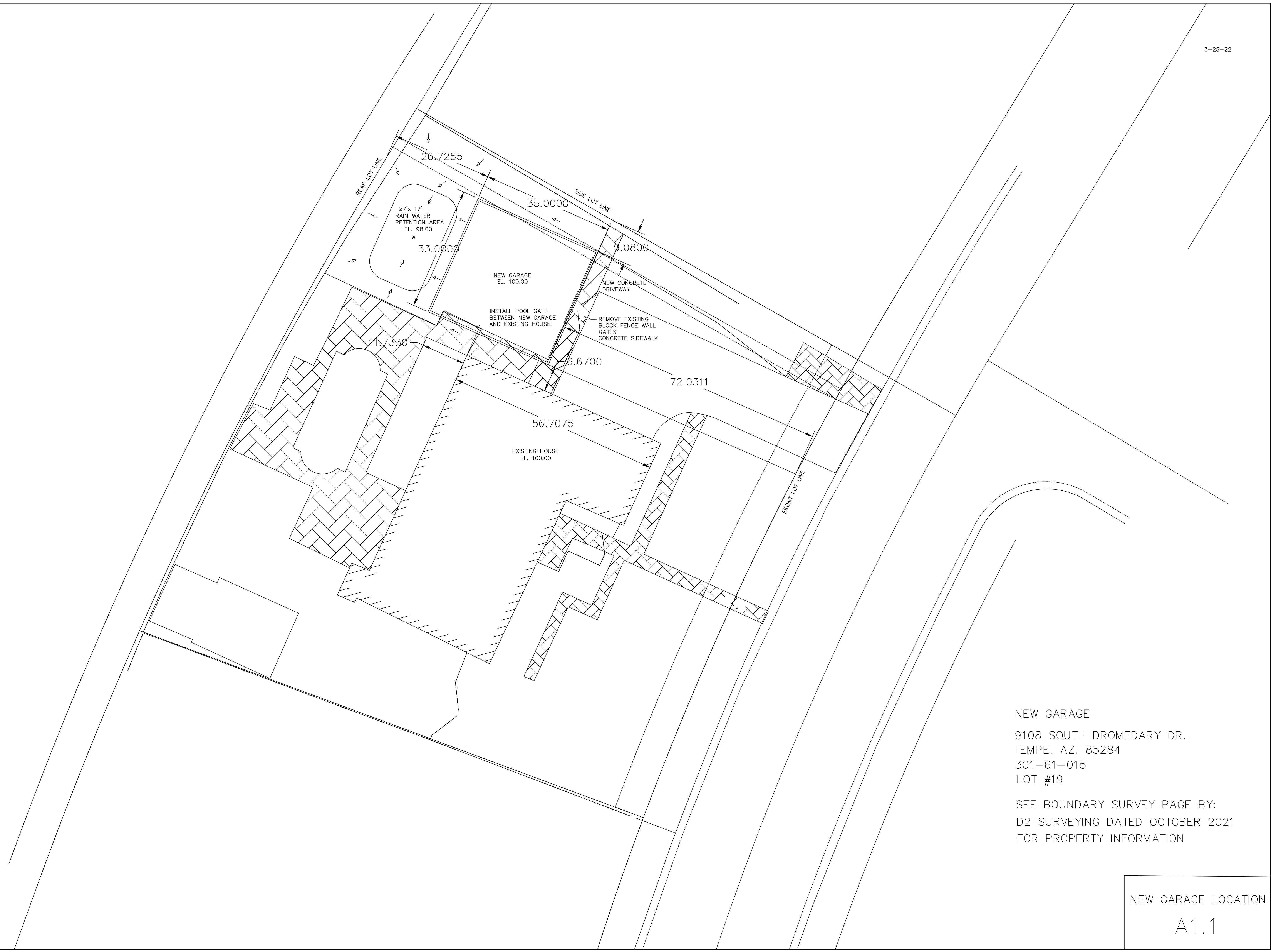
Sincerely,

Thomas E Turley JR

9108 S Dromedary Drive

Tempe, AZ 85284

602-510-8485



NEW GARAGE
9108 SOUTH DROMEDARY DR.
TEMPE, AZ. 85284
301-61-015
LOT #19

SEE BOUNDARY SURVEY PAGE BY:
D2 SURVEYING DATED OCTOBER 2021
FOR PROPERTY INFORMATION

NEW GARAGE LOCATION
A1.1

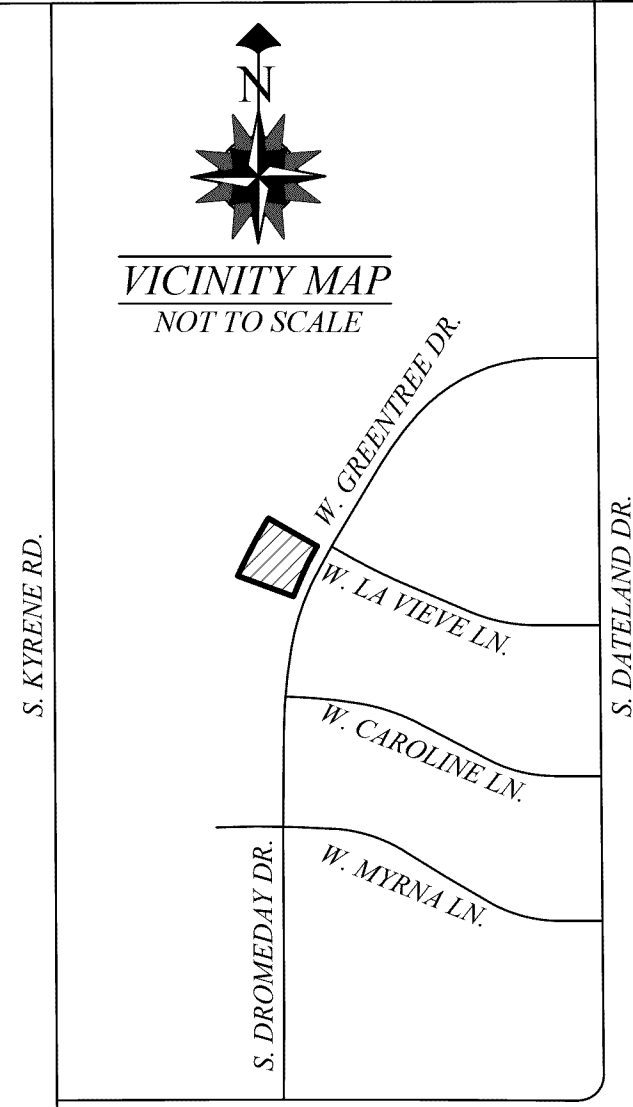
RECORD OF SURVEY

LOT 19 OF DUSKFIRE UNIT 2 (BOOK 225 OF MAPS, PAGE 35) LOCATED WITHIN SECTION
 22, TOWNSHIP 1 SOUTH, RANGE 4 EAST, OF THE GILA AND SALT RIVER BASE AND
 MERIDIAN, MARICOPA COUNTY, ARIZONA

21B388Turley-1-1-1-M-
 Hoyp

W. WARNER RD.

VICINITY MAP
 NOT TO SCALE



CURVE TABLE			
CURVE #	LENGTH	RADIUS	DELTA
C1	16.98'	808.95'	1°12'10"
C2	8.00'	808.95'	0°33'59"

- LEGEND**
- ⊙ = Found monument as noted
 - ⊙ = Set 5/8" Rebar with 2" Aluminum Cap R.L.S. #49864 or noted otherwise
 - = Calculated point / not set
 - = Centerline
 - - - = Easement line
 - *— = Fence line
 - = Block wall
 - - - = Edge of pavement
 - - - = Top concrete ditch
 - M.C.R. = Maricopa County Recorders
 - R.L.S. = Registered Land Surveyor
 - C.O.T. = City of Tempe
 - APN = Assessor Parcel Number
 - R/W = Right of Way
 - P.C. = Point of Curvature
 - COR = Corner
 - (R) = Research document distance
 - ⊕ = Water meter
 - ⊕ = Water valve
 - ⊕ = Electric meter
 - ⊕ = Electric vault
 - ⊕ = Light pole
 - ⊕ = Telephone pedestal
 - ⊕ = Pavers

OWNER OF RECORD

Turley Revocable Living Trust
 9108 S. Dromedary Dr.
 Tempe, AZ 85284

PARCEL INFORMATION

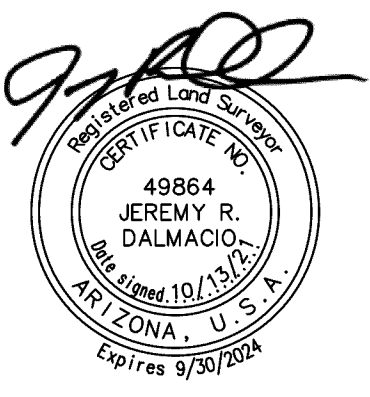
Lot 19 (Book 225 of Maps, Page 35)
 APN 301-61-045
 0.466 Acres
 20,297± Sq. ft.

SURVEYOR'S NOTES

- This survey was done without the benefit of a title report. Therefore, there may exist other easements of record not shown on this survey.
- The "Owner of Record" information is from the Maricopa County Assessor's website, this information may be out of date.
- All distances shown that are not of Record (R), are either measured or calculated depending on the symbol at either end of the line segment being dimensioned. If either end shows a calculated position symbol (●), then dimensions to that position are calculated distances.

SURVEY CERTIFICATE

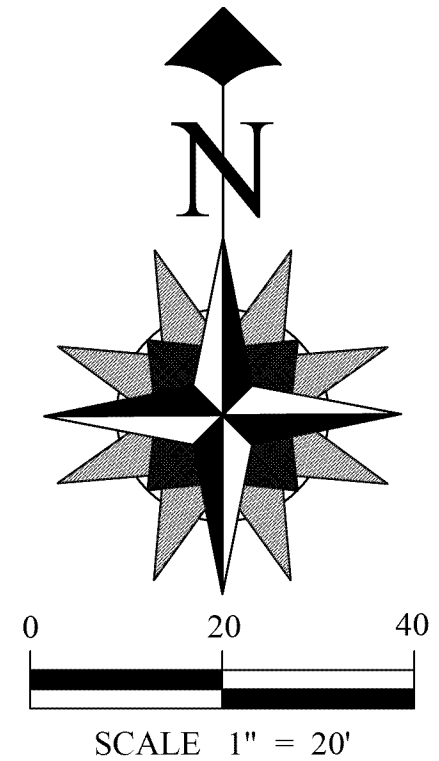
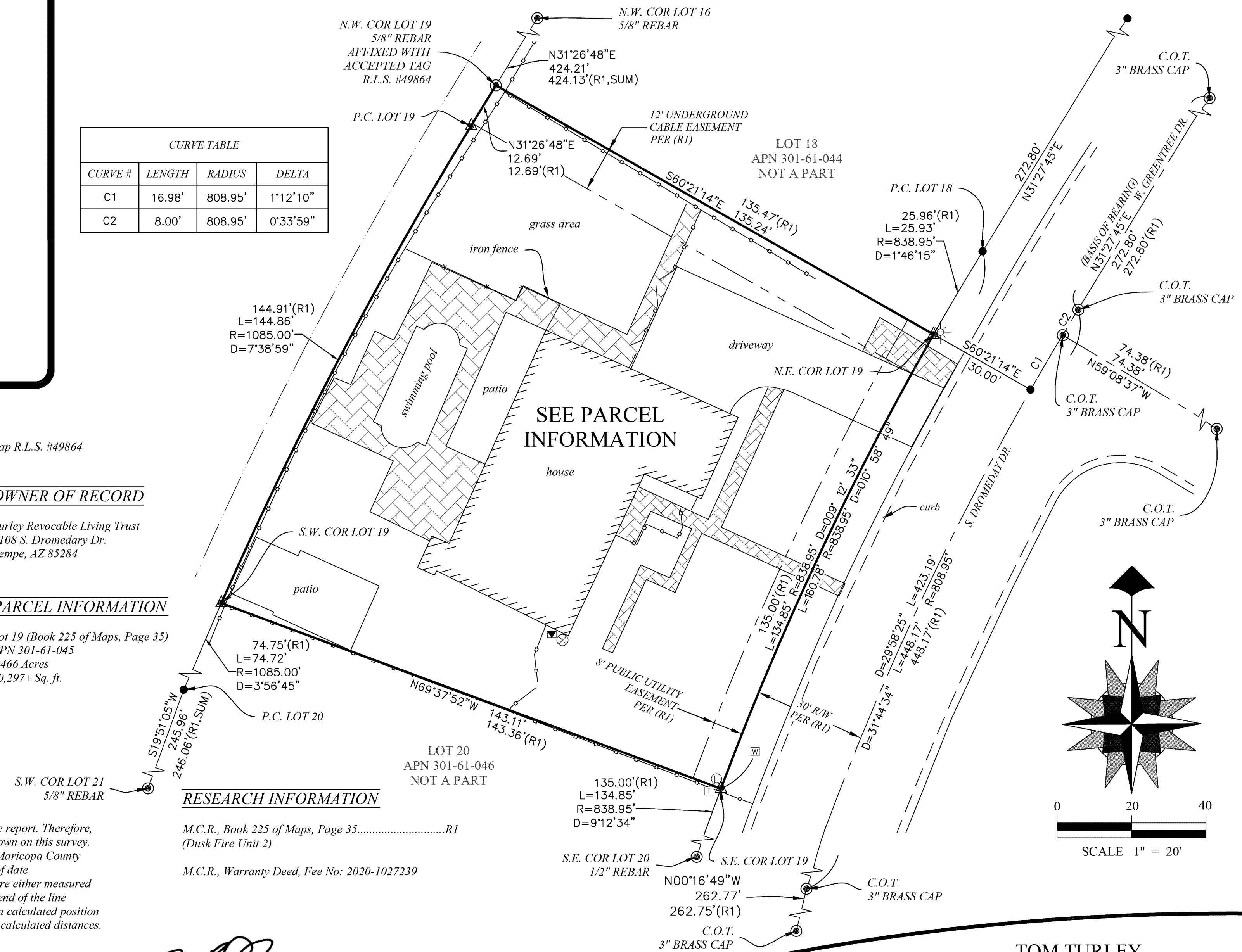
THIS IS TO CERTIFY THAT THE SURVEY AND/OR SUBDIVISION OF THE PREMISES DESCRIBED AND PLATTED HEREON WERE MADE UNDER MY DIRECTION DURING THE MONTH OF SEPTEMBER OF 2021; THAT THE SURVEY IS TRUE AND COMPLETE AS SHOWN; THAT MONUMENTS SHOWN ACTUALLY EXIST OR WILL BE SET AS SHOWN; THAT THEIR POSITIONS ARE CORRECTLY SHOWN; AND THAT SAID MONUMENTS ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.



RESEARCH INFORMATION

M.C.R., Book 225 of Maps, Page 35.....R1
 (Dusk Fire Unit 2)
 M.C.R., Warranty Deed, Fee No: 2020-1027239

SEE PARCEL INFORMATION

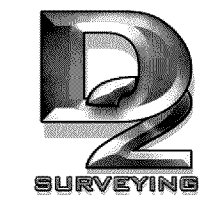


TOM TURLEY

BOUNDARY SURVEY

Date: October 2021	County: Maricopa	Area: Tempe
Field work: MKW MDH	Csys: Grnd AZ Cntrl	Project: 21-B388
Drafter: CWV	Review: JRD	Sheet: 1 of 1

another one in the books by
 D2 SURVEYING
 24468 N. Corn St.
 Florence, AZ 85132
 (480)221-1368
 D2SURVEYING.COM

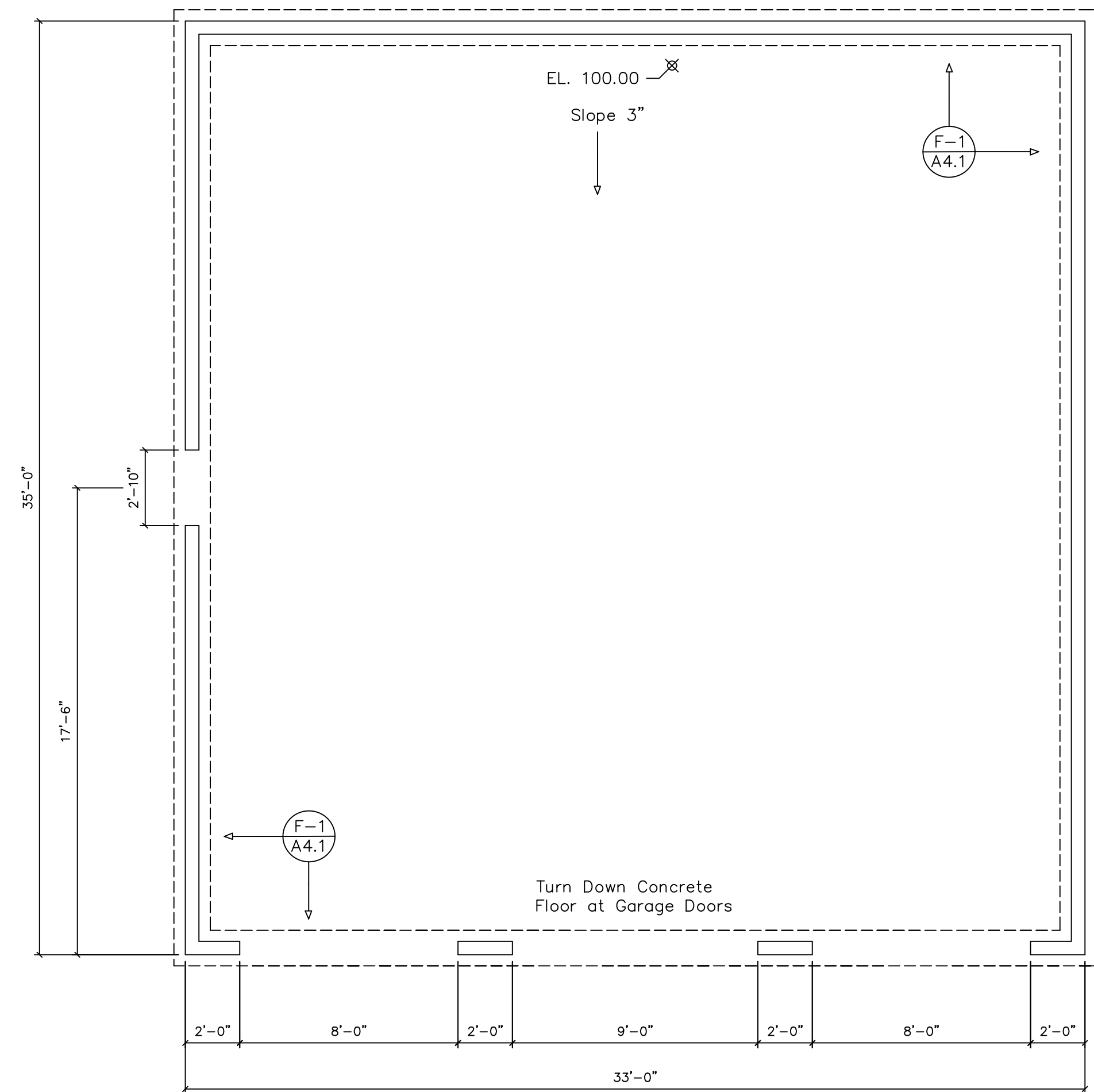


d:\d2_projects\2021\boundary\topo\21-b388_tom_turley_boundary-topo.dwg 10/13/2021 10:32 AM Plotdate: 10/13/2021 10:32 AM

GOVERNING CONSTRUCTION CODES

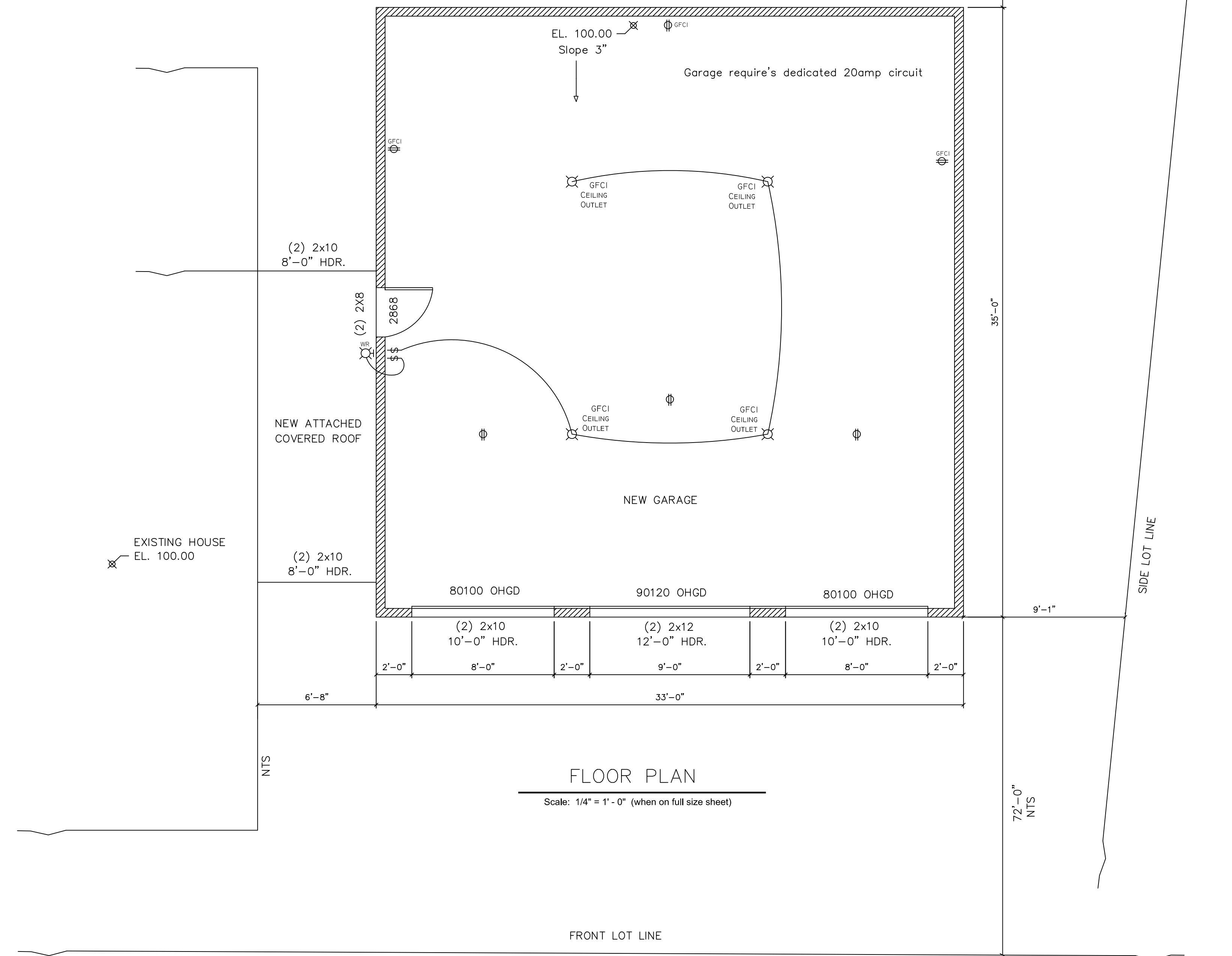
- 2018 2012 INTERNATIONAL BUILDING CODE (IBC)
- 2017 2011 NATIONAL ELECTRIC CODE (NEC)
- 2018 2006 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
- 2018 2012 INTERNATIONAL FIRE CODE (IFC)
- 2018 2012 FUEL GAS CODE (IFGC)
- 2018 2012 INTERNATIONAL MECHANICAL CODE (IMC)
- 2018 2012 INTERNATIONAL PLUMBING CODE (IPC)
- 2018 2012 INTERNATIONAL RESIDENTIAL CODE (IRC) WITH APPENDIX G
- 2018 2012 UNIFORM SWIMMING POOL, SPA AND HOT TUB CODE
- 1997 UNIFORM ADMINISTRATIVE CODE (AMENDED TO ADOPT IN PART ONLY, SECTION 304 AND THE REFERENCED TABLES 3-A THRU 3-H FOR THE PURPOSE OF DETERMINING FEES)
- 1997 UNIFORM CODE FOR THE ABATEMENT OF DANGEROUS BUILDINGS, THE MARICOPA ASSOCIATION OF GOVERNMENTS (MAG) STANDARD SPECIFICATIONS AND UNIFORM DETAILS FOR PUBLIC WORKS CONSTRUCTION.

Note: This drawing has not been published and is the sole property of Procede and is loaned to the borrower for their confidential use only, and in consideration of the loan of this drawing the borrower premises and agrees to return it upon request and agrees that it will not be reproduced, copied, lent or otherwise disposed of directly or indirectly, for uses for any purpose other than for which it is intended.



FOUNDATION PLAN

Scale: 1/4" = 1' - 0" (when on full size sheet)



FLOOR PLAN

Scale: 1/4" = 1' - 0" (when on full size sheet)

10-29-21
Revisions:

DRAWINGS BY:
BOB SNELL
602-448-0189

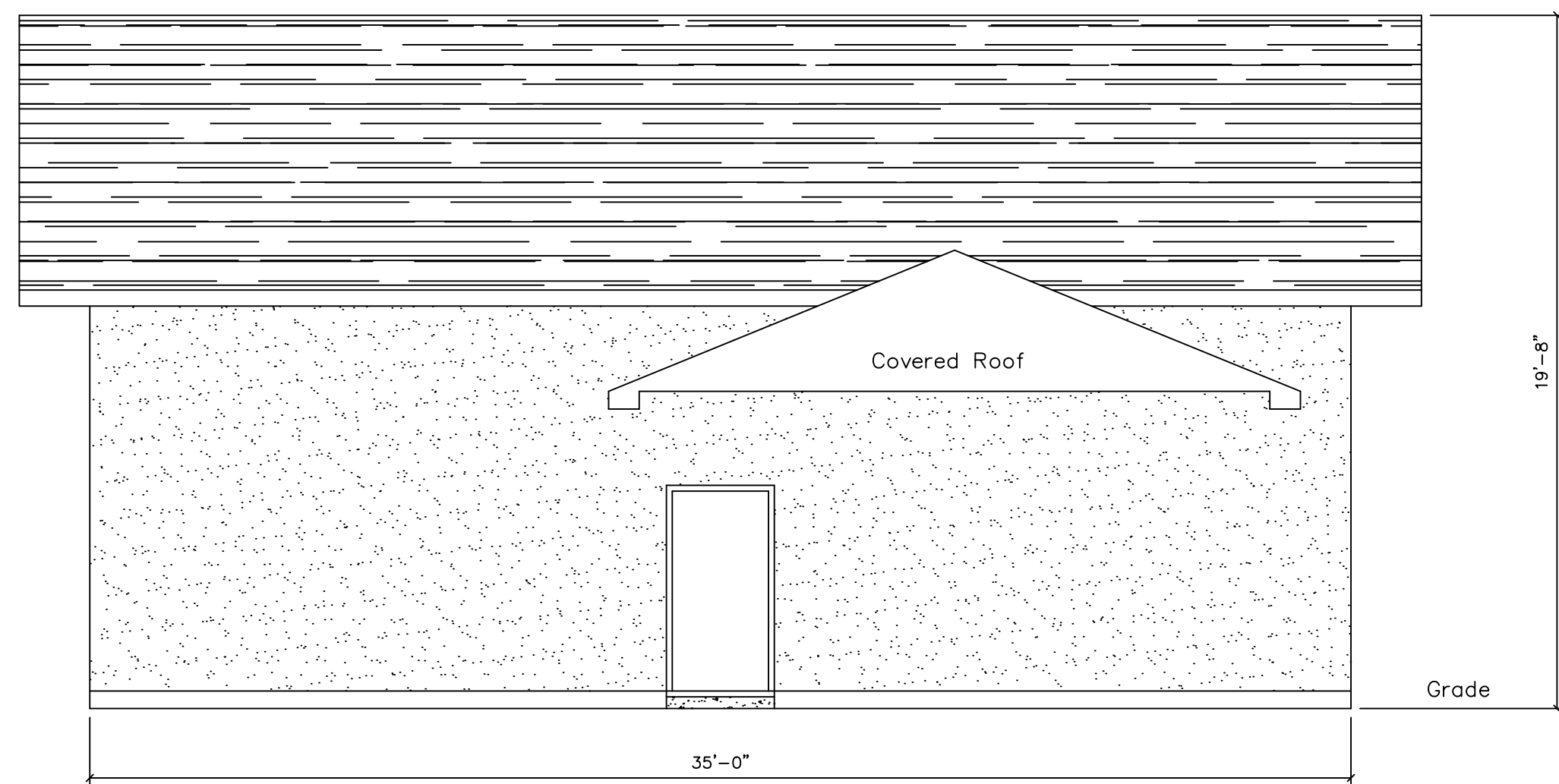
LOCATION

NEW GARAGE AT
9108 SOUTH DROMEDARY DR.
TEMPE, AZ. 85284

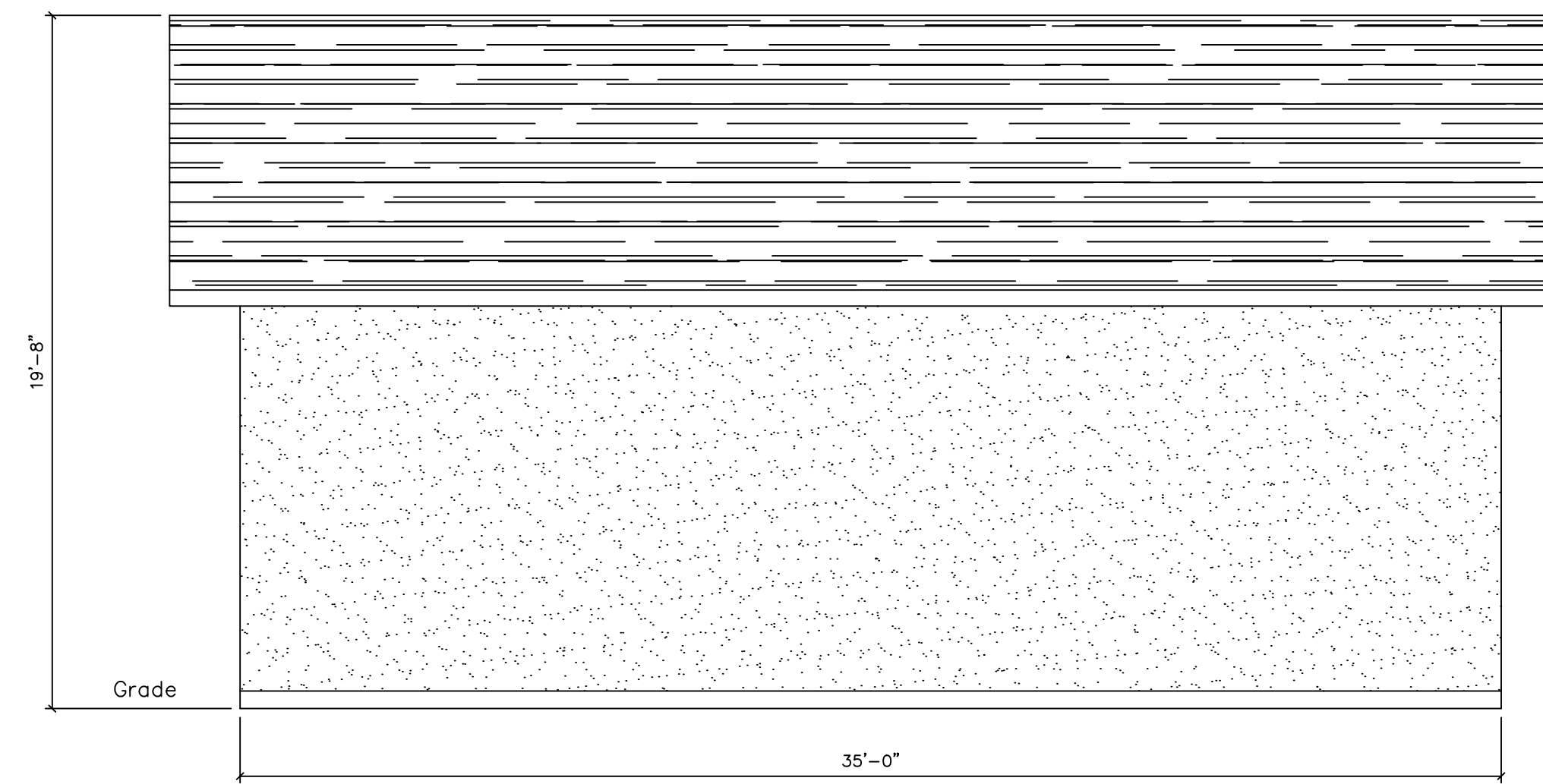
Floor Plan
Electrical
Foundation

Sheet
A2.1

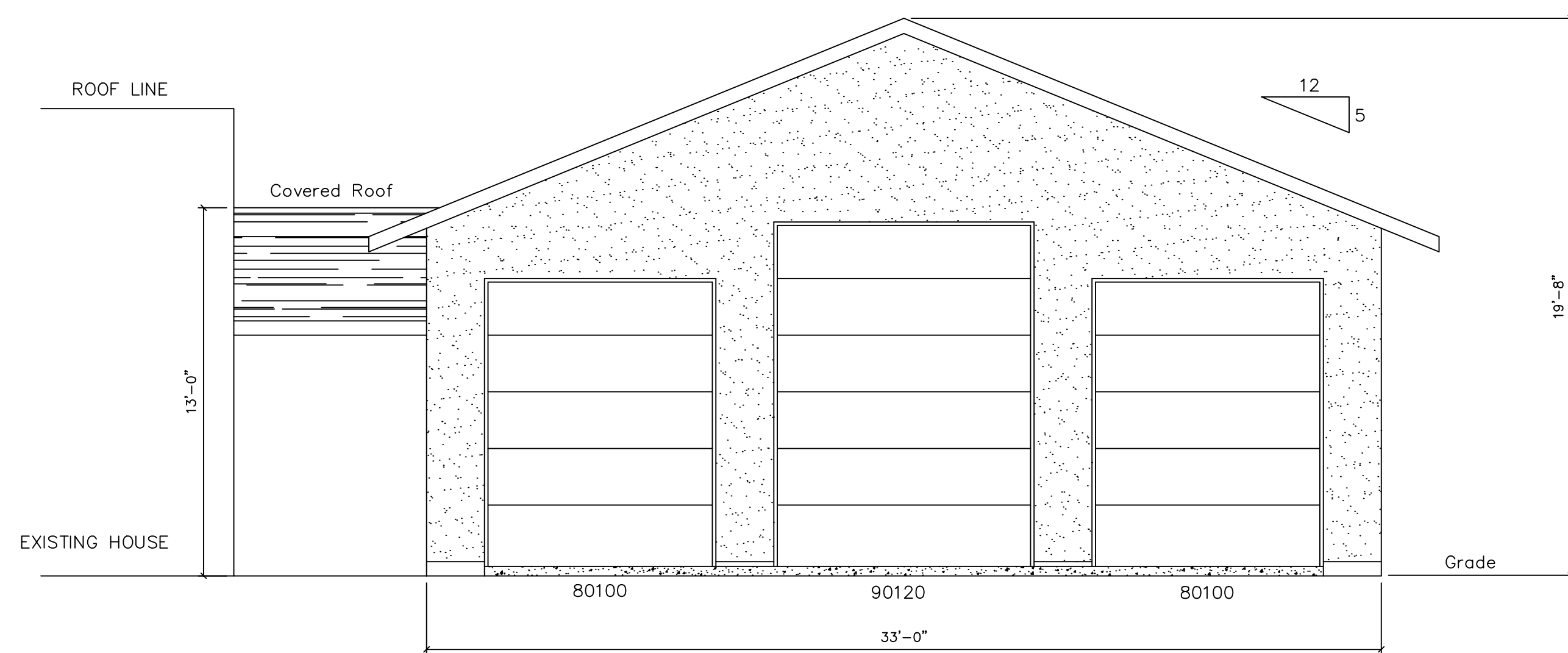
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C1 LEFT SIDE ELEVATION
Scale: 1/4" = 1' - 0" (when on full size sheet)

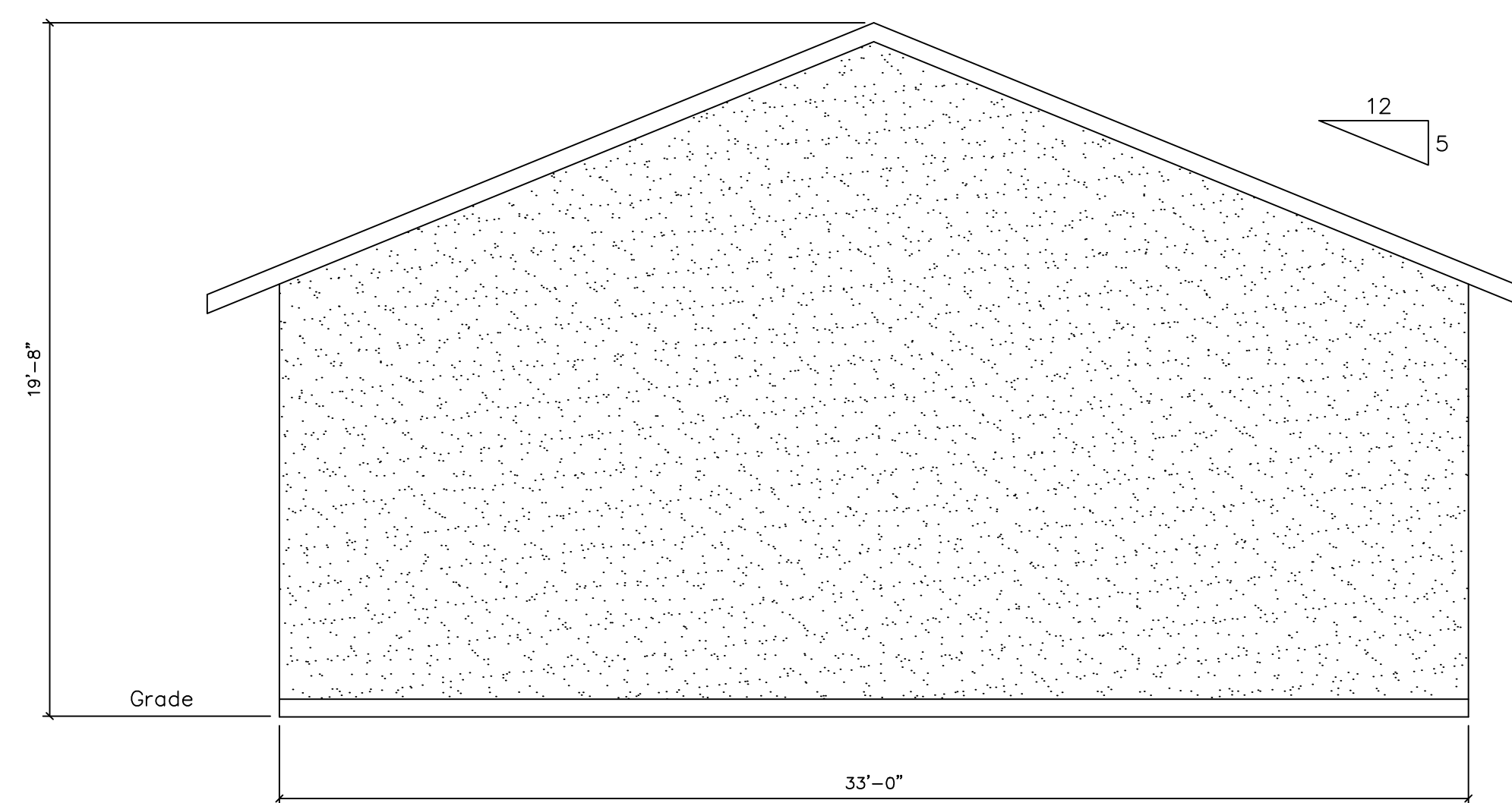


A1 RIGHT SIDE ELEVATION
Scale: 1/4" = 1' - 0" (when on full size sheet)



A4 FRONT ELEVATION
Scale: 1/4" = 1' - 0" (when on full size sheet)

Match Existing
Tile Roof
Stucco Finish
Facia and Overhang
As Close as Possible



C4 REAR ELEVATION
Scale: 1/4" = 1' - 0" (when on full size sheet)

10-29-21
Revisions:
4-13-22

DRAWINGS BY:
BOB SNELL
602-448-0189

LOCATION

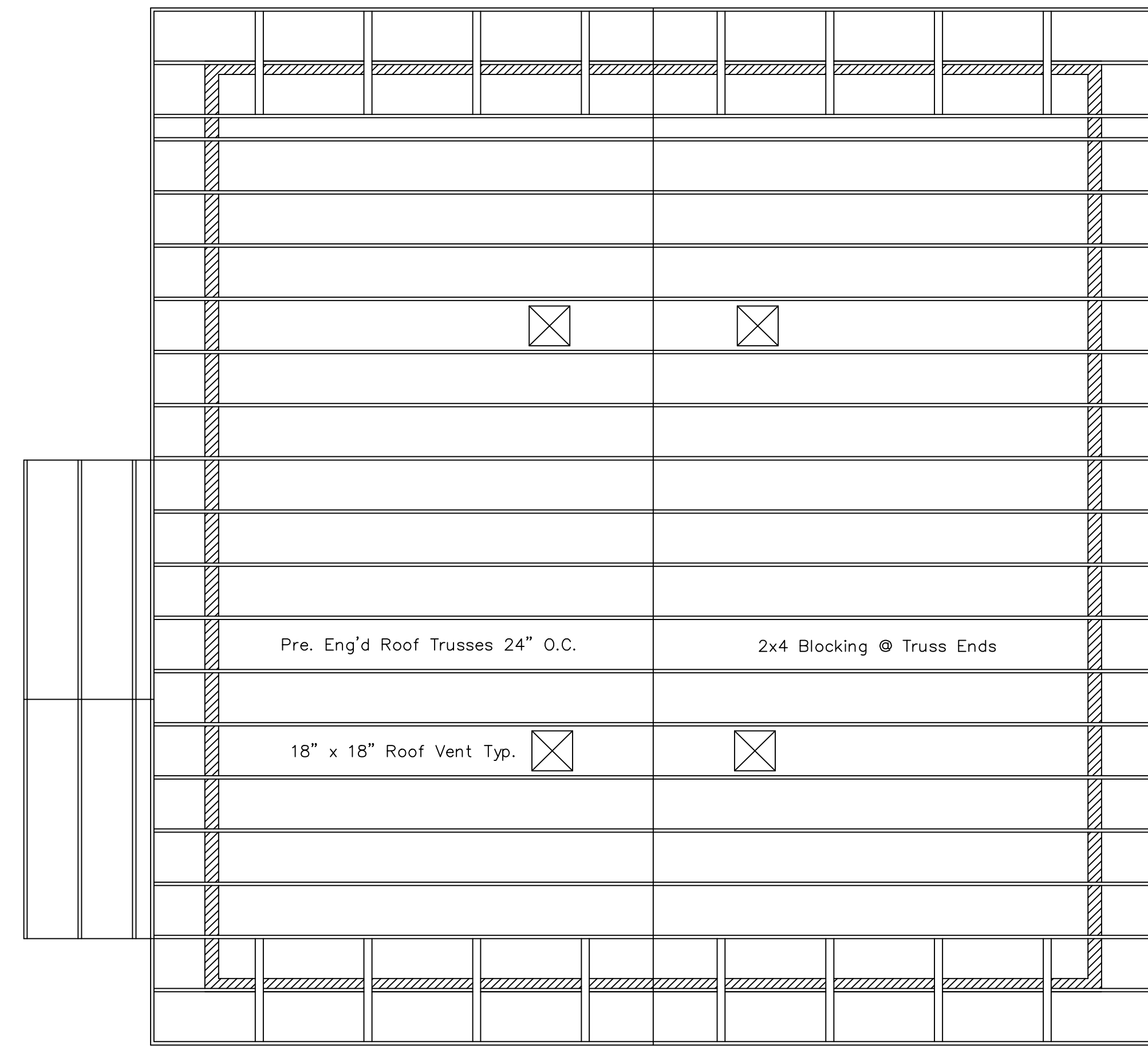
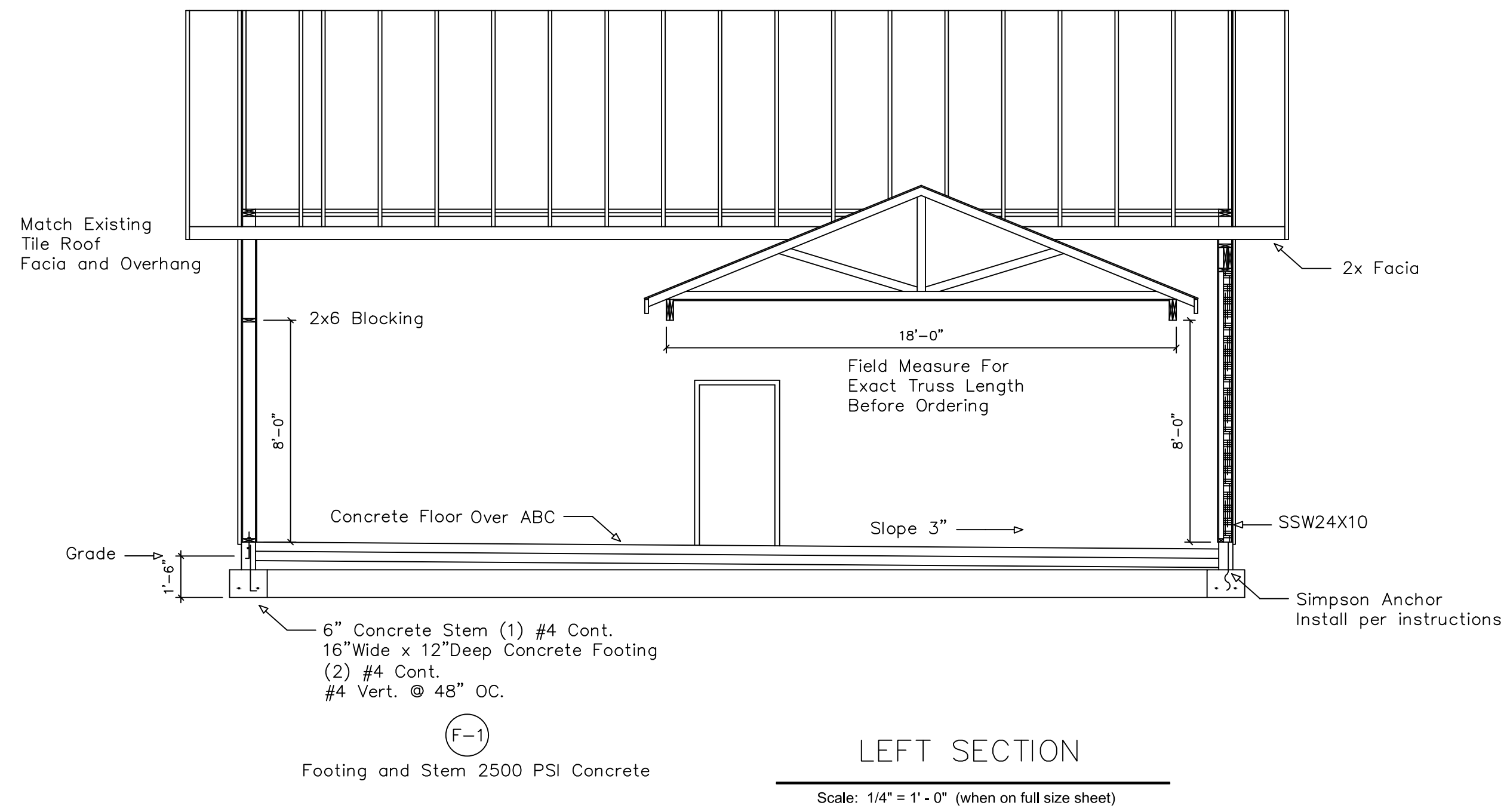
NEW GARAGE AT
9108 SOUTH DROMEDARY DR.
TEMPE, AZ. 85284

Building Elevations

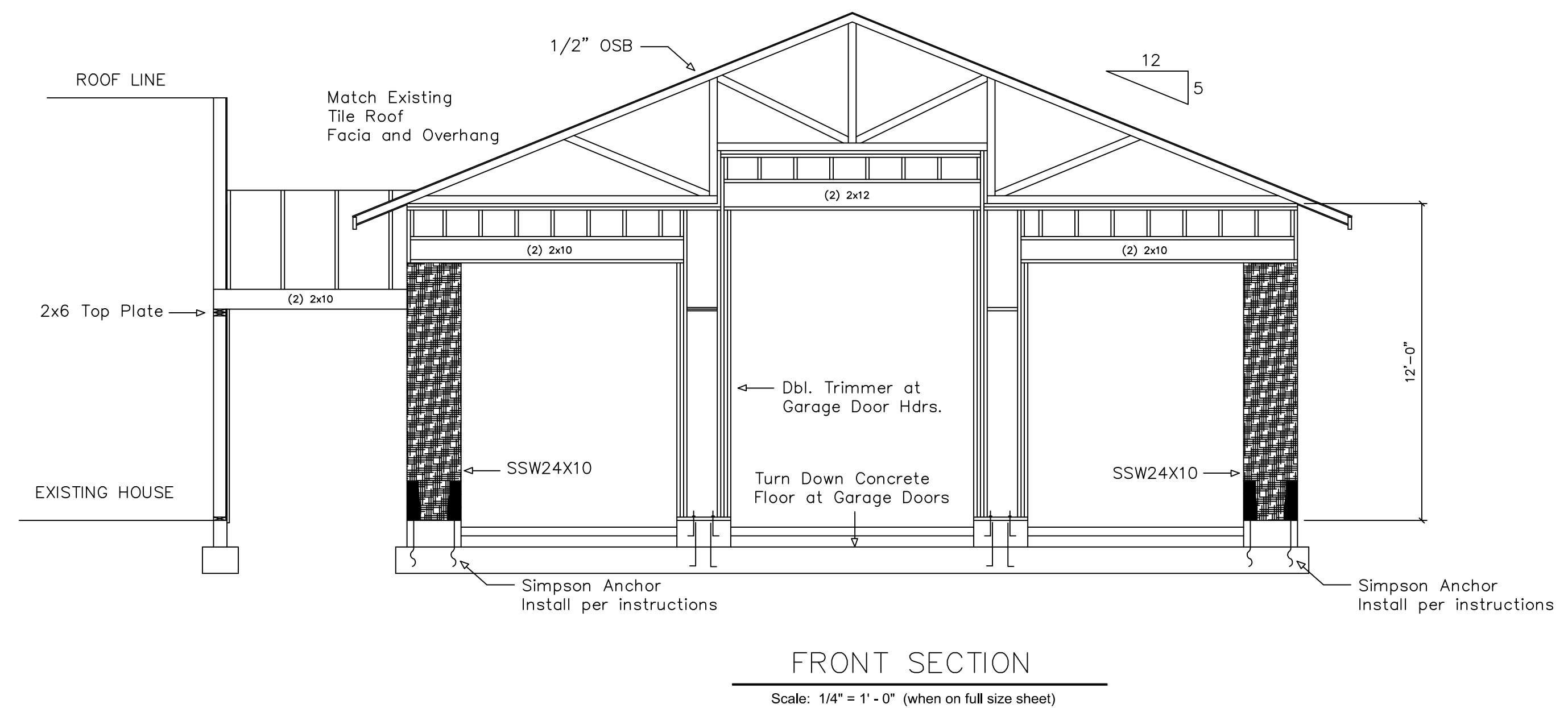
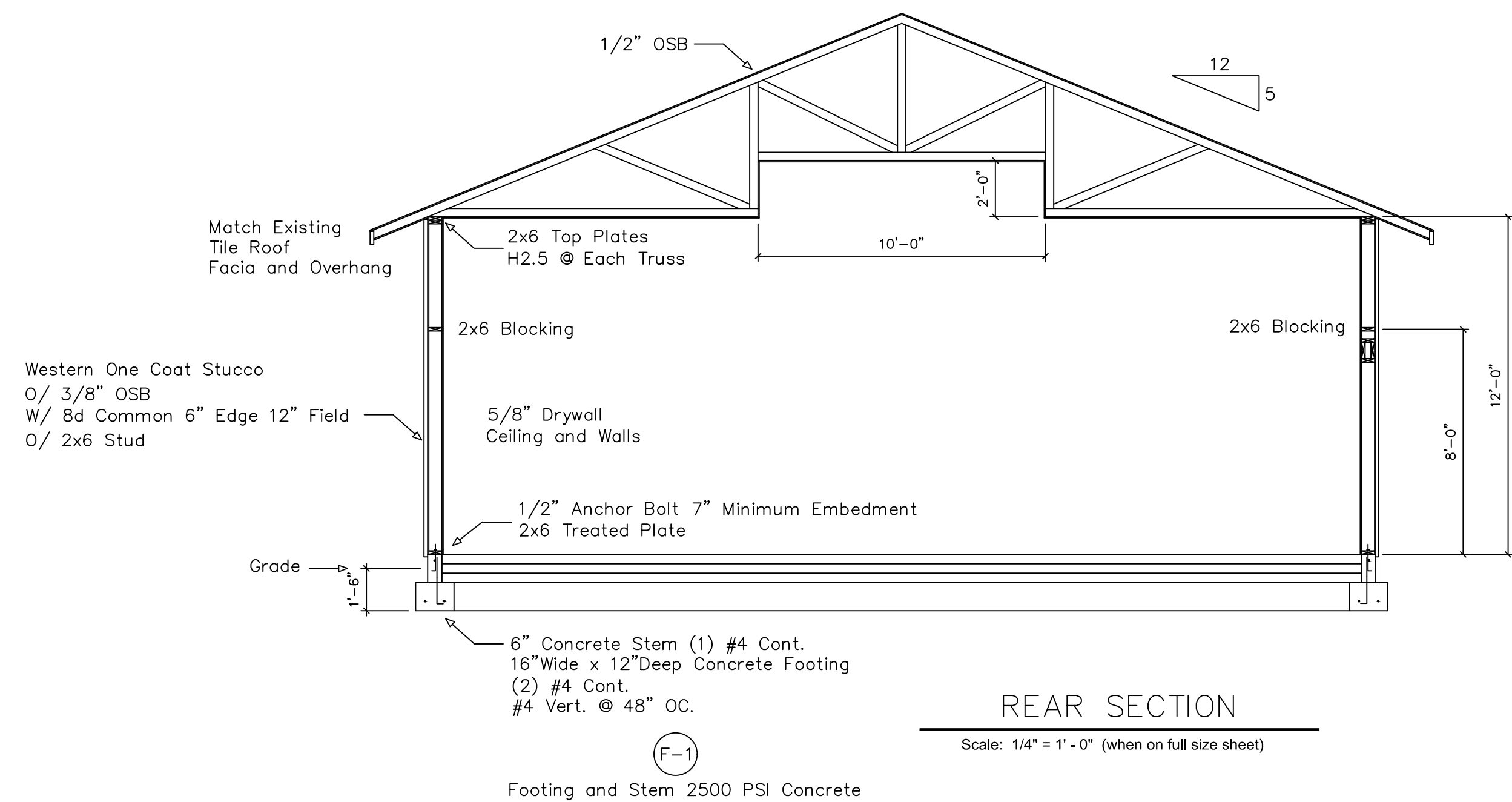
Sheet
A3.1

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10-29-21
Revisions:



Architectural Roof Framing
Scale: 1/4" = 1' - 0" (when on full size sheet)



DRAWINGS BY:
BOB SNELL
602-448-0189

LOCATION

NEW GARAGE AT
9108 SOUTH DROMEDARY DR.
TEMPE, AZ. 85284

Building Sections

Sheet
A4.1

