



**CITY OF TEMPE
DEVELOPMENT REVIEW COMMISSION**

**Meeting Date: 1/10/2023
Agenda Item: 8**

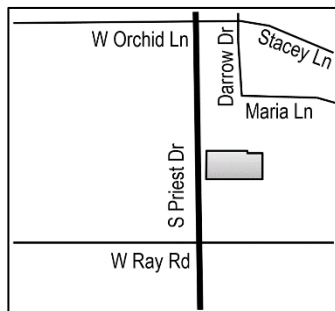
ACTION: Request a Use Permit to allow a bar for GOLDWATER TAP HOUSE, located at 9895 South Priest Drive, Suite No. 102. The applicant is Design Professionals, LLC.

FISCAL IMPACT: N/A

RECOMMENDATION: Staff – Approve, subject to conditions

BACKGROUND INFORMATION: GOLDWATER TAP HOUSE (PL220319) is a new beer and wine bar proposed in pad building on Lot 1 of the Tempe Crossings 2 commercial subdivision, located approximately 333 feet north of West Ray Road on the east side of South Priest Drive in the PCC-2, Planned Commercial Center General District, and within the SWOD, Southwest Tempe Overlay District. The business is under application for a Beer and Wine Bar - Series 7 liquor license through the Arizona Department of Liquor Licenses and Control. This license allows a beer and wine bar retailer to sell and serve beer and wine (no other spirituous liquors), primarily by individual portions, to be consumed on the premises and in the original container for consumption on or off the premises. In addition to the use permit request, the applicant is also concurrently processing a Minor Development Plan Review for installation of a new patio with railing and a Shared Parking Application to allow parking conformance through a Shared Parking Model, both to be reviewed at a staff or administrative level. The request includes the following:

ZUP220070 Use Permit to allow a bar.



Property Owner	56 th Ray Pad Investors, LLC
Applicant	John C. Manross, Design Professionals, LLC
Zoning District	PCC-2 (SWOD)
Site Area	57,206 s.f.
Building Area	5,535 s.f.
Suite Area	3,457 s.f.
Patio Area	539 s.f.
Lot Coverage	9.6% (50% max. allowed)
Landscape Coverage	19% (15% min. required)
Building Height	34'-0" (40'-0" max. allowed)
Building Setbacks	118'-0" front, 23'-6" south side, 46'-1" north side, 146'-4" rear (0'-0", 19'-0", 30'-0", 30'-0" min. required)
Vehicle Parking	268 spaces (289 min. required for Tempe Crossings 2)
Bicycle Parking	26 spaces (25 min. required for Tempe Crossings 2)
Hours of Operation	1-10pm, M-Th; 12-11pm F & Sa, and 12-8pm Su
Building Code Occupancy	A-2 and B

ATTACHMENTS: Development Project File

STAFF CONTACT(S): Lee Jimenez, Senior Planner (480) 350-8486

Department Director: Jeff Tamulevich, Community Development Director
Legal review by: N/A
Prepared by: Lee Jimenez, Senior Planner
Reviewed by: Steve Abrahamson, Principal Planner

COMMENTS

Tempe Crossings 2 is located between West Orchid Lane, West Ray Road, South Beck Avenue, and South Priest Drive.

PUBLIC INPUT

Staff has not received any public comments.

POLICE INPUT

A security plan shall be required for the proposed bar use.

USE PERMIT

The proposed use requires a Use Permit to allow a bar to operate in the PCC-1 zoning district.

Section 6-308(E) Approval criteria for Use Permit (*in italics*):

1. *Any significant increase in vehicular or pedestrian traffic*; the proposed bar use is not expected to significantly increase vehicular or pedestrian traffic.
2. *Nuisance arising from the emission of odor, dust, gas, noise, vibration, smoke, heat or glare at a level exceeding that of ambient conditions*; the proposed bar use is not expected to generate emissions that would otherwise exceed ambient conditions and cause a nuisance to the surrounding area. Furthermore, the site is surrounded by commercial uses which insulates it from nearby residential uses.
3. *Contribution to the deterioration of the neighborhood or to the downgrading of property values, which is in conflict with the goals, objectives or policies for rehabilitation, redevelopment or conservation as set forth in the city's adopted plans or General Plan*; the proposed bar use is not in conflict with the goals, objectives and/or policies adopted by the City.
4. *Compatibility with existing surrounding structures and uses*; no major modifications are not proposed to the building or site, and the proposed bar use is compatible with nearby commercial uses.
5. *Adequate control of disruptive behavior both inside and outside the premises which may create a nuisance to the surrounding area or general public*; the operator will ensure there is sufficient security to adequately control patrons. A security plan shall be required prior to the uses commencing.

REASONS FOR APPROVAL:

Based on the information provided by the applicant, the public input received and the above analysis staff supports approval of the requested Use Permit. This request meets the required criteria and will conform to the conditions.

SHOULD AN AFFIRMATIVE ACTION BE TAKEN ON THIS REQUEST, THE FOLLOWING NUMBERED CONDITIONS OF APPROVAL SHALL APPLY, BUT MAY BE AMENDED BY THE DECISION-MAKING BODY.

CONDITION(S) OF APPROVAL: (Non-standard conditions are identified in bold)

EACH NUMBERED ITEM IS A CONDITION OF APPROVAL. THE DECISION-MAKING BODY MAY MODIFY, DELETE OR ADD TO THESE CONDITIONS.

1. The Use Permit is valid only after a Building Permit has been obtained, the required inspections have been completed and a Final Inspection has been passed.
2. The Use Permit is valid for the plans as submitted within this application. Any additions or modifications may be submitted for review during the building plan check process.
3. The applicant shall contact the City of Tempe Crime Prevention Unit for a security plan within 30 days of this approval. Contact 480-858-6330 before February 9, 2023.
4. Hours of operation to end no later than midnight (12:00 a.m.) on a daily basis.
5. **Prior to the Use Permit becoming effective, the applicant shall process a shared parking model application to account for the proposed change in use from restaurant to bar for Suite Number 102. Any modifications to the standard model shall be based on a professional parking analysis and management study. The shared parking**

model and/or parking analysis and management study are subject to review and approval by the Community Development Department Planning Division and may require an off-site parking affidavit that will also be subject to review, approval, and recordation by the Planning Division.

CODE/ORDINANCE REQUIREMENTS:

THE BULLETED ITEMS REFER TO EXISTING CODE OR ORDINANCES THAT PLANNING STAFF OBSERVES ARE PERTINENT TO THIS CASE. THE BULLET ITEMS ARE INCLUDED TO ALERT THE DESIGN TEAM AND ASSIST IN OBTAINING A BUILDING PERMIT AND ARE NOT AN EXHAUSTIVE LIST.

USE PERMIT:

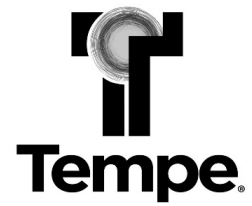
- The Use Permit is valid for GOLDWATER TAP ROOM and may be transferable to successors in interest through an administrative review with the Community Development Director, or designee.
- The use permit approval shall be void if the use is not commenced or if an application for a building permit has not been submitted, whichever is applicable, within twelve (12) months after the use permit is granted or within the time stipulated by the decision-making body.
- The decision-making body, upon finding that the applicant has not taken corrective actions to resolve issues related to the permit/approval and that a continuation of the permit/approval is not in the interest of the public health, safety and general welfare, can revoke the permit/approval after providing written notice of its intentions to the holder of the permit.
- Specific requirements of the **Zoning and Development Code (ZDC)** are not listed as a condition of approval but will apply to any application. To avoid unnecessary review time and reduce the potential for multiple plan check submittals, become familiar with the ZDC. Access the ZDC through <http://www.tempe.gov/zoning> or purchase from Development Services.
- All business signs shall receive a Sign Permit. Contact sign staff at 480-350-8435.
- Any intensification or expansion of use shall require a new Use Permit.
- All required permits and clearances shall be obtained from the Audit and Licensing Division of the City of Tempe prior to the Use Permit becoming effective.
- All required Federal, State, County, and Municipal permits, licenses, and clearances shall be obtained, or the Use Permit is void.

HISTORY & FACTS:

- July 10, 2003 City Council approved the Sixth Amended General Plan of Development and a Final Plan of Development for Phase Four Lot 1 Tempe Crossings II which included a variance to reduce the required south side yard setback along the south property line of Lot 1 from 60 feet to 19 feet for L & G Ray, LLC (SGF-2003.37), located at 9895 South Priest Drive.
- July 28, 2020 Development Review Commission approved a Development Plan Review for a new 5,500 s.f. commercial building for TEMPE CROSSINGS 2 LOT 1, located at 9895 South Priest Drive in the PCC-2 zoning district and within the SWOD, Southwest Tempe Overlay District.

ZONING AND DEVELOPMENT CODE REFERENCE:

- [Section 3-202, Permitted Uses in Commercial and Mixed-Use Districts](#)
- [Section 4-203, Development Standards for Commercial and Mixed-Use Districts](#)
- [Section 6-308, Use Permit](#)
- [Section 6-313, Security Plan](#)



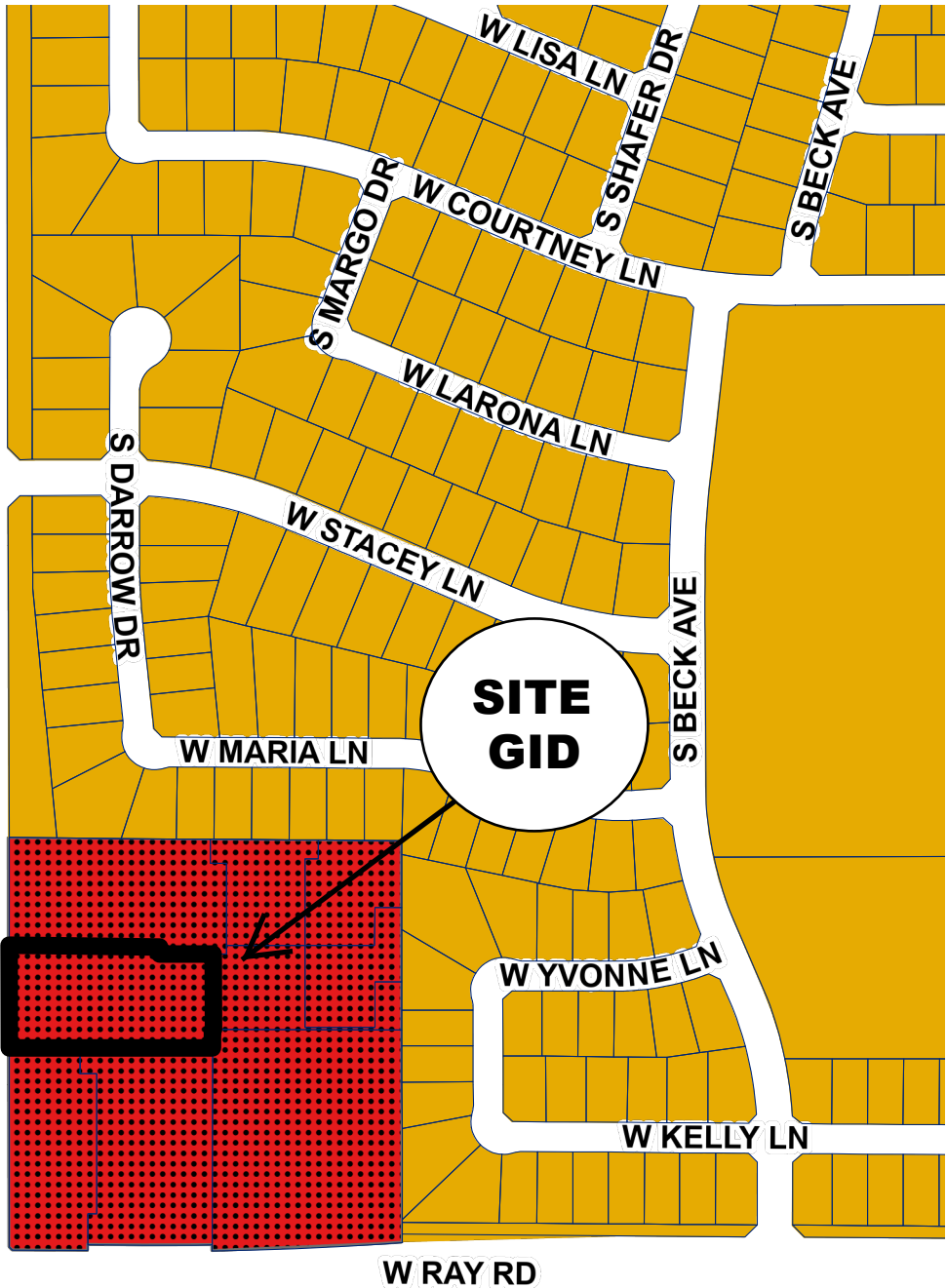
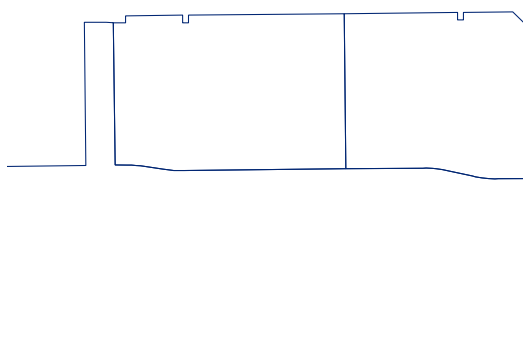
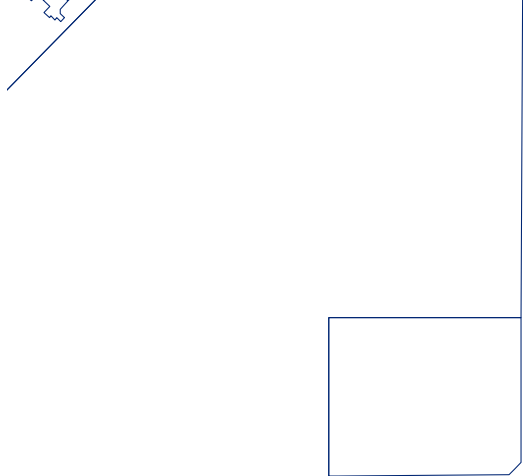
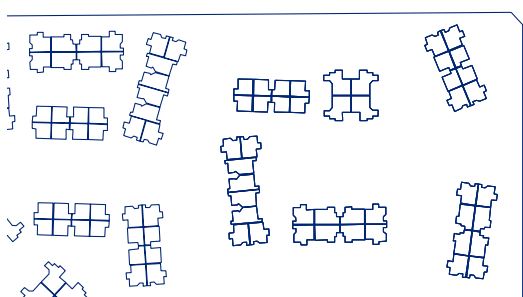
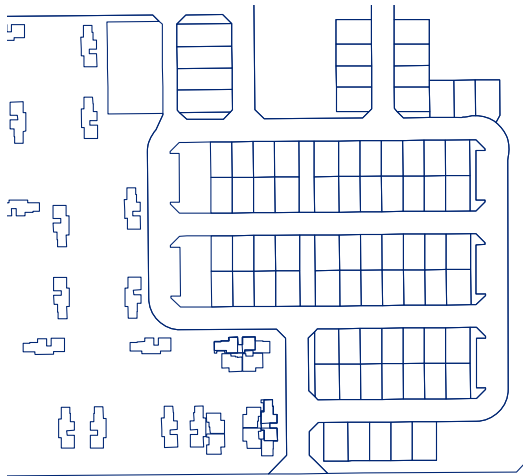
DEVELOPMENT PROJECT FILE
for
GOLDWATER TAP HOUSE
(PL220319)

ATTACHMENTS:

1. Location Map
2. Aerial
3. Letter of Explanation
- 4-5. Site Plan
6. Floor Plan
- 7-9. Site Context Photos
10. Original Site Plan for Pad Building

GOLDWATER TAP HOUSE

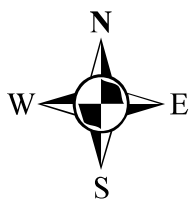
PL220319



- Planned Commercial Center General (PCC-2)
 - Single-Family Residential (R1-6)
 - Parcels
- Twelve Point**
CenterlineSubType
ADOT

- Canal
- Monument
- Private
- Railroad
- Street
- <all other values>

- Zoning District**
- Light Industrial District (LID)
 - General Industrial District (GID)
 - Heavy Industrial District (HID)
 - City Center (CC)
 - Mixed Use Med (MU-2)
 - Mixed Use Med-High (MU-3)



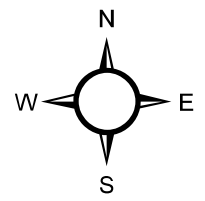
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GOLDWATER TAP HOUSE

PL220319



Aerial Map





6900 E. Camelback Road, Suite 800
Scottsdale, Arizona 85251

November 11, 2022

To: City of Tempe – Planning & Zoning Department

**RE: USE PERMIT - GOLDWATER BREWING COMPANY
LETTER OF EXPANATION FOR PROJECT AT
9895 S. PRIEST DR., SUITE 102, TEMPE, AZ 85284**

This letter is intended to provide an overview of the information required to describe Goldwater's goals and objectives to open a craft beer taproom in Tempe.

Goldwater Brewing Co. is a successful, local family-owned craft beer micro-brewing business operating in Scottsdale, Arizona since 2015 with one successful remote taproom located in Mesa, Arizona since 2020. Our goal is to be able to open another remote taproom at this location in Tempe, with operations very similar to our Mesa taproom to serve our large variety of crafted beers to customers in the south Tempe market in a casual and family friendly environment.

The building at 9895 S. Priest Drive is a new, freestanding building with only one other occupant, Black Rock Coffee in Suite 101. For this project, Goldwater simply seeks to build out the Tenants Improvements and Betterments to support our business plan.

Our operations at this proposed new location in Tempe will primarily be serving craft beers, sodas, ciders and wine to customers for on-premises consumption and carry out. Our focus is to bring and serve Arizona brewed craft beers to customers in this local market in a casual setting to support social engagement and community activities. We will not be brewing beer at this location. We will also not be preparing food at this location, preferring to support other local restaurants and food service providers and encouraging our customers to patronize our neighbor food service businesses and bring their own food as they enjoy our crafted products on our premises.

We will employ at least 6 new employees upon opening. Our hours of operation will be from 1:00pm to 10:00pm Monday through Thursday and 12 noon to 11:00pm on Fridays and Saturdays, with Sundays closing at 8:00pm.

Goldwater Brewing Co. is dedicated to provide a wide variety of locally produced, fresh craft beers that supports the local communities it serves. We believe this new Goldwater Taproom will be a welcome addition to the many local residences, restaurants and entertainment venues in this same area.

Sincerely,

A handwritten signature in black ink that reads "Greg McClelland". The signature is written in a cursive, flowing style.

Greg McClelland
602.320.2317
greg@goldwaterbrewing.com

GOLDWATER TAPROOM FOR: GOLDWATER BREWING CO. 9895 SOUTH PRIEST ROAD STE 102 TEMPE, AZ.

CONTRACTOR: CKZ DESIGN BUILD
TIM COGGINS
4210 NORTH BROWN AVENUE, SUITE "E"
SCOTTSDALE, AZ 85251
OFFICE: 480-553-6287
TIM CELL: 602-318-3900



TENANT: GOLDWATER BREWING CO.
DILLON MCCLELLAND
3608 NORTH SCOTTSDALE ROAD
SCOTTSDALE, AZ 85251
DILLON: 480-229-3676

ARCHITECT: DESIGN PROFESSIONALS, llc
JOHN C. MANROSS, ARCHITECT
4542 EAST MCKELLIPS RD, STE. 101
MESA, AZ 85215
PHONE: 480-894-1680
FAX: 480-894-2529
EMAIL: john@chllc.com

GENERAL NOTES:

- GOVERNING BUILDING CODES:
ALL CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING CODES AND AMENDMENTS PER THEIR ADOPTING ORDINANCES:
2018 INTERNATIONAL BUILDING CODE (IBC)
2018 INTERNATIONAL MECHANICAL CODE (IMC)
2018 INTERNATIONAL PLUMBING CODE (IPC)
2017 NATIONAL ELECTRICAL CODE (NEC)
2018 INTERNATIONAL FUEL GAS CODE (IFGC)
2018 INTERNATIONAL ENERGY CODE (IECC)
2018 INTERNATIONAL FIRE CODE (IFC)
2009 IGC/ANSI A117.1 ACCESSIBILITY STANDARDS
- CITY OF TEMPE BUILDING & CONSTRUCTION CODE
- CONTRACTOR IS RESPONSIBLE FOR REVIEWING THE DRAWINGS FOR ANY ERRORS OR OMISSIONS, SPEC. OR OTHER DOCUMENTS. THE SUBCONTRACTOR SHALL NOTIFY BUILDER AND BIDDING SHALL NOTIFY ARCHITECT IN WRITING OF SUCH OMISSIONS OR ERRORS PRIOR TO PROCEEDING WITH WORK. IF ANY DISCREPANCY OR QUESTION IN EVENT OF THE SUBCONTRACTORS FAILURE TO GIVE SUCH NOTICE, HE SHALL BE HELD RESPONSIBLE FOR THE RESULT OF ANY SUCH ERRORS OR OMISSIONS AND THE COST OF RECTIFYING THE SAME. THE SUBCONTRACTOR SHALL HAVE ALL ITEMS OR DETAILS CLARIFIED BY THE BUILDER PRIOR TO SUBMITTING A BID, OTHERWISE THE BUILDER'S INTERPRETATION SHALL BE FINAL.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS AND SIMILAR RELEASES REQUIRED FOR CONSTRUCTION AND OCCUPANCY. CONTRACTOR SHALL FURNISH COPIES OF ALL SUCH ITEMS TO THE OWNER AND ARCHITECT WITHIN 10 DAYS OF RECEIPT. IF PERMITS ARE ISSUED SUBJECT TO CONDITIONS OR REVISIONS TO THE WORK OR IF PERMITS ARE DELAYED FOR ANY REASON, CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY IN WRITING.
- CONTRACTOR SHALL MAINTAIN A RECORD COPY OF APPROVED DRAWINGS ON SITE AT ALL TIMES.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PROPERTY LINES, BUILDING LINES, FINISH FLOOR ELEVATIONS, AND ALL UTILITY TIES AND COORDINATION PRIOR TO CONSTRUCTION.
- THE STARTING OF WORK BY ANY CONTRACTOR OR SUBCONTRACTOR SHALL BE CONSIDERED PRIMA FACIE EVIDENCE THAT HE HAS REVIEWED AND ACCEPTED ALL CONDITIONS INVOLVED IN HIS WORK AND THESE THEM SATISFACTORY.
- CONTRACTOR SHALL NOT SCALE DRAWINGS, ONLY WRITTEN DIMENSIONS OR NOTED NOTES SHALL BE USED. CONTACT ARCHITECT IF CLARIFICATIONS OR ADDITIONAL INFORMATION IS NEEDED.
- ALL PRODUCTS LISTED BY ICG NUMBERS SHALL BE INSTALLED PER THE PERMIT AND MANUFACTURER'S WRITTEN INSTRUCTIONS. PRODUCT SUBSTITUTIONS FOR PRODUCTS LISTED SHALL ALSO HAVE ICG APPROVED EVALUATION REPORTS OR BE APPROVED.
- THESE DRAWINGS ARE SCHEMATIC IN NATURE. MODIFICATIONS IN DIMENSIONS, PIPING, CONDUIT AND WIRING MAY BE REQUIRED TO ACCOMMODATE ACTUAL FIELD CONDITIONS.
- DIMENSIONS ARE AS FOLLOWS UNLESS NOTED OTHERWISE:
A) TO FACE OF STUD WALL.
B) TO CENTERLINE OF DOORS AND WINDOWS.
C) TO TOP OF STRUCTURAL FLOOR.
D) TO FACE OF STUD WALL.

CONSULTANTS:

MECHANICAL & PLUMBING ENGINEER
MILLIGAN ENGINEERS, LLC
1000 WEST ROOSEVELT STREET #104
SCOTTSDALE, AZ 85250
CONTACT: DAVID MILLIGAN
602-551-0845

ELECTRICAL ENGINEER
ENCO ENGINEERING, INC.
3204 KAMEY DRIVE
TEMPLE, TX 76782
CONTACT: MARTIN WIDEMAKER
480-644-8528

FIRE CODE NOTES:

REQUIRED FIRE APPARATUS ACCESS ROAD DURING CONSTRUCTION OR DEMOLITION. THE ACCESS ROAD SHALL BE A MINIMUM OF 20 FEET WIDE AND SHALL BE AN ALL-WEATHER DRIVING SURFACE, GRADED TO DRAIN STANDING WATER AND ENGINEERED TO BEAR THE IMPOSED LOADS OF FIRE APPARATUS (TWO (2) 150,000 LBS PER AXLE) WHEN ROADS ARE MET. FOR EXAMPLE, A MINIMUM OF SIX (6) INCHES OF ABC COMPACTED TO 50K OVER AN APPROVED BASE WOULD MEET THE REQUIREMENT.

THE ACCESS ROAD SHALL EXTEND TO WITHIN 200 FEET OF ANY COMBUSTIBLE MATERIALS AND/OR ANY LOCATION ON THE SITE WHERE ANY ACTIVITIES SHALL BE PERFORMED FOR A MINIMUM OF FOUR (4) CONTIGUOUS HOURS IN ANY DAY. A CLEARLY VISIBLE SIGN MARKED WIRE CONDUIT ACCESS TO THE ACCESS ROAD SHALL BE PROVIDED AT THE ENTRY TO THE ACCESS ROAD.

ALL OPEN TRENCHES SHALL HAVE PLATES CAPABLE OF MAINTAINING THE INTEGRITY OF THE ACCESS ROAD DESIGN WHEN THESE TRENCHES CROSS AN ACCESS ROAD. THESE ACCESS ROADS MAY BE TEMPORARY OR PERMANENT. THIS POLICY APPLIES ONLY DURING CONSTRUCTION AND/OR DEMOLITION. PERMANENT ACCESS FOR THE TEMPE FIRE CODE SHALL BE IN PLACE PRIOR TO ANY FINAL INSPECTION OR CERTIFICATE OF OCCUPANCY (FCO CHAPTER 14).

WATER SUPPLY FOR FIRE PROTECTION. AN APPROVED WATER SUPPLY FOR CONSTRUCTION SITE SHALL MEET THE REQUIREMENTS OF APPENDIX CHAPTERS B AND C. THE MINIMUM FLOW REQUIREMENT WHEN CONTRACTOR OR DEVELOPER BRINGS COMBUSTIBLE MATERIALS ON SITE IS 1500 GPM AT 25 PSI. AT LEAST ONE FIRE HYDRANT SHALL BE WITHIN 500 FEET OF ANY COMBUSTIBLE MATERIAL AND CAPABLE OF DELIVERING THE MINIMUM FLOW REQUIREMENT. THIS HYDRANT OR HYDRANTS MAY BE EITHER TEMPORARY OR PERMANENT AS THE PROJECT SCHEDULE PERMITS.

IN ADDITION, THERE ARE TIMES WHEN HYDRANTS AND VALVES MUST BE CLOSED TEMPORARILY FOR REPAIR WORK OR CONSTRUCTION OF THE WATER SYSTEM. THE DEVELOPER/CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT THE WATER SUPPLY IS AVAILABLE AT ALL TIMES. WHEN THE WORK IS COMPLETE, THE DEVELOPER/CONTRACTOR SHALL MAKE SURE THE FIRE HYDRANTS ARE ACTIVE AND THE VALVES ARE OPEN. IFC CHAPTER 14.

COMPLIANCE IS REQUIRED WITH ALL PROVISIONS AND REQUIREMENTS OF IFC CHAPTER 80, SAFETY DURING CONSTRUCTION AND IFC CHAPTER 14 AND NFPA 241, FIRE SAFETY DURING CONSTRUCTION AND DEMOLITION.

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SYMBOLS LEGEND:

- DATUM POINT
- SECTION CUT
- DETAIL FLAG
- COLUMN LINE
- DOOR TYPE
- WINDOW TYPE
- WALL TYPE
- KEY NOTE
- STEP SYMBOL
- REVISION DELTA
- BATT INSULATION
- EXISTING WALL
- FOAM INSULATION
- STUD WALL
- MASONRY
- STEEL
- CONCRETE
- ABC FILL
- EARTH

ABBREVIATIONS:

- | | |
|-----------------------------|------------------------|
| AMB - ANCHOR BOLT | HM - HOLLOW METAL |
| AC - AIR CONDITIONER | HC - HANDICAP |
| AFF - ABOVE FINISH FLOOR | HE - HOSE ENDS |
| BM - BEAM | HORIZ - HORIZONTAL |
| BOLH - BOTTOM OF BEAM | INSUL - INSULATION |
| CL - CENTERLINE | LAV - LAVATORY |
| CMU - CONCRETE MASONRY UNIT | MAS - MASONRY |
| CONT - CONTINUOUS | NET - NETTING |
| DE - DRAINAGE | MIN - MINIMUM |
| DET - DETAIL | MINUTE - MINUTE |
| DIA - DIAMETER | NO - NUMBER |
| DIM - DIMENSION | ON - ON CENTER |
| EACH - EACH | OPP - OPPOSITE |
| ELEV - ELEVATION | OS - OPERABLE WALL |
| ELEC - ELECTRIC | RM - ROOM |
| EQ - EQUAL | SC - SOLID CORE |
| EXT - EXTERIOR | SGH - SCHEDULE |
| EXT - EXTERIOR | SECT - SECTION |
| EXT - EXTERIOR | SF - SQUARE FOOT, FEET |
| EXT - EXTERIOR | SIM - SIMILAR |
| EXT - EXTERIOR | SPEC - SPECIFICATION |
| EXT - EXTERIOR | STL - STEEL |
| EXT - EXTERIOR | SUP - SUPPLEMENT |
| EXT - EXTERIOR | TOP - TOP OF PARAPET |
| EXT - EXTERIOR | TOP - TOP OF WALL |
| EXT - EXTERIOR | TS - TUBE STEEL |
| EXT - EXTERIOR | TYP - TYPICAL |
| EXT - EXTERIOR | VERT - VERTICAL |
| EXT - EXTERIOR | VD - VOID |
| EXT - EXTERIOR | WH - WATER HEATER |
| EXT - EXTERIOR | WO - WITHOUT |
| EXT - EXTERIOR | HT - HEIGHT |

PROJECT INFO:

PROJECT DESCRIPTION: A TENANT IMPROVEMENT AT TEMPE CROSSINGS TO CONVERT EXISTING SHELL SPACE TO AN ASSEMBLY USE FOR A TAPROOM (Tavern & Bar)

ZONING: PCG-2 / SH40D

SITE ADDRESS: 9045 SOUTH PRIEST ROAD #102 TEMPE, AZ 85264

ASSESSORS PARCEL #: 308-16-046

OCCUPANCY: MIXED OCCUPANCY - A2, B

CONSTRUCTION TYPE: VB, SPRINKLERED

BUILDING AREA: 5,817 S.F.

OCCUPANT LOAD CALC.: A2 OCC. BAR SEATING, 10MT SF / 15 = 126.46 OCC.
A3 OCC. PATIO, 100 SF / 14 = 7.14 OCC.
B OCC. BACK BAR, UTILITY, RESTROOMS 1560 SF / 100 = 15.6 OCC.
TOTAL OCC. LOAD = 138.20 OCCUPANTS

MINIMUM PLUMBING FIXTURES: 18 OCCUPANTS / 2 = 90 MALE & 90 FEMALE
WATER CLOSETS - 1 PER 40 = 3 MALE & 3 FEMALE
LAVS - 1 PER 75 = 2 MALE & 2 FEMALE
SERVICE SINK - 1

PLUMBING FIXTURES PROVIDED: WATER CLOSETS - 3 MALE, SUBSTITUTE 2 WATER CLOSET WITH URINAL
WATER CLOSETS - 3 FEMALE
LAVS - 2 MALE & 2 FEMALE
SERVICE SINK - 1

REQUIRED EXITS: 2 EXITS REQUIRED PER TABLE 1001.1

EXIT TRAVEL DISTANCE: 400FT RESTRICTIVE EXIT TRAVEL DISTANCE 250'-0" PER TABLE 1001.6

EXISTING BUILDING HEIGHT: 1 STORY

PARKING: EXISTING PARKING PROVIDED - NO CHANGE

SITE AREA: 57,206 S.F. OR 1.31 ACRES

PREVIOUS PERMITS:

TEMPE CROSSINGS 2, LOT 1
CORE & SHELL BUILDING
05050206 - 05050207

SHEET INDEX:

	COVER SHEET
A1	SITE PLAN
A2	FLOOR PLAN
A3	DETAILS & DOOR SCHEDULE
A4	REFLECTED CEILING PLAN
MP0.1	GENERAL NOTES
MP2.1	MECHANICAL FLOOR PLAN
MP3.1	MECHANICAL DETAILS
P-2.1	WASTE & VENT DIAGRAM
P-3.1	PLUMBING FLOOR PLAN
P-4.1	PLUMBING SCHEDULES
E1	POWER PLAN
E2	LIGHTING PLAN
E3	HVAC POWER PLAN
E4	ONE LINE DIAGRAM
E5	ELECTRICAL SPECIFICATIONS
C-102	SITE PLAN - PREVIOUS PERMIT (REFERENCE ONLY)

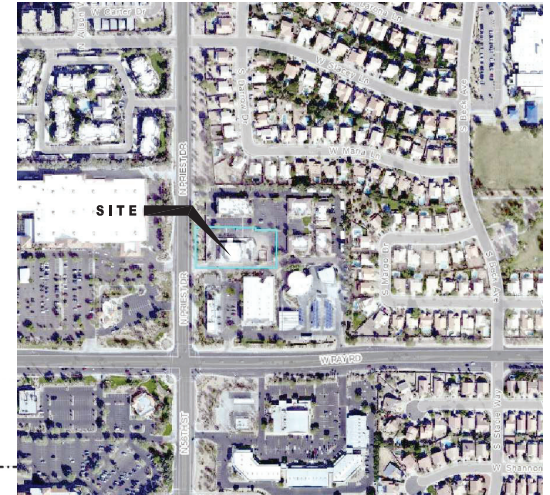
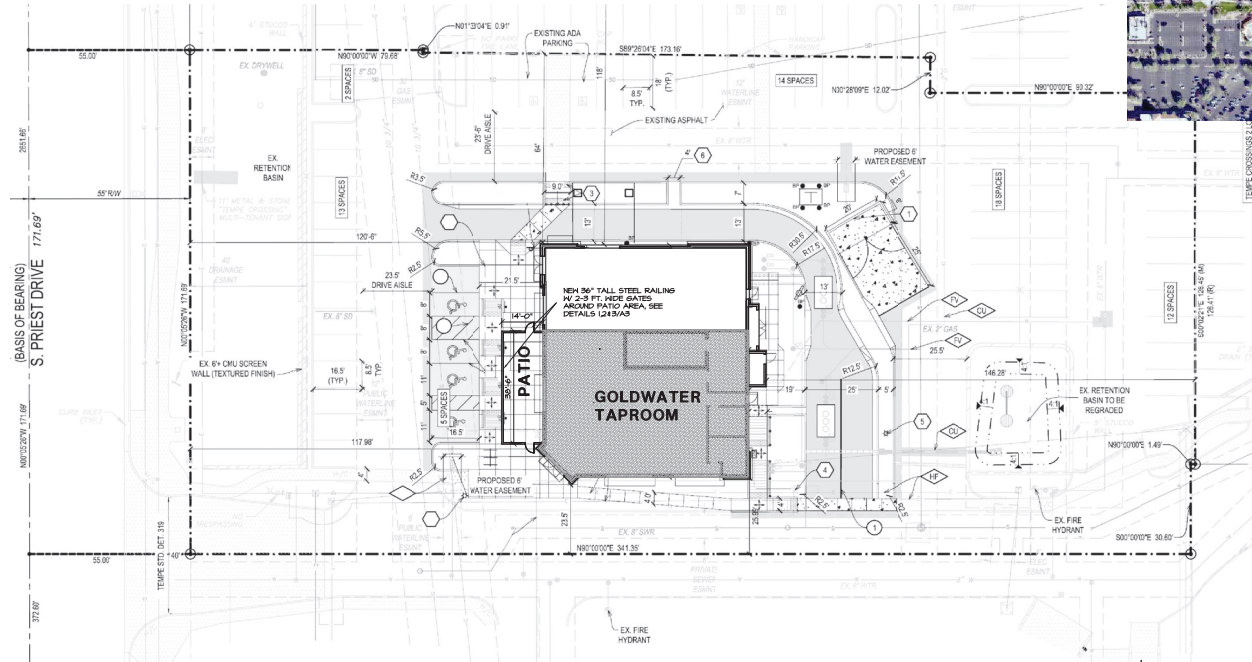


REVISIONS

PROJECT NO

2223

SITE PLAN FOR: GOLDWATER TAPROOM TEMPE CROSSINGS 2 LOT1 TEMPE, ARIZONA

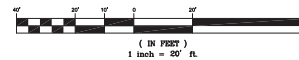


VICINITY MAP
SCALE: NONE
NORTH

SITE PLAN

SCALE: 1" = 20'-0"

GRAPHIC SCALE

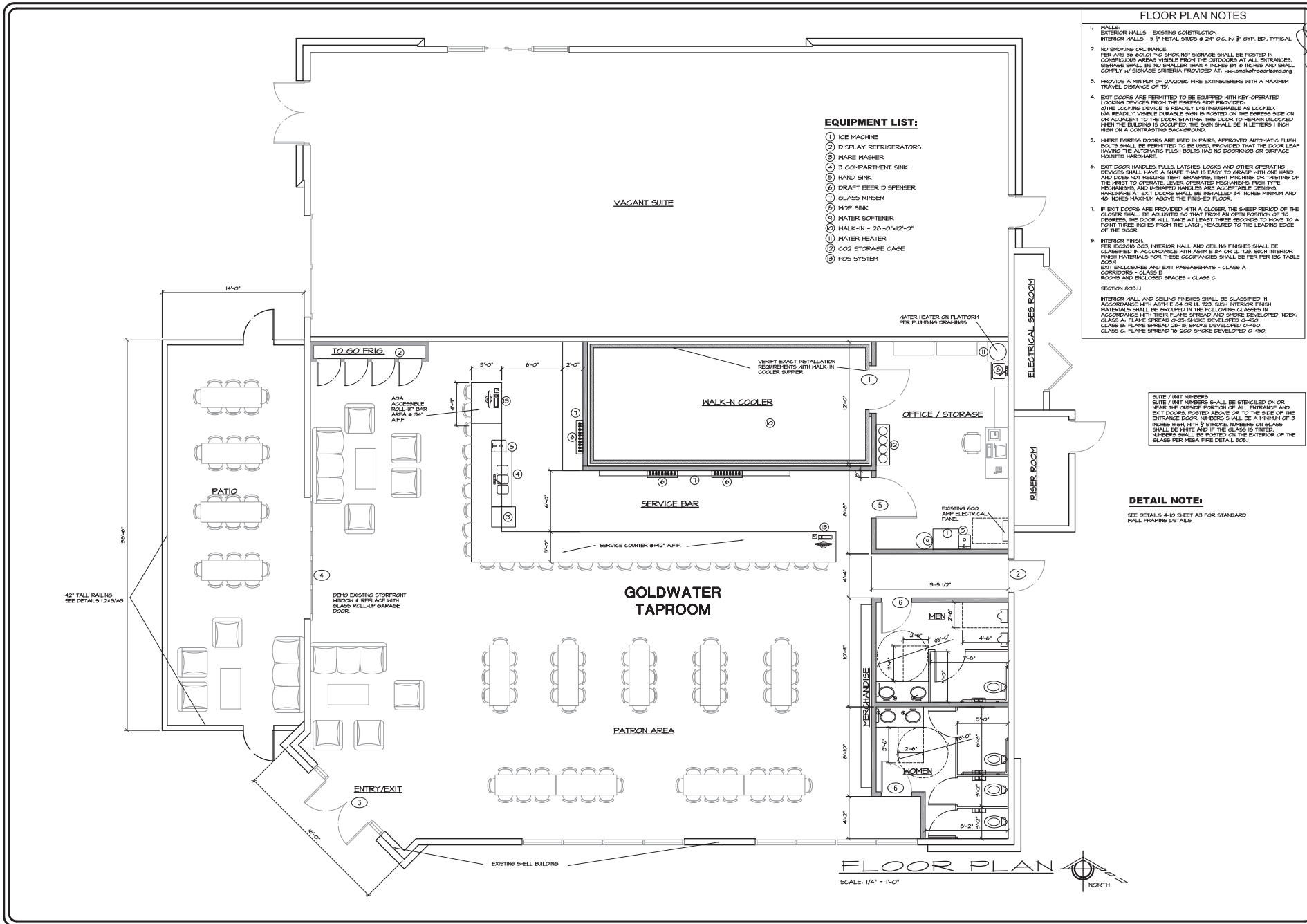


DESIGN T-480-894-1680 F-480-894-2529
PROFESSIONALS.L.L.C.
 4542 E. McKellips Rd., STE. 101, MESA, AZ 85215

GOLDWATER TAPROOM
 FOR: GOLDWATER BREWING CO.
 4845 SOUTH PRIEST ROAD #102 TEMPE, AZ.

SHEET AI
SITE PLAN
 DATE 11-1-22 **DWN BY** jm

PROJECT NO
 2223



- EQUIPMENT LIST:**
- ① ICE MACHINE
 - ② DISPLAY REFRIGERATORS
 - ③ WARE WASHER
 - ④ 3 COMPARTMENT SINK
 - ⑤ HAND SINK
 - ⑥ DRAFT BEER DISPENSER
 - ⑦ GLASS RINSER
 - ⑧ MOP SINK
 - ⑨ WATER SOFTENER
 - ⑩ WALK-IN - 28'-0"X12'-0"
 - ⑪ WATER HEATER
 - ⑫ CO2 STORAGE CAGE
 - ⑬ POS SYSTEM

FLOOR PLAN NOTES

- HALLS: EXTERIOR HALLS - EXISTING CONSTRUCTION. INTERIOR HALLS - 5 1/2" METAL STUDS @ 24" O.C. W/ 1" @ 1" BD. TYPICAL.
- NO SMOKING ORDINANCE: FIRE AND 30-SEC/10' NO SMOKING SIGNAGE SHALL BE POSTED IN CONSPICUOUS AREAS VISIBLE FROM THE OUTDOORS AT ALL ENTRANCES. SIGNAGE SHALL BE NO SMALLER THAN 6 INCHES BY 6 INCHES AND SHALL COMPLY W/ SIGNAGE CRITERIA PROVIDED AT: www.mokafireaction.org
- PROVIDE A MINIMUM OF 2A/20BC FIRE EXTINGUISHERS WITH A MAXIMUM TRAVEL DISTANCE OF 75'
- EXIT DOORS ARE PERMITTED TO BE EQUIPPED WITH KEY-OPERATED LOCKING DEVICES FROM THE EXTERIOR SIDE PROVIDED: OTHER LOCKING DEVICE IS READILY DISTINGUISHABLE AS LOCKED. VIA READILY VISIBLE DURABLE SIGN IS POSTED ON THE EXTERIOR SIDE OR ADJACENT TO THE DOOR STATION. THIS DOOR TO REMAIN UNLOCKED WHEN THE BUILDING IS OCCUPIED. THE SIGN SHALL BE IN LETTERS 1 INCH HIGH ON A CONTRASTING BACKGROUND.
- WHERE EGRESS DOORS ARE USED IN PAIRS, APPROVED AUTOMATIC FLUSH BOLTS SHALL BE PERMITTED TO BE USED PROVIDED THAT THE DOOR LEAF HAVING THE AUTOMATIC FLUSH BOLTS HAS NO DOORCLOSURE OR SURFACE MOUNTED HARDWARE.
- EXIT DOOR HANDLES, KILLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, TIGHT PRICING OR TWISTING OF THE WRIST TO OPERATE. LEVER-OPERATED MECHANISMS, PUSH-TYPE MECHANISMS AND L-shaped HANDLES ARE ACCEPTABLE DESIGNS. HARDWARE AT EXIT DOORS SHALL BE INSTALLED 34 INCHES MINIMUM AND 40 INCHES MAXIMUM ABOVE THE FINISHED FLOOR.
- IF EXIT DOORS ARE PROVIDED WITH A CLOSER, THE SHEET PERIOD OF THE CLOSER SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90 DEGREES, THE DOOR WILL TAKE AT LEAST THREE SECONDS TO MOVE TO A POINT THREE INCHES FROM THE LATCH, MEASURED TO THE LEADING EDGE OF THE DOOR.
- INTERIOR FINISH: PER ICC2016 903, INTERIOR WALL AND CEILING FINISHES SHALL BE CLASSIFIED IN ACCORDANCE WITH ASTM E 84 OR UL 125. SIGN INTERIOR FINISH MATERIALS FOR THESE OCCUPANCIES SHALL BE PER PER IBC TABLE 507.4. EXIT ENCLOSURES AND EXIT PASSAGEWAYS - CLASS A. CORRIDORS - CLASS B. ROOMS AND ENCLOSED SPACES - CLASS C.

SECTION 903.1:
INTERIOR WALL AND CEILING FINISHES SHALL BE CLASSIFIED IN ACCORDANCE WITH ASTM E 84 OR UL 125. SIGN INTERIOR FINISH MATERIALS SHALL BE GROUPED IN THE FOLLOWING CLASSES IN ACCORDANCE WITH THEIR FLAME SPREAD AND SMOKE DEVELOPED INDEX:
CLASS A: FLAME SPREAD 0-25, SMOKE DEVELOPED 0-450.
CLASS B: FLAME SPREAD 26-75, SMOKE DEVELOPED 450-900.
CLASS C: FLAME SPREAD 76-200, SMOKE DEVELOPED 900-1800.

DETAIL NOTE:

SEE DETAILS 4-10 SHEET A3 FOR STANDARD WALL FRAMING DETAILS

SUITE / UNIT NUMBERS SHALL BE STENCILED ON OR NEAR THE OUTSIDE PORTION OF ALL ENTRANCE AND EXIT DOORS, POSTED ABOVE OR TO THE SIDE OF THE ENTRANCE DOOR. NUMBERS SHALL BE A MINIMUM OF 3 INCHES HIGH WITH 1/2" STROKE. NUMBERS ON GLASS SHALL BE WHITE AND IF THE GLASS IS TINTED, NUMBERS SHALL BE POSTED ON THE EXTERIOR OF THE GLASS PER IBC FIRE DETAIL 3001.

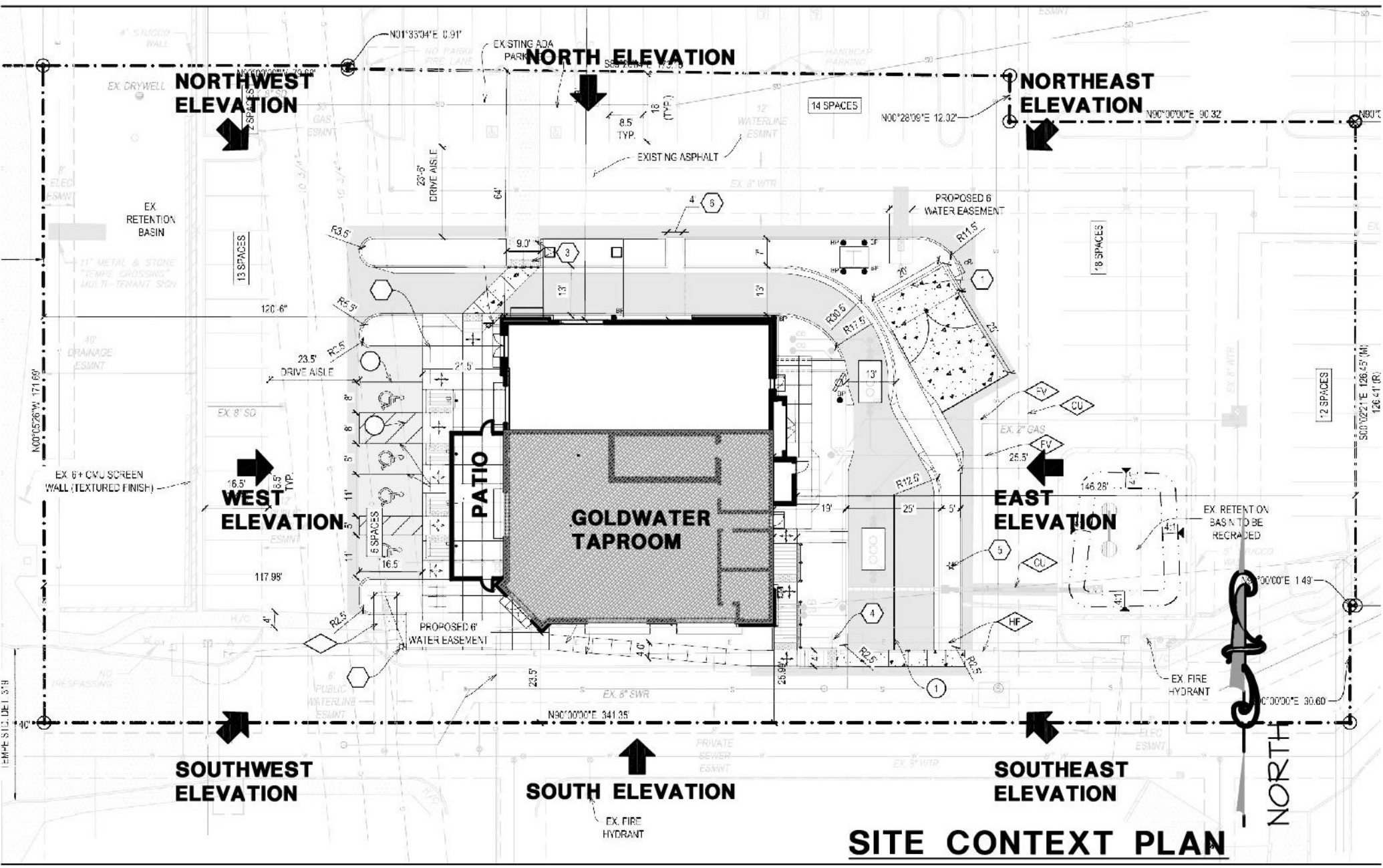


DESIGN T-480-894-1680 F-480-894-2529
PROFESSIONAL S.L.L.C.
 4542 E. MCKELLIPS RD., STE. 101, MESA, AZ 85215

GOLDWATER TAPROOM
 FOR: GOLDWATER BREWING CO.
 4845 SOUTH PRIEST ROAD #102 TEMPE, AZ.

SHEET A2
 FLOOR PLAN
 DATE 11-11-22 DWN. BY jm

PROJECT NO
 2223



SITE CONTEXT PLAN



NORTH ELEVATION



NORTHEAST ELEVATION



EAST ELEVATION



SOUTHEAST ELEVATION



SOUTH ELEVATION



SOUTHWEST ELEVATION



WEST ELEVATION



NORTHWEST ELEVATION



PARADIGM DESIGN ARCHITECTS | ENGINEERS

4650 E. Cotton Center Blvd., Suite 110 Phoenix, AZ 85004 (602) 374-0055

Grand Rapids | Phoenix | Traverse City www.paradigmaz.com

JOB #: 190136PH FIRM #: 2268 (EXP 8/13/2021)



WILLES M. HADLOCK, P.E. ALL INFORMATION SUBJECT TO THE PROFESSIONAL ENGINEER ACT STATE OF ARIZONA, U.S.A. EXPIRES 08/30/2028

PROJECT

TEMPE CROSSINGS 2 LOT 1

9895 SOUTH PRIEST DRIVE TEMPE, AZ 85284

RELEASE DATE

DATE	DESCRIPTION
06/20/20	1ST PLAN REVIEW SUBMITTAL
07/02/20	2ND SUBMITTAL BUILDING PERMIT
08/10/20	CITY RESUBMITTAL & ADDENDUM A

PROJECT

190136PH

SHEET

SITE LAYOUT PLAN

C-102

DS# 20092505#001051 SW2154

SITE DATA

TEMPE CROSSINGS 2 LOT 1
895 S. PRIEST DR., TEMPE, AZ 85284
APN008-16-048
TOTAL PROPOSED BUILDING AREA+ 5,500 SFT
NORTH SPACE-2,000 SFT USE: RESTAURANT
SOUTH SPACE-3,500 SFT USE: RESTAURANT/COMMERCIAL
SITE: 1.31 ACRES (NET)
ZONED: PCC-2 (5/00)
BUILDING TYPE: 1-B
(BUILDING TO BE SPRINKLED)
MAXIMUM BUILDING HEIGHT: 40'
PROPOSED BUILDING HEIGHT: 33'-11" (14')
MAXIMUM LOT COVERAGE: 50%
PROPOSED LOT COVERAGE: 50.6% (5,500 SFT)
MINIMUM LANDSCAPE AREA: 15%
LANDSCAPE AREA PROVIDED: 19% (1,050 SFT)
LANDSCAPE AREA IN P.O.D. (EXISTING): 1,500 SFT
FRONT BUILDING SETBACK REQUIRED: 6'-0"
PROPOSED FRONT BUILDING SETBACK: 118'-0"
REQUIRED FRONT PARKING SETBACK: 30'
PROPOSED FRONT PARKING SETBACK: 30'
REQUIRED SOUTH SIDE BUILDING SETBACK: 30'
PROPOSED SOUTH SIDE BUILDING SETBACK: 23'-0"
REQUIRED NORTH SIDE BUILDING SETBACK: 30'
PROPOSED NORTH BUILDING SETBACK: 44'-0"
REQUIRED REAR BUILDING SETBACK: 30'
PROPOSED REAR BUILDING SETBACK: 146'-4"

APPROVED VARIANCES PER SGF-2003.37:
REDUCE THE MINIMUM REQUIRED SIDE YARD BUILDING SETBACK ALONG THE SOUTH PROPERTY LINE OF LOT 1, FROM 60 TO 18 FEET.

PARKING DATA
SEE OVERALL TEMPE CROSSINGS 2 SHARED PARKING TABLE AND THE SHARED PARKING AGREEMENT DESCRIBED IN THE CENTER'S COARS FOR COMPLETE PARKING INFORMATION)

PARKING TABLE	PARKING TOTALS
USE: RESTAURANT (1 PER 75 SFT)	5,411 SPT (NET)
PARKING REQUIRED TOTAL	SPACES 73
ACCESSIBLE REQUIRED	SPACES 4
PARKING PROVIDED	SPACES 64
STANDARD	SPACES 58
ACCESSIBLE	SPACES 6
BICYCLE PARKING REQUIRED	SPACES 6
BICYCLE PARKING PROVIDED	SPACES 6

OVERALL TEMPE CROSSINGS 2 SHARED PARKING TABLE:

DESCRIPTION	UNIT	LOT 1	LOT 2	LOT 3	LOT 4	LOT 5	LOT 6	TOTALS
SITE AREA	SFT	57,296	67,543	24,209	24,675	21,418	25,699	220,750
BUILDING AREA	SFT	5,535	8,440	5,070	5,070	5,070	5,070	34,220
LOT COVERAGE	%	9.6%	12.5%	21%	20.5%	23.6%	19.7%	16%
BUILDING HEIGHT	FT.	33'-11" (14')	31'-5"	24'	24'	-	-	-
NUMBER OF STORES		1	1	1	1	1	1	6
TOTAL PARKING REQUIRED	SPACES	73	111	20	20	20	20	384
RESTAURANT (NET AREA)	SFT	5,471	8,740					12,211
OFFICE (NET AREA)	SFT		5,000	5,000	5,000	5,000		20,000
BANK (NET AREA)	SFT	3,700						3,700
EXCESSIBLE REQUIRED	SPACES	3	3	1	1	1	1	12
STANDARD REQUIRED	SPACES	73	111	20	20	20	20	352
TOTAL PARKING PROVIDED	SPACES	64	112	24	23	23	22	288
STANDARD PROVIDED	SPACES	61	107	22	21	21	20	252
ACCESSIBLE	SPACES	4	2	2	2	2	2	18
BICYCLE PARKING REQUIRED	SPACES	6	11	2	2	2	2	25
BICYCLE PARKING PROVIDED	SPACES	6	12	2	2	2	2	28

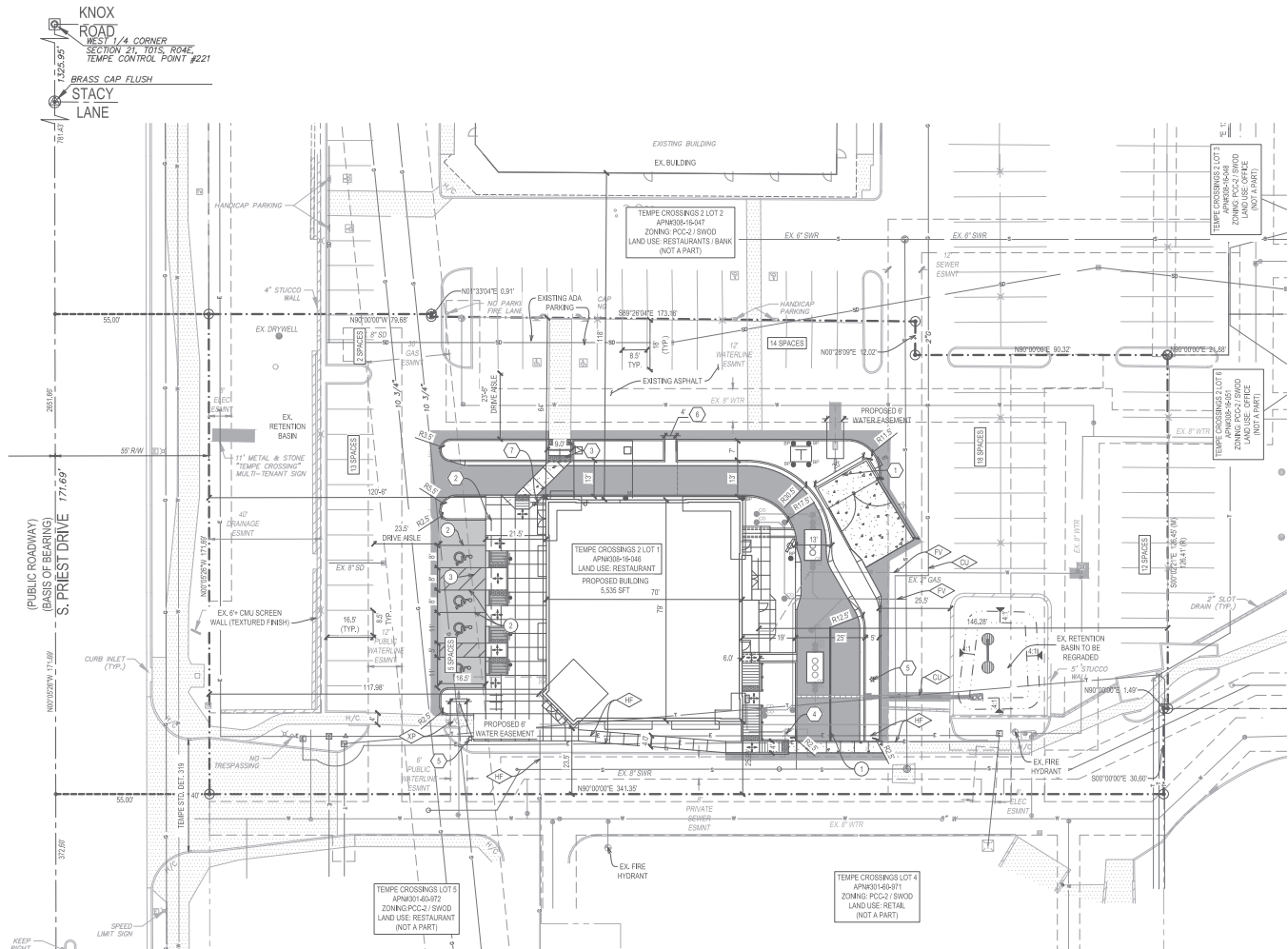
LEGEND

- LANDING AREA
- MENU BOARD BY OTHERS
- BUMP POST PER MAG STD. DET. 140 TYPE 1
- INSTALL PRECAST 5'X7'X90" CONCRETE TRANSFORMER PAD
- INSTALL BARRIER FREE SIGNAGE PER C.O.T. STD. DET. T-800
- CONSTRUCT BARRIER FREE PARKING SPACE
- CONSTRUCT ADA ACCESSIBLE RAMP WITH DETECTABLE WARNING STRIP PER C.O.T. STD. DET. T-348 AND DETAIL #2 SHEET C-501.
- INSTALL BIKE RACK PER C.O.T. STD. DET. T-578, (6 SPACES), PAINTED BLACK.
- INSTALL SAFETY RAIL PER MAG STD. DET. 143.
- FOOD BIN
- CONSTRUCT CURB TRANSITION PER MAG STD. DET. 221.
- PROPOSED CURB PER MAG STD. DET. 222, TYPE A
- PROPOSED CURB AND GUTTER PER MAG STD. DET. 220+ TYPE A
- ROLLED CURB PER MAG STD. DET. 229-2, TYPE C
- PROPERTY LINE
- EXISTING WATER
- EXISTING SEWER
- EXISTING ELECTRIC
- CONCRETE SIDEWALK PER MAG STD. DET. 230
- CONSTRUCT 3" A.C. ON 4" A.B.C. ON PREPARED SUBGRADE PER THE GEOTECHNICAL REPORT FOR DRIVE LANES.
- CONSTRUCT 7" A.C. ON 4" A.B.C. ON PREPARED SUBGRADE PER THE GEOTECHNICAL REPORT FOR PARKING AREAS.
- CONSTRUCT 7" PCCP ON 4" A.B.C. ON PREPARED SUBGRADE PER THE GEOTECHNICAL REPORT.

NOTE: THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES, CONDUITS OR STRUCTURES SHOWN ON THESE PLANS WAS OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN ON THESE DRAWINGS. THE CONTRACTOR FURTHER ASSUMES ALL LIABILITY AND RESPONSIBILITY FOR THE UTILITY PIPES, CONDUITS AND STRUCTURES SHOWN OR NOT SHOWN ON THESE DRAWINGS. THE CONTRACTOR SHALL POTENTIAL ALL EXISTING UTILITIES TO VERIFY THE LOCATION AND ANY DISCREPANCY BETWEEN THE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER.

ARIZONA
Soil 8011 or other approved system

SCALE: 1"=20'



GENERAL NOTES:

REFER TO ARCHITECTURAL FOUNDATION PLAN FOR DETAILING OF BUILDING AND EXACT BUILDING DIMENSIONS.

REFER TO LANDSCAPE PLAN FOR RESTORATION OF ALL NON PAVED SURFACES.

ALL DIMENSIONS SHOWN TO CONCRETE CURB AND GUTTER ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.

CONCRETE GUTTER PAV TO TIP IN THE SAME DIRECTION AS THE ADJACENT PAVEMENT.

ALL PAVEMENT MARKINGS SHALL BE 4" WIDE. STANDARD PARKING SPACES SHALL BE MARKED IN WHITE AND BARRIER FREE SPACES IN BLUE. EACH BARRIER FREE SPACE SHALL BE PROVIDED WITH A PAINTED PAVEMENT SYMBOL, A PRECAST CONCRETE BUMPER BLOCK, AND A SIGN PER THE MANUAL OF UNIFORM TRAFFIC CONTROL.

TRAFFIC CALMING DEVICES SHALL BE PROHIBITED UNLESS APPROVED BY THE FIRE CODE OFFICIAL.

ALL BARRIER FREE SPACES ARE NOT TO EXCEED 2% IN ANY DIRECTION.

- GENERAL KEYNOTES:**
- CONSTRUCT DOUBLE REFUSE ENCLOSURE PER C.O.T. STD. DET. 05-16. NO CENTER BOLLARD, SEE ARCHITECTURAL PLANS FOR DETAILS.
 - CONSTRUCT CONCRETE SIDEWALK WITH TURNSIDE EDGE PER DETAIL #1 SHEET C-501.
 - CONSTRUCT CONCRETE FLUSH WITH PAVEMENT. INSTALL ADA DETECTABLE WARNING PER C.O.T. STD. DET. T-326.
 - PROTECT IN PLACE EXISTING SITE LIGHTING-SEE MEP PLANS FOR DETAILS.
 - INSTALL RELOCATED SITE LIGHTING-SEE ELECTRICAL PLANS FOR DETAILS.
 - CONSTRUCT CONCRETE CURB OPENING-IN/OUT PER PLAN.
 - INSTALL 42" TALL PROTECTIVE BARRIER RAILING PAINTED BLACK.

- SIGNAGE KEYNOTES:**
- MENU BOARD BY OTHERS
- STRIPING KEYNOTES:**
- 4" SOUID WHITE PAINT STRIPE
 - 4" SOUID BLUE PAINT STRIPE
 - 4" SOUID BLUE PAINT STRIPE AT 2.0 C.

- GENERAL KEYNOTES:**
- FIELD VERIFY SITE LOCATION AND DEPTH OF UTILITY.
 - EXISTING ITEM SIDEWALK DAMP TO REMAIN. PROTECT FROM CONSTRUCTION ACTIVITIES.
 - CAUTION- CRITICAL UTILITY (WATER, FIBER, TELEPHONE)
 - HAZARDOUS OR FLAMMABLE MATERIAL (GAS, OIL, ELECTRIC)